

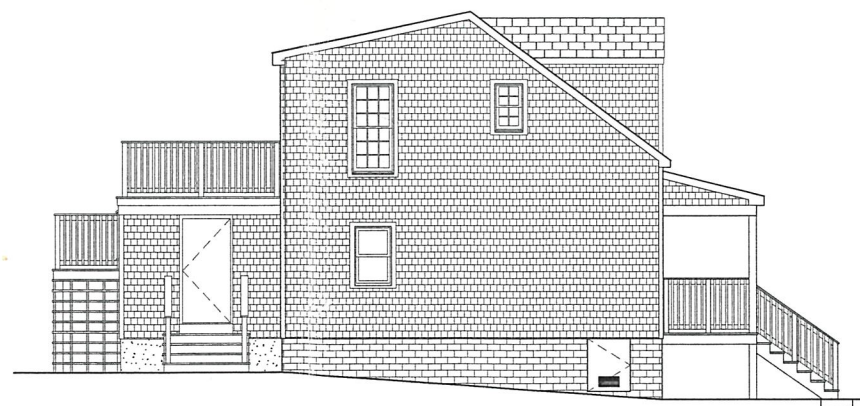
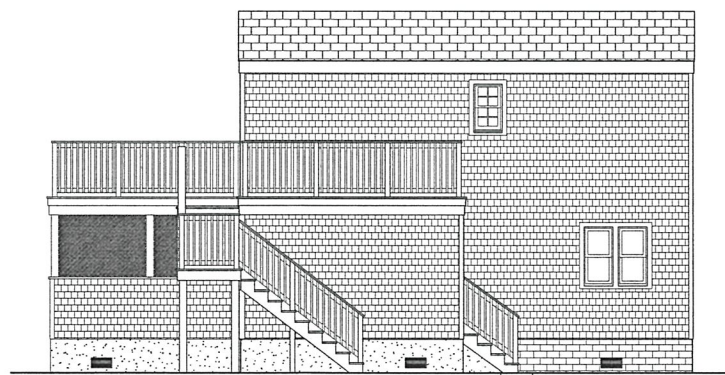
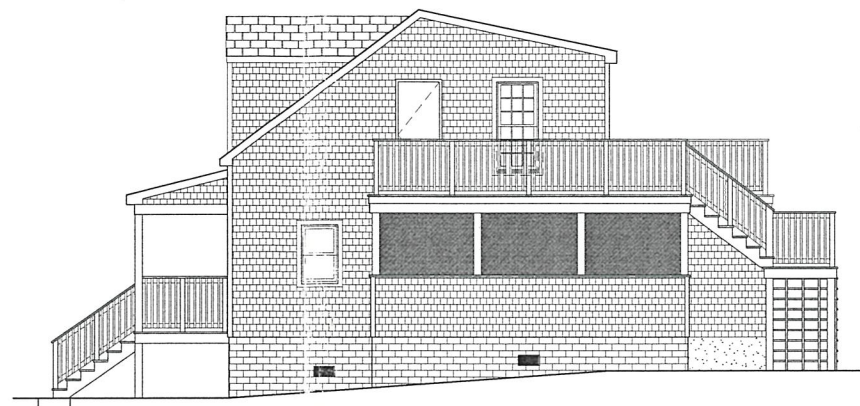
BELCHER RESIDENCE

15 MEADE STREET
WAREHAM, MA

FOR PERMIT - FOR CONSTRUCTION

WAREHAM FIRE DEPARTMENT
273 MAIN STREET
WAREHAM, MA 02571

Capt. [Signature]



DRAWING LIST

- ARCHITECTURAL**
- A0.00 COVER SHEET
 - G0.00 GENERAL NOTES
 - A1.00 BASEMENT & 1ST FLOOR DIMENSION PLAN
 - A1.01 SECOND FLOOR DIMENSION PLAN & ROOF PLAN
 - A2.00 EXTERIOR ELEVATIONS
 - A2.01 EXTERIOR ELEVATIONS
 - A3.00 BUILDING SECTIONS
- STRUCTURAL**
- S-1 FOUNDATION PLAN & DETAILS
 - S-2 FLOOR FRAMING PLANS
 - S-3 CEILING & ROOF FRAMING PLANS
 - S-4 DETAILS

PERMIT SET
FOR CONSTRUCTION

STRUCTURAL ENGINEER

ASAP ENGINEERING & DESIGN Co., Inc.
155 EAST GROVE STREET, RT. 28
MIDDLEBORO, MA 02346

TEL: 508.946.3561
FAX: 508.946.1653

OWNER

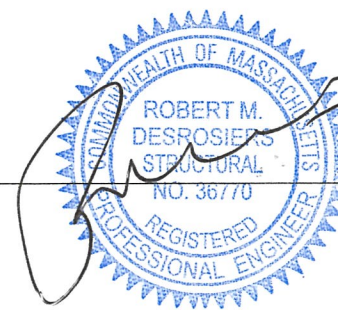
STEPHEN BELCHER
15 MEADE STREET
WAREHAM, MA

TEL: ###.###.####

GENERAL CONTRACTOR

GC NAME
ADDRESS 1
ADDRESS 2

TEL: ###.###.####



6-29-17

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COVER SHEET
BELCHER RESIDENCE
15 MEADE STREET
WAREHAM, MA

Revision	Author	Date
ORIGINAL	MDT	06-29-17

Contract	2017-140
Project	Belcher Res.
Date	Jun. 29, 2017

A0.00

(7/5/17)

FLOOR FRAMING NOTES

-Provide first floor joists as noted on structural drawings.

-Provide 1 1/2" or 1 3/4" LSL or LVL, rim joists by same manufacturer as joists.

-Follow all manufacturer's recommended details for installation of joists.

-Provide blocking using same material as joists over all beams except flush beams where there is a wall above, and under all braced wall panels.

-Unless otherwise noted, floor sheathing shall be APA rated sheathing and underlayment, tongue-&-grooved, 3/4" thick, minimum 24" o.c. span rating. Glue and nail floor sheathing to floor joists.

-Sills shall be (2) 2x6 pressure treated w/ 3/4"x12" long galvanized steel hooked anchor bolts @ 4'-0" max. o.c. and 12" from corners or splices. Garage anchors @ 24" o.c. (U.N.O.). Anchor bolts shall engage both plates and shall be fastened w/ 3"x3-1/2" plate washers.

-Provide posting at each end of all beams and at other locations as shown on structural plans. See structural drawings for post sizes and locations. (2-2x min.)

-All posts shall be continuous down from their top point to foundation or carrying (transfer) beams. Posts are typically called out at their top most point. Provide same post size below (U.N.O.). Provide solid blocking through floors beneath all posts.

GARAGE SHEATHING

-The CDX plywood used on the garage door wall shall be installed both on the interior and exterior sides of the wall. The plywood on this wall shall be fastened to the sills, rim joist, and the wall studs on both sides with 8d nails spaced and staggered at no more than 4" apart around the edges, and no more than 12" apart in the field of the sheet.

ATTACHED PORCHES
(post connections to foundation walls/ concrete tubes)

-Pier footings shall consist of "Bigfoot" bell footings or spread footings cast at or below floor depth that support 10" or 12" diameter "Sonotube" piers.

-Deck and porch posts shall be secured to the piers using Simpson ABU post base.

-Deck posts and porch beam assemblies shall be reinforced with Simpson BCS Series column caps (one per post to beam connection), or the beam can be let into the posts and through bolted to the post using two (2) 5/8"Ø through bolts. Corner posts shall be attached to the beam using Simpson ACE post caps.

-Deck and Porch framing shall be attached to the structure w/ galvanized metal hangers and a pressure treated ledger board. The ledger board shall be attached to the rim-joist or into solid framing using 1/2"Ø lag-bolts or ledger-lag screw, two (2) rows spaced and staggered at 8" o.c..

EXTERIOR WALL ASSEMBLIES

-Exterior sheathing shall consist of a minimum of 1/2" APA rated CDX plywood with 8d common nails at 4" spacing on the edges and 12" spacing on the field.

-Plywood sheets shall be applied horizontally w/ vertical joints. Joints shall be staggered a minimum of 32" between lifts (two (2) stud bays).

-Plywood shall span across the bottom and top plates to effectively tie the plates to the stud wall assembly.

-Horizontal blocking for nailing shall be provided within 48" of all outside corners.

-Blocking and connections shall be provided at panel edges perpendicular to roof framing members and shall be located in the first two (2) bays spaced at a maximum of 4 feet o.c..

-Plywood sheets shall be nailed to sills, plates, studs and rim joists w/ 8d common nails: 4" at perimeters and 8" in the field.

-Simpson HDUS hold downs shall be installed in the outside corners consistent w/ the locations specified on the plans. The hold down assemblies shall extend from the foundation connection to the top floor top plate and roof assembly. This continuous connection can be accomplished by nailing a full height stud with two 16d common nails spaced 10" o.c. to the opposite side of the triple corner stud assembly to which the HDUS hold downs shall be attached.

-Outside corners shall consist of built-up 2x6 solid corners and all exterior walls shall be framed using 2x6 framing (U.N.O.).

-Bottom plates of the wall assemblies shall be attached to the floor framing members using 16d common nails spaced and staggered 4" o.c..

-Window and door openings larger than 5 feet or closer than 3 feet from an outside corner shall have Simpson H4 hurricane clips installed per (WALL OPENING DETAIL). The H4 clips shall be installed at the top and bottom of the last (king) studs, as well as to the top and bottom of the first (jack) studs. The clips shall be installed to the interior sides of the king and jack studs and any pocketed studs between windows. Jack studs shall be connected to the headers using one (1) Simpson LSTA strap per jack to header.

-Window and door openings larger than 5 feet shall be framed using two (2) jack studs and three (3) king studs (U.N.O.). Window and door openings located 3 feet from an outside corner of the structure shall all be framed using two (2) jack studs and two (2) king studs (U.N.O.).

-The double top plates shall be lap-spliced w/ end-joints a minimum of 6 feet apart and contain fourteen (14) 16d common nails per each side of the splice. The top plates shall overlap at corners of the structure and all intersections of interior or exterior load-bearing walls.

ROOF FRAMING NOTES

-See structural drawings for rafter sizes. All rafters shall be SPF #1 / #2 or better (U.N.O.).

-See structural drawings for ledger size on top of sheathing for support and connection of rafters at overlay framing.

-Rafters shall be toe nailed to wall plates and face nailed to ceiling joists at supports and shall also be anchored for uplift w/ Simpson H1 rafter tie at each rafter (U.N.O.) on structural drawings.

-Fasten rafters to non-structural ridge w/ four (4) 16 d toe nails or three (3) 16d face nails each rafter. Fasten rafters to structural ridge with sloped-seat rafter hanger or Simpson LRU hanger or Simpson L90 framing anchor each side (U.N.O.) on structural drawings.

-Fasten rafters at ridge for uplift using either Option A or Option B, as follows:

Option A: Apply Simpson LSTA strap across the top of the ridge.

Option B: Install 2x6 ridge lock block across the rafters immediately below the ridge and fasten them to the rafters w/ a minimum of six (6) 10d nails.

-Roof sheathing shall be APA rated sheathing, exp. 1, 3/4" thick 3/4" or better span rating (U.N.O.).

