ROCKY MAPLE SOLAR IN

WAREHAM AND CARVER, MASSACHUSETTS (Plymouth County)

OWNER/APPLICANT

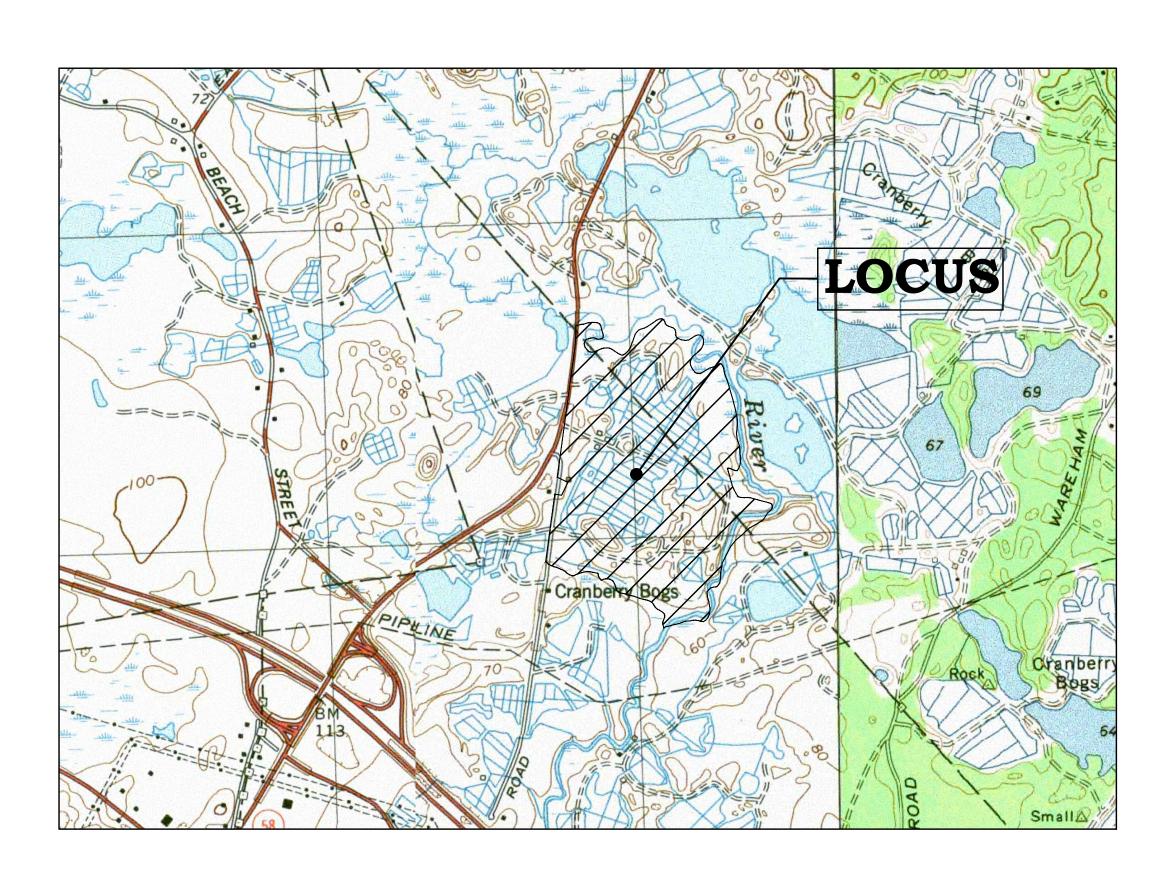
BE RE, LLC
PO Box 974
Edwards, Colorado 81632

CIVIL ENGINEER/SURVEYOR AND LANDSCAPE ARCHITECT

Beals and Thomas, Inc.
32 Court Street
Plymouth, Massachusetts 02360

PROJECT ATTORNEY

Dain, Torpy, Le Ray, Wiest & Garner, P.C. 745 Atlantic Avenue, Suite 500 Boston, Massachusetts 02111



Locus Map Scale: 1" = 1000'



Issued For Permitting - December 16, 2020 Revised Per Town Comments - March 11, 2021

SHEET INDEX

Cover Sheet

TP-1-9 Topographic Plans

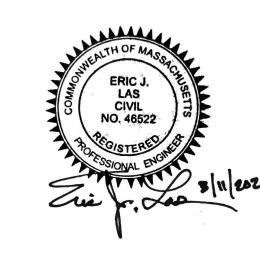
C1.1 Notes, References and Legend Sheet

C2.1 Overview

C3.1 Index Sheet

C4.1-4.6 Site Development Plans

C5.1-5.3 Site Details



FOR PERMITTING ONLY

Job No.: 3203.00 Plan No.: 320300P003B

Sheet 1 of 22

TOWN OF WAREHAM	TOWN OF CARVER
APPROVED BY WAREHAM PLANNING BOARD:	APPROVED BY CARVER PLANNING BOARD:
DATE OF SIGNATURE	DATE OF SIGNATURE
PLAN FILED	PLAN FILED
PLAN APPROVED	

GENERAL NOTES

- 1. THE CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS. THE CONTRACTOR SHALL ALSO PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH THE SAME, AND COORDINATE WITH THE OWNER AND ENGINEER AS REQUIRED.
- 2. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONSTRUCTION MEANS AND METHODS.
- 3. LIMIT OF WORK SHALL BE SEDIMENT CONTROL BARRIERS, LIMIT OF GRADING AND SITE PROPERTY LINES AND/OR AS INDICATED ON
- 4. ANY ALTERATION TO THESE DRAWINGS MADE IN THE FIELD DURING CONSTRUCTION SHALL BE RECORDED BY THE CONTRACTOR ON RECORD DOCUMENTS.
- 5. ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.
- 6. EXISTING TREES AND SHRUBS OUTSIDE THE LIMITS OF WORK SHALL BE REMOVED ONLY UPON PRIOR APPROVAL OF THE OWNER.
- 7. FOR DRAWING LEGIBILITY, ALL EXISTING TOPOGRAPHIC FEATURES, EXISTING UTILITIES, PROPERTY BOUNDARIES, EASEMENTS, ETC. MAY NOT BE SHOWN ON ALL DRAWINGS. REFER TO ALL REFERENCED DRAWINGS AND OTHER DRAWINGS IN THIS SET FOR ADDITIONAL INFORMATION.
- 8. ALL EXCAVATORS OR CONTRACTORS MUST REFER TO 520 CMR 14.00 TO OBTAIN A TRENCH PERMIT PRIOR TO ANY CONSTRUCTION RELATED TRENCHES ON SITE.
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH CONDITIONS THAT MAY BE PROMULGATED BY THE WAREHAM AND CARVER PLANNING BOARD, CONSERVATION COMMISSION AND MUNICIPAL AGENCIES.

EROSION CONTROL AND SEDIMENTATION NOTES

- 10. A SEDIMENT CONTROL BARRIER SHALL BE INSTALLED ALONG THE EDGE OF PROPOSED DEVELOPMENT AS INDICATED IN THE PLAN PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OPERATIONS.
- 11. CONTRACTOR SHALL MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES DURING ENTIRE CONSTRUCTION PERIOD.
- 12. THE EROSION CONTROL BARRIER SHALL BE INSPECTED BY THE CONTRACTOR ON A WEEKLY BASIS.
- 13. THE CONTRACTOR SHALL REMOVE ALL EROSION CONTROL BARRIERS AFTER REVEGETATION OF DISTURBED AREAS AND AFTER APPROVAL OF THE CONSERVATION COMMISSION
- 14. ANY SEDIMENT TRACKED ONTO PUBLIC RIGHT-OF-WAYS SHALL BE SWEPT AT THE END OF EACH WORKING DAY.
- 15. ALL STOCKPILE AREAS SHALL BE LOCATED WITHIN LIMIT OF WORK LINE AND STABILIZED TO PREVENT EROSION.
- 16. ALL DEBRIS GENERATED DURING SITE PREPARATION ACTIVITIES SHALL BE LEGALLY DISPOSED OF. 17. PROVIDE CRIBBING AS NECESSARY TO PROTECT EXISTING UTILITY LINES DURING CONSTRUCTION.
- 18. SITE ELEMENTS TO REMAIN MUST BE PROTECTED FOR DURATION OF PROJECT.
- 19. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- 20. ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC
- 21. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS DURING CONSTRUCTION TO ENSURE THAT THE EROSION CONTROL BARRIERS ARE INTACT.
- 22. CONTRACTOR SHALL PROVIDE DUST CONTROL FOR CONSTRUCTION OPERATIONS AS APPROVED BY OWNER OR OWNER'S REPRESENTATIVE. 23. DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- 24. CLEAN AND MAINTAIN SEDIMENT CONTROL BARRIER AS REQUIRED DURING CONSTRUCTION OPERATIONS TO ENSURE ITS CONTINUED FUNCTIONALITY.
- 25. TO THE EXTENT, DEWATERING WITHIN THE CRANBERRY BOGS IS NECESSARY, THE EXISTING WATER CONTROL AND CONVEYANCE SYSTEM WILL BE UTILIZED.
- 26. ADDITIONAL MULCH TUBES SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- 27. LOAM AND SEED ANY STOCKPILE EXPECTED TO REMAIN LONGER THAN SIX (6) MONTHS OR AT THE CONCLUSION OF THE WORK.
- 28. IN SITUATIONS WHERE SOIL STOCKPILES OR OTHER UNVEGETATED AREAS WILL BE UNUSED FOR 14 DAYS OR LONGER, COVER OR
- TEMPORARY STABILIZATION WILL BE PROVIDED. 29. INSTALLATION OF STABILIZATION MEASURES WILL BE COMPLETED AS SOON AS PRACTICABLE, BUT NO LONGER THAN SEVEN (7) CALENDAR
- DAYS AFTER STABILIZATION HAS BEEN INITIATED. LAYOUT AND MATERIALS NOTES
- 30. ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.
- 31. CONTRACTOR SHALL REPORT SIGNIFICANT CONFLICTS TO THE OWNER AND THE ENGINEER FOR RESOLUTION.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN SITE PLAN DIMENSIONS AND BUILDING PLANS BEFORE PROCEEDING WITH ANY PORTION OF SITE WORK WHICH MAY BE AFFECTED SO THAT PROPER ADJUSTMENTS TO THE SITE LAYOUT CAN BE MADE IF NECESSARY.
- 33. PROTECT EXISTING PROPERTY MONUMENTS AND ABUTTING PROPERTIES DURING CONSTRUCTION ACTIVITIES.

GRADING, DRAINAGE AND UTILITY NOTES

- 34. ALL SITE WORK SHALL MEET OR EXCEED THE SITE WORK SPECIFICATIONS TO BE PREPARED FOR THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK WHICH WOULD BE AFFECTED.
- 35. THE CONTRACTOR SHALL VERIFY EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES, AS REQUIRED. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE OWNER AND ENGINEER FOR RESOLUTION.
- 36. INSTALL ALL UTILITIES AND APPURTENANCES PER UTILITY COMPANY STANDARDS.
- 37. CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE. SEWER AND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY DAMAGE TO THESE FACILITIES RESULTING FROM CONSTRUCTION LOADS WILL BE RESTORED TO ORIGINAL CONDITION.
- 38. THE CONTRACTOR SHALL REMOVE ALL SEDIMENT CONTROL BARRIERS AFTER THE PROJECT IS COMPLETE AND AFTER APPROVAL OF THE CONSERVATION COMMISSION.
- 39. UNDERGROUND UTILITIES WILL BE INSTALLED VIA STANDARD CUT AND COVER TRENCHING METHODS. THE TRENCH WIDTH WILL BE APPROXIMATELY 3' WIDE, AND SIDE CAST MATERIAL IS NOT TO EXCEED AN ADDITIONAL 4' WIDTH BEYOND THE TRENCH. TRENCHES WILL BE COVERED AT THE END OF EACH WORK DAY.

