

# ROCKY MAPLE SOLAR

## IN

# WAREHAM AND CARVER, MASSACHUSETTS

### (Plymouth County)

#### OWNER/APPLICANT

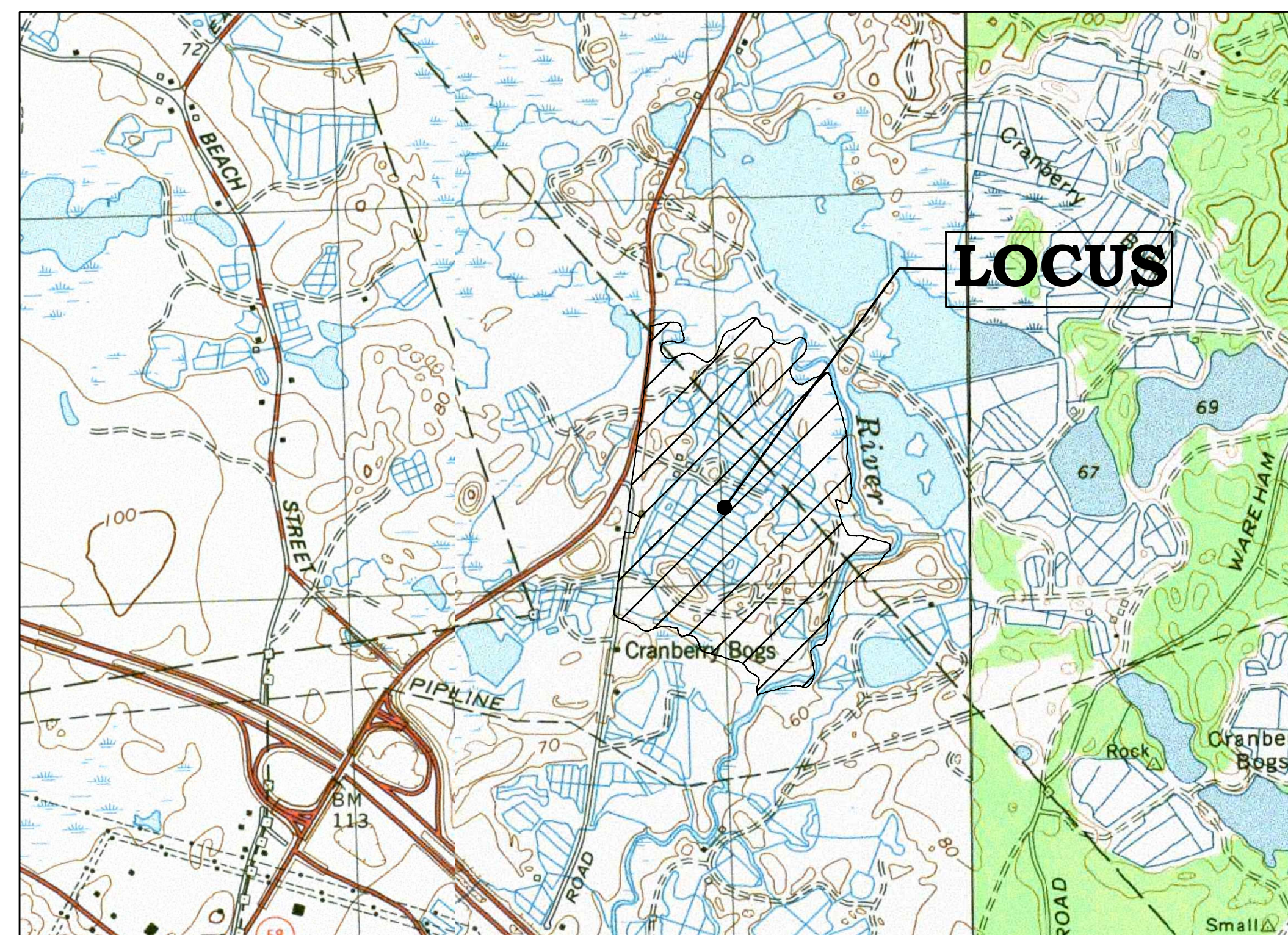
BE RE, LLC  
 PO Box 974  
 Edwards, Colorado 81632

#### CIVIL ENGINEER/SURVEYOR AND LANDSCAPE ARCHITECT

Beals and Thomas, Inc.  
 32 Court Street  
 Plymouth, Massachusetts 02360

#### PROJECT ATTORNEY

Dain, Torpy, Le Ray, Wiest & Garner, P.C.  
 745 Atlantic Avenue, Suite 500  
 Boston, Massachusetts 02111



**Locus Map**  
 Scale: 1" = 1000'



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TOWN OF WAREHAM

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TOWN OF CARVER

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**Issued For Permitting - December 16, 2020**  
**Revised Per Town Comments - March 11, 2021**



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Job No.: 3203.00  
 Plan No.: 320300P003B  
 Sheet 1 of 22



**TOWN OF WAREHAM**

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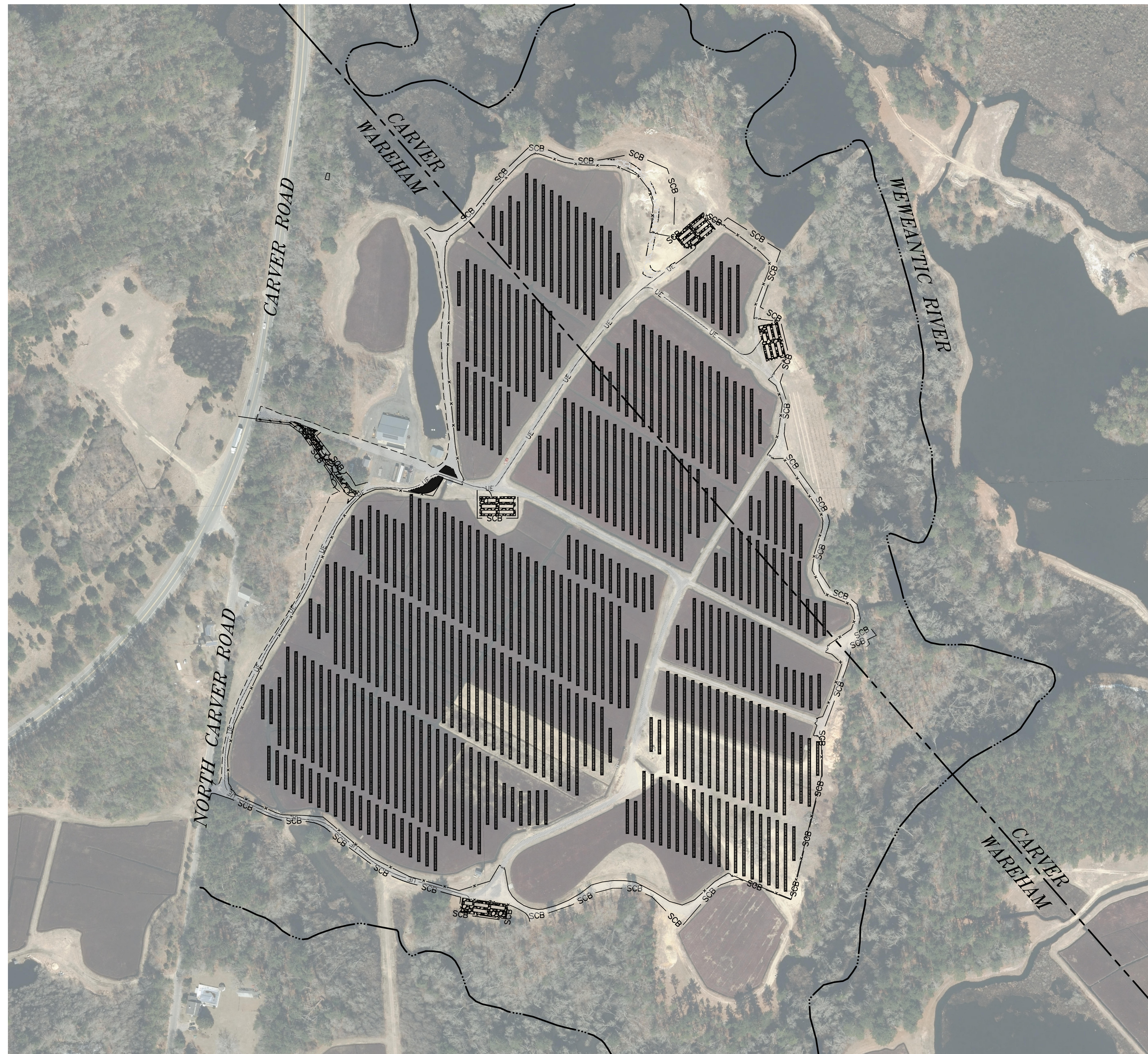
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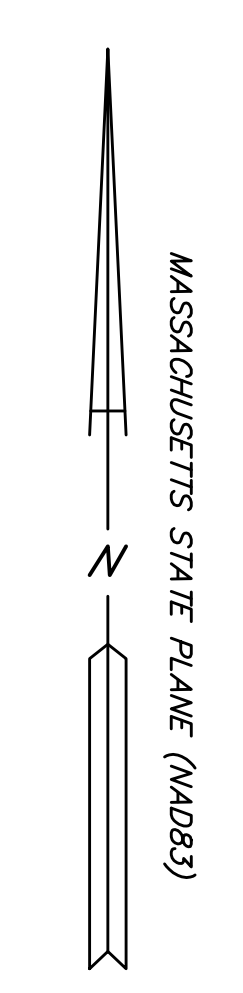
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**LEGEND**

	PROPERTY LINE
	APPROX. CENTER LINE OF STREAM
	BORDERING VEGETATIVE WETLANDS
	PROPOSED LIMIT OF WORK
	PROPOSED OVERHEAD WIRES
	PROPOSED UNDERGROUND ELECTRIC
	PROPOSED SOLAR MODULES



FOR NOTES, REFERENCES AND LEGEND SEE SHEET C1.1.

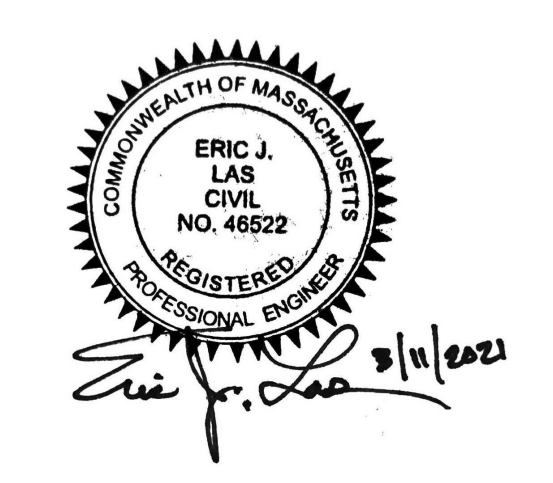
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PROJECT:  
**ROCKY MAPLE SOLAR**  
WAREHAM AND CARVER,  
MASSACHUSETTS

SCALE: 1" = 150' DATE: DECEMBER 16, 2020

METERS  
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FEET  
0 75 150 300 450