-See structural plans for all exterior wall, window & door header sizes w/ 1/2" plywood spacers (U.N.O.).

-All headers in interior 2x4 bearing walls shall be (2) 2x6's w/ 1/2" plywood spacers (U.N.O.). Exterior wall headers (up to 6' span) shall be (3) 2x8 (U.N.O.).

-Provide posting at each end of all beams and at other locations as shown on plans. See structural drawings for post sizes and locations. (2-2x min.).

-All posts shall be continuous down from their top point to foundation or carrying (transfer) beams. Posts are typically called out at their top most point. Provide same post size below (U.N.O.). Provide solid blocking through floors beneath all posts.

-The roof shingle system applied to the sheathing must meet the wind velocity specification for the required wind velocity zone for the location of the structure (i.e. 110 MPH zone).

-The rafters shall be connected to the framing below using Simpson H1 rafter clips per space (U.N.O.) between the rafters that are attached to the structural ridge or ledger board shall be attached to the structural ridge or ledger board using adjustable rafter hangers.

-Sizes given for nails are common wire sizes. Box and pneumatic low carbon nails of equivalent diameter and equal or greater length to the specified common nails may be substituted. All mechanical connectors shall be installed following all manufacturers specifications for proper installation and nailing requirements.

Foundations

-G.C. shall coordinate all dimensions, openings, and elevations w/ architectural drawings and manufacturer's specifications.

-Excavate to lines and grades required to properly install the foundations on inorganic, undisturbed soil or controlled structural backfill as required by the engineer. No footing shall be placed upon frozen ground or in water.

-Backfill below footings and slabs shall be made w/ approved granular materials placed in 6" layers. Layers shall be compacted to 95% density at optimum moisture content, as defined by ASTM D1557, Method D.

-Exterior footings shall be placed on approved soil at a minimum depth of 4 feet, or as modified by the structural engineer, below the lowest adjacent ground exposed to freezing. Any adjustments of footing elevations due to field conditions must have the approval of the engineer.

-Soil bearing capacity: footings must be placed on soil w/ a minimum bearing capacity of 3000 pounds per square foot.

-Backfilling against walls or piers may only be done after walls or piers are braced to prevent movement. For wood framed residential construction, no backfilling of walls may take place until the first floor deck has been framed and sheathed, unless written approval is given by the engineer.

-Provide foundation drainage, waterproofing/ damp-proofing, and foundation wall insulation as indicated on the architectural drawings and shall be no less than requirements of the state building code.

-Provide metal or PVC sleeves in the foundation walls for sewer, gas, electric, and water lines, as required.

-Any site conditions requiring a deviation from these plans shall be brought to the attention of the engineer immediately.

CONCRETE

-Footings shall be poured on undisturbed soil and shall be formed and have a 2x4 key way.

-Slab on grade shall be poured over a 10 mil polyethylene vapor barrier. Precaution shall be taken to prevent puncturing the vapor barrier during pouring operations.

-Install 4" PVC perforated drain pipe in crushed stone at interior perimeter of all foundation walls. Drain to sump or to daylight.

-All concrete work shall be preformed in conformance w/ the latest edition of ACI-318, "Building Code Requirements For Reinforced Concrete".

-Concrete shall achieve a minimum 28 day design strength as follows: footings, walls, interior slab-on-grade, and other concrete not otherwise specified - 3000 PSI. Exterior slabs exposed to weather - 4000 PSI.

-Reinforcing steel: typical - ASTM A615, Grade 60. Field bent - ASTM A615, Grade 40. All steel reinforcing bars shall be free of mill scale and rust. All reinforcing bars below base flood elevation shall be epoxy coated or galvanized.

-All wire mesh for slabs shall be ASTM A185 fabric set at the mid-depth of the slab. All reinforcing wire mesh below base flood elevation shall be epoxy coated or galvanized.

-Concrete cover provided for reinforcing bars shall be as follows:

	Minimum cover, inches.
(a) Concrete cast against and permanently exposed to earth.....	3
(b) Concrete exposed to earth or weather:	
No. 6 through No. 18 bars.....	2
No. 5 bar, W31 or D31 wire, and smaller.....	1 1/2
(c) Concrete not exposed to weather or in contact with ground:	
Slabs, walls, joists:	
No. 14 and No. 18 bars.....	1 1/2
No. 11 bar and smaller.....	3/4
Beams, columns:	
Primary reinforcement, ties, stirrups, spirals.....	1 1/2

Structural Steel

-Structural steel work shall conform to the American Institute of Steel Construction: "Specification for Structural Steel for Buildings", latest edition. Steel beams shall conform to ASTM A992, w/ a minimum yield strength of 50 KSI.

-The Contractor shall measure, verify and coordinate all dimensions in the field.

-Plate, angles, channels, and misc. fabricated hardware shall conform to ASTM A36, w/ a minimum yield strength of 36 KSI, rectangular steel tubing shall conform to ASTM A500, Grade B, with a minimum yield strength of 46 KSI.

-All steel to steel field connections shall be made by high strength bolting with ASTM A325 bolts or welding with E70-XX electrodes (U.N.O.).

-Welding to conform w/ AWS D1.1, using only certified welders and fabricators.

-Provide bearing plates for beams seated on concrete, wood or masonry.

-Steel shall be shop-painted w/ a modified alkyd primer (U.N.O.).

-All structural steel exposed to the weather shall be galvanized (U.N.O.).

-Structural steel shop drawings shall be prepared and submitted to the engineer for approval prior to fabrication. These drawings shall show complete and accurate member layout, sizes, grade, dimensions, connections, openings, accessories and all other information necessary for complete and accurate fabrication and assembly of the members. Provide templates or locations drawings for installation of anchor bolts.

-No cutting of or openings through steel will be permitted without the written approval of the engineer.

NAILING SCHEDULE			
<small>UNLESS OTHERWISE NOTED, THESE SIZES FOR NAILS ARE COMMON WIRE STEEL, BOX AND PNEUMATIC NAILS OF EQUIVALENT DIMENSIONS AND QUALITY (SPECIFY THE SPECIFIED COMMON NAIL SIZE SUBSTITUTED UNLESS OTHERWISE NOTED).</small>			
JOINT DESCRIPTION	NUMBER OF COMMON NAILS	NUMBER OF BOX NAILS	NAIL SPACING
ROOF FRAMING			
BLOCKING TO RAFTER (TOE-NAILED)	(2) 8d	(2) 16d	EACH END
RIM BOARD TO RAFTER (END-NAILED)	(2) 16d	(2) 16d	EACH END
WALL FRAMING			
TOP PLATES AT INTERSECTIONS (FACE-NAILED)	(4) 16d	(5) 16d	AT JOINTS
STUD TO STUD (FACE-NAILED)	(2) 16d	(2) 16d	24" o.c.
HEADER TO HEADER (FACE-NAILED)	16d	16d	18" o.c. ALONG EDGES
FLOOR FRAMING			
JOIST TO SILL, TOP PLATE OR GIRDER (TOE-NAILED)	(2) 16d	(2) 16d	PER JOIST
BLOCKING TO JOIST (TOE-NAILED)	(2) 8d	(2) 16d	INCH END
BLOCKING TO SILL OR TOP PLATE (TOE-NAILED)	(2) 16d	(2) 16d	DOCK BLOCK
LEDGER STRIP TO BEAM OR GIRDER (FACE-NAILED)	(2) 16d	(2) 16d	DOCK JOIST
JOIST ON LEDGER TO BEAM (TOE-NAILED)	(2) 8d	(2) 16d	PER JOIST
BAND JOIST TO JOIST (END-NAILED)	(2) 16d	(2) 16d	PER JOIST
BAND JOIST TO SILL OR TOP PLATE (TOE-NAILED)	(2) 16d	(2) 16d	PER JOIST
ROOF SHEATHING (WOOD STRUCTURAL PANELS)			
RAFTERS OR TRUSSES SPACED UP TO 16" o/c	8d	16d	8" EDGE / 12" FIELD
RAFTERS OR TRUSSES SPACED OVER 16" o/c	8d	16d	8" EDGE / 12" FIELD
GABLE ENDWALL RAKE OR RAKE TRUSS WITHOUT GABLE OVERHANG	8d	16d	8" EDGE / 12" FIELD
GABLE ENDWALL RAKE OR RAKE TRUSS WITH STRUCTURAL PLYWOODS	8d	16d	8" EDGE / 12" FIELD
GABLE ENDWALL RAKE OR RAKE TRUSS W/ LOOKOUT BLOCKS	8d	16d	8" EDGE / 12" FIELD
CEILING SHEATHING			
GYPSUM WALLBOARD	5d COMMON	---	7" EDGE / 12" FIELD
WALL SHEATHING			
WOOD STRUCTURAL PANELS - STUDS SPACED UP TO 24" o/c	8d	16d	8" EDGE / 12" FIELD
2" AND 3/4" FIBERBOARD PANELS	8d	---	8" EDGE / 12" FIELD
5/8" GYPSUM WALLBOARD	5d COMMON	---	7" EDGE / 12" FIELD
FLOOR SHEATHING (WOOD STRUCTURAL PANELS)			
1" OR LESS	8d	16d	8" EDGE / 12" FIELD
GREATER THAN 1"	16d	16d	8" EDGE / 12" FIELD

*CONNECTIONS BETWEEN 11 GABLE ROOFING NAILS AND 16 GABLE STUDS ARE FORMATTED. CHECK FOR ADDITIONAL REQUIREMENTS.

WALL OPENING FRAMING SCHEDULE - U.O.N.					
HEADER SPAN	LOADING WALL WINDWARD HEADS/FEET	NON-LOADING WALL WINDWARD HEADS/FEET	OPENING LOCATION	NO. OF KING STUDS	NO. OF JACK STUDS
3'	2'-0"	1'-0" (R/O)	4" FROM INTERIOR	1	1
3'	2'-0"	1'-0" (R/O)	4" FROM INTERIOR	2	1
3'	2'-0"	1'-0" (R/O)	4" FROM INTERIOR	2	1
3'	2'-0"	1'-0" (R/O)	ALL LOCATIONS	1	1
3'	2'-0"	1'-0" (R/O)	ALL LOCATIONS	1	1
3'	2'-0"	1'-0" (R/O)	ALL LOCATIONS	1	1
3'	2'-0"	1'-0" (R/O)	ALL LOCATIONS	1	1
3'	2'-0"	1'-0" (R/O)	ALL LOCATIONS	1	1

