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October 8, 2020

Town of Wareham  
Zoning Board of Appeals  
54 Marion Road  
Wareham, MA 02571

Re: Coastal Cultivars, LLC  
Patterson's Brook Road  
ZBA File #20-19  
**G.A.F. Job No. 18-9133**

Dear Members of the Zoning Board of Appeals,

G.A.F. Engineering, Inc. respectfully submits on behalf of the applicant, Coastal Cultivars, LLC, this request for a revision to the approved site plan for this project. Pursuant to the Zoning By-Law, Section 1566.9.1, revisions to a site plan may be approved by the Board, without public hearing, if the changes are considered minor and not substantive. The applicant is proposing to add seven (7) pre-fabricated grow containers to the site. These containers resemble standard 8'x40' storage containers. Please see the image below for a typical grow container. A schematic of a typical grow container is attached as well.

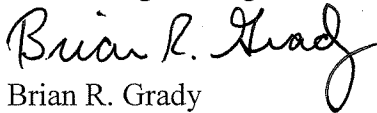


These containers are necessary to get the nursery stock of plants ready to plant to the outside greenhouses for the 2021 harvest. Coastal Cultivars is working toward the final design, permitting and construction of the proposed building but it will not be constructed in time to incubate the nursery stock and have it transferred to the outside greenhouses for the next grow season.

The proposed location of these containers is shown on the attached plan. This location takes advantage of mostly unusable space to the rear of the proposed building. This location is over 400 feet from the cul-de-sac which is currently under construction. The location is also directly behind the building, thereby totally screening the grow containers from view. These containers will be totally enclosed within chain link fence and will meet all security requirements as established by the Massachusetts Cannabis Control Commission.

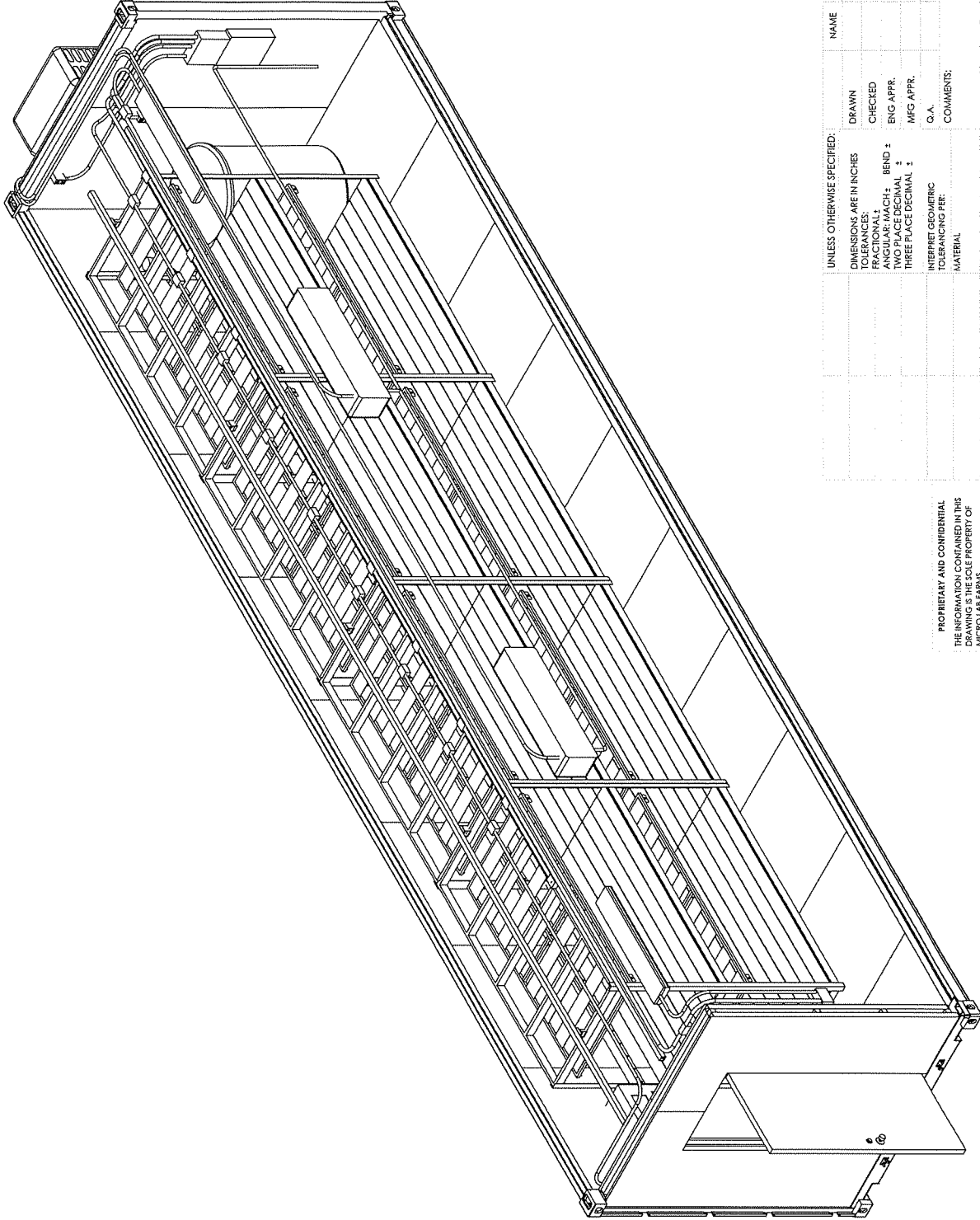
We trust the foregoing is sufficient for your immediate needs. Please feel free to contact me with any questions, comments or should you require any additional information.