**OVERVIEW**

B+T JOB No. 3203.00

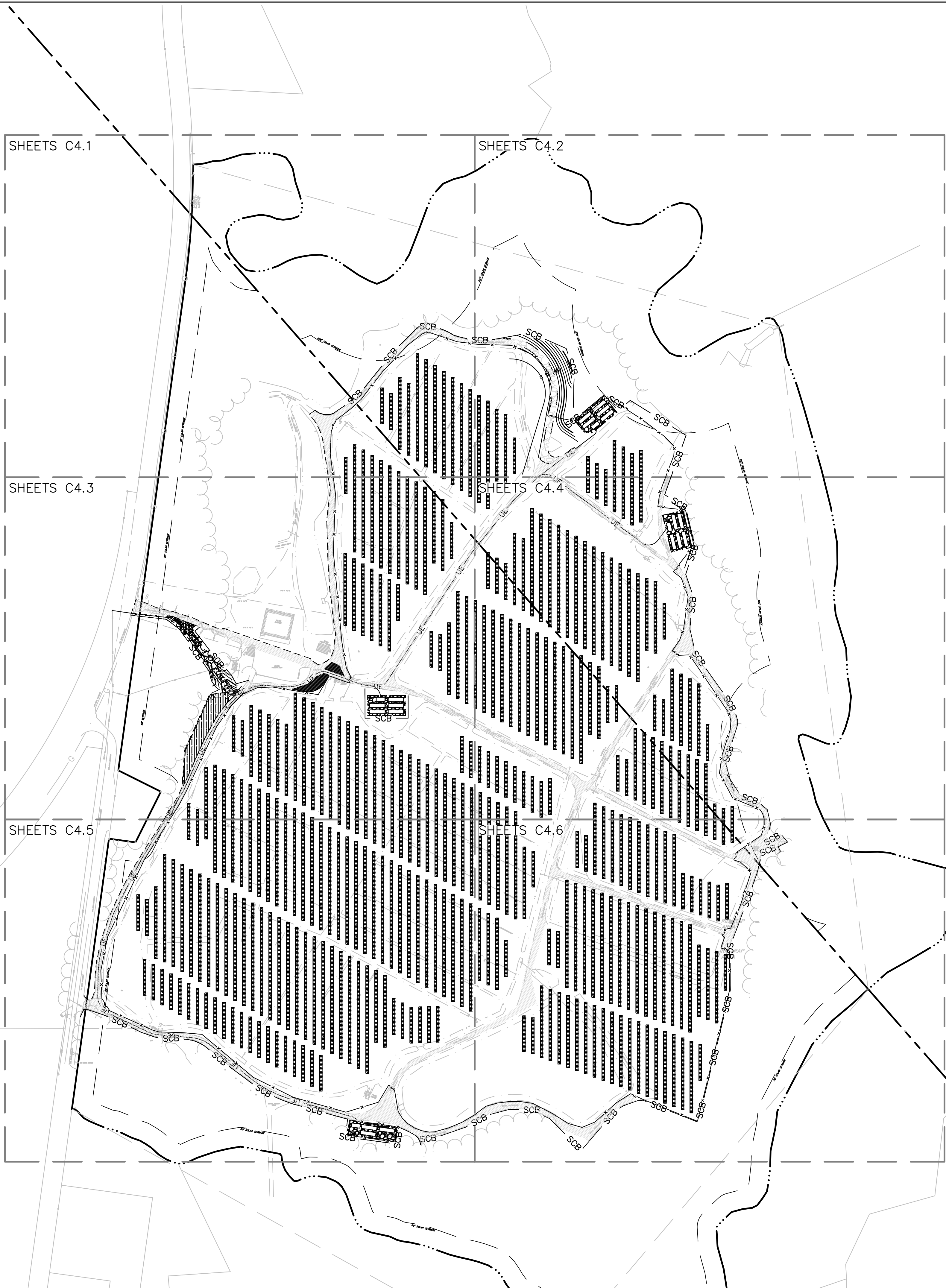
B+T PLAN No. 320300P003B-003

SHEET No. 12 OF 22

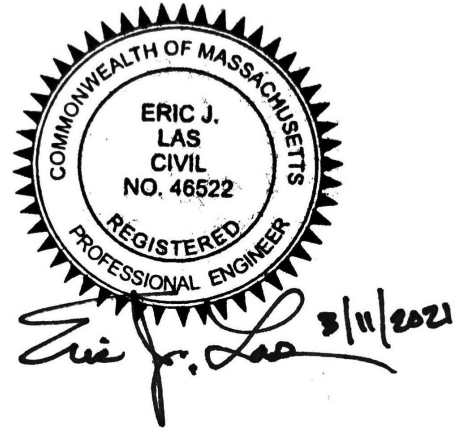
**C2.1**

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**INDEX SHEET**

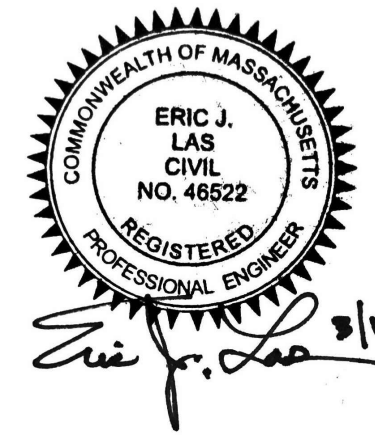
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**C3.1**

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SCALE: 1" = 40' DATE: DECEMBER 16, 2020



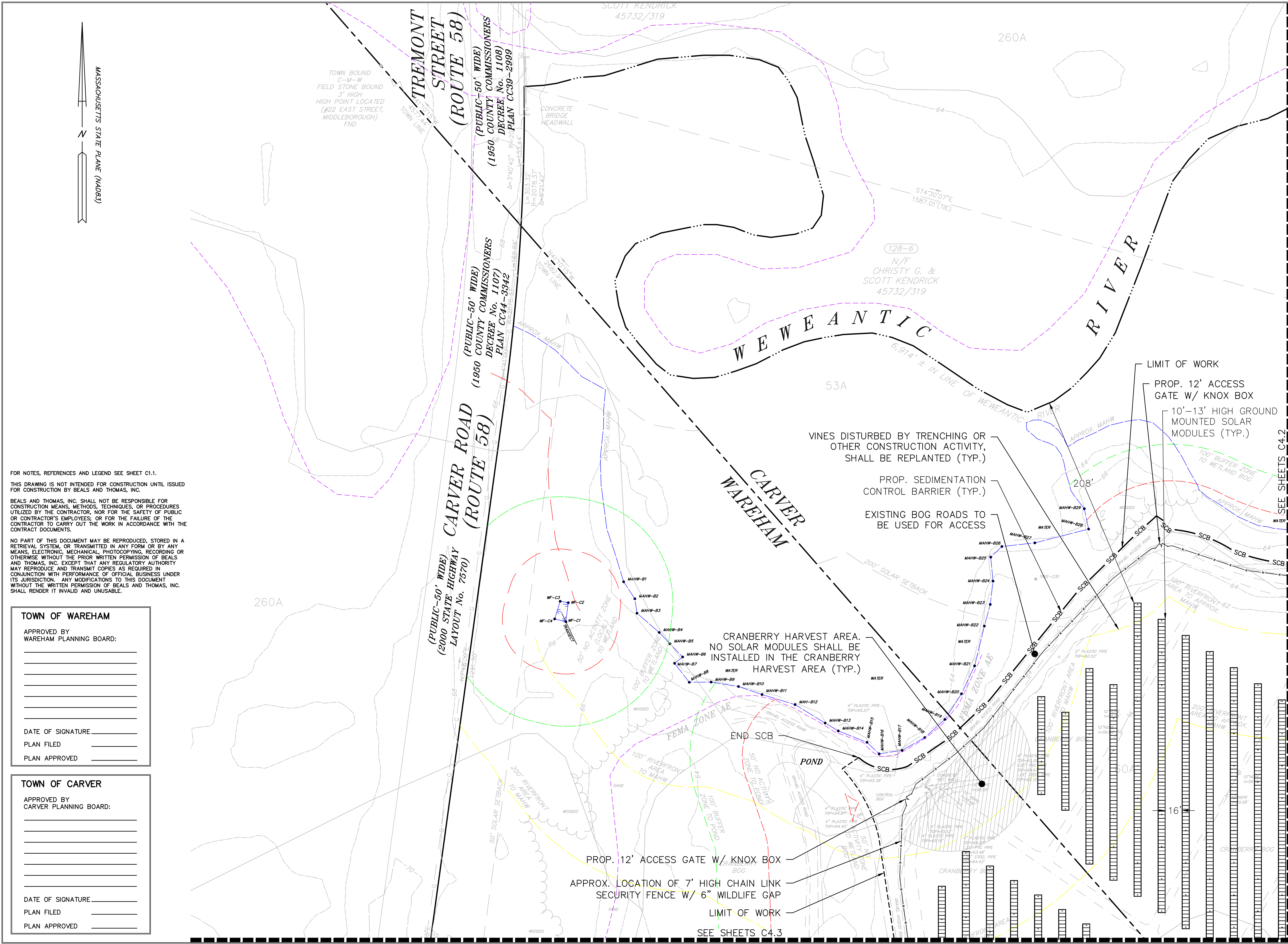
**SITE DEVELOPMENT PLAN**

B+T JOB NO.3203.00

B+T PLAN NO. 320300P003B-005

SHEET No. 14 OF 22

**C4.1**



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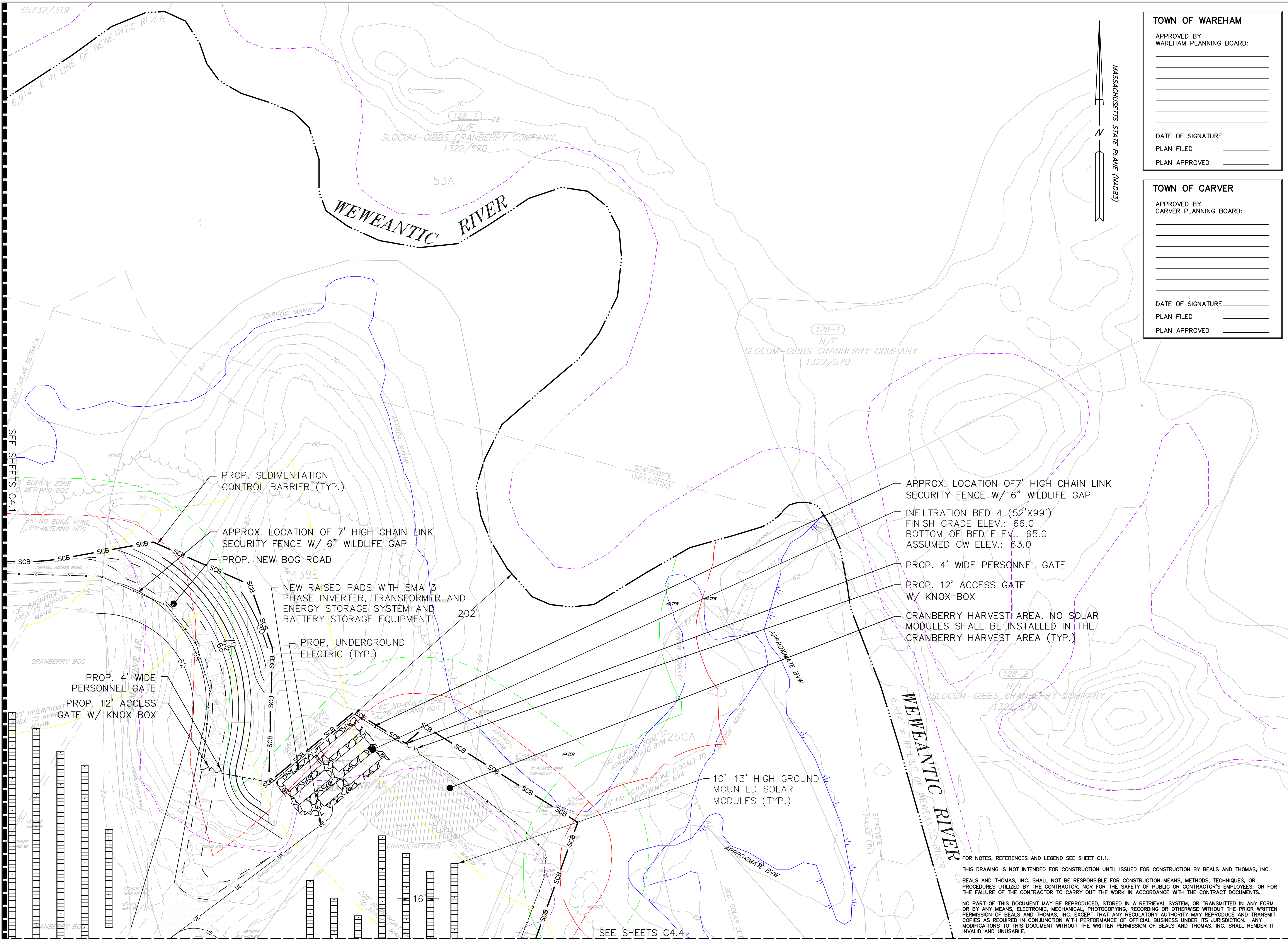
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SEE SHEETS C4.2