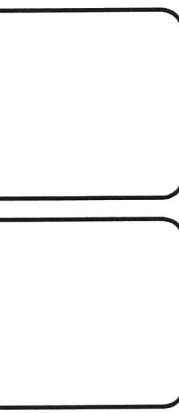
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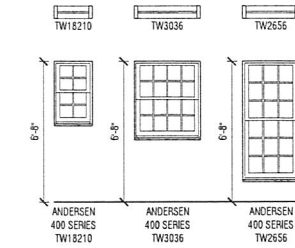
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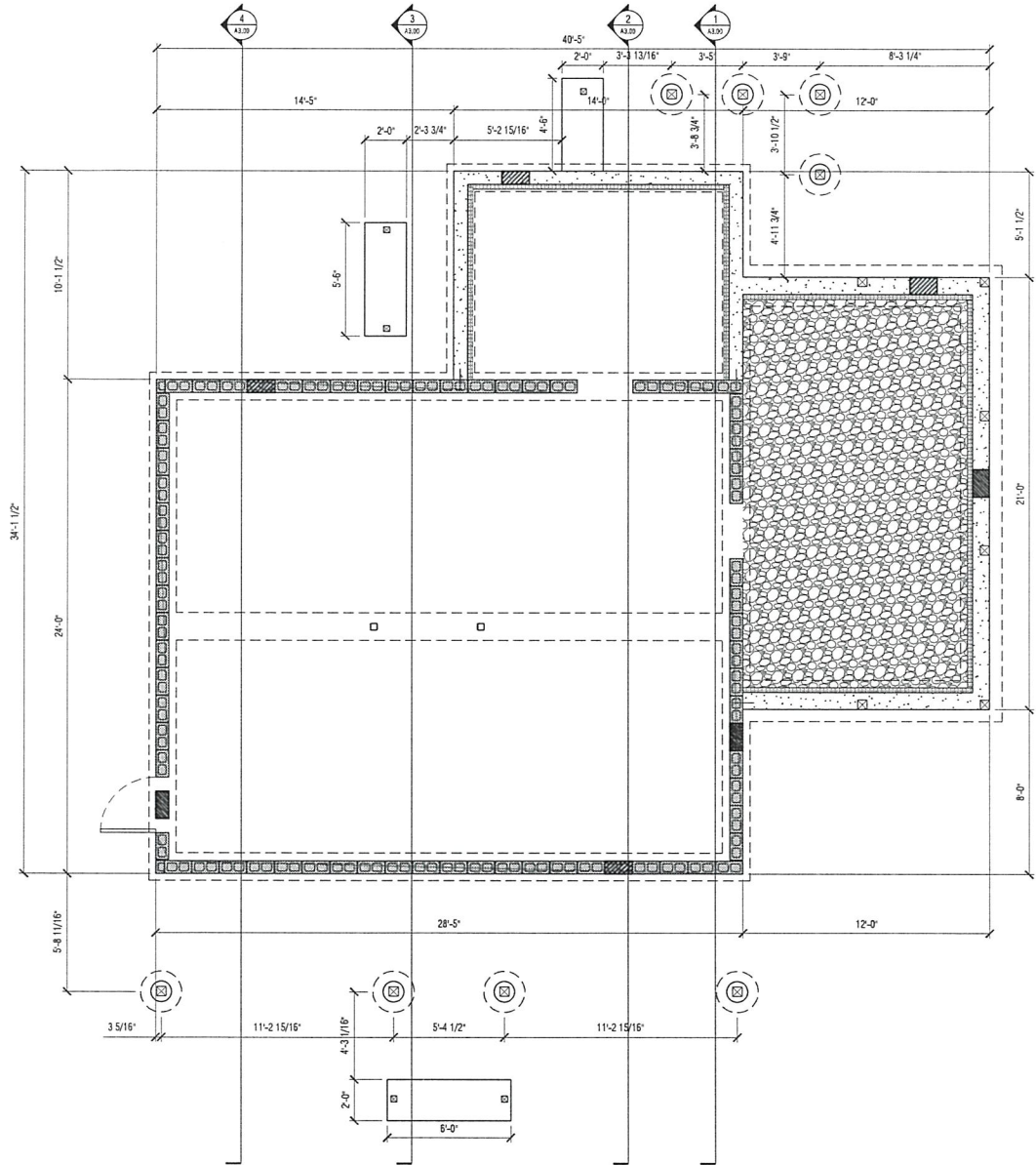


GENERAL NOTES		
BELCHER RESIDENCE 15 MEADE STREET WAREHAM, MA		
Sheet Title	Project Name and Address	
ORIGINAL	MDT	06-29-17
Revision	Author	Date
Contract 2017-140	Sheet	
Project Belcher Res.		
Date Jun. 29, 2017		
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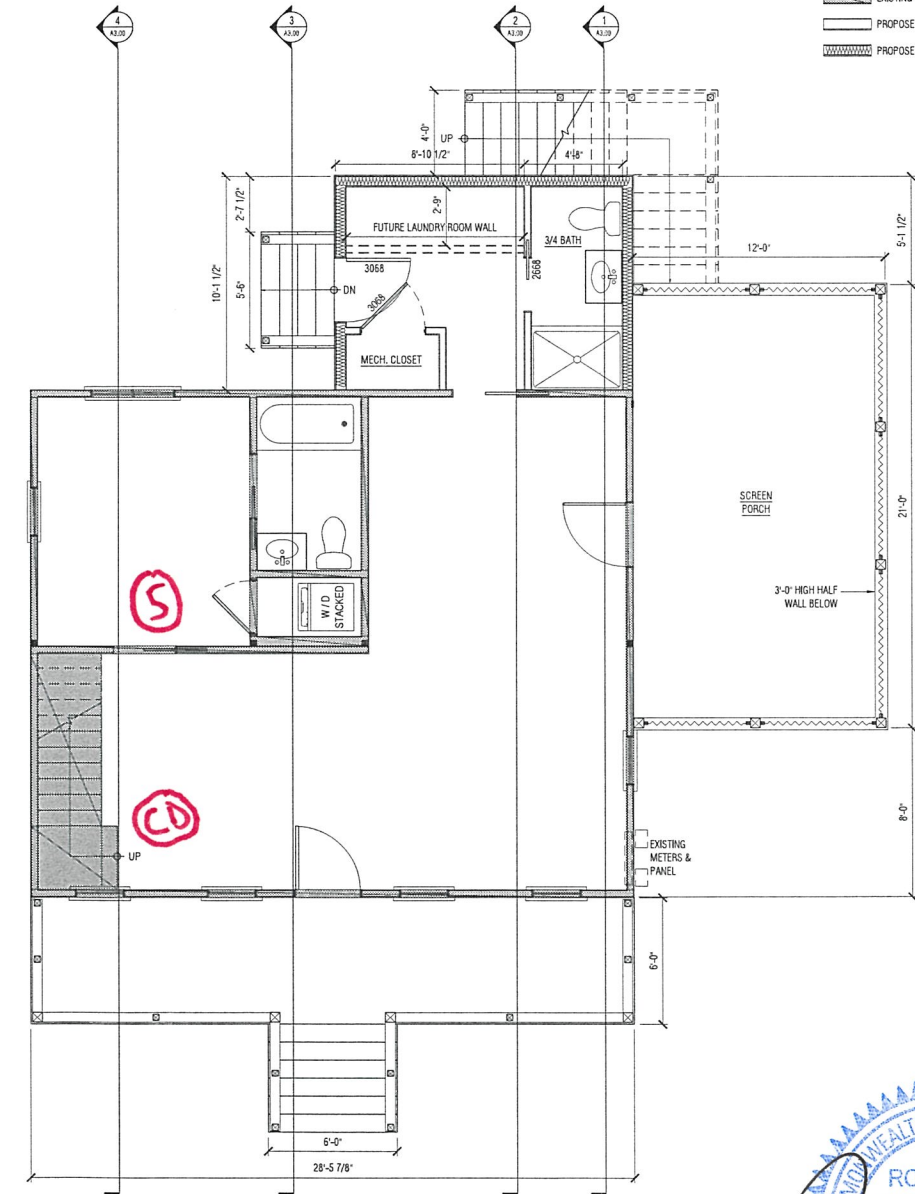
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CO
S = Smoke



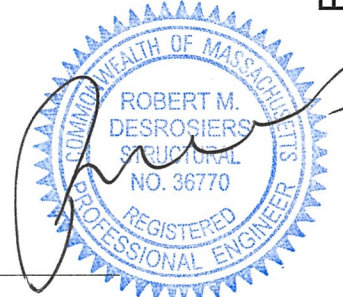
HATCH LEGEND
 [Hatched] EXISTING TO REMAIN
 [Solid] PROPOSED
 [Hatched with dots] PROPOSED w/ BATTE INSUL.