Sincerely,  
G.A.F. Engineering, Inc.

  
Brian R. Grady

brg

Cc: Coastal Cultivars, LLC



**Micro Lab Farms**

TITLE:

Stacker Pod

SIZE DWG. NO. **B**

REV **A**

SCALE: 1:35 WEIGHT: SHEET 1 OF 1

NAME	DATE
Stacker Pod	

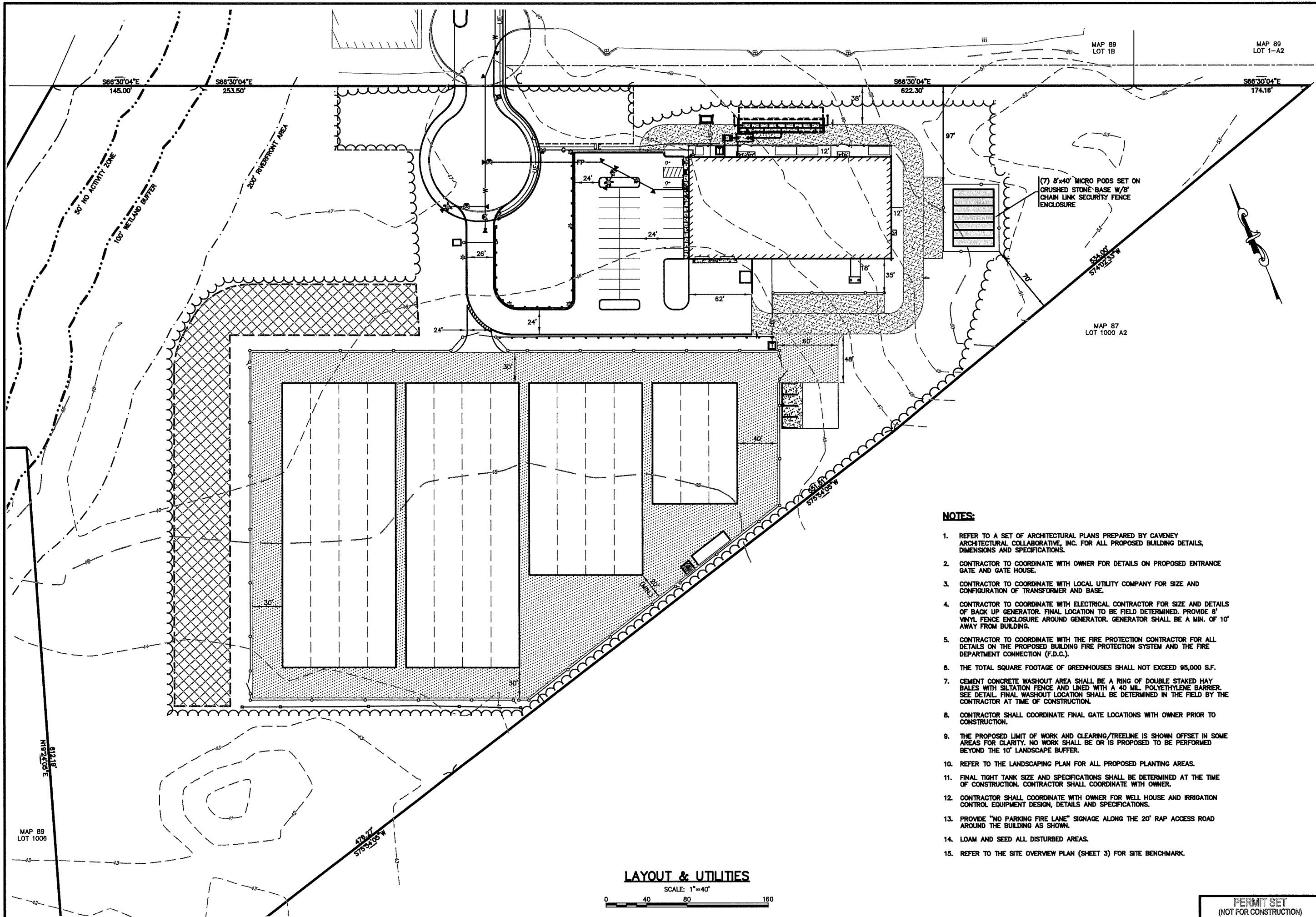
UNLESS OTHERWISE SPECIFIED:  
 DIMENSIONS ARE IN INCHES  
 DECIMALS TO TWO PLACES  
 FRACTIONAL: BEND ±  
 ANGULAR: MACH: TWO PLACE DECIMAL ±  
 THREE PLACE DECIMAL ±  
 MFG APPR. :  
 G.A. :  
 COMMENTS:  
 MATERIAL :  
 FINISH :  
 DO NOT SCALE DRAWING