SEE SHEETS C4.3



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**SITE DEVELOPMENT PLAN**

B+T JOB NO.3203.00

B+T PLAN NO.  
 320300P003B-006

SHEET No. 15 OF 22

**C4.2**

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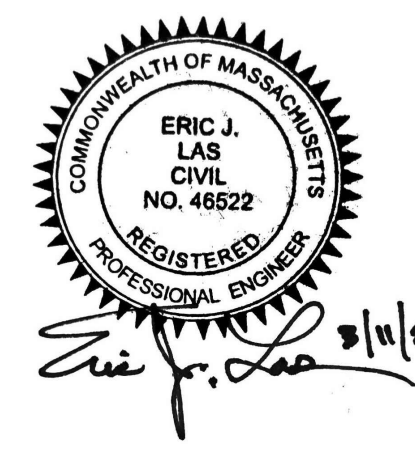
45732/319

6,914 ± IN LINE OF WEWEANTIC RIVER

SEE SHEETS C4.1

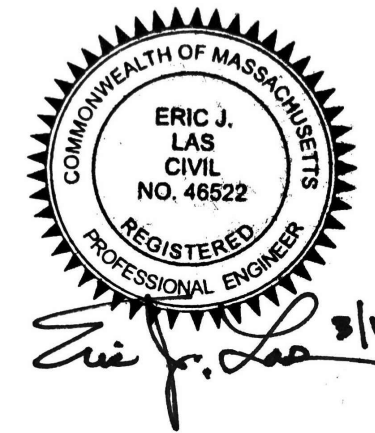
SEE SHEETS C4.4

MASSACHUSETTS STATE PLANE (NAD83)



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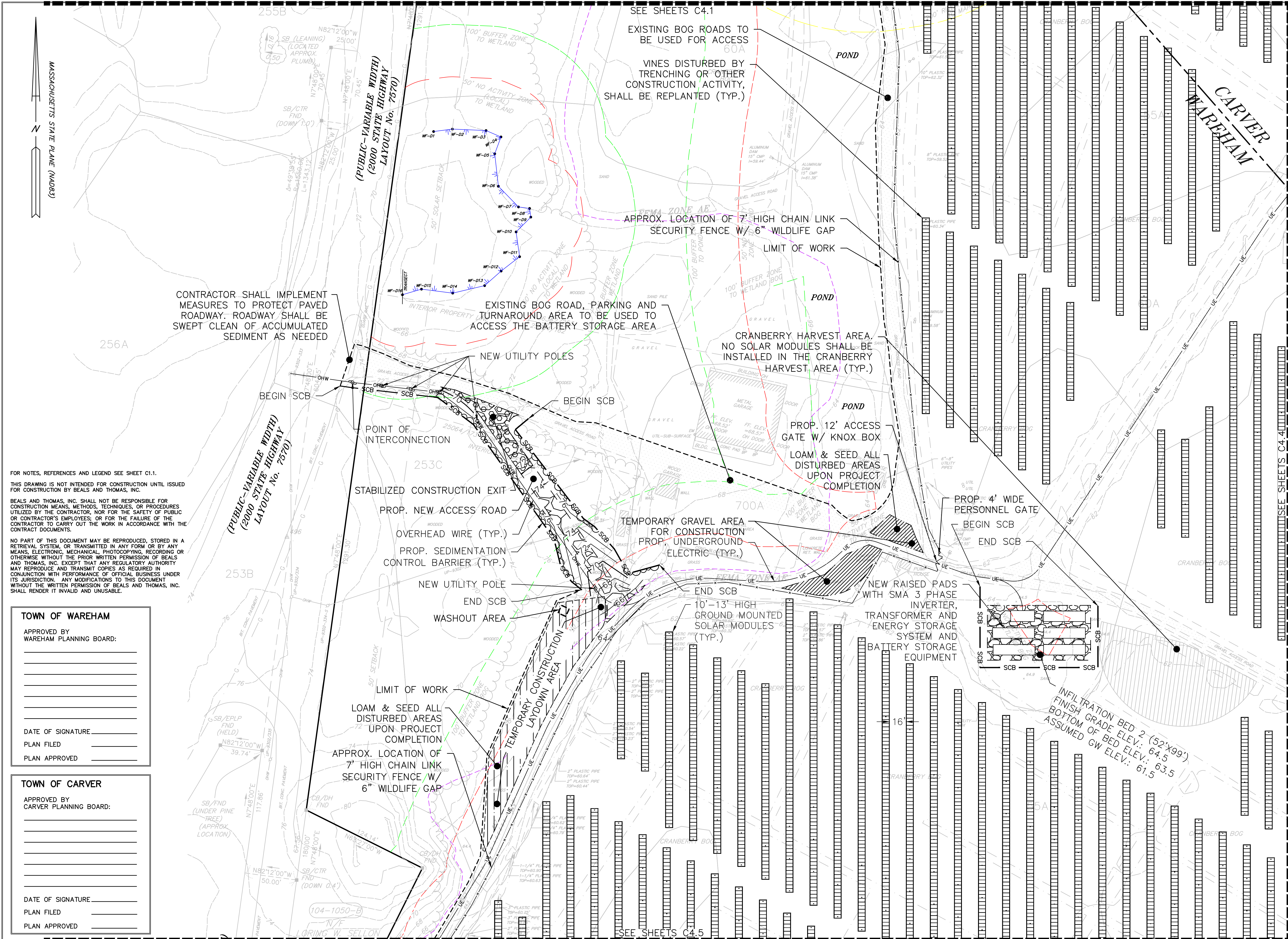
**SITE DEVELOPMENT PLAN**

B+T JOB NO.3203.00

B+T PLAN NO. 320300P003B-007

SHEET No. 16 OF 22

**C4.3**



SEE SHEETS C4.1

EXISTING BOG ROADS TO BE USED FOR ACCESS

VINES DISTURBED BY TRENCHING OR OTHER CONSTRUCTION ACTIVITY, SHALL BE REPLANTED (TYP.)

APPROX. LOCATION OF 7' HIGH CHAIN LINK SECURITY FENCE W/ 6" WILDLIFE GAP

LIMIT OF WORK

CONTRACTOR SHALL IMPLEMENT MEASURES TO PROTECT PAVED ROADWAY. ROADWAY SHALL BE SWEEPED CLEAN OF ACCUMULATED SEDIMENT AS NEEDED

EXISTING BOG ROAD, PARKING AND TURNAROUND AREA TO BE USED TO ACCESS THE BATTERY STORAGE AREA

CRANBERRY HARVEST AREA. NO SOLAR MODULES SHALL BE INSTALLED IN THE CRANBERRY HARVEST AREA (TYP.)

PROP. 12' ACCESS GATE W/ KNOX BOX

LOAM & SEED ALL DISTURBED AREAS UPON PROJECT COMPLETION

TEMPORARY GRAVEL AREA FOR CONSTRUCTION PROP. UNDERGROUND ELECTRIC (TYP.)

PROP. 4' WIDE PERSONNEL GATE

BEGIN SCB

END SCB

NEW RAISED PADS WITH SMA 3 PHASE INVERTER, TRANSFORMER AND ENERGY STORAGE SYSTEM AND BATTERY STORAGE EQUIPMENT

10'-13' HIGH GROUND MOUNTED SOLAR MODULES (TYP.)

NEW UTILITY POLE

END SCB

WASHOUT AREA

LOAM & SEED ALL DISTURBED AREAS UPON PROJECT COMPLETION

APPROX. LOCATION OF 7' HIGH CHAIN LINK SECURITY FENCE W/ 6" WILDLIFE GAP

SEE SHEETS C4.5

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TOWN OF CARVER

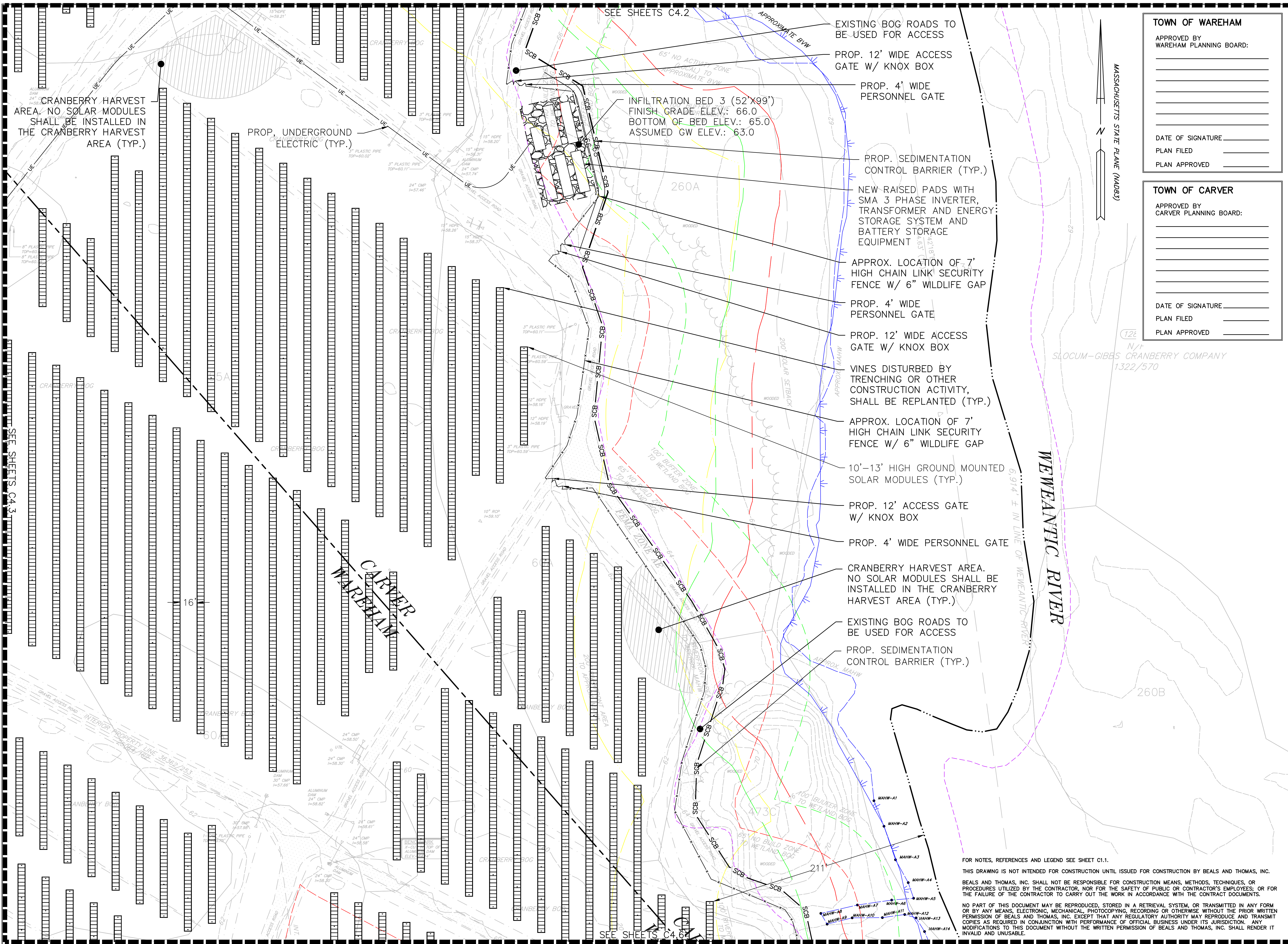
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 FEET  
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**SITE DEVELOPMENT PLAN**