1 BASEMENT PLAN
1/2" = 1'-0"



2 FIRST FLOOR PLAN
1/2" = 1'-0"



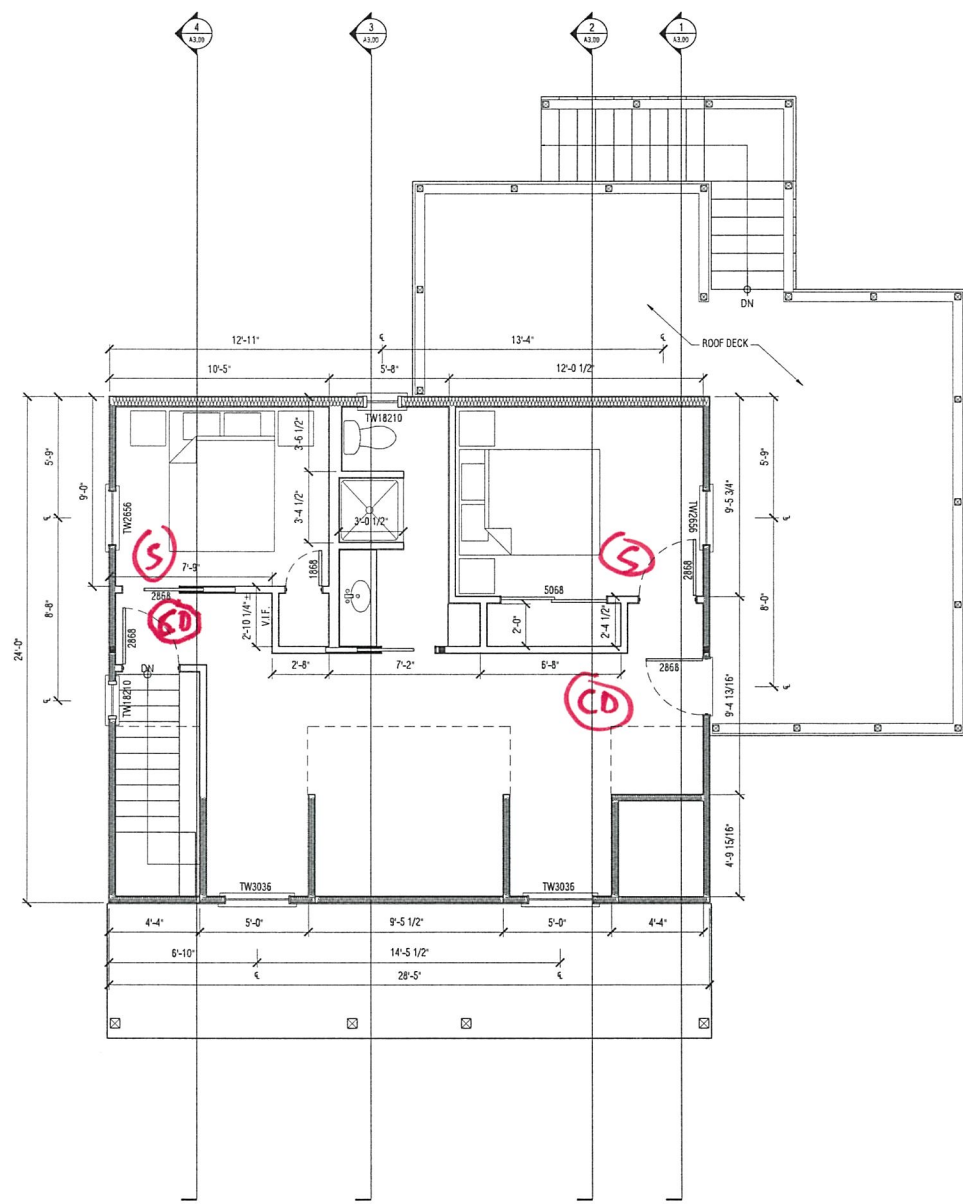
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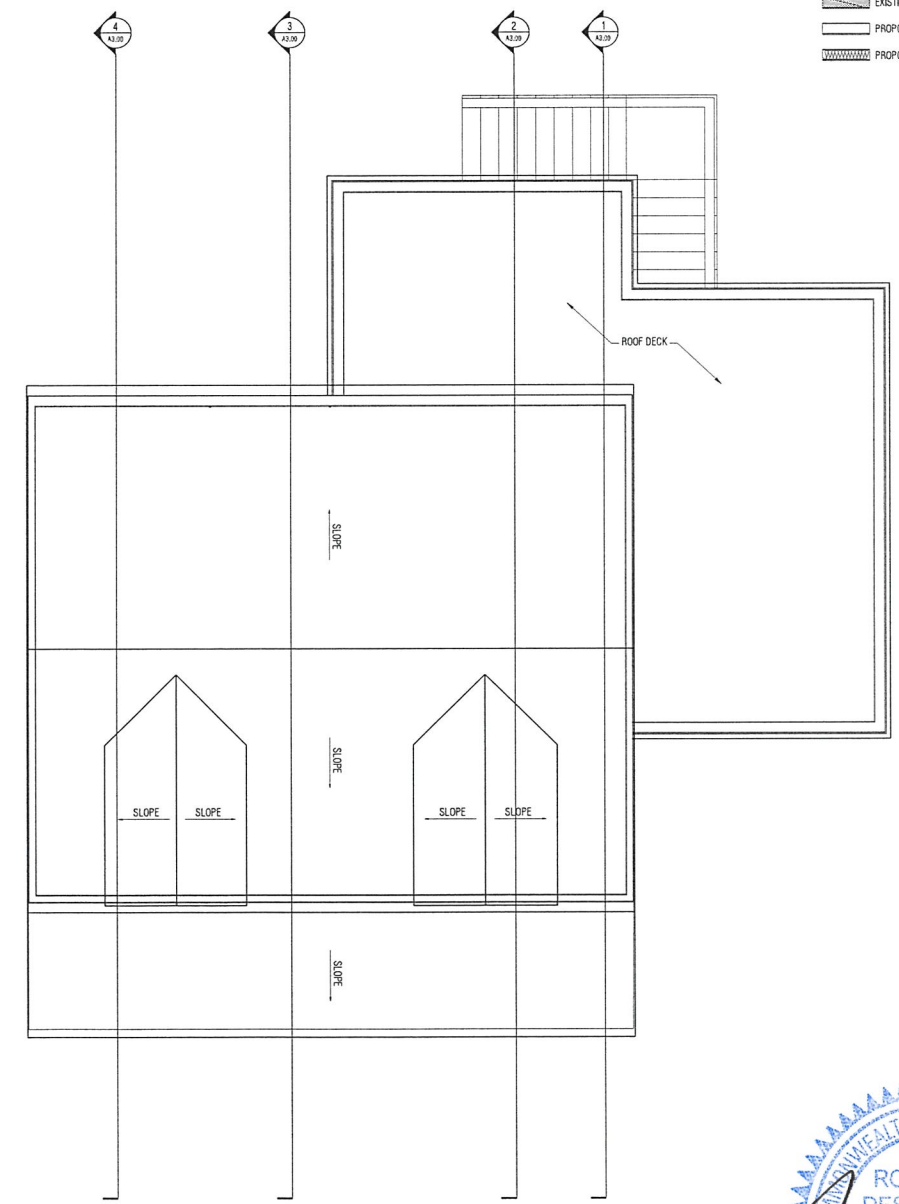
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BASEMENT & FIRST FLOOR PLANS		
BELCHER RESIDENCE 15 MEADE STREET WAREHAM, MA		
Sheet Title	Project Name and Address	
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Date	Jun. 29, 2017	

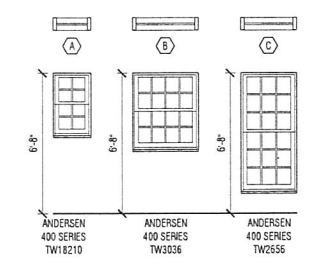
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 Suite Three - 155 East Grove Street - Route 28
 Middleborough, MA 02346
 Telephone 508-946-3661 - Fax 508-946-1653



1 SECOND FLOOR PLAN
1/2" = 1'-0"



2 ROOF PLAN
1/2" = 1'-0"



HATCH LEGEND
 [Pattern] EXISTING TO REMAIN
 [Pattern] PROPOSED
 [Pattern] PROPOSED w/ BATTE INSUL



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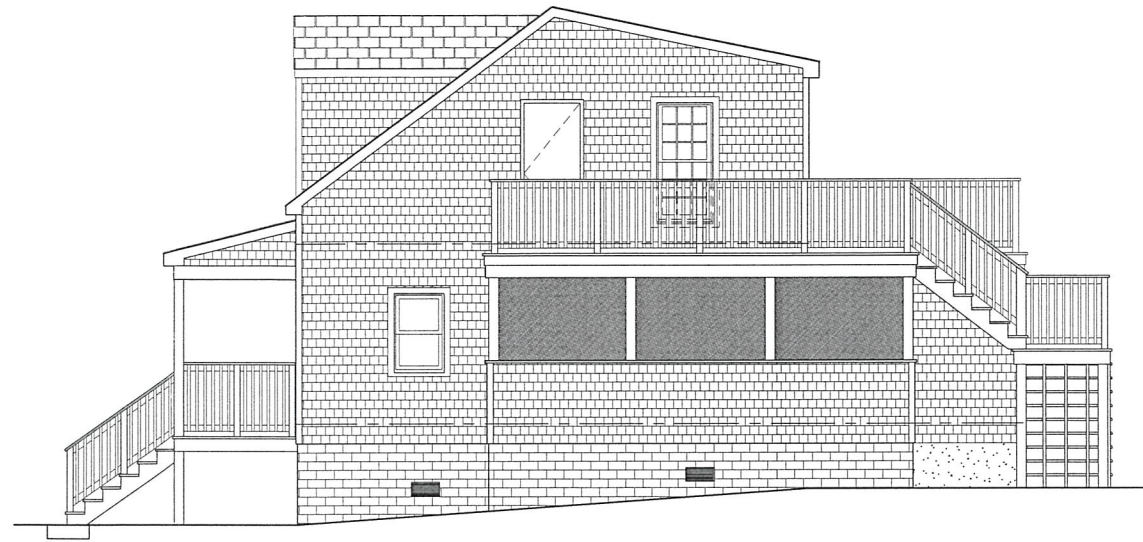
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Sheet Title		SECOND FLOOR & ROOF PLANS	
Project Name and Address		BELCHER RESIDENCE 15 MEADE STREET WAREHAM, MA	
Contract	2017-140	Sheet	A1.01
Project	Belcher Res.	Date	Jun. 29, 2017
Revision	ORIGINAL	MDT	06-29-17
		Author	
		Date	

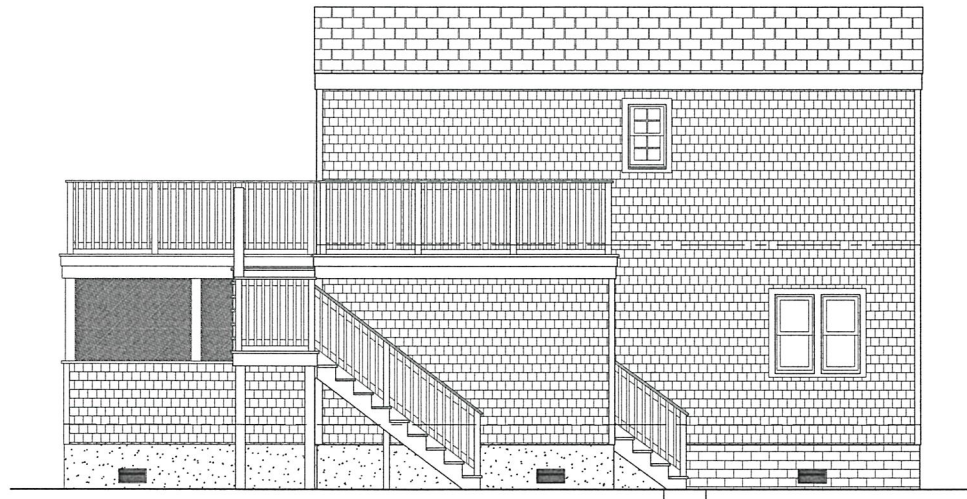
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1 EXTERIOR ELEVATION - FRONT
1/4" = 1'-0"



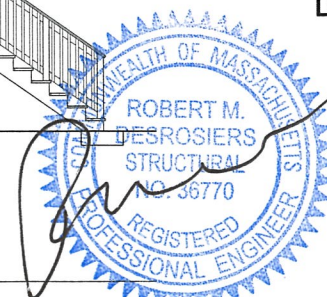
2 EXTERIOR ELEVATION - RIGHT SIDE
1/4" = 1'-0"