PLANTING NOTES

- 40. RESTORE ALL DISTURBED AREAS AS SHOWN ON PLANS UNLESS OTHERWISE INDICATED.
- 41. LOAM AND SEED LAYDOWN AREAS, USING NEW ENGLAND EROSION CONTROL/RESTORATION SEED MIX FOR DRY SITES, SUPPLIED BY NEW ENGLAND WETLAND PLANTS INC. (OR APPROVED EQUAL).
- 42. REGRADE STOCKPILE AREAS AFTER REMOVAL OF SURPLUS MATERIALS. SEED THE DISTURBED AREA UNLESS WITHIN EXISTING AGRICULTURAL ACCESS AREAS.
- 43. PLANTING SEED SHALL BE SOWN IN SEASONAL CONDITIONS AS APPROPRIATE FOR GOOD SEED SURVIVAL, OR AT SUCH TIMES AS APPROVED BY THE OWNER.

MANNER AS BEFORE IN INTERVALS OF TEN (10) DAYS. WHICH PROCESS SHALL CONTINUE UNTIL A GROWTH OF GRASS IS ESTABLISHED

- 44. IF CERTAIN OF THE SEEDED AREAS DO NOT SHOW A PROMPT "CATCH", THESE SHALL BE RESEEDED AT THE SAME RATE AND IN THE SAME
- 45. PROTECT NEWLY TOPSOILED, GRADED AND/OR SEEDED AREAS FROM TRAFFIC AND EROSION. KEEP AREAS FREE OF TRASH AND DEBRIS
- RESULTING FROM LANDSCAPE CONTRACTOR OPERATIONS.

46. REPAIR AND RE-ESTABLISH GRADES IN SETTLED, ERODED AND RUTTED AREAS TO THE SPECIFIED GRADE AND TOLERANCES.

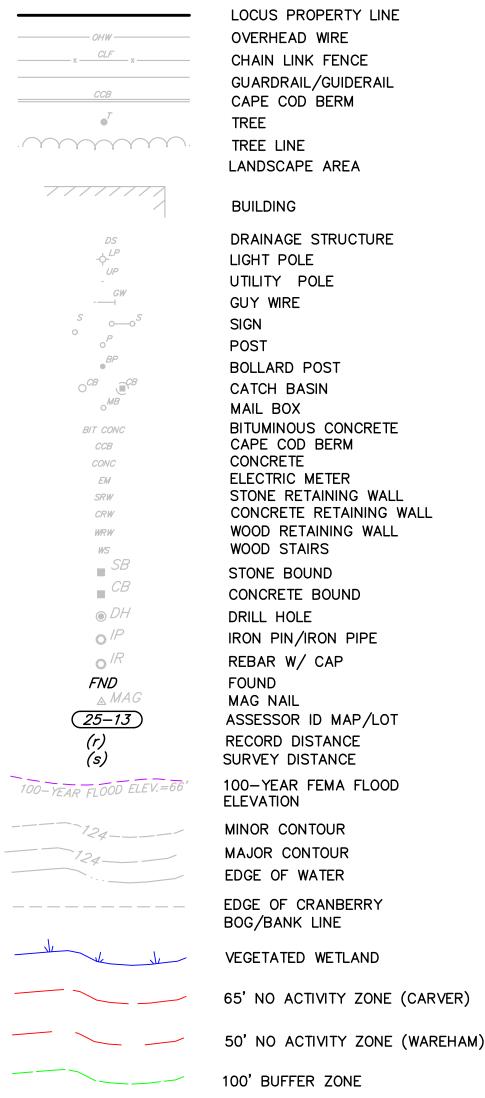
SOLAR GENERAL NOTES

OVER THE ENTIRE AREA.

- 47. THESE NOTES SET MINIMUM STANDARDS FOR CONSTRUCTION. THE DRAWINGS GOVERN OVER THESE NOTES IN CASE OF CONFLICT.
- 48. ALL WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF THE FOLLOWING: LOCAL BUILDING CODE, LOCAL ELECTRICAL CODE, ANY OTHER REGULATING AGENCIES WHICH HAVE AUTHORITY OVER ANY PORTION OF THE WORK AND THOSE CODES AND STANDARDS LISTED IN THESE DRAWINGS AND IN ANY CONTRACTOR AGREEMENT.
- 49. EXCEPTIONS TO THE CONTRACT DOCUMENTS ARE PERMITTED ONLY WITH THE APPROVAL OF NEXTSUN ENERGY, LLC.
- 50. COORDINATE THESE DRAWINGS WITH SPECIFICATIONS AND MANUFACTURER INSTALLATION AND OPERATION MANUALS AND NOTIFY NEXTSUN ENERGY, LLC OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK.
- 51. PRIOR TO THE COMMENCEMENT OF ANY WORK, EACH TRADE SHALL VERIFY EXISTING CONDITIONS AND NOTIFY NEXTSUN ENERGY, LLC OF ANY DISCREPANCIES TO THAT WHICH IS SHOWN IN THESE DRAWINGS, INCLUDING BUT NOT LIMITED TO DIMENSIONS OF THE WORK AREA. STRUCTURE. EXISTING ELECTRICAL SERVICE. CONDUIT PATHS. OBSTRUCTIONS. ACCESSIBILITY ISSUES. AND WORKING CLEARANCES. ANY WORK PERFORMED IN CONFLICT WITH THE CONTRACT DOCUMENTS OR ANY CODE REQUIREMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT
- 52. NO STRUCTURAL MEMBER SHALL BE DRILLED UNLESS SPECIFICALLY AUTHORIZED BY NEXTSUN ENERGY, LLC.
- 53. CONTRACTOR ACKNOWLEDGES THAT THE SYSTEM AS INDICATED ON THE PLANS REQUIRES ALL COMPONENTS TO BE INSTALLED TO PROPERLY RESIST WIND LOADS, SUCH AS BALLAST, WIND DEFLECTORS, ETC. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE TEMPORARY MEANS TO RESIST WIND LOADS FOR ALL COMPONENTS NOT YET INSTALLED DURING AND AFTER REGULAR WORKING HOURS. THIS MAY INCLUDE TEMPORARY TIE DOWNS, COVERING, BALLAST OR ANY OTHER MEANS. DAMAGE TO ANY INSTALLED SYSTEM COMPONENT OR THE EXISTING FACILITY AS A RESULT OF THE UNFINISHED CONDITION NOT ADEQUATELY RESISTING WIND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR OR REPLACE AT THE CONTRACTOR'S COST.
- 54. HELICAL PILES OR I-BEAMS WILL BE USED TO SUPPORT THE SOLAR RACKS. HELICAL PILES WILL BE INSTALLED BY SPECIALIZED EQUIPMENT TO SCREW THE PIERS INTO THE GROUND. I-BEAMS WILL BE INSTALLED BY PILE DRIVING EQUIPMENT AND DRIVEN INTO THE GROUND BY VIBRATORY METHODS, IN EITHER CASE, NO FOOTINGS WILL BE USED, AND NO MATERIAL WILL BE EXCAVATED/DISPLACED FROM THE
- 55. NO SOLAR PANELS SHALL BE INSTALLED WITHIN TWENTY (20) FEET OF THE EXISTING CRANBERRY BOG LIMIT OR THE AREAS DESIGNATED
- 56. THE SOLAR ARRAY LAYOUT IS DEPICTED SCHEMATICALLY; THE FINAL SIZE AND PANEL ORIENTATION ON THE NOTED CRANBERRY BOGS WILL BE DETERMINED PRIOR TO THE APPLICATION FOR A BUILDING PERMIT.
- 57. THE NECESSITY, EXTENT AND SPECIFIC SIZE AND TYPE OF FENCE MATERIALS WILL BE DETERMINED WITH THE TOWN.

LEGEND

EXISTING



APPROX. 200' RIVERFRONT AREA

TOWN OF WAREHAM

WAREHAM PLANNING BOARD:

APPROVED BY

APPROX. 100' RIVERFRONT AREA

CRANBERRY HARVEST AREA

APPROX. CENTER LINE OF STREAM

PROPOSED

Q	UTILITY POLE
OHW	OVERHEAD WIRES
xxx	CHAIN LINK FENCE
UE	UNDERGROUND ELECTRIC CONDUIT
SCB —— SCB —— SCB ——	SEDIMENT CONTROL BARRIER
	GROUND MOUNTED SOLAR MODULES
, ~~~~,	TREE CLEARING LIMIT
(TYP.)	TYPICAL
O.C.	ON CENTER
	LIMIT OF WORK
	TEMPORARY GRAVEL DRIVE/ TEMPORARY LAYDOWN AREA
	RIP-RAP CONSTRUCTION TRACKING PAD/ TRAP ROCK SPILLWAY

PO BOX 974

EDWARDS, COLORADO

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PREPARED BY:



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Plymouth, Massachusetts 02360-3866 T 508.746.3288 | www.bealsandthomas.com

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1	03/11/2021	REVISED	PER	TOWN	COMMENTS

0 12/16/2020 ISSUED FOR PERMITTING ISSUE DATE DESCRIPTION NBB | NBB | NPS | DES | DWN | CHK'D | APP'D

PROJECT:

ROCKY MAPLE SOLAR

WAREHAM AND CARVER, MASSACHUSETTS

SCALE: N/A DATE: DECEMBER 16, 2020

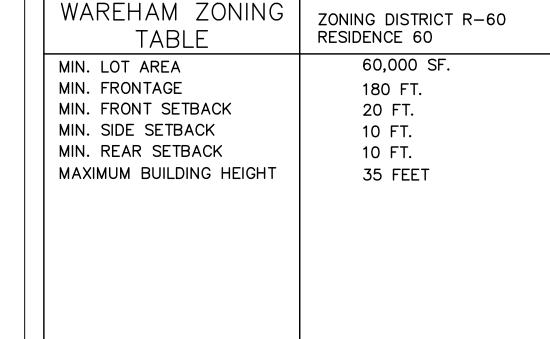
NOTES, REFERENCES

AND LEGEND

B+T JOB NO.3203.00

B+T PLAN NO. 320300P003B-002

SHEET No. 11 OF 22



CARVER ZONING TABLE	ZONING DISTRICT RA RESIDENTIAL/AGRICULTURAL
MIN. LOT AREA MIN. FRONTAGE MIN. FRONT SETBACK MIN. SIDE SETBACK MIN. REAR SETBACK	60,000 SF. 150 FT. 50 FT. 30 FT. 50 FT.
MAXIMUM BUILDING HEIGHT MAXIMUM LOT WIDTH MAXIMUM SITE DENSITY	35 FEET 80 FT. 50% (FOR SITES WITH 10-20 ACRES WITHIN SECURITY FENCE) 66% (FOR SITES WITH >20 ACRES WITHIN SECURITY FENCE)
MAX. BUILDING COVERAGE MINIMUM UPLAND	30% 70% OF MINIMUM LOT SIZE

ZONING T	ABLE	
WAREHAM ZONING DISTRICT = RE	SIDENCE 60 (R6	0)
	REQUIRED	PROPOSED
MINIMUM LOT AREA (SF)	60,000	4,807,007
MINIMUM LOT FRONTAGE (FT)	180	2,307
MINIMUM FRONT YARD SETBACK (FT)	20	92
MINIMUM SIDE YARD SETBACK (FT)	10	194
MINIMUM REAR YARD SETBACK (FT)	10	211
MAXIMUM BUILDING HEIGHT (FT)	35	13
CARVER ZONING DISTRICT = RESIDENTI	AL/AGRICULTURA	AL (RA)
MINIMUM LOT AREA (SF)	60,000	4,807,007
MINIMUM LOT FRONTAGE (FT)	150	2,307
MINIMUM FRONT YARD SETBACK (FT)	50	92
MINIMUM SIDE YARD SETBACK (FT)	30	194
MINIMUM REAR YARD SETBACK (FT)	50	211
MAXIMUM BUILDING HEIGHT (FT)	35	13

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TOWN OF CARVER

CARVER PLANNING BOARD:

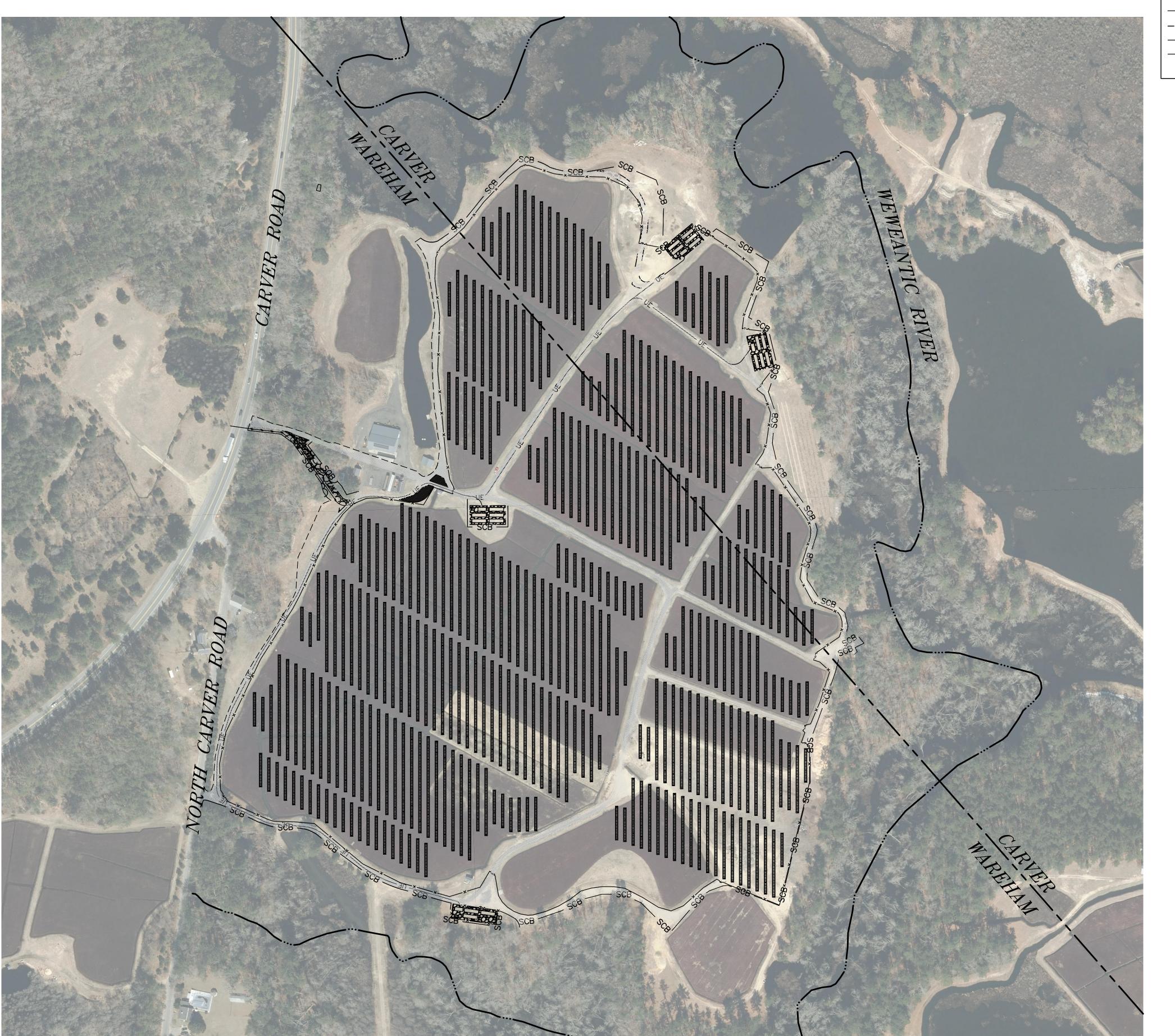
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DATE OF SIGNATURE

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LEGEND

PROPERTY LINE

APPROX. CENTER LINE OF STREAM BORDERING VEGETATIVE WETLANDS

PROPOSED LIMIT OF WORK PROPOSED OVERHEAD WIRES PROPOSED UNDERGROUND ELECTRIC PROPOSED SOLAR MODULES



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BE RE, LLC

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PREPARED BY:

BEALS + THOMAS

Civil Engineers + Landscape Architects +

Land Surveyors + Planners +

Environmental Specialists

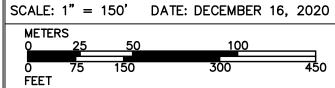
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1 03/11/2021 REVISED PER TOWN COMMENTS 0 12/16/2020 ISSUED FOR PERMITTING ISSUE DATE DESCRIPTION NBB NBB NPS EJL DES DWN CHK'D APP'D

PROJECT:

ROCKY MAPLE SOLAR

WAREHAM AND CARVER, MASSACHUSETTS



OVERVIEW

B+T JOB NO.3203.00

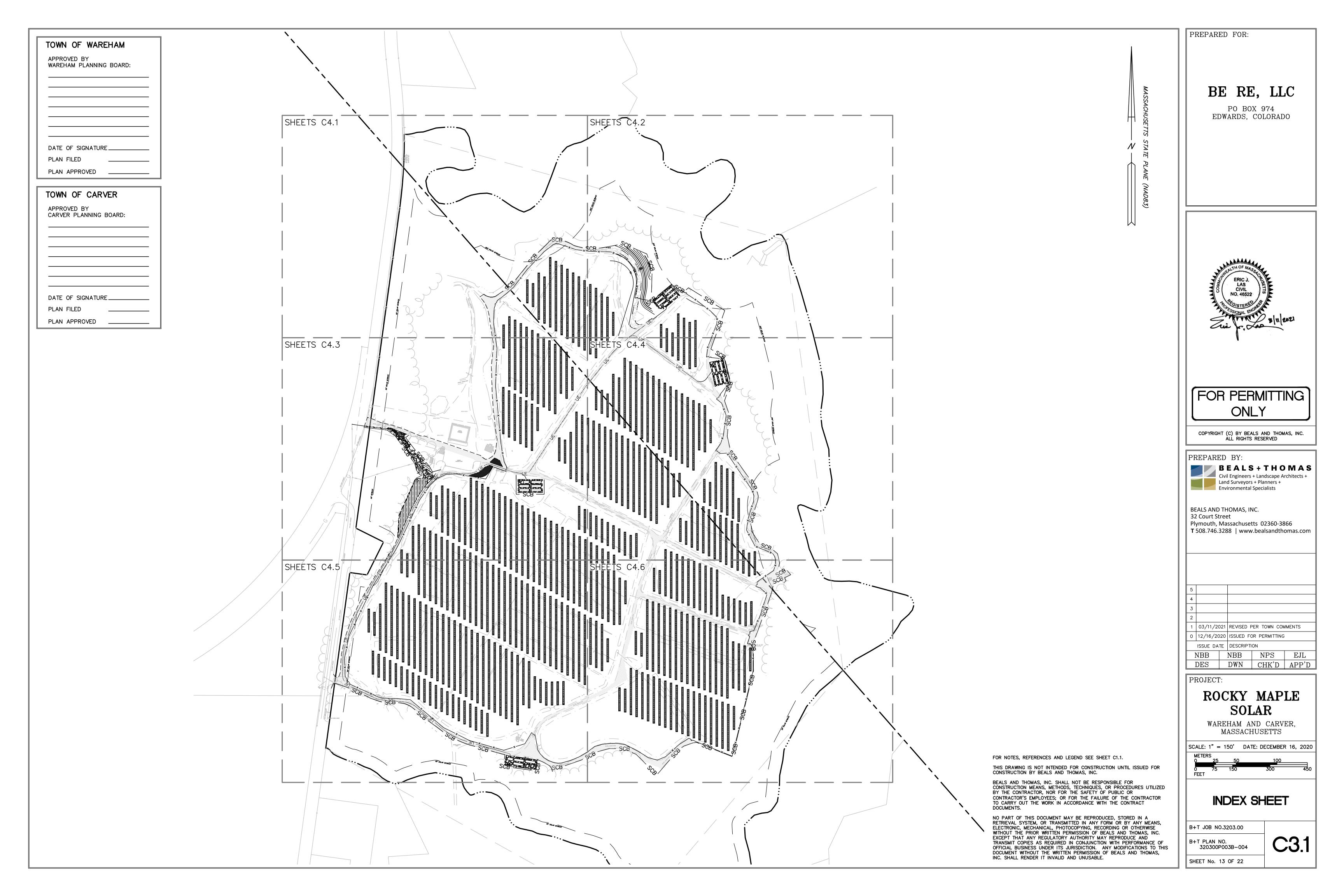
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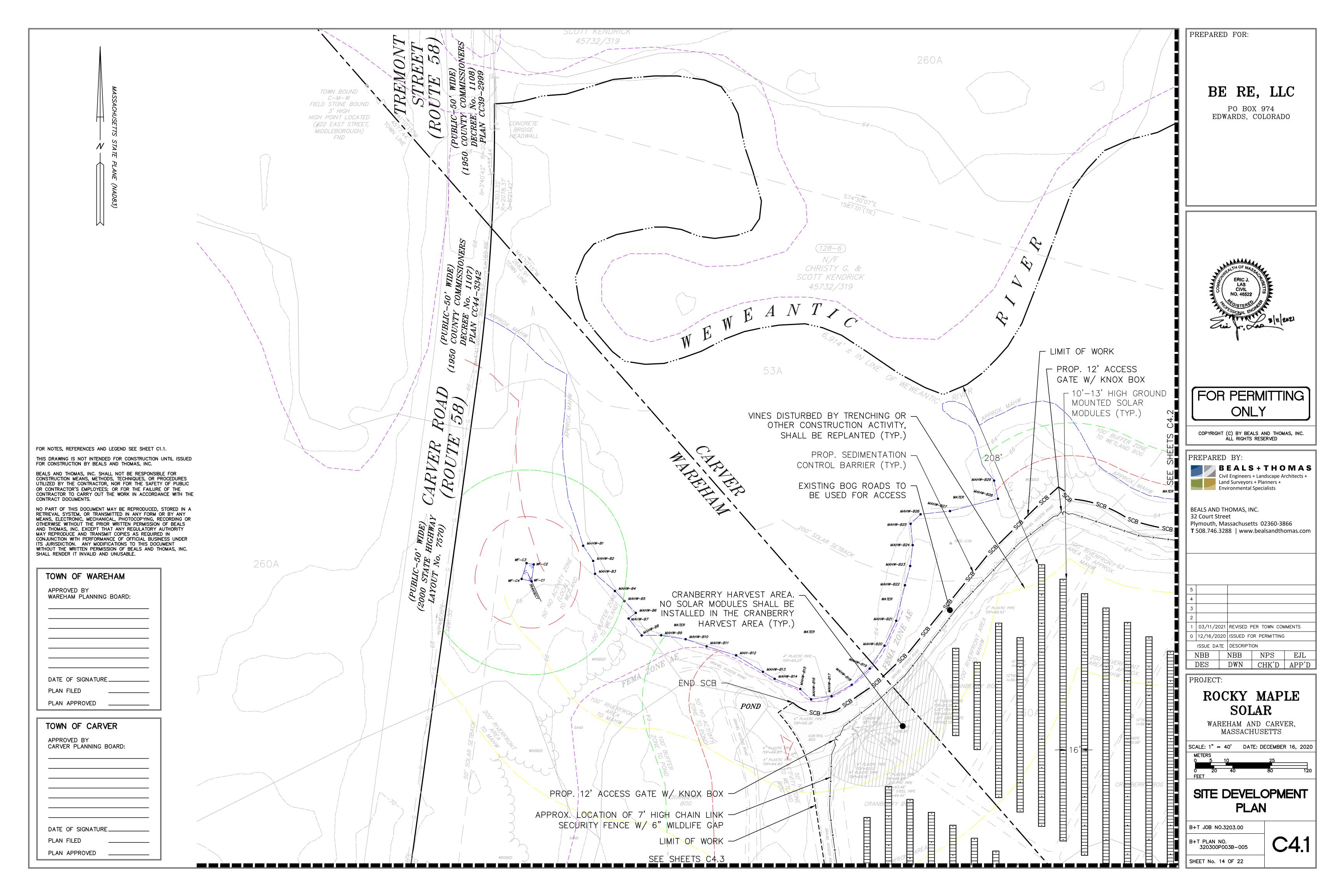
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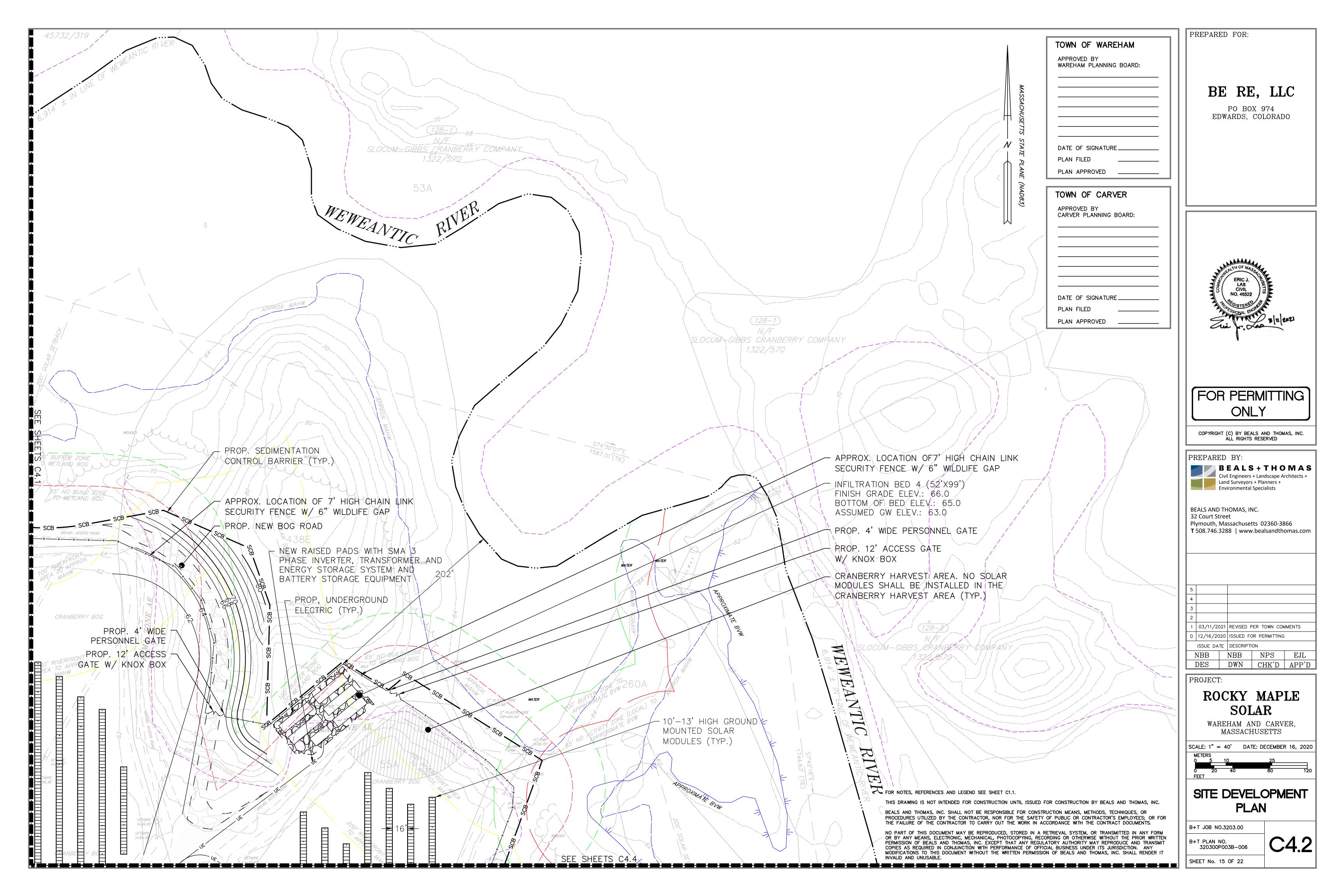