B+T JOB NO.3203.00  
 B+T PLAN NO. 320300P03B-008  
 SHEET No. 17 OF 22

**C4.4**

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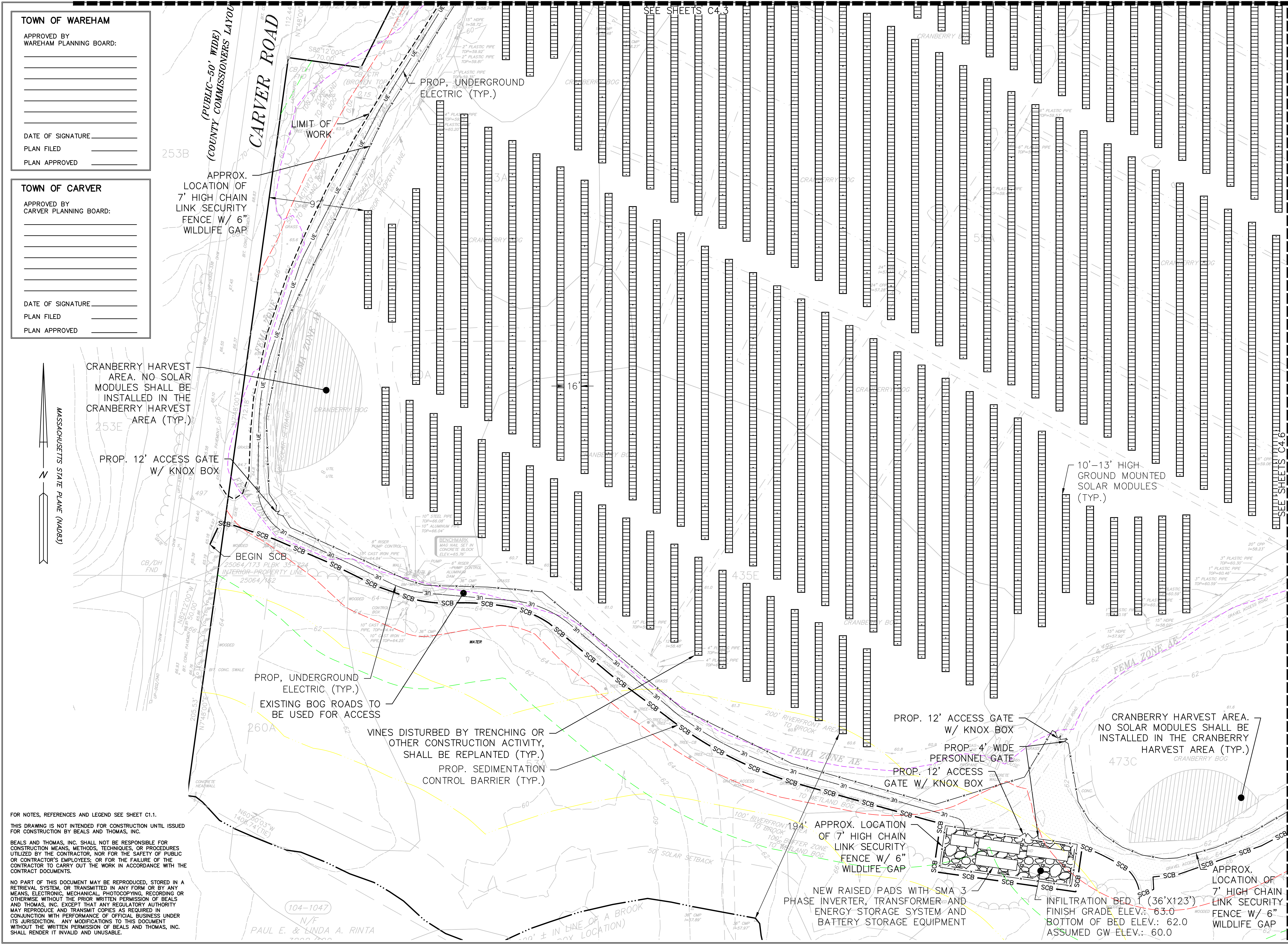
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METERS  
0 5 10 25  
FEET  
0 20 40 80 120

**SITE DEVELOPMENT PLAN**

B+T JOB No. 3203.00  
B+T PLAN No. 320300P03B-009  
SHEET No. 18 OF 22

**C4.5**



FOR NOTES, REFERENCES AND LEGEND SEE SHEET C1.1.  
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104-1047  
N/F  
PAUL E. & LINDA A. RINTA  
3000 200

SEE SHEETS C4.6

SEE SHEETS C4.3

(PUBLIC-50' WIDE)  
(COUNTY COMMISSIONERS LAYOUT)

CARVER ROAD

LIMIT OF WORK

APPROX. LOCATION OF 7' HIGH CHAIN LINK SECURITY FENCE W/ 6" WILDLIFE GAP

CRANBERRY HARVEST AREA. NO SOLAR MODULES SHALL BE INSTALLED IN THE CRANBERRY HARVEST AREA (TYP.)

PROP. 12' ACCESS GATE W/ KNOX BOX

PROP. UNDERGROUND ELECTRIC (TYP.)  
EXISTING BOG ROADS TO BE USED FOR ACCESS

VINES DISTURBED BY TRENCHING OR OTHER CONSTRUCTION ACTIVITY, SHALL BE REPLANTED (TYP.)  
PROP. SEDIMENTATION CONTROL BARRIER (TYP.)

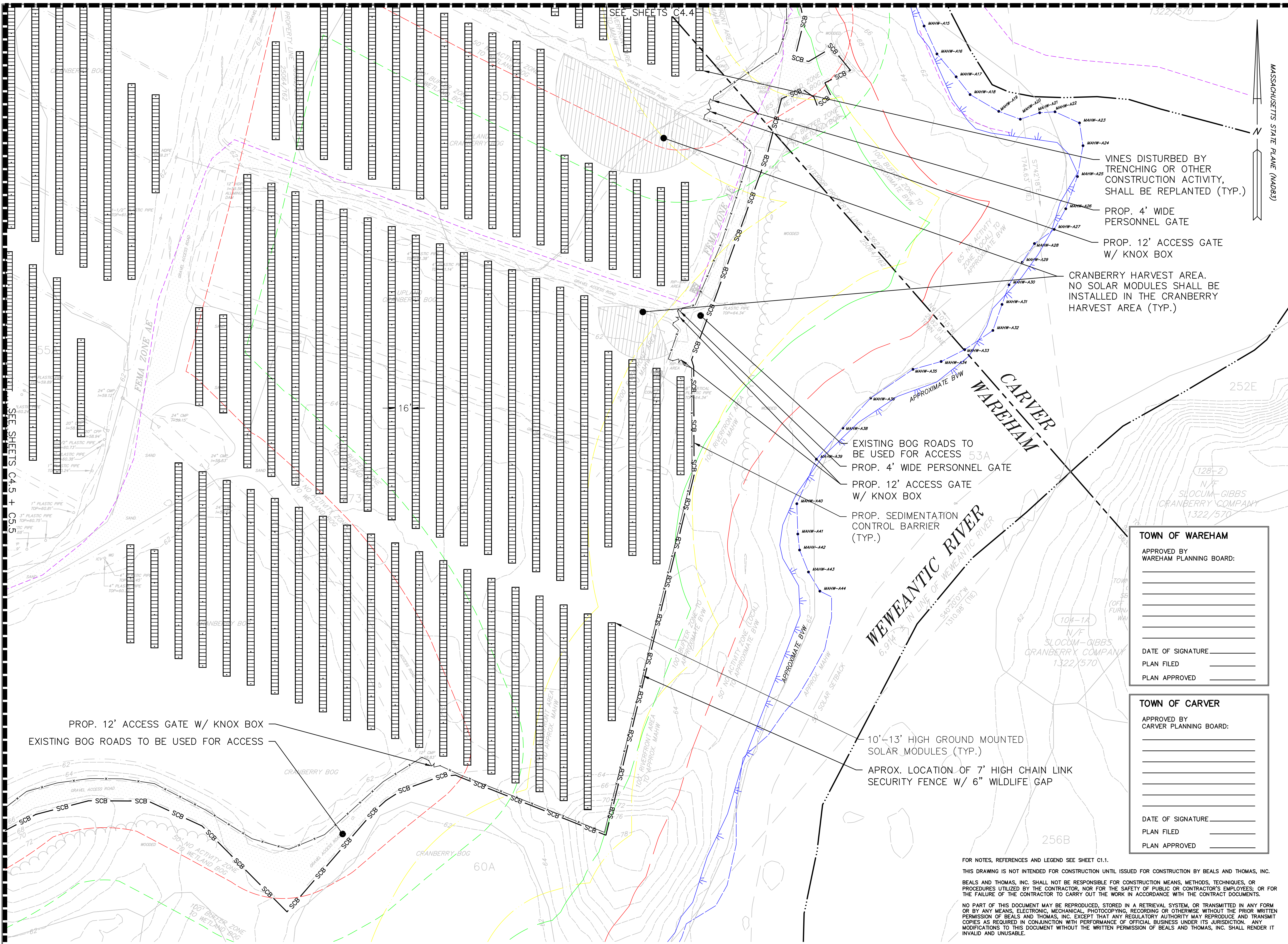
PROP. 12' ACCESS GATE W/ KNOX BOX  
PROP. 4' WIDE PERSONNEL GATE  
PROP. 12' ACCESS GATE W/ KNOX BOX

CRANBERRY HARVEST AREA. NO SOLAR MODULES SHALL BE INSTALLED IN THE CRANBERRY HARVEST AREA (TYP.)

APPROX. LOCATION OF 7' HIGH CHAIN LINK SECURITY FENCE W/ 6" WILDLIFE GAP  
NEW RAISED PADS WITH SMA 3 PHASE INVERTER, TRANSFORMER AND ENERGY STORAGE SYSTEM AND BATTERY STORAGE EQUIPMENT

INFILTRATION BED 1 (36'X123')  
FINISH GRADE ELEV.: 63.0  
BOTTOM OF BED ELEV.: 62.0  
ASSUMED GW ELEV.: 60.0

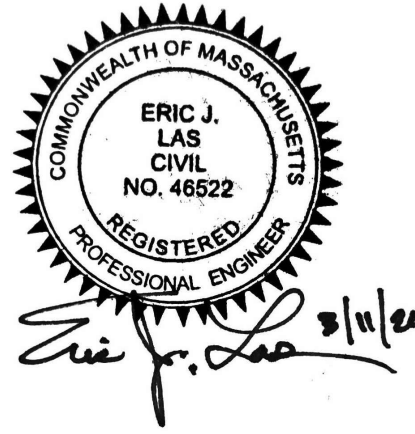
APPROX. LOCATION OF 7' HIGH CHAIN LINK SECURITY FENCE W/ 6" WILDLIFE GAP



PREPARED FOR:

**BE RE, LLC**  
 PO BOX 974  
 EDWARDS, COLORADO

- VINES DISTURBED BY TRENCHING OR OTHER CONSTRUCTION ACTIVITY, SHALL BE REPLANTED (TYP.)
- PROP. 4' WIDE PERSONNEL GATE
- PROP. 12' ACCESS GATE W/ KNOX BOX
- CRANBERRY HARVEST AREA. NO SOLAR MODULES SHALL BE INSTALLED IN THE CRANBERRY HARVEST AREA (TYP.)