3 EXTERIOR ELEVATION - REAR
1/4" = 1'-0"



4 EXTERIOR ELEVATION - LEFT SIDE
1/4" = 1'-0"



6-29-17

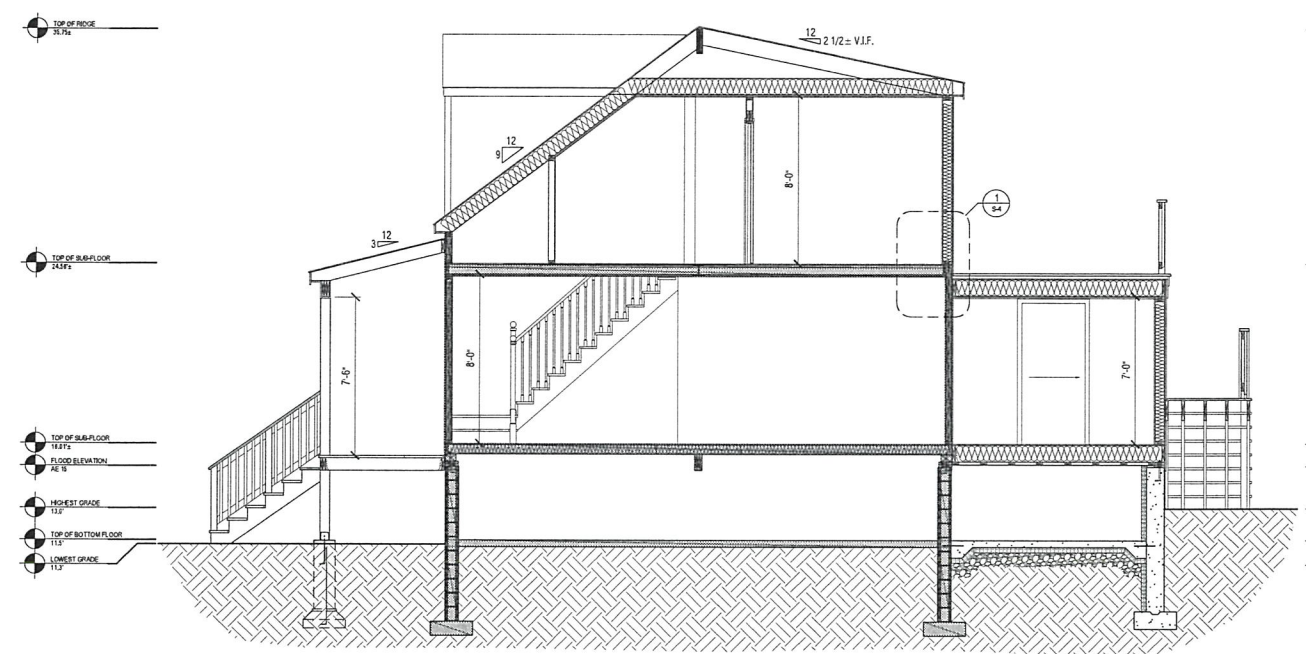
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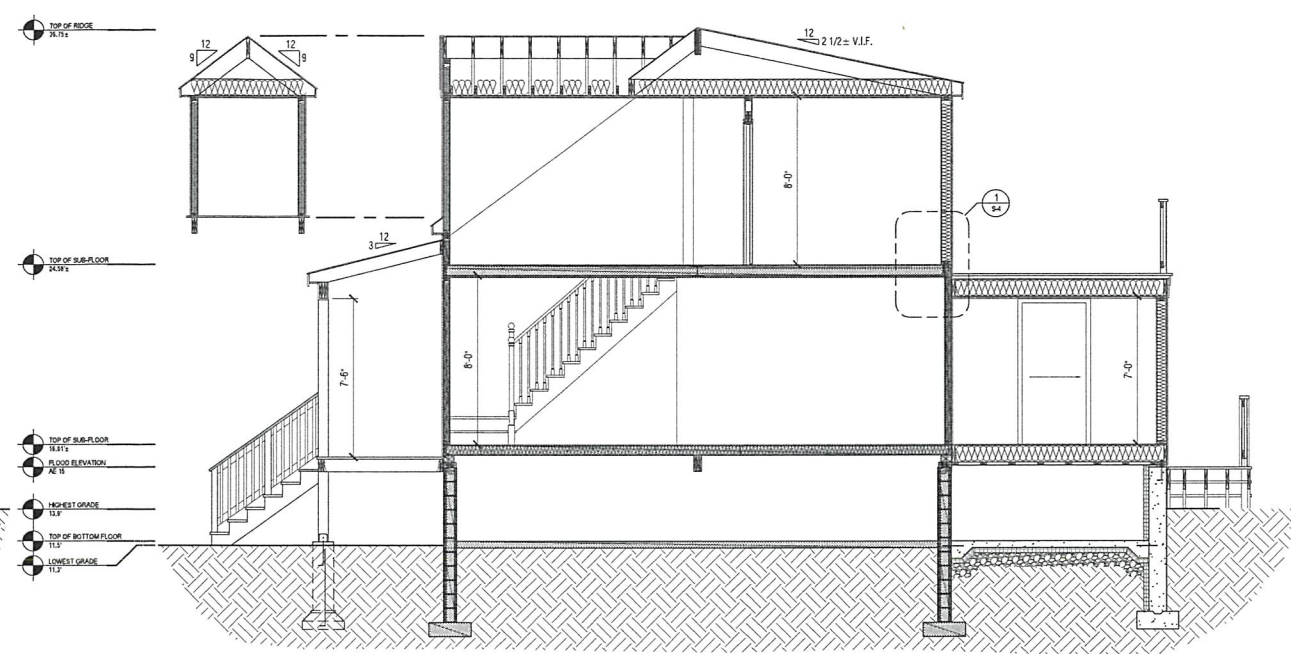
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EXTERIOR ELEVATIONS		
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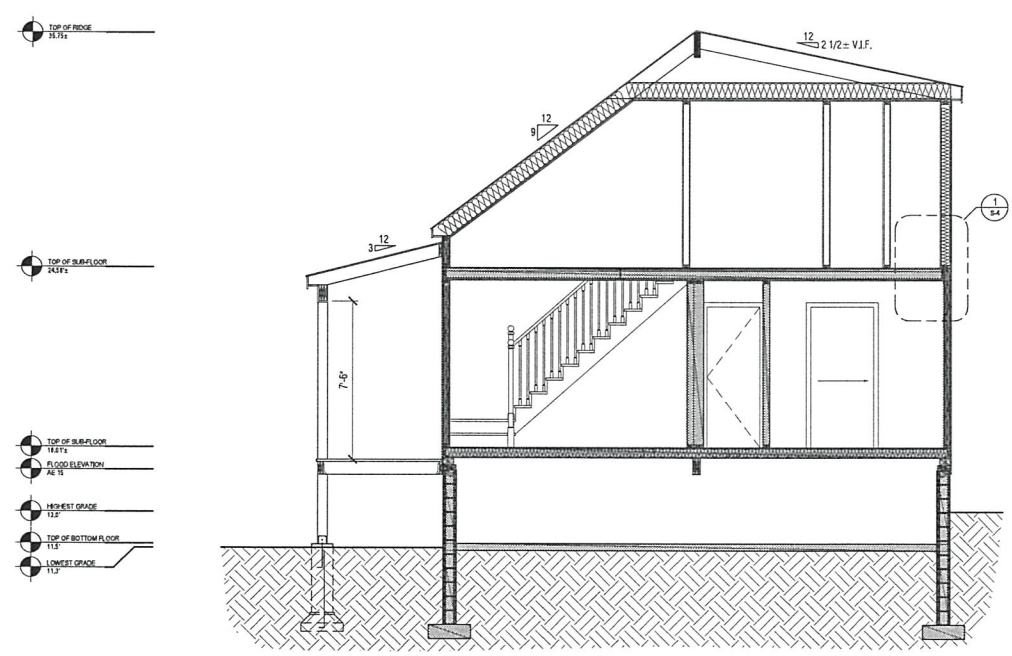
HATCH LEGEND
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 [Hatched Box] PROPOSED w/ BATTE INSUL.



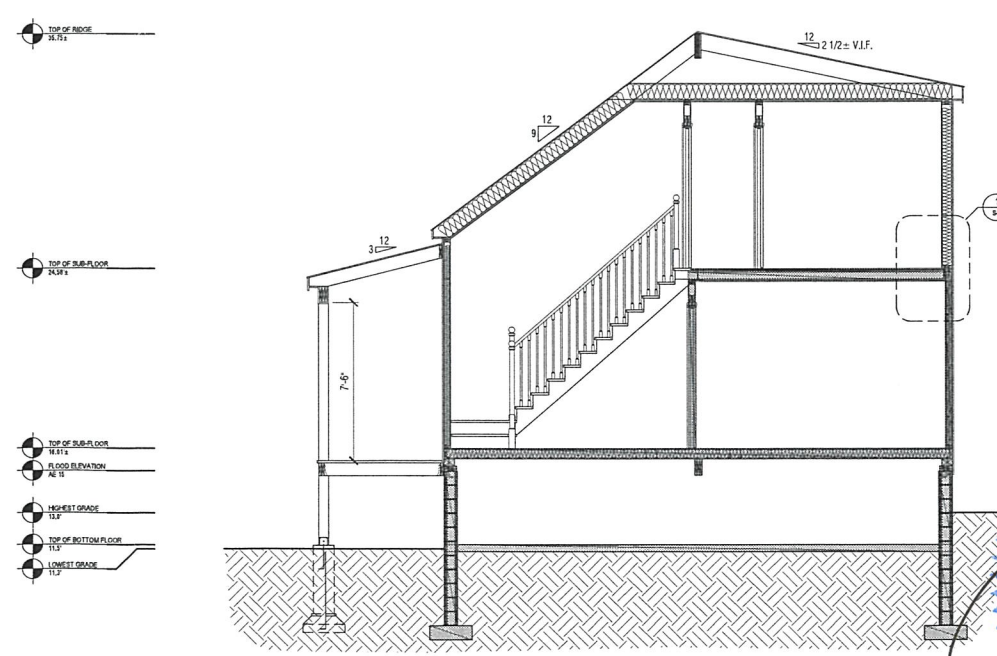
1 BUILDING SECTION
 1/2" = 1'-0"



2 BUILDING SECTION
 1/2" = 1'-0"

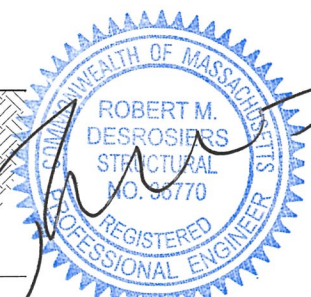


3 BUILDING SECTION
 1/2" = 1'-0"



4 BUILDING SECTION
 1/2" = 1'-0"

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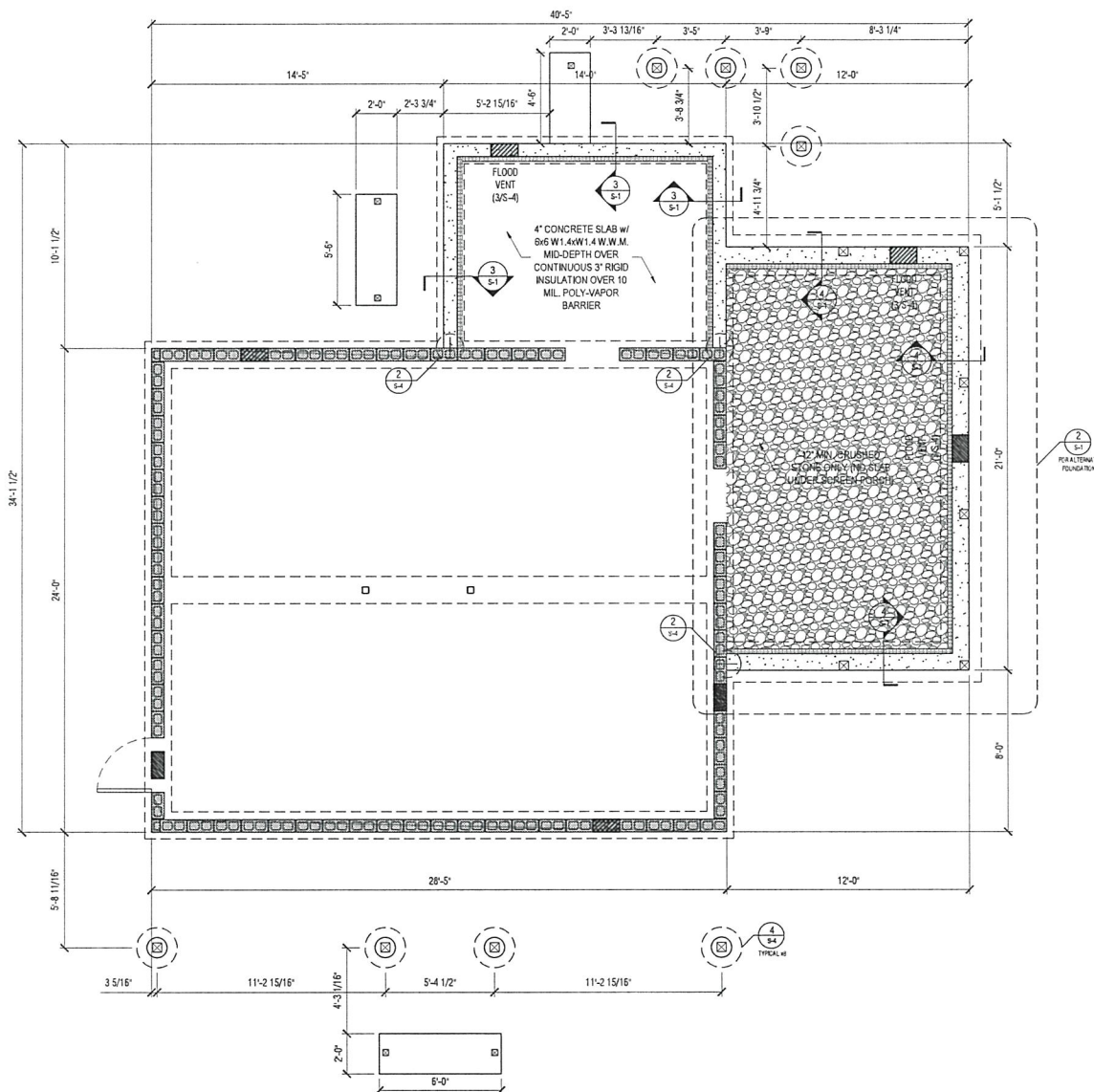
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BUILDING SECTIONS
 BELCHER RESIDENCE
 15 MEADE STREET
 WAREHAM, MA