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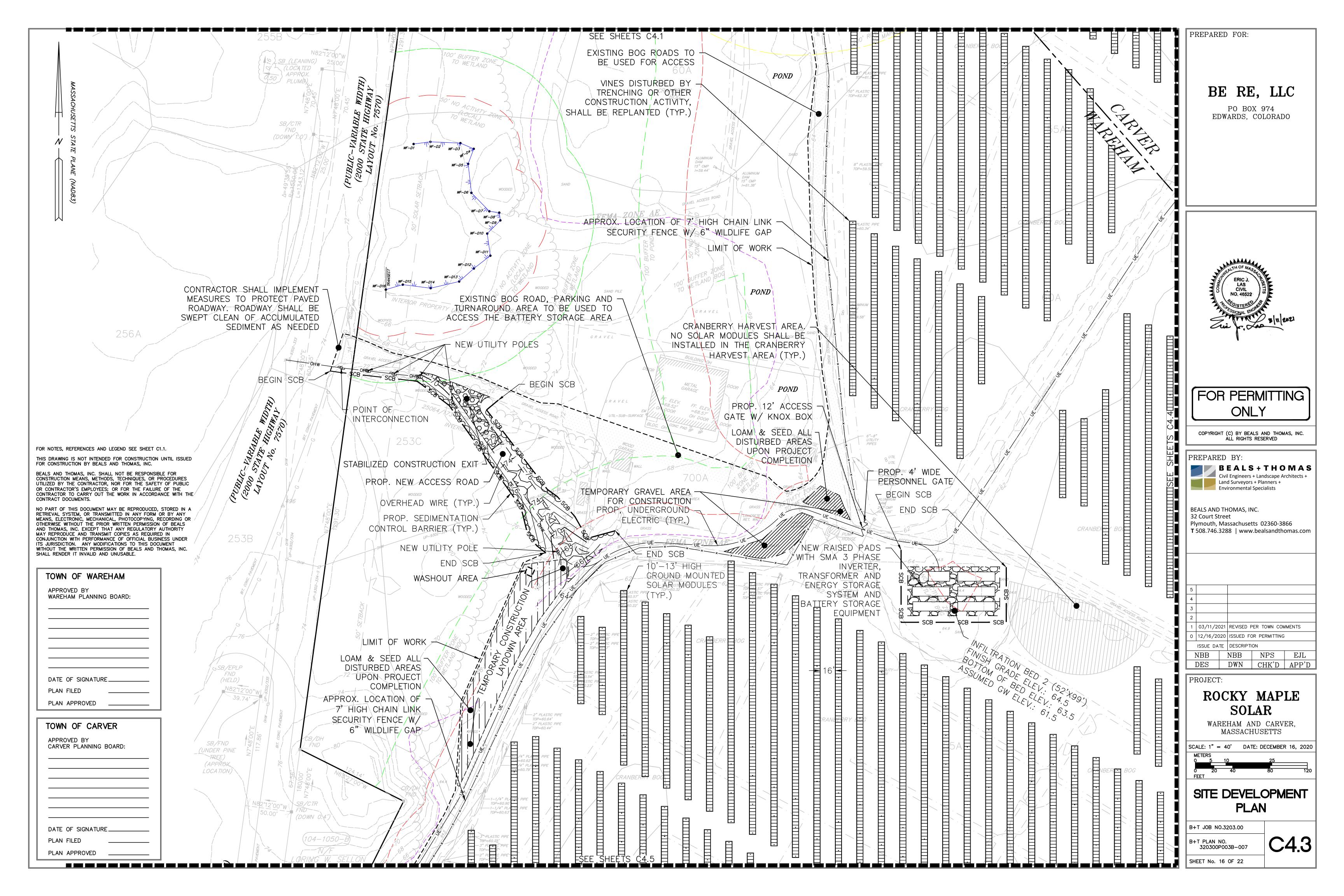
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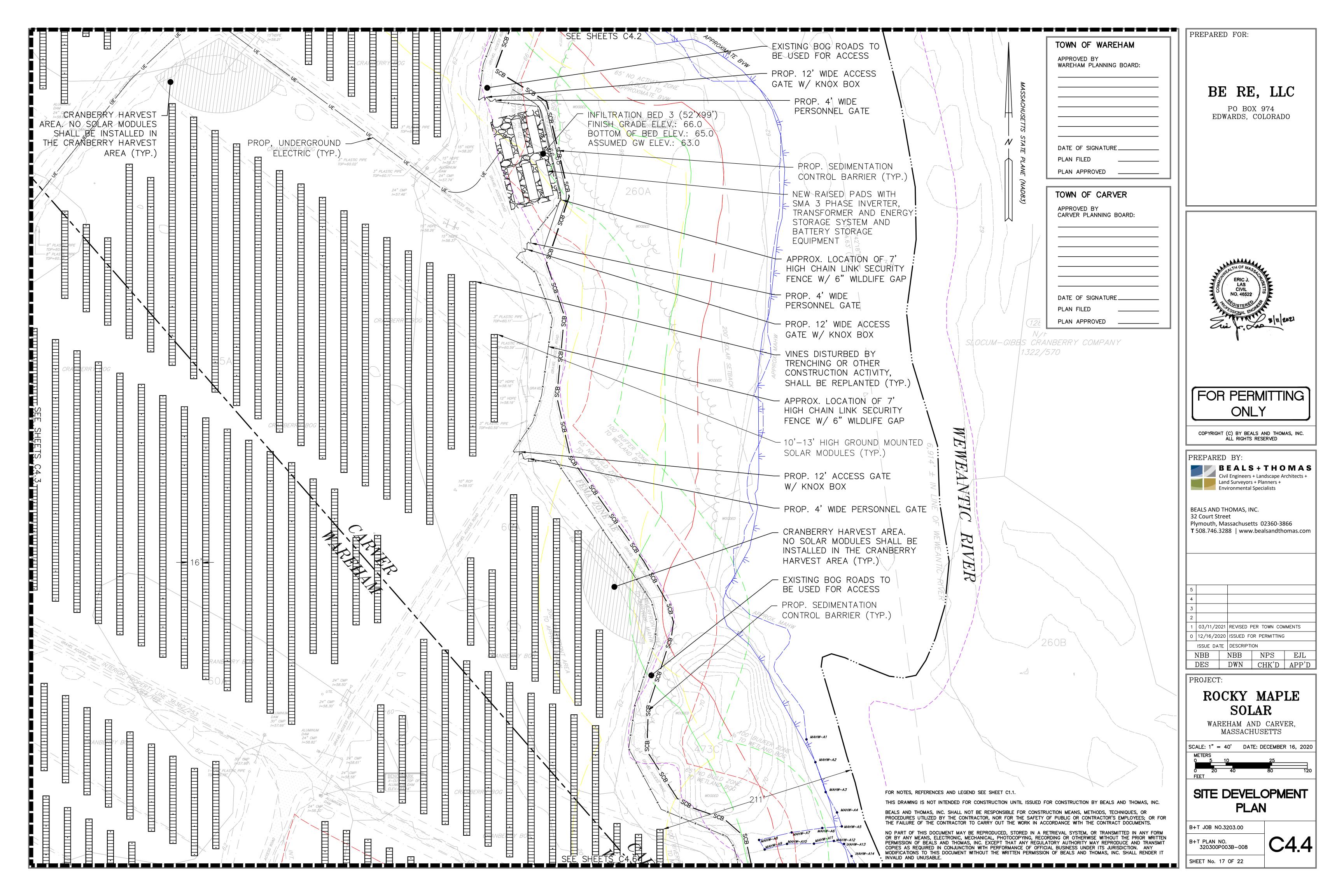
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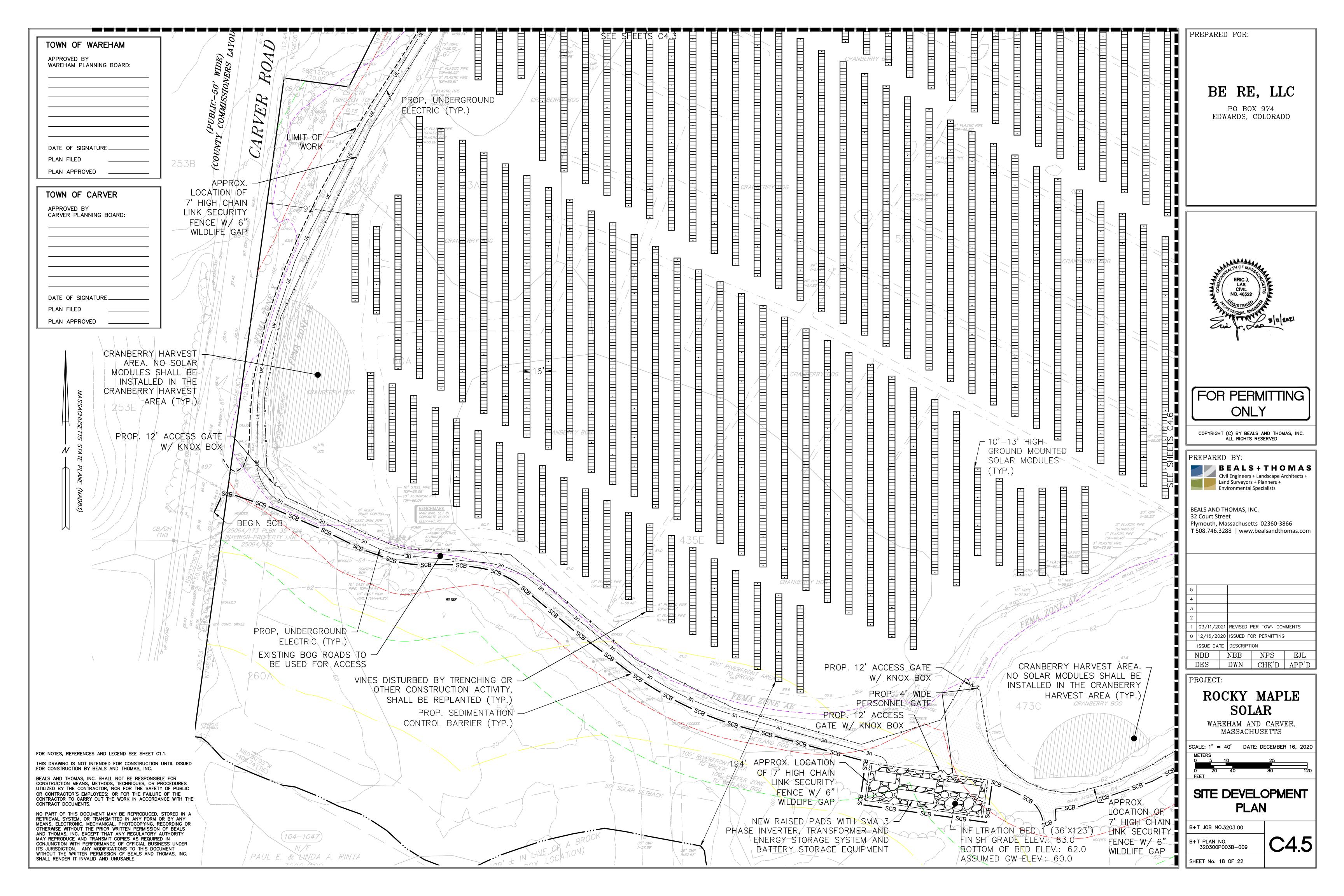