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**BEALS + THOMAS**  
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 Land Surveyors + Planners +  
 Environmental Specialists

BEALS AND THOMAS, INC.  
 32 Court Street  
 Plymouth, Massachusetts 02360-3866  
 T 508.746.3288 | www.bealsandthomas.com

ISSUE DATE	DESCRIPTION
1 03/11/2021	REVISED PER TOWN COMMENTS
0 12/16/2020	ISSUED FOR PERMITTING

NBB	NBB	NPS	EJL
DES	DWN	CHK'D	APP'D

PROJECT:  
**ROCKY MAPLE SOLAR**  
 WAREHAM AND CARVER, MASSACHUSETTS

SCALE: 1" = 40' DATE: DECEMBER 16, 2020

**SITE DEVELOPMENT PLAN**

B+T JOB NO. 3203.00  
 B+T PLAN NO. 320300P03B-10  
 SHEET No. 19 OF 22

**C4.6**

**TOWN OF WAREHAM**

APPROVED BY WAREHAM PLANNING BOARD:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

DATE OF SIGNATURE \_\_\_\_\_

PLAN FILED \_\_\_\_\_

PLAN APPROVED \_\_\_\_\_

**TOWN OF CARVER**

APPROVED BY CARVER PLANNING BOARD:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

DATE OF SIGNATURE \_\_\_\_\_

PLAN FILED \_\_\_\_\_

PLAN APPROVED \_\_\_\_\_

10'-13' HIGH GROUND MOUNTED SOLAR MODULES (TYP.)

APROX. LOCATION OF 7' HIGH CHAIN LINK SECURITY FENCE W/ 6" WILDLIFE GAP

PROP. 12' ACCESS GATE W/ KNOX BOX

EXISTING BOG ROADS TO BE USED FOR ACCESS

EXISTING BOG ROADS TO BE USED FOR ACCESS

PROP. 4' WIDE PERSONNEL GATE

PROP. 12' ACCESS GATE W/ KNOX BOX

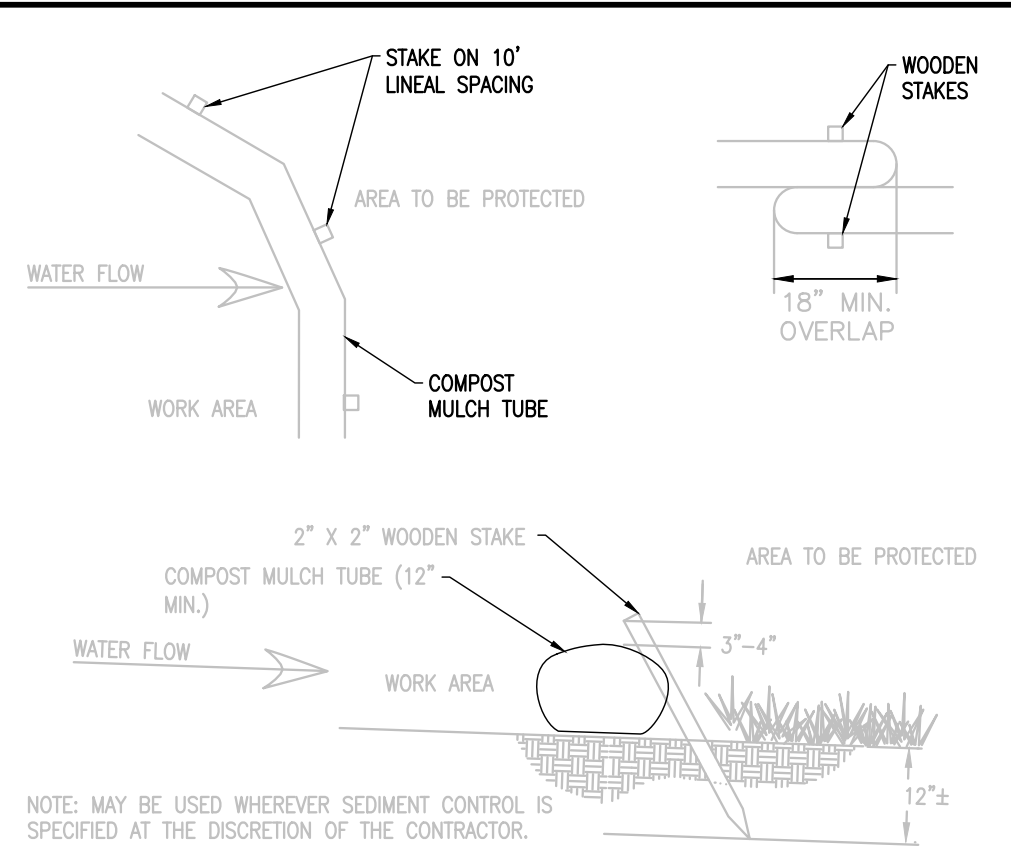
PROP. SEDIMENTATION CONTROL BARRIER (TYP.)

FOR NOTES, REFERENCES AND LEGEND SEE SHEET C1.1.

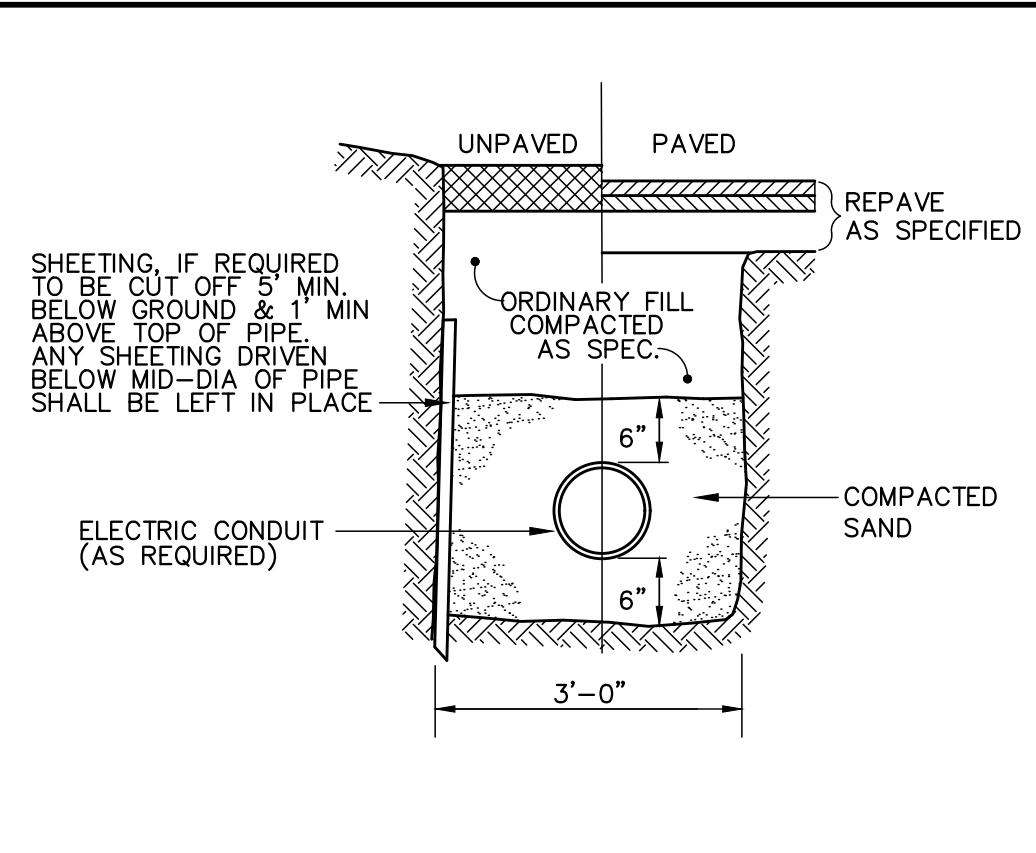
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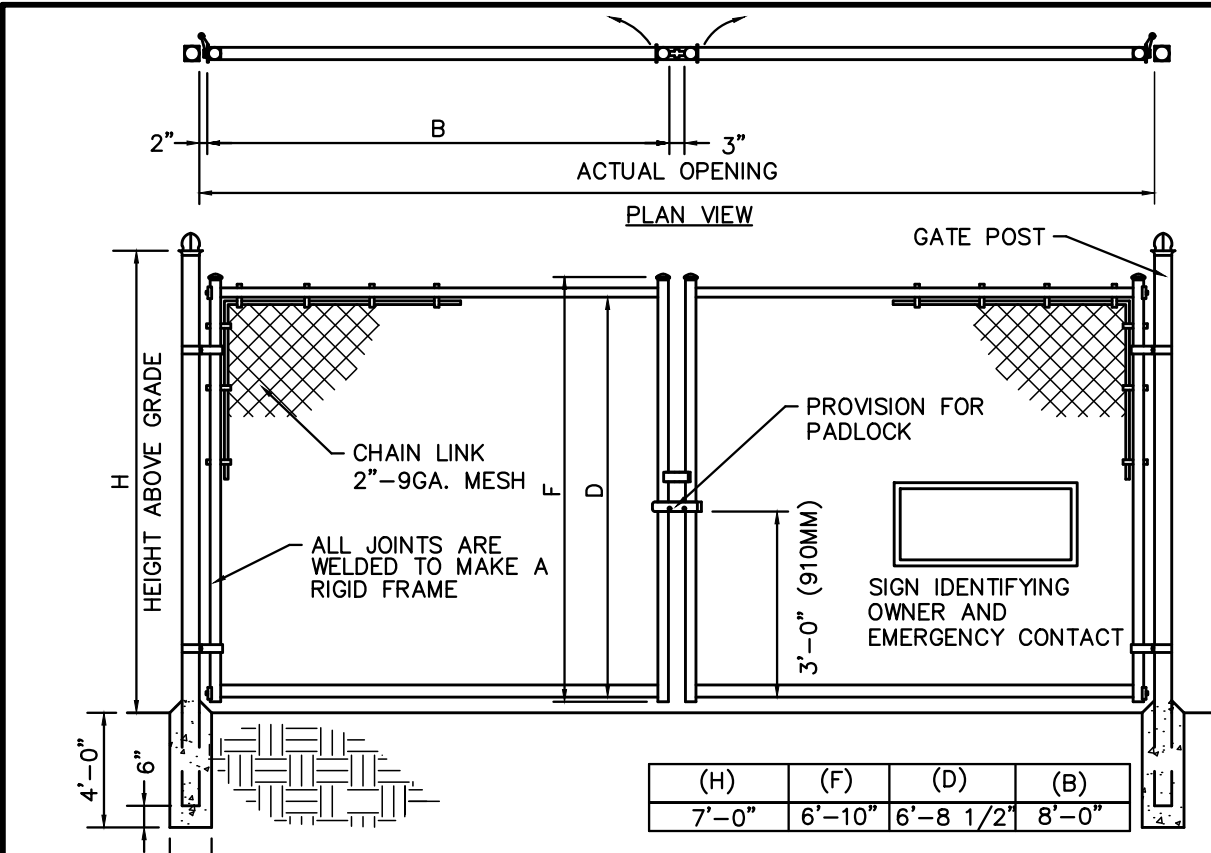
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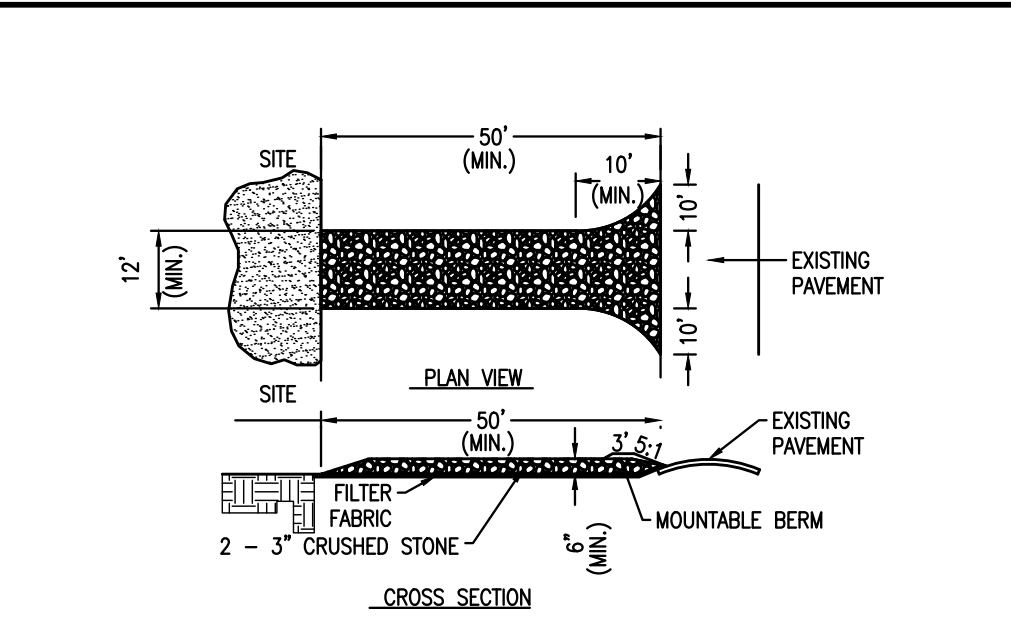
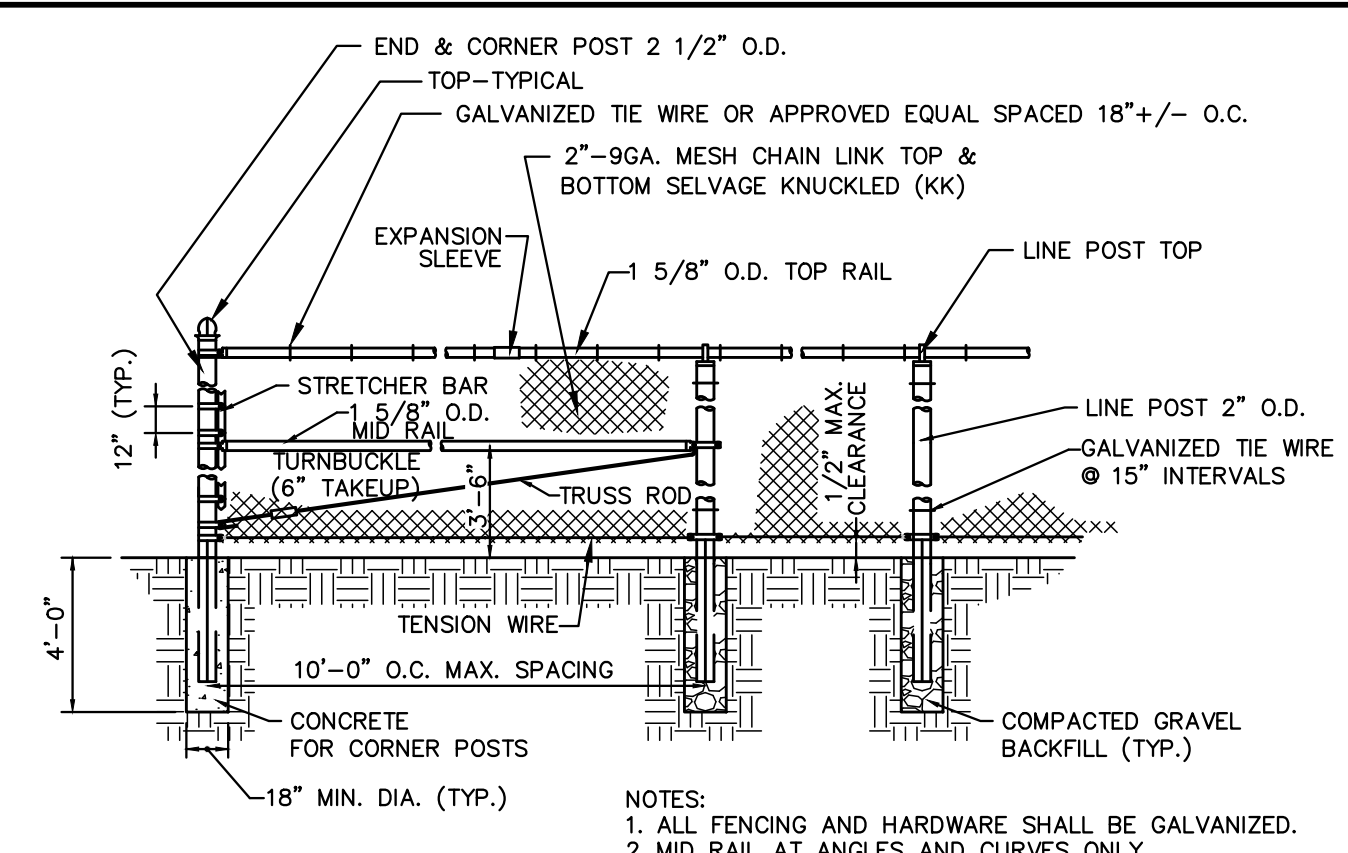
**MULCH TUBE (SCB)**  
NOT TO SCALE