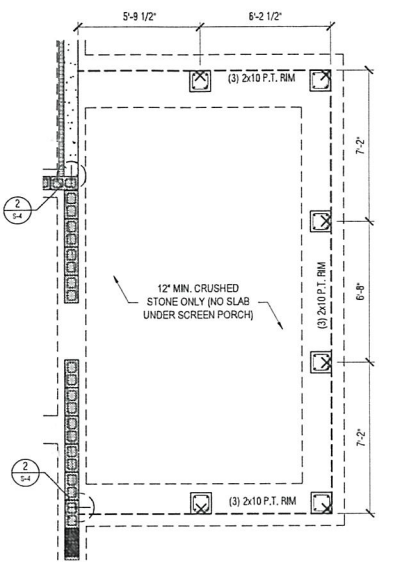
Sheet Title
 Project Name and Address

Revision	Author	Date
ORIGINAL	MDT	06-29-17

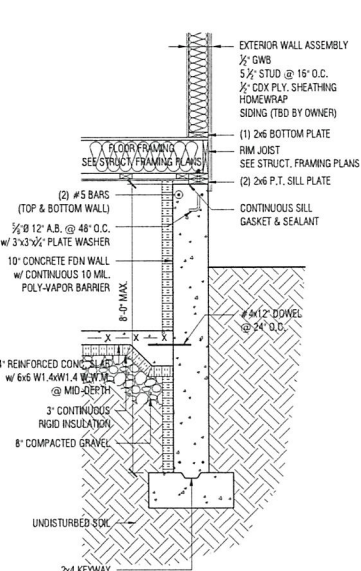
Contract	2017-140	Sheet
Project	Belcher Res.	A3.00
Date	Jun. 29, 2017	



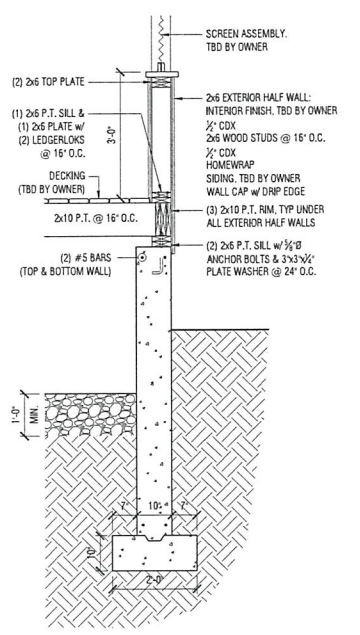
1 FOUNDATION PLAN PLAN
1/2" = 1'-0"



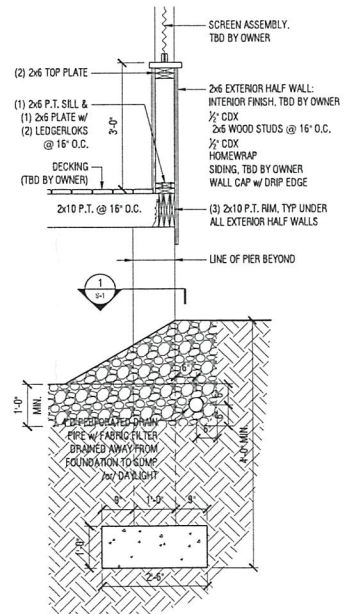
2 ALT SCREEN PORCH FDN PLAN
1/2" = 1'-0"



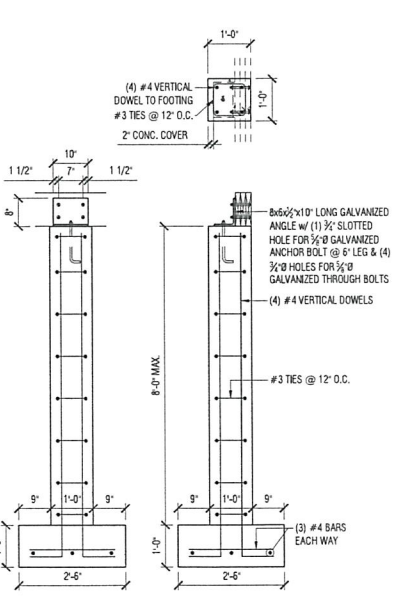
3 TYP. FOUNDATION DETAIL
1/2" = 1'-0"



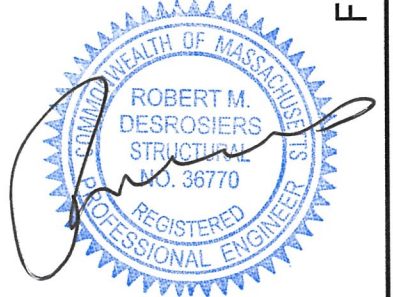
4 TYP. FOUNDATION DETAIL
1/2" = 1'-0"