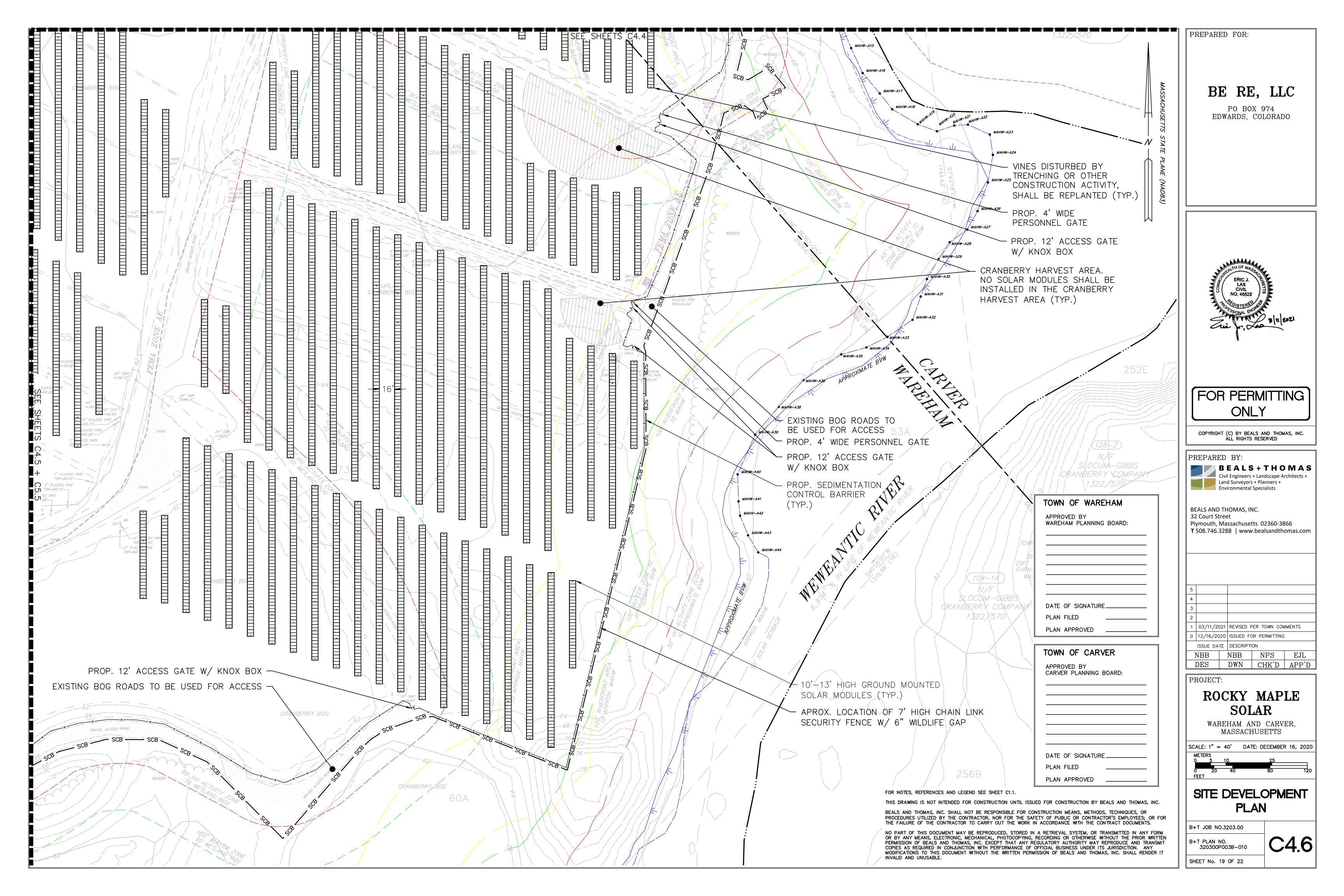


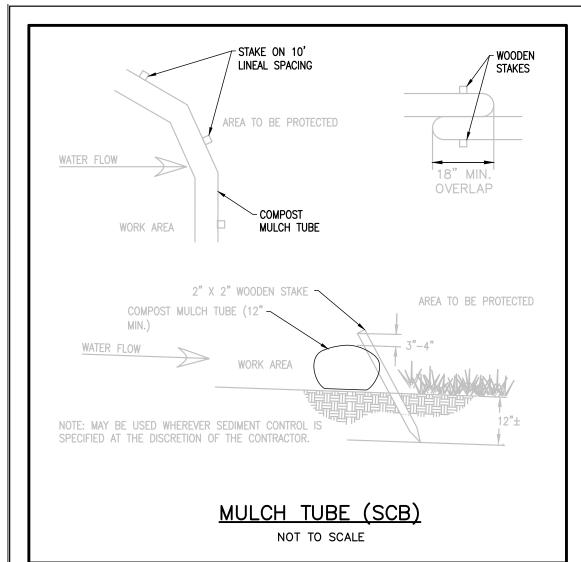


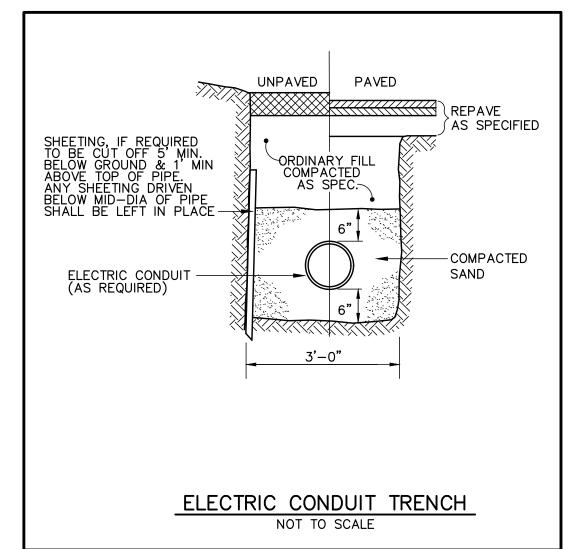


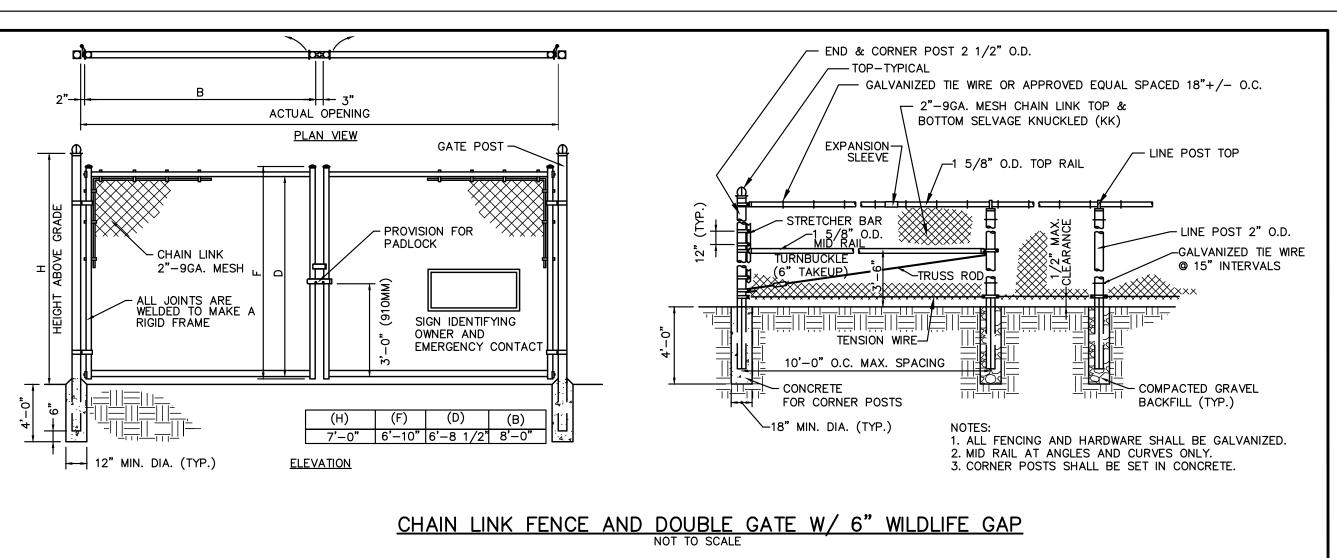


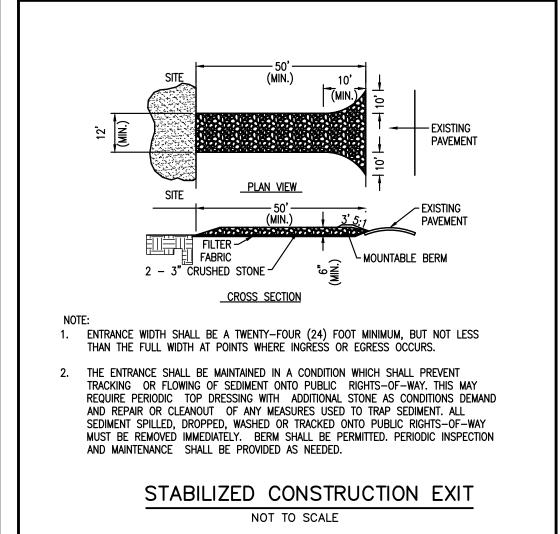


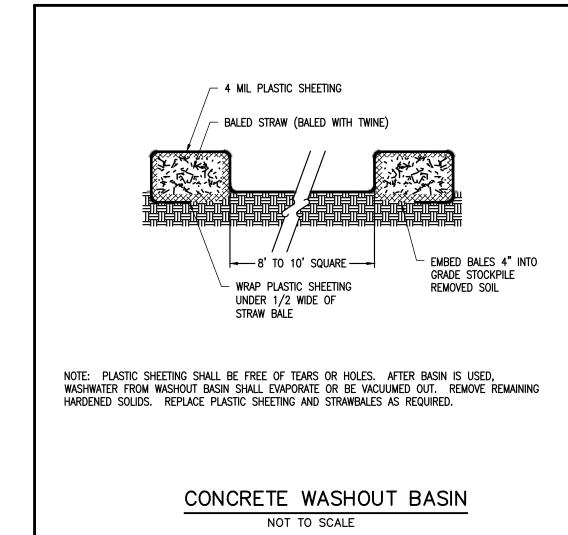


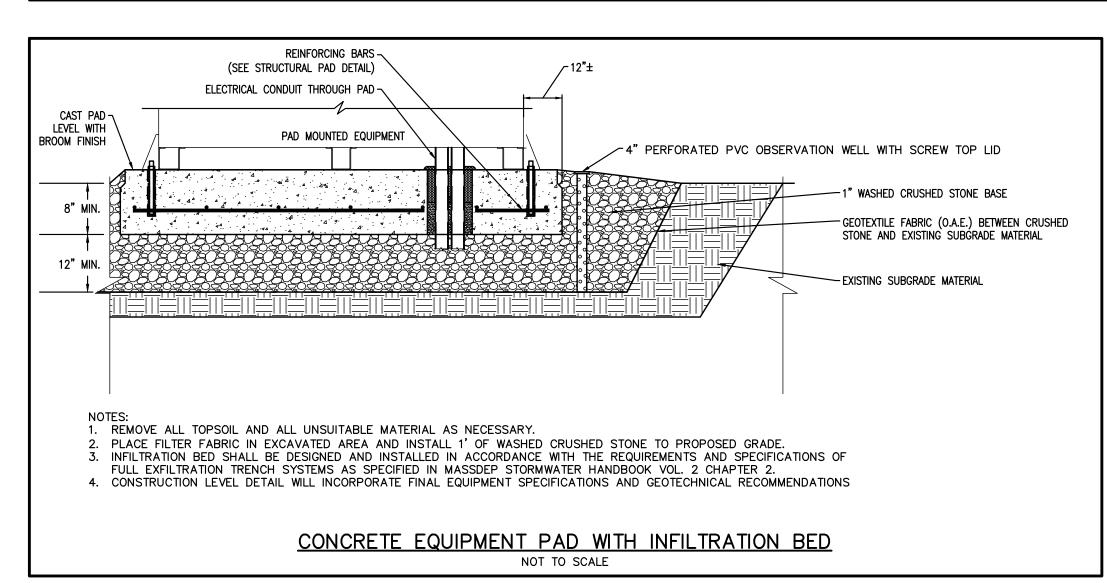


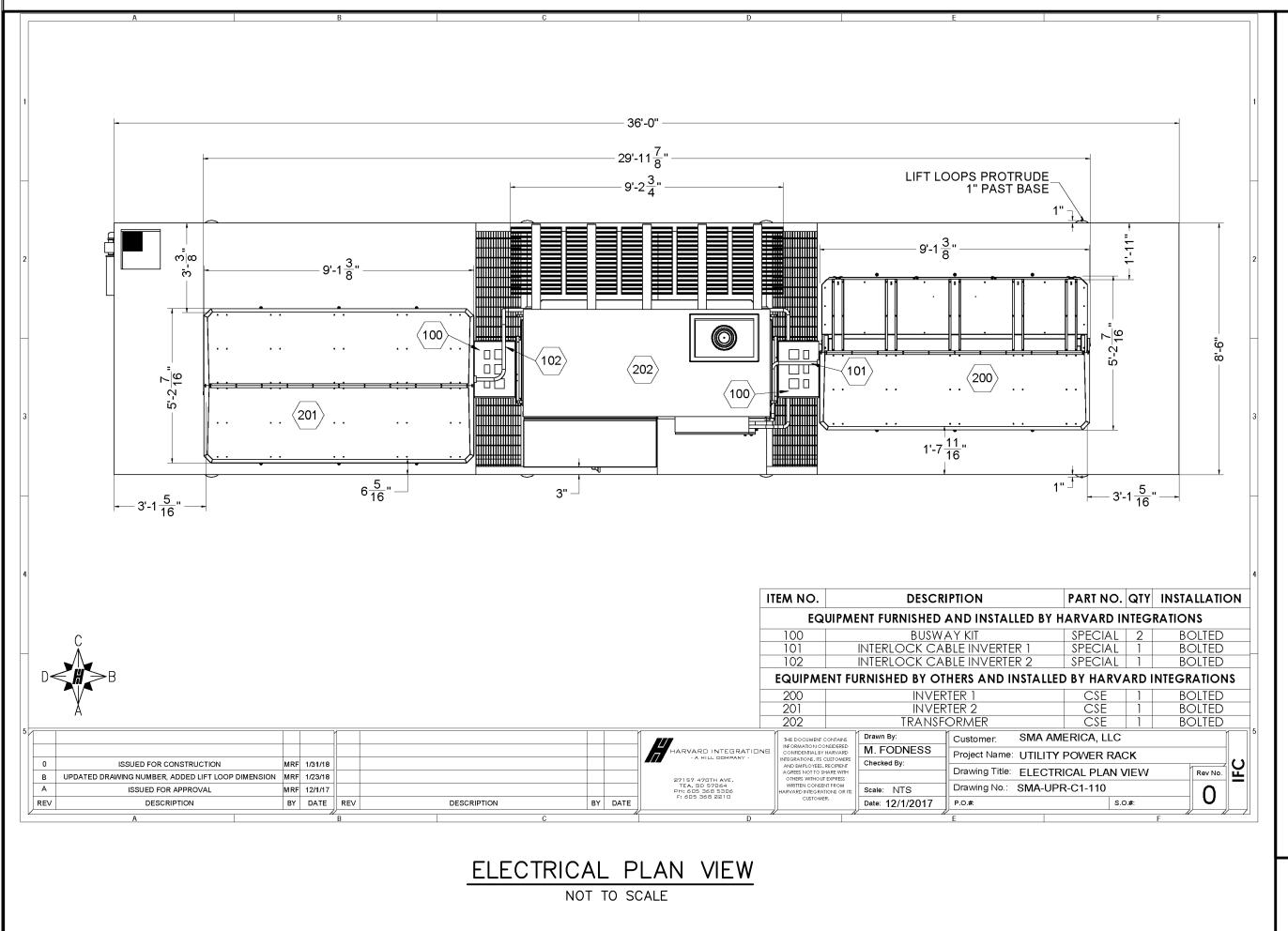


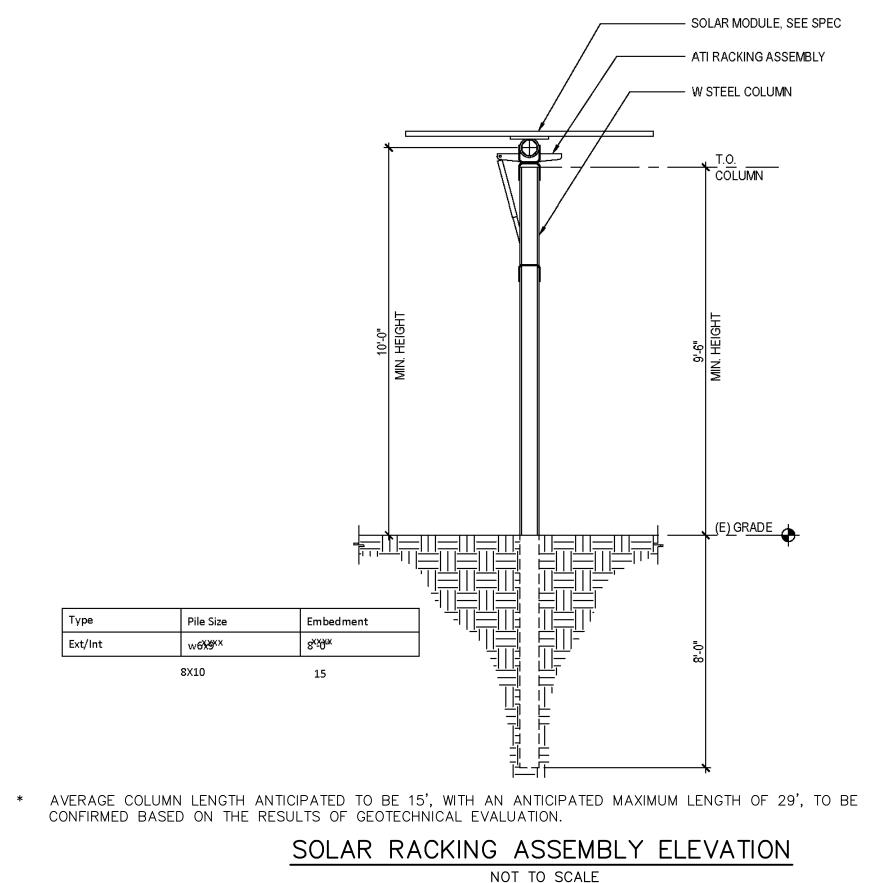


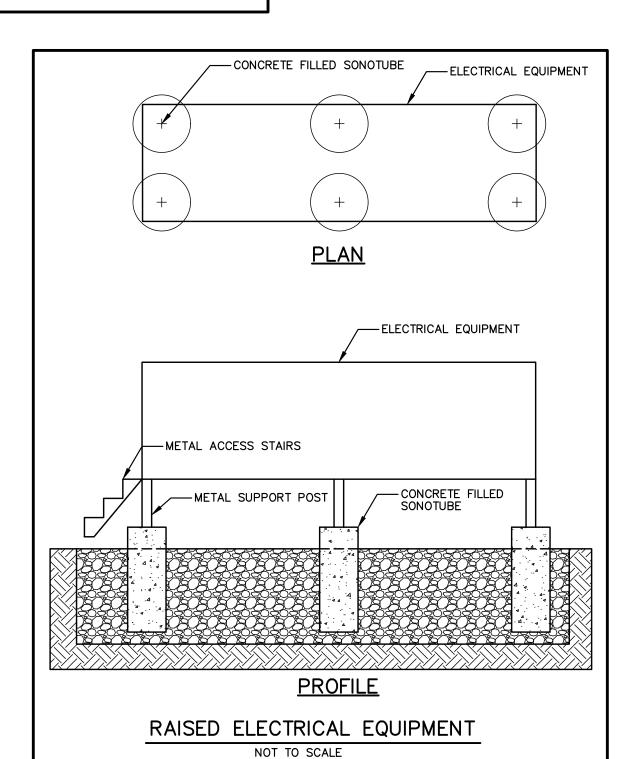












TOWN OF WAREHAM	TOWN OF CARVER
APPROVED BY WAREHAM PLANNING BOARD:	APPROVED BY CARVER PLANNING BOARD:
DATE OF SIGNATURE	DATE OF SIGNATURE
PLAN FILED	PLAN FILED
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FOR NOTES, REFERENCES AND LEGEND SEE SHEET C1.1.