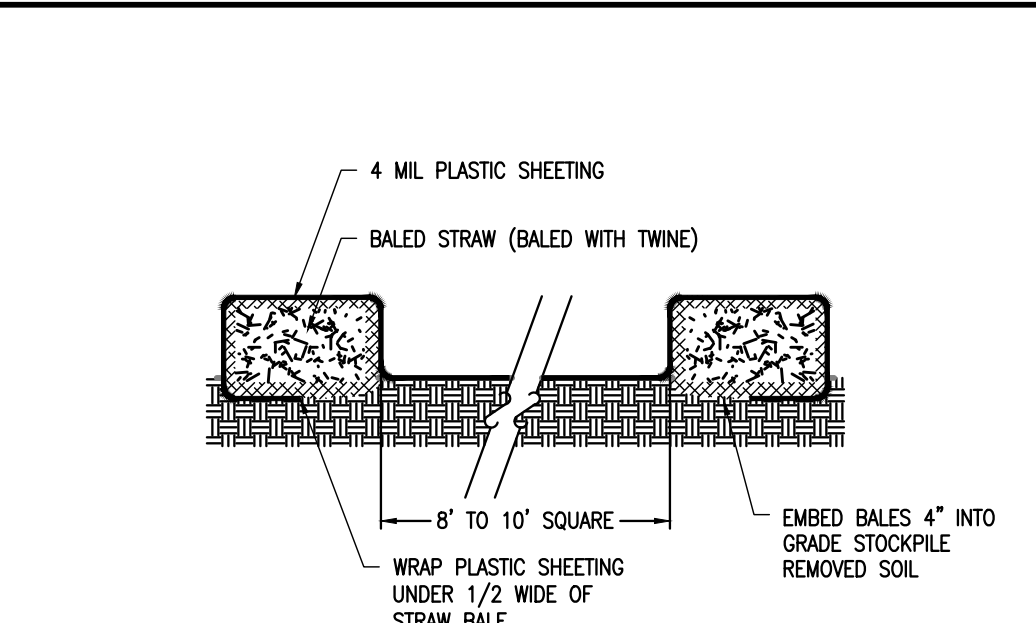
**ELECTRIC CONDUIT TRENCH**  
NOT TO SCALE