5 ALT. FOUNDATION DETAIL
1/2" = 1'-0"



6 TYP. PIER SECTION
1/2" = 1'-0"



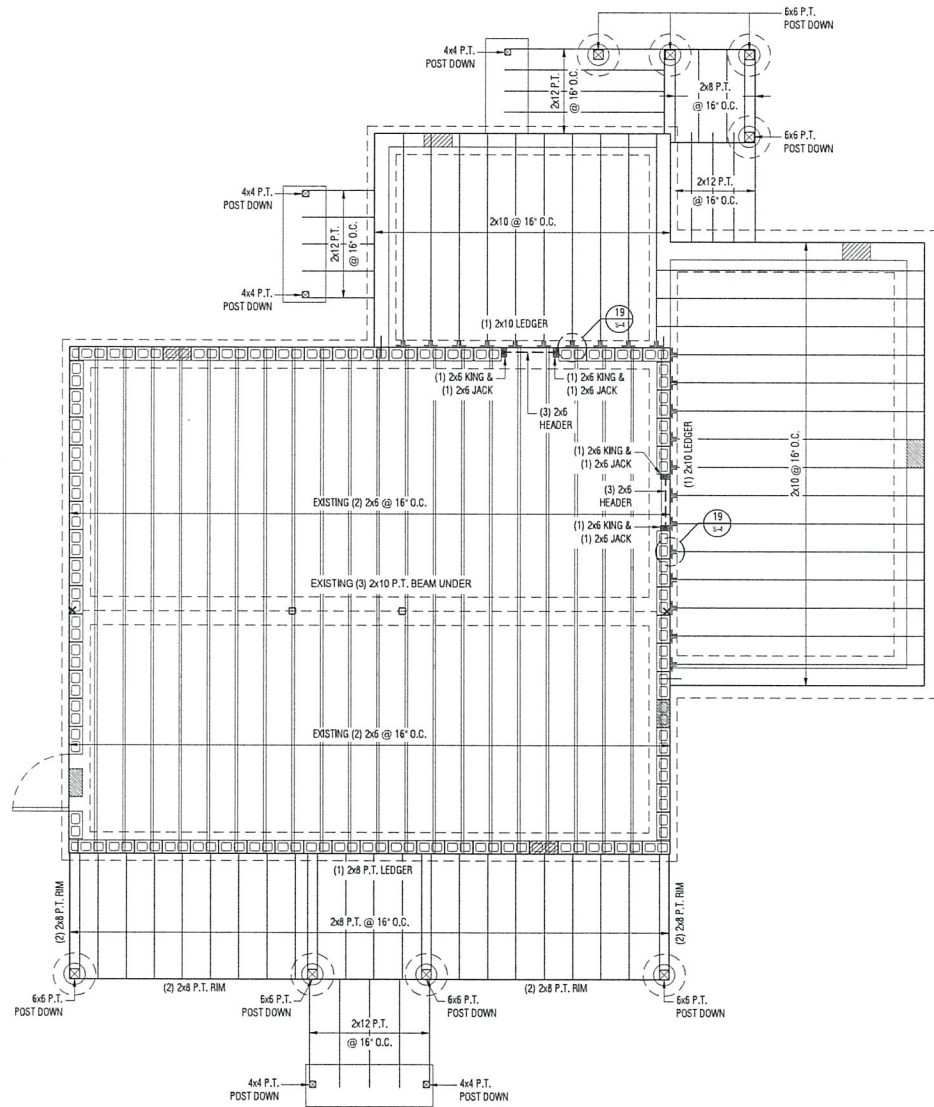
6-29-17

NOTE:
DRAWINGS PRINTED ON 11x17
SHEETS ARE NOT TO SCALE

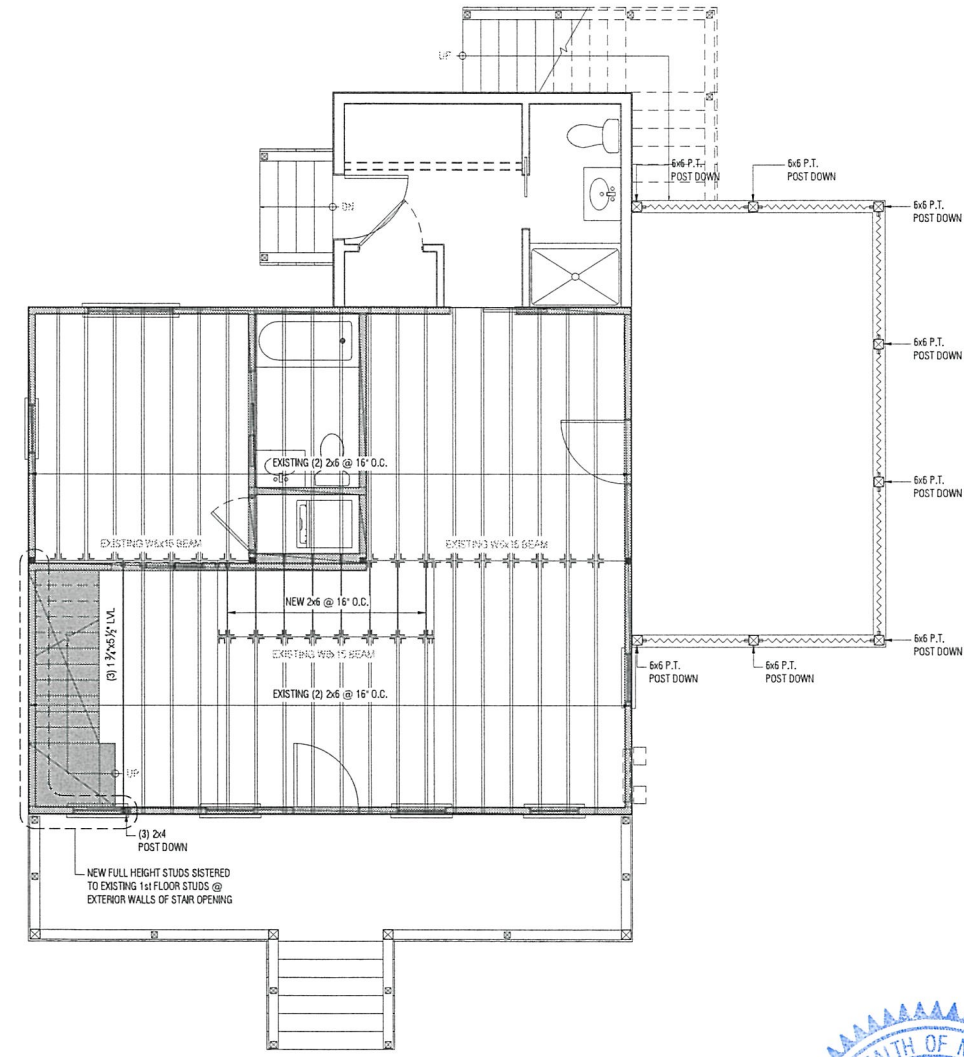
PERMIT SET
FOR CONSTRUCTION

FOUNDATION PLAN & DETAILS		
BELCHER RESIDENCE 15 MEADE STREET WAREHAM, MA		
Sheet Title	Project Name and Address	
Contract	2017-140	Sheet
Project	Belcher Res.	S-1
Date	Jun. 29, 2017	
ORIGINAL	MDT	06-29-17
Revision	Author	Date

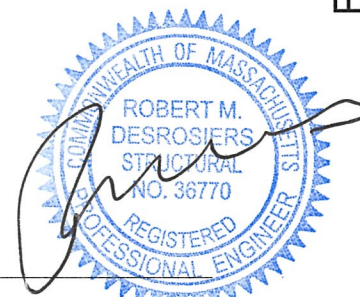
ASAP Engineering & Design Co., Inc.
Suite Three - 155 East Grove Street - Route 28
Middleborough, MA 02346
Telephone 508-946-3561 - Fax 508-946-1653



2 FIRST FLOOR FRAMING PLAN
1/4" = 1'-0"



1 SECOND FLOOR FRAMING PLAN
1/4" = 1'-0"



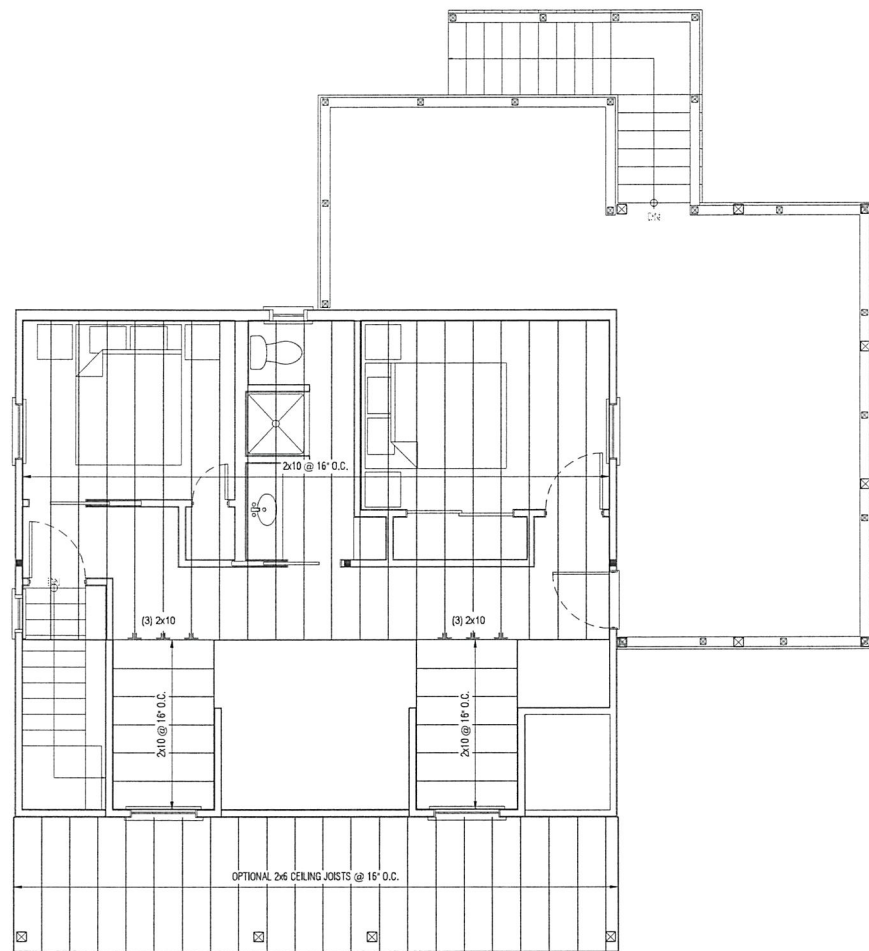
6-29-17

NOTE:
DRAWINGS PRINTED ON 11x17
SHEETS ARE NOT TO SCALE

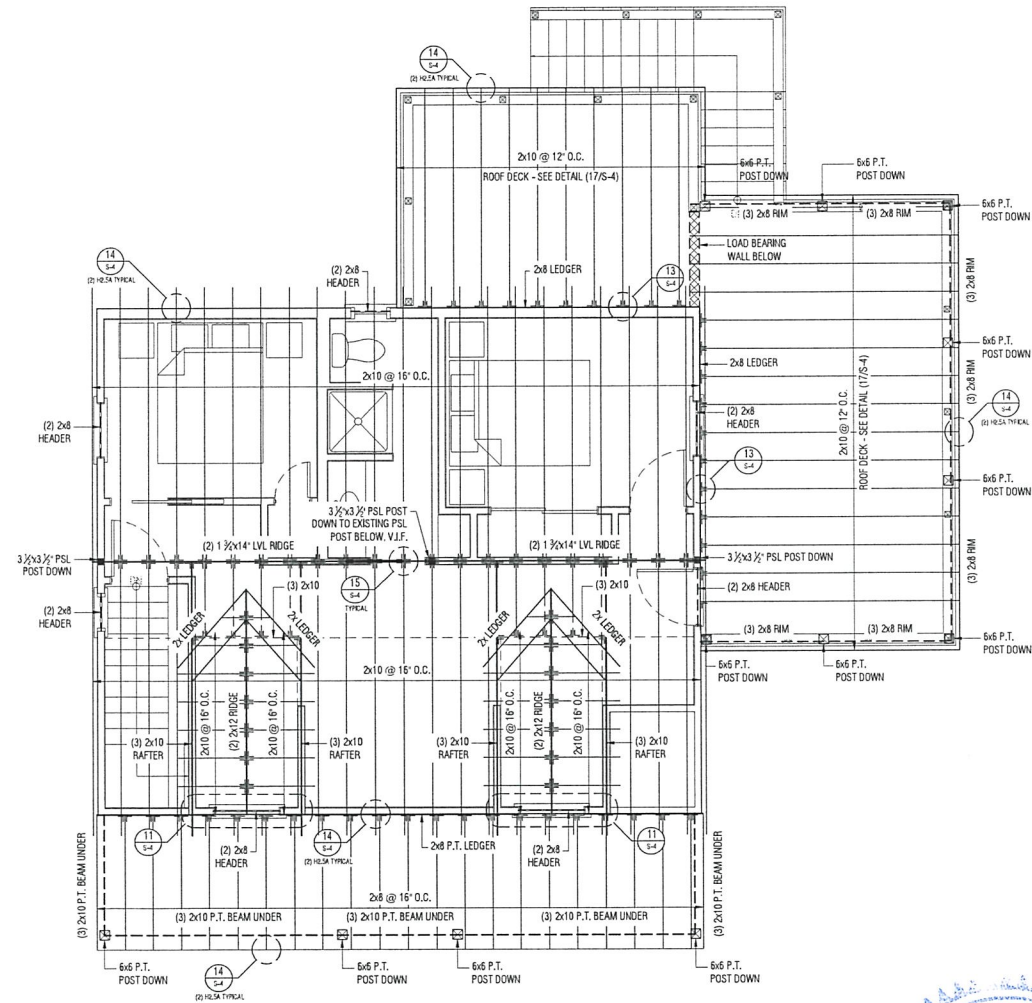
PERMIT SET
FOR CONSTRUCTION

Sheet Title		
FLOOR FRAMING PLANS		
Project Name and Address		
BELCHER RESIDENCE 15 MEADE STREET WAREHAM, MA		
Revision	Author	Date
ORIGINAL	MDT	06-29-17
Contract		Sheet
2017-140		S-2
Project		
Belcher Res.		
Date		
Jun. 29, 2017		

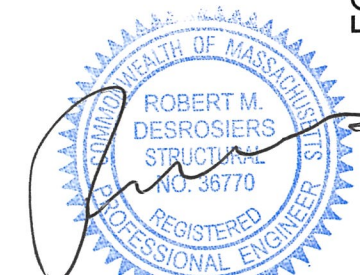
ASAP Engineering &
Design Co., Inc.
Suite Three - 155 East Grove Street - Route 28
Middleborough, MA 02346
Telephone 508-946-3561 - Fax 508-946-1653



2 CEILING FRAMING PLAN
1/4" = 1'-0"



2 ROOF FRAMING PLAN
1/4" = 1'-0"



NOTE:
DRAWINGS PRINTED ON 11x17
SHEETS ARE NOT TO SCALE

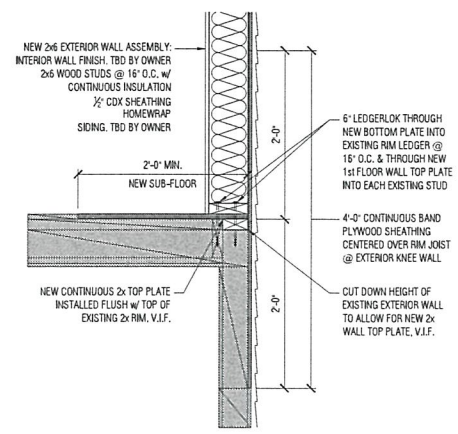
PERMIT SET
FOR CONSTRUCTION

CEILING & ROOF FRAMING PLANS
BELCHER RESIDENCE
15 MEADE STREET
WAREHAM, MA

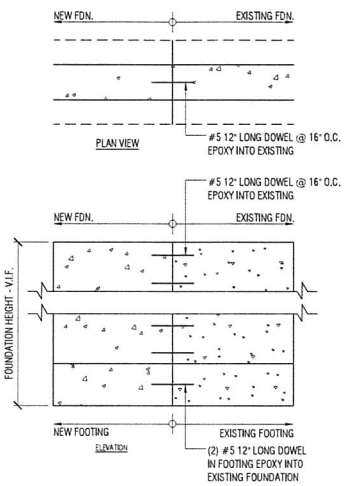
ASAP Engineering &
Design Co., Inc.
Suite Three - 155 East Grove Street - Route 28
Middleborough, MA 02346
Telephone 508-946-3561 - Fax 508-946-1653