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PREPARED FOR:

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PREPARED BY:
BEALS

S + T H O M A S Civil Engineers + Landscape Architects + Land Surveyors + Planners + Environmental Specialists

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PROJECT:

ROCKY MAPLE SOLAR

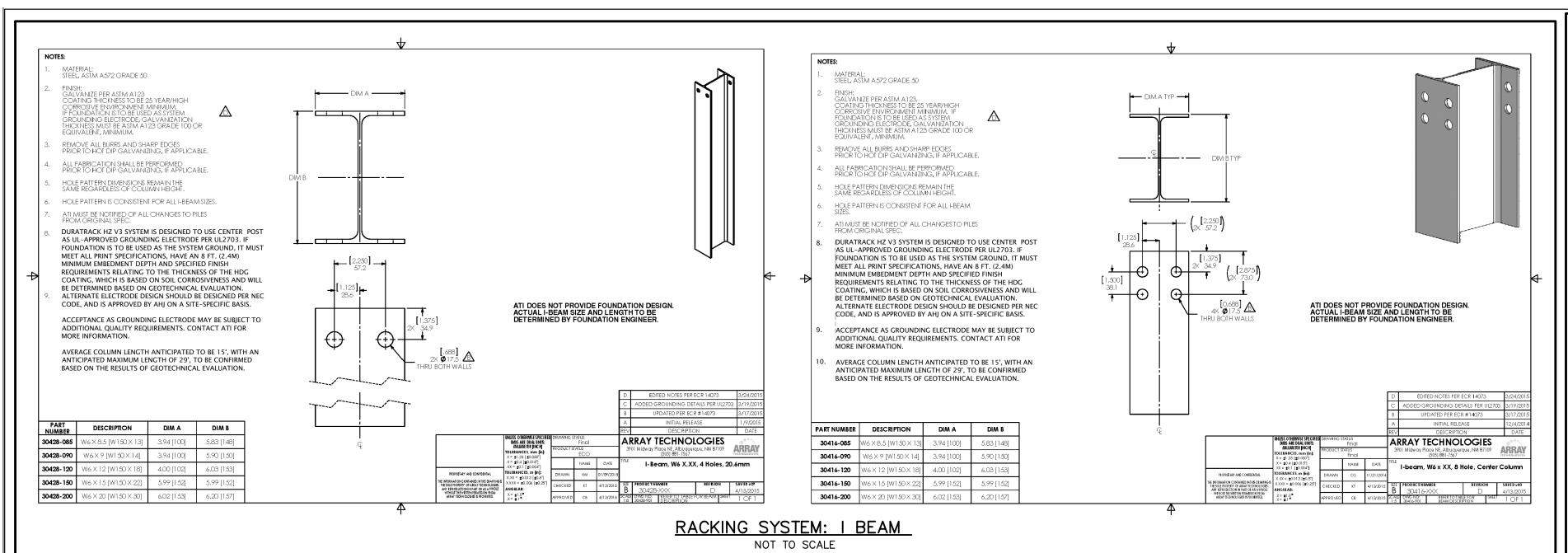
WAREHAM AND CARVER, MASSACHUSETTS

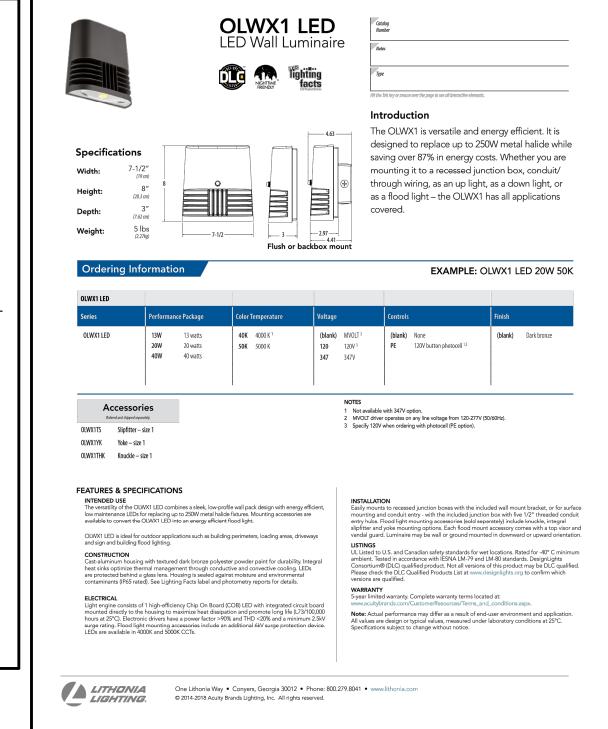
SCALE: AS NOTED DATE: DECEMBER 16, 2020

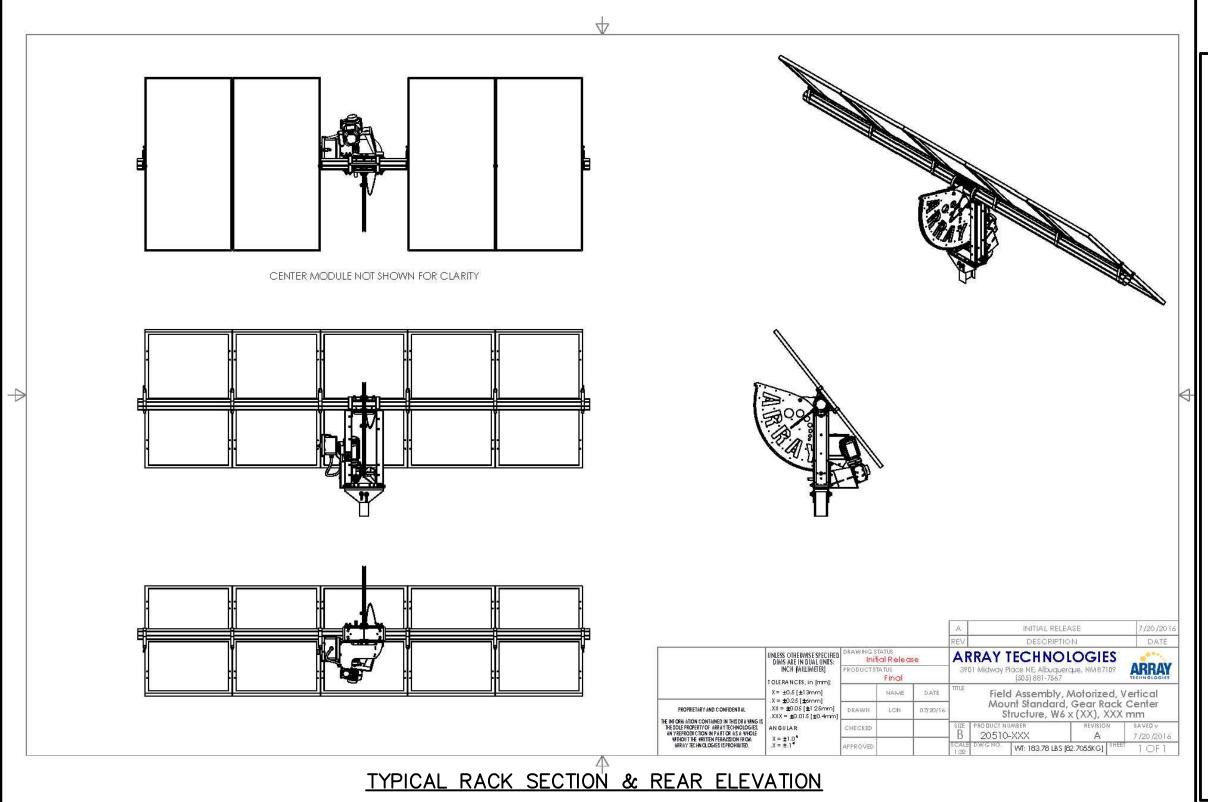
SITE DETAILS

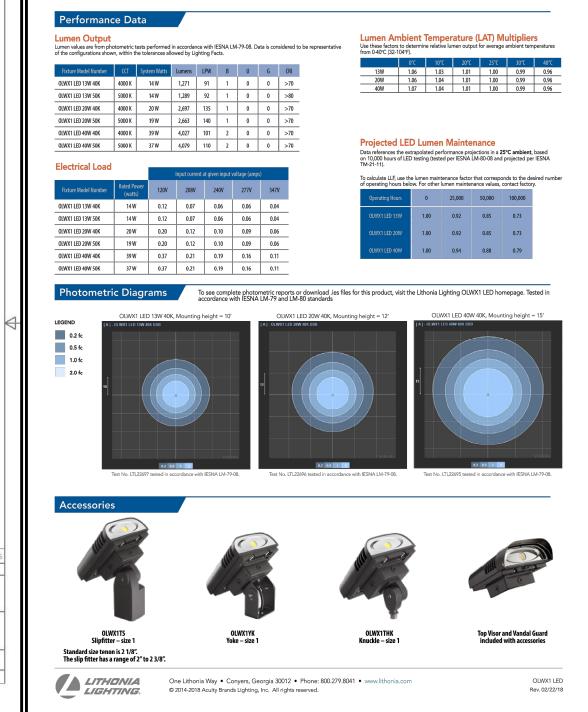
B+T JOB NO.3203.00

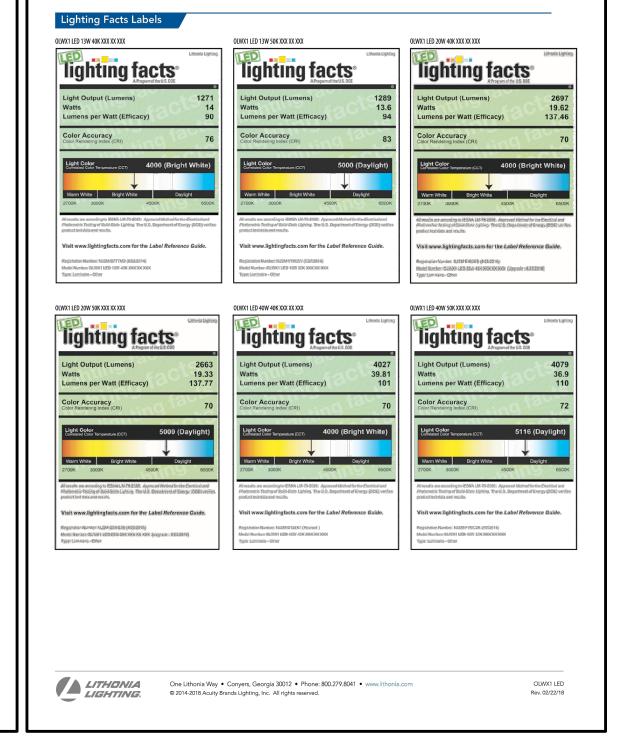
B+T PLAN NO. 320300P003B-011 SHEET No. 20 OF 22

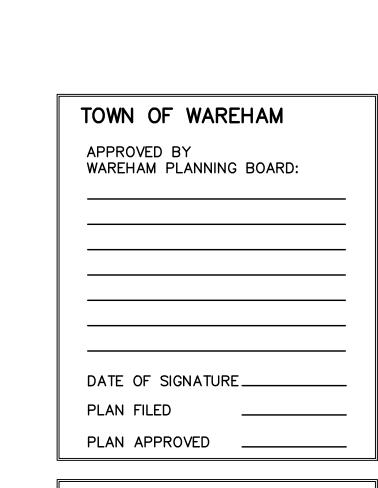


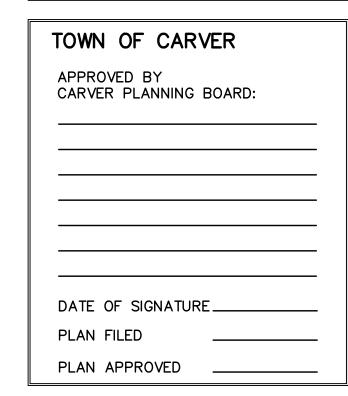






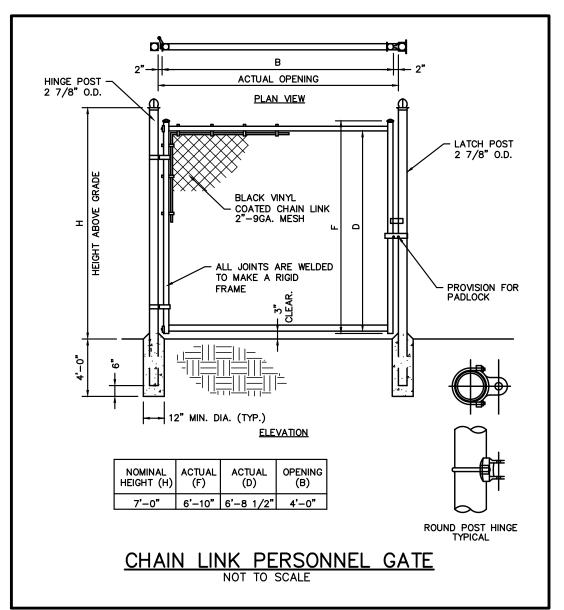






LED DOWNLIGHT, LITHONIA OLWX1 WP MOTION SENSOR 1" RMC RISER, SECURE TO B22A STRUT OR EQUIVALENT SECURED TO CONCRETE WITH B281SQ FLANGE BASE PLATE - EQUIPMENT PAD — FINISHED GRADE COUPLING __ 1" PVC CONDUIT 1" RGS CONDUIT NOTE: MOTION ACTIVATED LIGHT SHALL BE CONTROLLED BY A FULL CUT-OFF SWITCH INSTALLED WITHIN THE ELECTRICAL EQUIPMENT PERIMETER FENCE. LIGHT MOUNTING — DOWNLIGHT

NOT TO SCALE



12" MIN. GRAVEL BASE COMPACTED SUBGRADE (REMOVE UNSUITABLES AS REQUIRED) 1. REMOVE ALL TOPSOIL AND ALL UNSUITABLE MATERIAL AS REQUIRED AND REPLACE WITH GRAVEL. GRAVEL BORROW SHALL MEET MASSDOT M1.03.0 SPECIFICATIONS. 3. ACCESS DRIVES TO SLOPE IN THE DIRECTION OF THE EXISTING GRADE AT A MINIMUM OF 2.0%. DRIVEWAY SHALL BE GRADED TO ALLOW STORMWATER TO SHEET ACROSS IT AND TO PREVENT ACCESS DRIVE CROSS SECTION
NOT TO SCALE

FOR NOTES, REFERENCES AND LEGEND SEE SHEET C1.1.