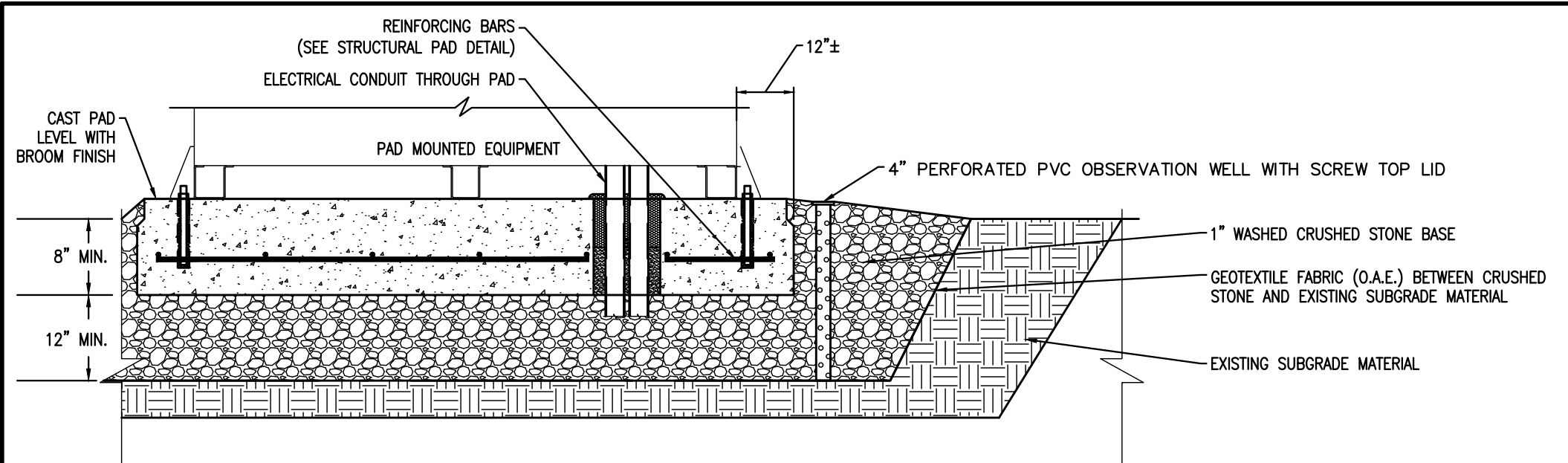
**CHAIN LINK FENCE AND DOUBLE GATE W/ 6" WILDLIFE GAP**  
NOT TO SCALE



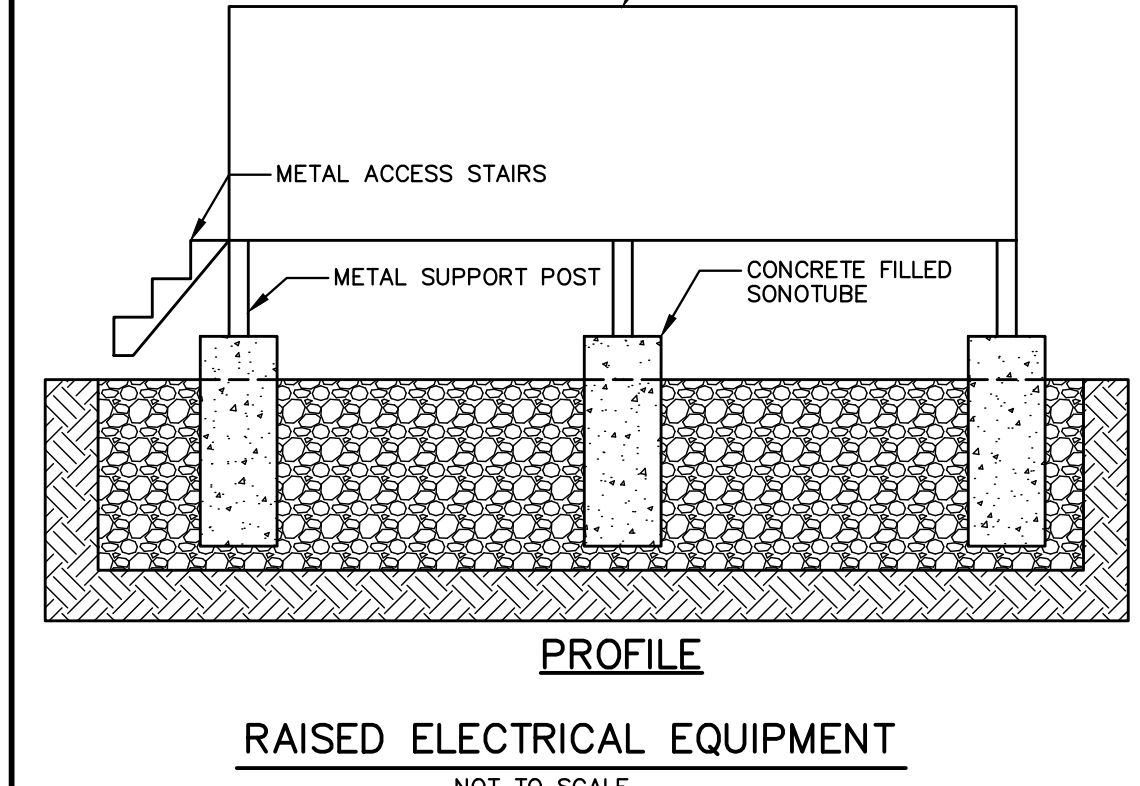
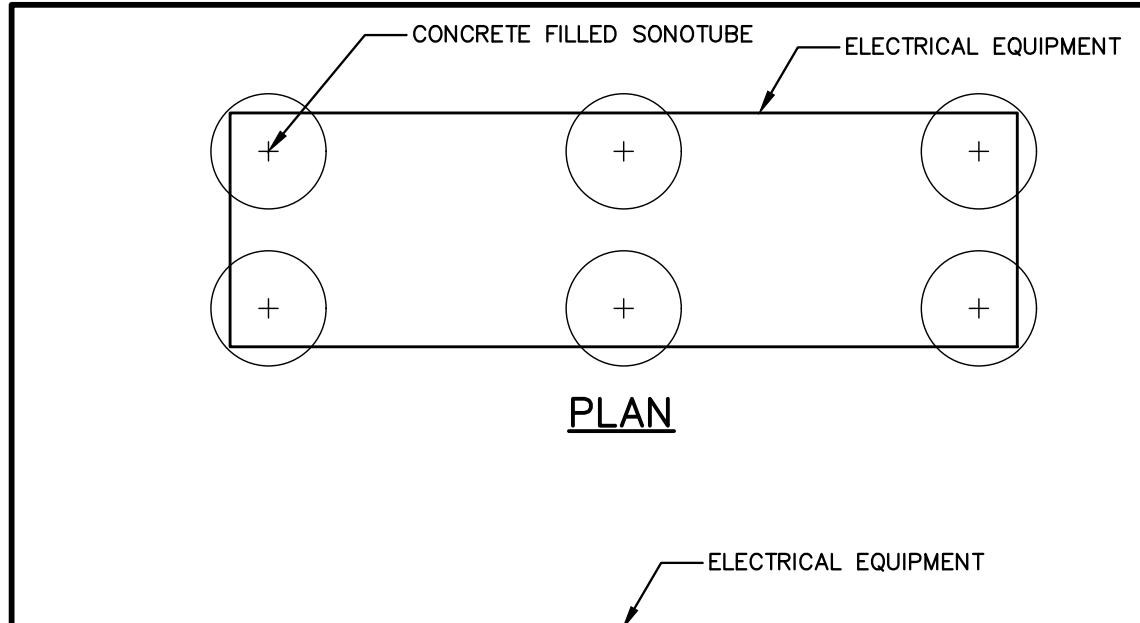
**STABILIZED CONSTRUCTION EXIT**  
NOT TO SCALE



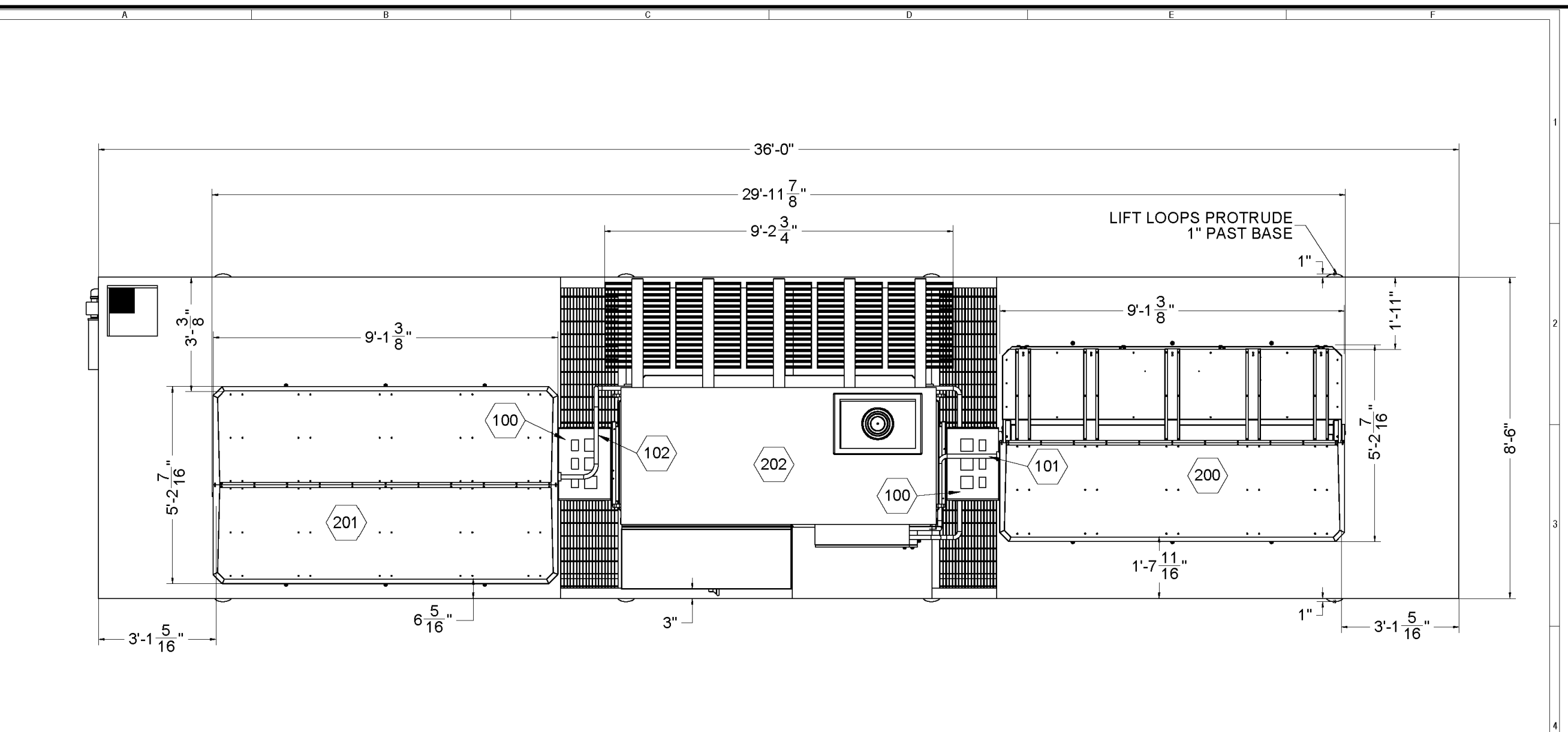
**CONCRETE WASHOUT BASIN**  
NOT TO SCALE



**CONCRETE EQUIPMENT PAD WITH INFILTRATION BED**  
NOT TO SCALE



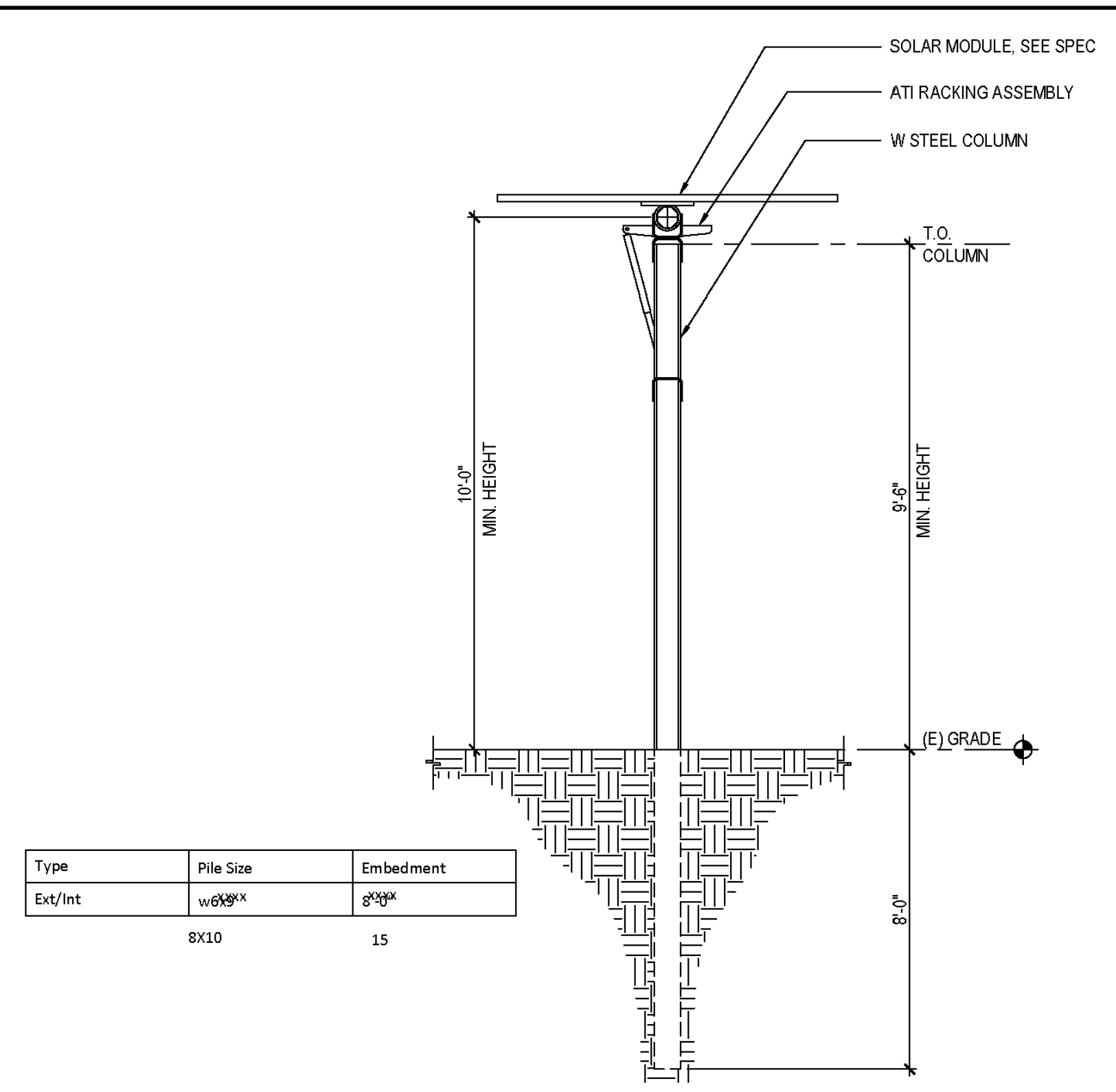
**RAISED ELECTRICAL EQUIPMENT**  
NOT TO SCALE



ITEM NO.	DESCRIPTION	PART NO.	QTY	INSTALLATION
<b>EQUIPMENT FURNISHED AND INSTALLED BY HARVARD INTEGRATIONS</b>				
100	BUSWAY KIT	SPECIAL	2	BOLTED
101	INTERLOCK CABLE INVERTER 1	SPECIAL	1	BOLTED
102	INTERLOCK CABLE INVERTER 2	SPECIAL	1	BOLTED
<b>EQUIPMENT FURNISHED BY OTHERS AND INSTALLED BY HARVARD INTEGRATIONS</b>				
200	INVERTER 1	CSE	1	BOLTED
201	INVERTER 2	CSE	1	BOLTED
202	TRANSFORMER	CSE	1	BOLTED

0	ISSUED FOR CONSTRUCTION	MRJ	12/16/20	
1	UPDATED DRAWING NUMBER, ADDED LIFT LOOP DIMENSION	MRJ	12/31/18	
2	ISSUED FOR APPROVAL	MRJ	12/16/20	

**ELECTRICAL PLAN VIEW**  
NOT TO SCALE



**SOLAR RACKING ASSEMBLY ELEVATION**  
NOT TO SCALE

TOWN OF WAREHAM		TOWN OF CARVER	
APPROVED BY WAREHAM PLANNING BOARD:	_____	APPROVED BY CARVER PLANNING BOARD:	_____
DATE OF SIGNATURE _____		DATE OF SIGNATURE _____	
PLAN FILED _____		PLAN FILED _____	
PLAN APPROVED _____		PLAN APPROVED _____	

FOR NOTES, REFERENCES AND LEGEND SEE SHEET C1.1.