APPLICATION

USED ON

NEXT ASSY

PROPRIETARY AND CONFIDENTIAL  
 THE INFORMATION CONTAINED IN THIS  
 DRAWING IS THE SOLE PROPERTY OF  
 MICRO LAB FARMS.  
 ANY REPRODUCTION IN PART OR AS A  
 WHOLE WITHOUT THE WRITTEN PERMISSION  
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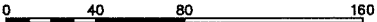
(7) 8'x40' MICRO PODS SET ON CRUSHED STONE BASE W/8' CHAIN LINK SECURITY FENCE ENCLOSURE.

**NOTES:**

- REFER TO A SET OF ARCHITECTURAL PLANS PREPARED BY CAENEY ARCHITECTURAL COLLABORATIVE, INC. FOR ALL PROPOSED BUILDING DETAILS, DIMENSIONS AND SPECIFICATIONS.
- CONTRACTOR TO COORDINATE WITH OWNER FOR DETAILS ON PROPOSED ENTRANCE GATE AND GATE HOUSE.
- CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANY FOR SIZE AND CONFIGURATION OF TRANSFORMER AND BASE.
- CONTRACTOR TO COORDINATE WITH ELECTRICAL CONTRACTOR FOR SIZE AND DETAILS OF BACK UP GENERATOR. FINAL LOCATION TO BE FIELD DETERMINED. PROVIDE 6' VINYL FENCE ENCLOSURE AROUND GENERATOR. GENERATOR SHALL BE A MIN. OF 10' AWAY FROM BUILDING.
- CONTRACTOR TO COORDINATE WITH THE FIRE PROTECTION CONTRACTOR FOR ALL DETAILS ON THE PROPOSED BUILDING FIRE PROTECTION SYSTEM AND THE FIRE DEPARTMENT CONNECTION (F.D.C.).
- THE TOTAL SQUARE FOOTAGE OF GREENHOUSES SHALL NOT EXCEED 95,000 S.F.
- CEMENT CONCRETE WASHOUT AREA SHALL BE A RING OF DOUBLE STAKED HAY BALES WITH SILTATION FENCE AND LINED WITH A 40 MIL. POLYETHYLENE BARRIER. SEE DETAIL. FINAL WASHOUT LOCATION SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR AT TIME OF CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE FINAL GATE LOCATIONS WITH OWNER PRIOR TO CONSTRUCTION.
- THE PROPOSED LIMIT OF WORK AND CLEARING/TREELINE IS SHOWN OFFSET IN SOME AREAS FOR CLARITY. NO WORK SHALL BE OR IS PROPOSED TO BE PERFORMED BEYOND THE 10' LANDSCAPE BUFFER.
- REFER TO THE LANDSCAPING PLAN FOR ALL PROPOSED PLANTING AREAS.
- FINAL TIGHT TANK SIZE AND SPECIFICATIONS SHALL BE DETERMINED AT THE TIME OF CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH OWNER.
- CONTRACTOR SHALL COORDINATE WITH OWNER FOR WELL HOUSE AND IRRIGATION CONTROL EQUIPMENT DESIGN, DETAILS AND SPECIFICATIONS.
- PROVIDE "NO PARKING FIRE LANE" SIGNAGE ALONG THE 20' RAP ACCESS ROAD AROUND THE BUILDING AS SHOWN.
- LOAM AND SEED ALL DISTURBED AREAS.
- REFER TO THE SITE OVERVIEW PLAN (SHEET 3) FOR SITE BENCHMARK.

**LAYOUT & UTILITIES**

SCALE: 1"=40'



DATE: DEC. 10, 2019		DRAWN BY: JMP		PER WFD/FEER REVIEW COMMENTS	
CHECKED BY: WFM		1/23/20 JMP WFM		PER FIRE DEPARTMENT COMMENTS	
JOB NO.: 18-9133		1/18/20 JMP WFM		PER PEER REVIEW COMMENTS	
SCALE: 1" = 40'		REV. DATE BY APP'D		DESCRIPTION	
APPROVED BY:		APPROVED BY:		APPROVED BY:	
<p><b>G.A.F. ENGINEERING, INC.</b>          PROFESSIONAL ENGINEERS &amp; LAND SURVEYORS          266 MAIN STREET - WAREHAM, MA 02571          TEL: (508) 295-6600 FAX: (508) 295-6634          E-MAIL: gaf@gaf-eng.com</p>		<p><b>SITE DEVELOPMENT PLAN</b>  <b>LAYOUT &amp; UTILITIES</b>          PATTERSONS BROOK ROAD WAREHAM, MA</p>		<p>PREPARED FOR:  <b>COASTAL CULTIVARS, LLC</b>          300 BOYLSTON STREET BOSTON, MA</p>	
				<p>JOB NO.: 18-9133  <b>DWG. 5 OF 10</b></p>	

PERMIT SET (NOT FOR CONSTRUCTION)