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PREPARED FOR:

BE RE, LLC

PO BOX 974

EDWARDS, COLORADO



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PREPAR	ED BY:
	BEALS + THOMA Civil Engineers + Landscape Architects Land Surveyors + Planners + Environmental Specialists

BEALS AND THOMAS, INC. 32 Court Street

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Plymouth, Massachusetts 02360-3866

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PROJECT:

ROCKY MAPLE SOLAR

WAREHAM AND CARVER, MASSACHUSETTS

SCALE: AS NOTED DATE: DECEMBER 16, 2020

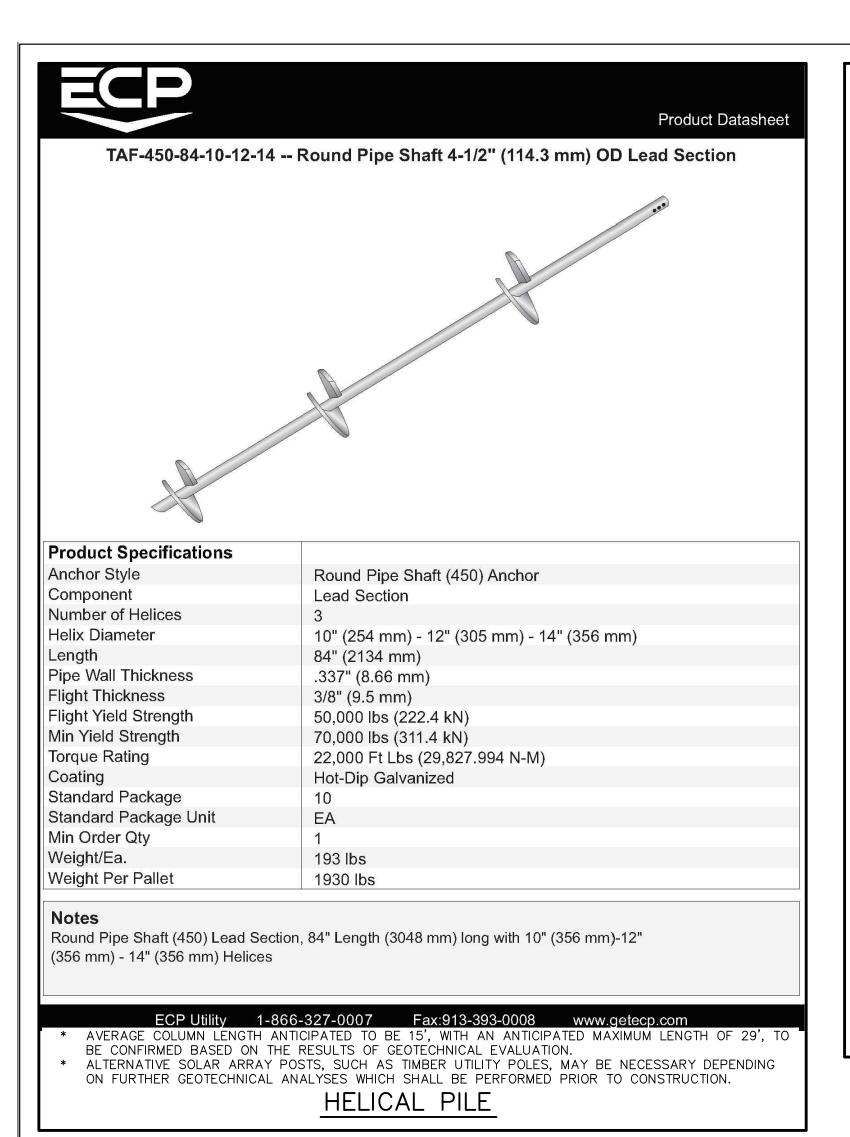
SITE DETAILS

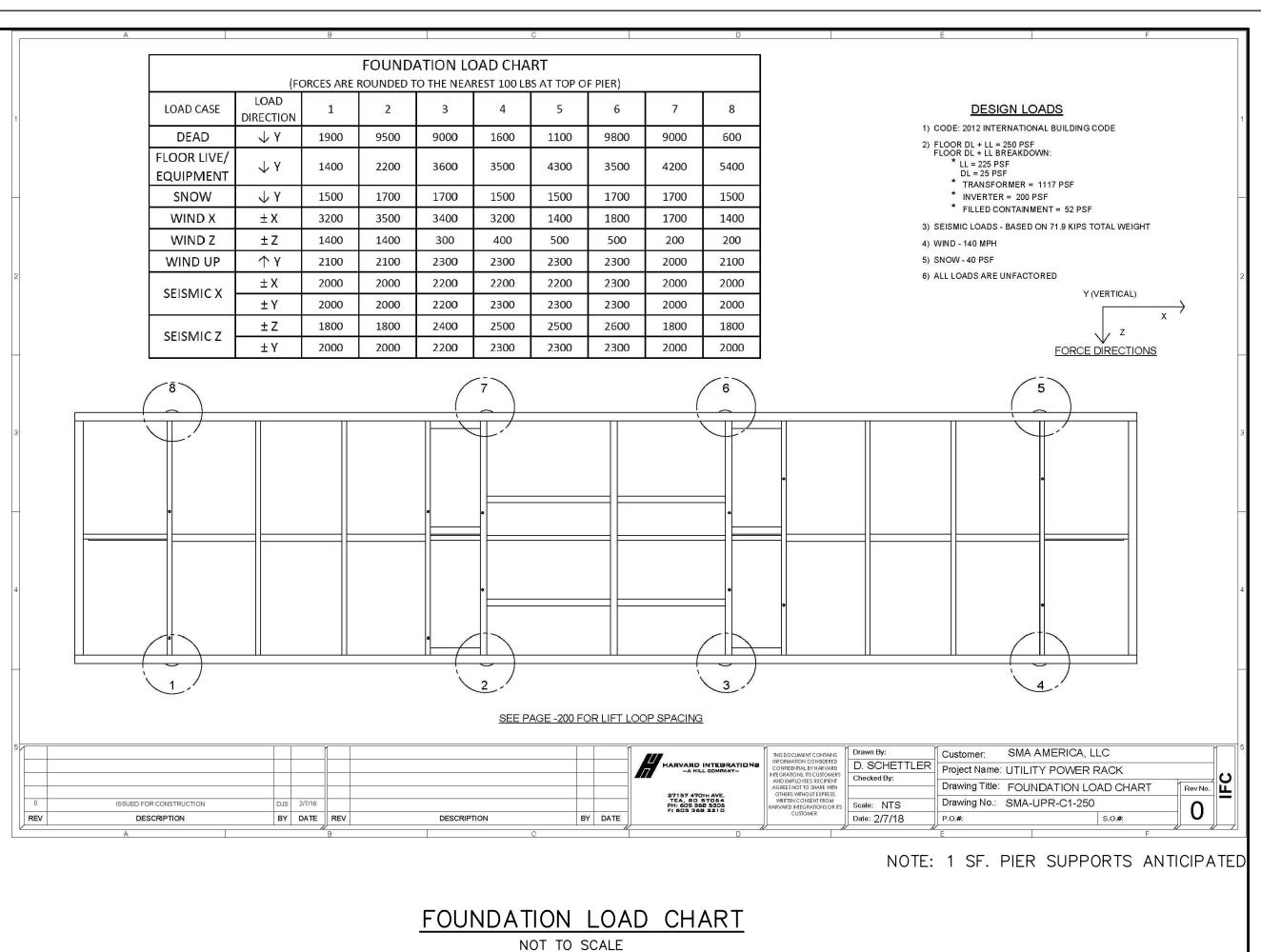
B+T JOB NO.3203.00

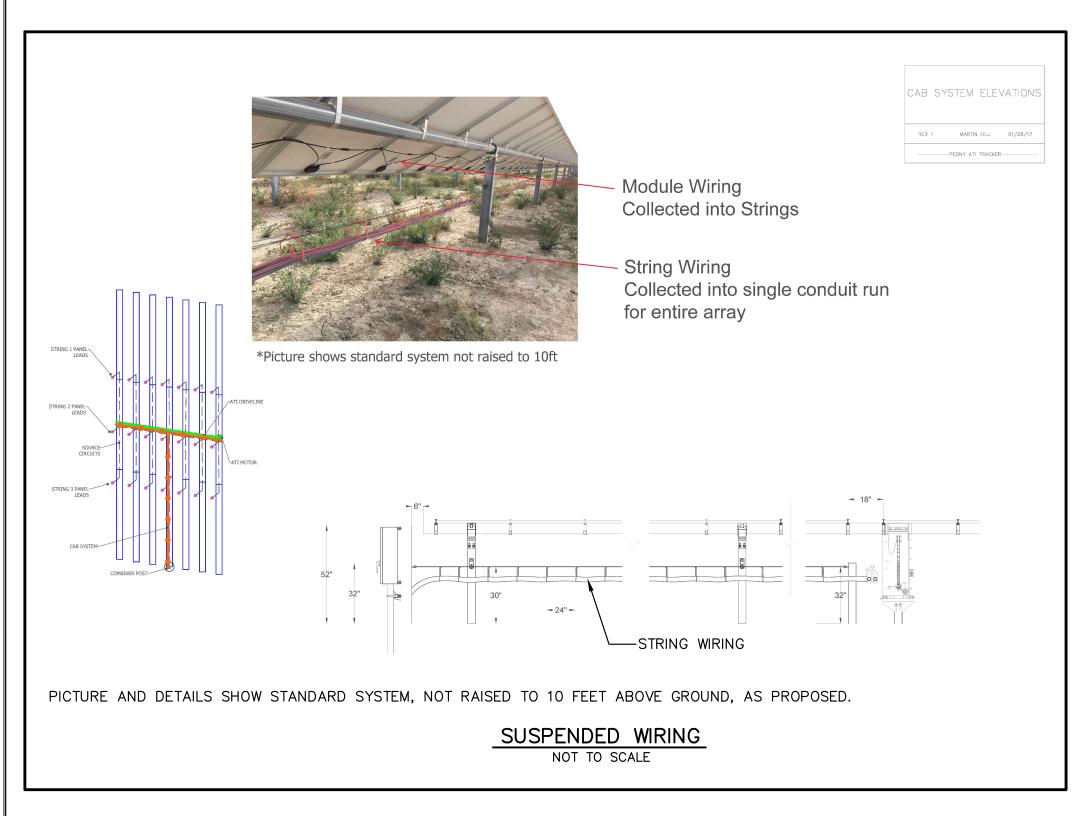
SHEET No. 21 OF 22

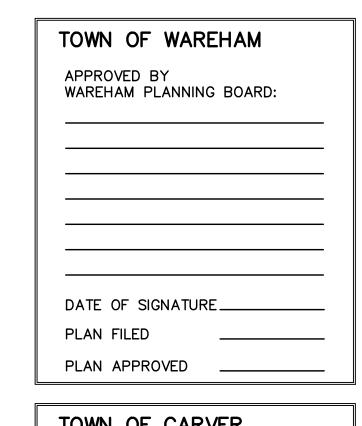
B+T PLAN NO.

320300P003B-012









TOWN OF CARVER
APPROVED BY CARVER PLANNING BOARD:
DATE OF SIGNATURE
PLAN FILED
PLAN APPROVED

FOR NOTES, REFERENCES AND LEGEND SEE SHEET C1.1.

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03/11/2021 REVISED PER TOWN COMMENTS 0 12/16/2020 ISSUED FOR PERMITTING ISSUE DATE DESCRIPTION NBB | NBB | NPS | DES | DWN | CHK'D | APP'D

PROJECT:

ROCKY MAPLE SOLAR

WAREHAM AND CARVER, MASSACHUSETTS

SCALE: AS NOTED DATE: DECEMBER 16, 2020

SITE DETAILS

B+T JOB NO.3203.00

B+T PLAN NO. 320300P003B-013

SHEET No. 22 OF 22