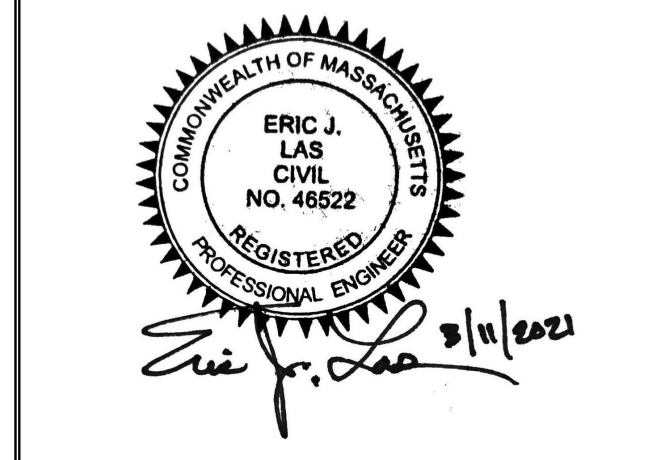
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PREPARED FOR:

**BE RE, LLC**  
PO BOX 974  
EDWARDS, COLORADO



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Civil Engineers + Landscape Architects +  
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5		
4		
3		
2		
1	03/11/2021	REVISED PER TOWN COMMENTS
0	12/16/2020	ISSUED FOR PERMITTING
	ISSUE DATE	DESCRIPTION
	NBB	NBB
	NPS	NPS
	EJL	EJL
	DES	CHK'D
	DWN	APP'D

PROJECT:  
**ROCKY MAPLE SOLAR**  
WAREHAM AND CARVER, MASSACHUSETTS

SCALE: AS NOTED DATE: DECEMBER 16, 2020

**SITE DETAILS**

B+T JOB NO. 3203.00  
B+T PLAN NO. 320300P003B-111  
SHEET No. 20 OF 22

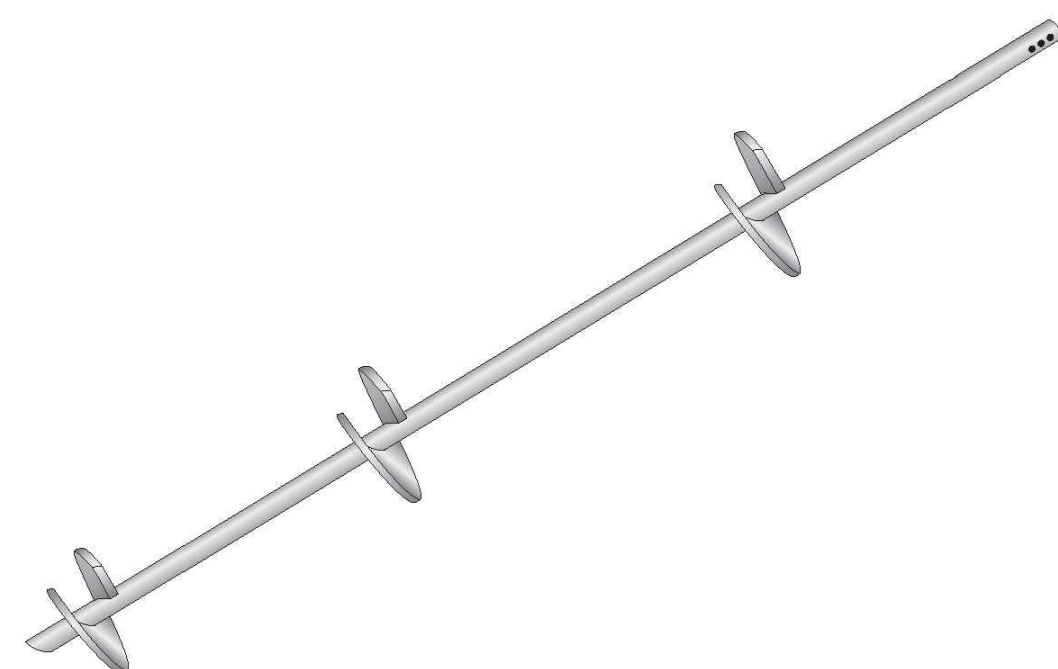
**C5.1**





Product Datasheet

### TAF-450-84-10-12-14 -- Round Pipe Shaft 4-1/2" (114.3 mm) OD Lead Section



Product Specifications	
Anchor Style	Round Pipe Shaft (450) Anchor
Component	Lead Section
Number of Helices	3
Helix Diameter	10" (254 mm) - 12" (305 mm) - 14" (356 mm)
Length	84" (2134 mm)
Pipe Wall Thickness	.337" (8.66 mm)
Flight Thickness	3/8" (9.5 mm)
Flight Yield Strength	50,000 lbs (222.4 kN)
Min Yield Strength	70,000 lbs (311.4 kN)
Torque Rating	22,000 Ft Lbs (29,827.994 N-M)
Coating	Hot-Dip Galvanized
Standard Package	10
Standard Package Unit	EA
Min Order Qty	1
Weight/Ea.	193 lbs
Weight Per Pallet	1930 lbs

**Notes**  
 Round Pipe Shaft (450) Lead Section, 84" Length (3048 mm) long with 10" (356 mm)-12" (356 mm) - 14" (356 mm) Helices

ECP Utility 1-866-327-0007 Fax: 913-393-0008 www.getecp.com  
 \* AVERAGE COLUMN LENGTH ANTICIPATED TO BE 15', WITH AN ANTICIPATED MAXIMUM LENGTH OF 29', TO BE CONFIRMED BASED ON THE RESULTS OF GEOTECHNICAL EVALUATION.  
 \* ALTERNATIVE SOLAR ARRAY POSTS, SUCH AS TIMBER UTILITY POLES, MAY BE NECESSARY DEPENDING ON FURTHER GEOTECHNICAL ANALYSES WHICH SHALL BE PERFORMED PRIOR TO CONSTRUCTION.

### HELICAL PILE

FOUNDATION LOAD CHART									
(FORCES ARE ROUNDED TO THE NEAREST 100 LBS AT TOP OF PIER)									
LOAD CASE	LOAD DIRECTION	1	2	3	4	5	6	7	8
DEAD	↓ Y	1900	9500	9000	1600	1100	9800	9000	600
FLOOR LIVE/EQUIPMENT	↓ Y	1400	2200	3600	3500	4300	3500	4200	5400
SNOW	↓ Y	1500	1700	1700	1500	1500	1700	1700	1500
WIND X	± X	3200	3500	3400	3200	1400	1800	1700	1400
WIND Z	± Z	1400	1400	300	400	500	500	200	200
WIND UP	↑ Y	2100	2100	2300	2300	2300	2300	2000	2100
SEISMIC X	± X	2000	2000	2200	2200	2200	2300	2000	2000
	± Y	2000	2000	2200	2300	2300	2300	2000	2000
SEISMIC Z	± Z	1800	1800	2400	2500	2500	2600	1800	1800
	± Y	2000	2000	2200	2300	2300	2300	2000	2000

**DESIGN LOADS**

- 1) CODE: 2012 INTERNATIONAL BUILDING CODE
- 2) FLOOR DL + LL = 250 PSF  
 FLOOR DL + LL BREAKDOWN:  
 \* LL = 225 PSF  
 \* DL = 25 PSF  
 \* TRANSFORMER = 1117 PSF  
 \* INVERTER = 200 PSF  
 \* FILLED CONTAINMENT = 52 PSF
- 3) SEISMIC LOADS - BASED ON 71.9 KIPS TOTAL WEIGHT
- 4) WIND - 140 MPH
- 5) SNOW - 40 PSF
- 6) ALL LOADS ARE UNFACTORED

SEE PAGE 200 FOR LIFT LOOP SPACING

REV	DESCRIPTION	BY	DATE
0	ISSUED FOR CONSTRUCTION		2/7/18

Customer: SMA AMERICA, LLC  
 Project Name: UTILITY POWER RACK  
 Drawing Title: FOUNDATION LOAD CHART  
 Drawing No.: SMA-UPR-C1-250  
 Scale: NTS  
 Date: 2/7/18

NOTE: 1 SF. PIER SUPPORTS ANTICIPATED

### FOUNDATION LOAD CHART

NOT TO SCALE

\*Picture shows standard system not raised to 10ft

STRING WIRING

PICTURE AND DETAILS SHOW STANDARD SYSTEM, NOT RAISED TO 10 FEET ABOVE GROUND, AS PROPOSED.

**SUSPENDED WIRING**  
NOT TO SCALE

REV	DATE	DESCRIPTION
1	2/7/18	ISSUED FOR CONSTRUCTION

FOR NOTES, REFERENCES AND LEGEND SEE SHEET C1.1.

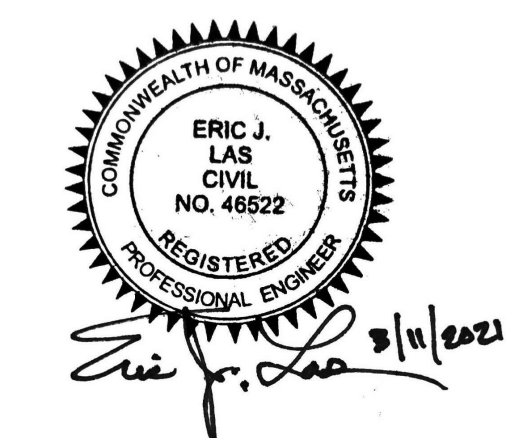
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PREPARED FOR:

**BE RE, LLC**  
PO BOX 974  
EDWARDS, COLORADO



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### TOWN OF WAREHAM

APPROVED BY WAREHAM PLANNING BOARD:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

DATE OF SIGNATURE \_\_\_\_\_

PLAN FILED \_\_\_\_\_

PLAN APPROVED \_\_\_\_\_

### TOWN OF CARVER

APPROVED BY CARVER PLANNING BOARD:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

DATE OF SIGNATURE \_\_\_\_\_

PLAN FILED \_\_\_\_\_

PLAN APPROVED \_\_\_\_\_

5	
4	
3	
2	
1	03/11/2021 REVISED PER TOWN COMMENTS
0	12/16/2020 ISSUED FOR PERMITTING
ISSUE DATE	DESCRIPTION
NBB	NBB
NPS	NPS
EJL	EJL
DES	DWN
CHK'D	APP'D

PROJECT:

### ROCKY MAPLE SOLAR

WAREHAM AND CARVER, MASSACHUSETTS

SCALE: AS NOTED DATE: DECEMBER 16, 2020

### SITE DETAILS

B+T JOB NO. 3203.00

B+T PLAN NO. 320300P003B-013

SHEET No. 22 OF 22

# C5.3