Sheet Title	CEILING & ROOF FRAMING PLANS		
Project Name and Address	BELCHER RESIDENCE 15 MEADE STREET WAREHAM, MA		
Contract	2017-140	Sheet	S-3
Project	Belcher Res.	Date	Jun. 29, 2017
Revision	MDT	Author	06-29-17
		Date	

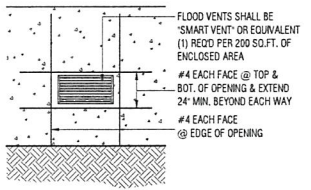
WALL OPENING FRAMING SCHEDULE			
WINDOW SIZE	WINDOW LOCATION	NO. OF KING STUDS	NO. OF JACK STUDS
≥ 5'-0"	≤ 3'-0" FROM OUTSIDE CORNER	3	2
< 5'-0"	≤ 3'-0" FROM OUTSIDE CORNER	2	2
< 5'-0"	> 3'-0" FROM OUTSIDE CORNER	2	1



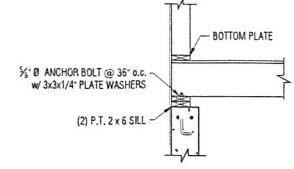
1 WALL ATTACHMENT @ BALLOON FRAME
1" = 1'-0"



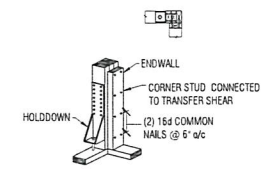
2 TYP. FDN PINNING DETAIL
1/2" = 1'-0"



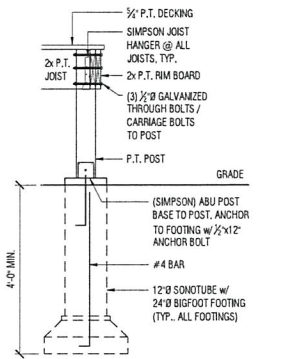
3 FLOOD VENT @ FDN DETAIL
1/2" = 1'-0"



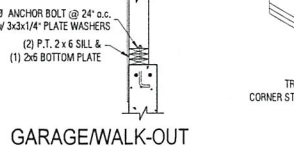
5 TYP. SILL PLATE DETAIL
1/2" = 1'-0"



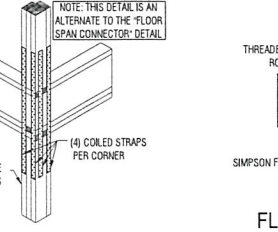
7 HOLD DOWN DETAIL
1/2" = 1'-0"



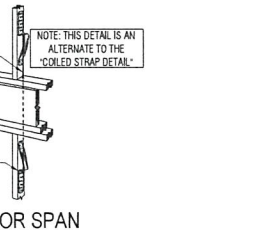
4 DECK CONSTRUCTION
1/2" = 1'-0"



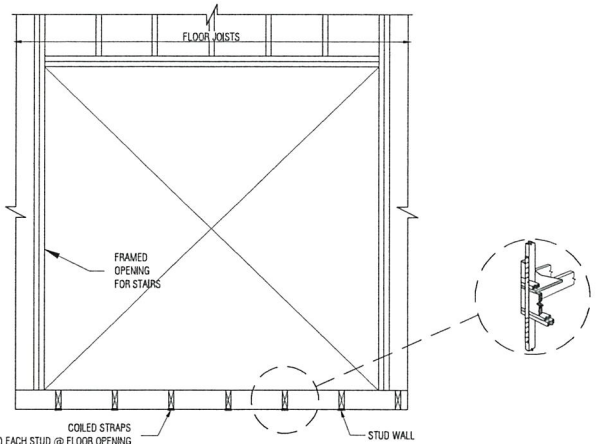
6 GARAGE/WALK-OUT SILL PLATE DETAIL
1/2" = 1'-0"



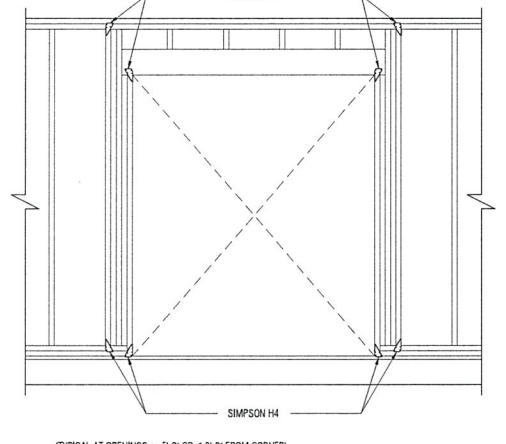
8 COILED STRAP DETAIL
1/2" = 1'-0"



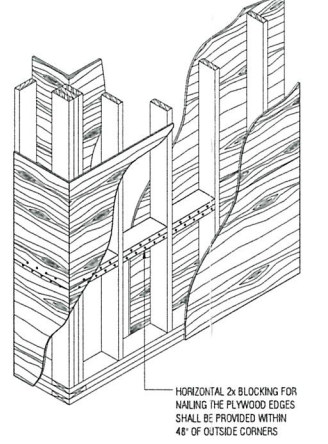
9 FLOOR SPAN CONNECTOR DETAIL
1/2" = 1'-0"



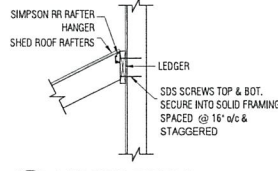
10 FLOOR OPENING @ EXTERIOR WALL DETAIL
1/2" = 1'-0"



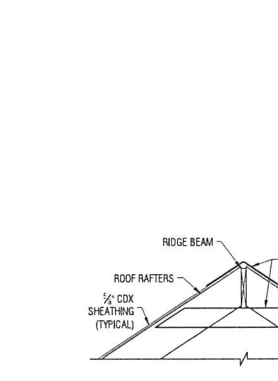
11 WALL OPENING DETAIL
1/2" = 1'-0"



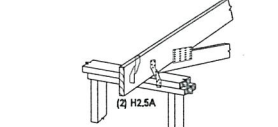
12 PLYWOOD BLOCKING DETAIL
1/2" = 1'-0"



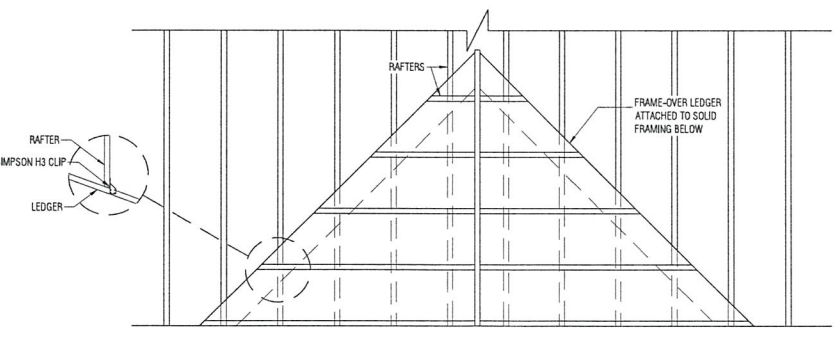
13 LEDGER DETAIL
1/2" = 1'-0"



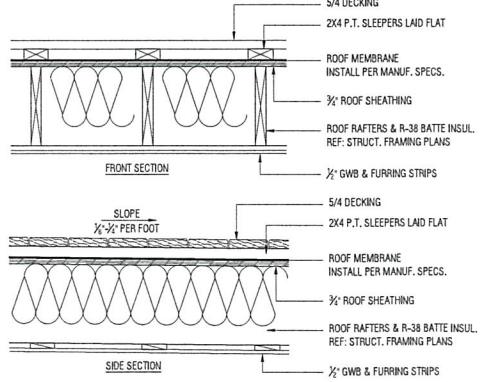
15 RIDGE DETAIL
1/2" = 1'-0"



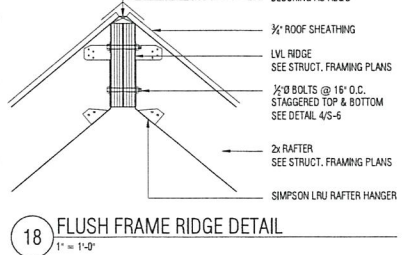
14 RAFTER CONNECTION DETAIL
1/2" = 1'-0"



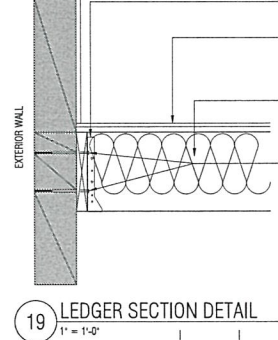
16 FRAME OVER LEDGER DETAIL
1/2" = 1'-0"



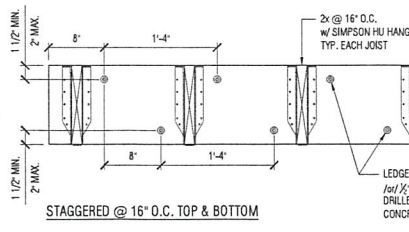
17 FLAT ROOF DETAIL
1" = 1'-0"



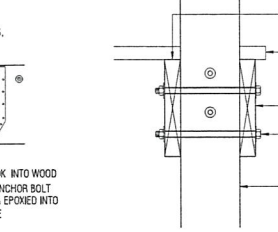
18 FLUSH FRAME RIDGE DETAIL
1" = 1'-0"



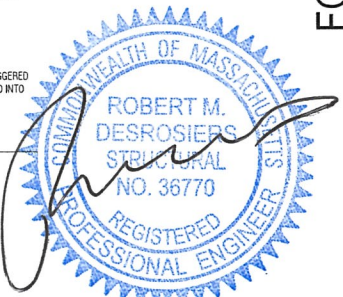
19 LEDGER SECTION DETAIL
1" = 1'-0"



20 TYP. STAGGERED FASTENER DETAIL
1" = 1'-0"



21 DECK POST TO RIM CONNECTION
1/2" = 1'-0"



NOTE: DRAWINGS PRINTED ON 11x17 SHEETS ARE NOT TO SCALE

PERMIT SET
FOR CONSTRUCTION

DETAILS		
BELCHER RESIDENCE 15 MEADE STREET WAREHAM, MA		
Sheet Title	Project Name and Address	
ORIGINAL	MDT	06-29-17
Revision	Author	Date
Contract	2017-140	Sheet
Project	Belcher Res.	S-4
Date	Jun. 29, 2017	