

# ROCKY MAPLE SOLAR

## IN

# WAREHAM AND CARVER, MASSACHUSETTS

### (Plymouth County)

#### OWNER/APPLICANT

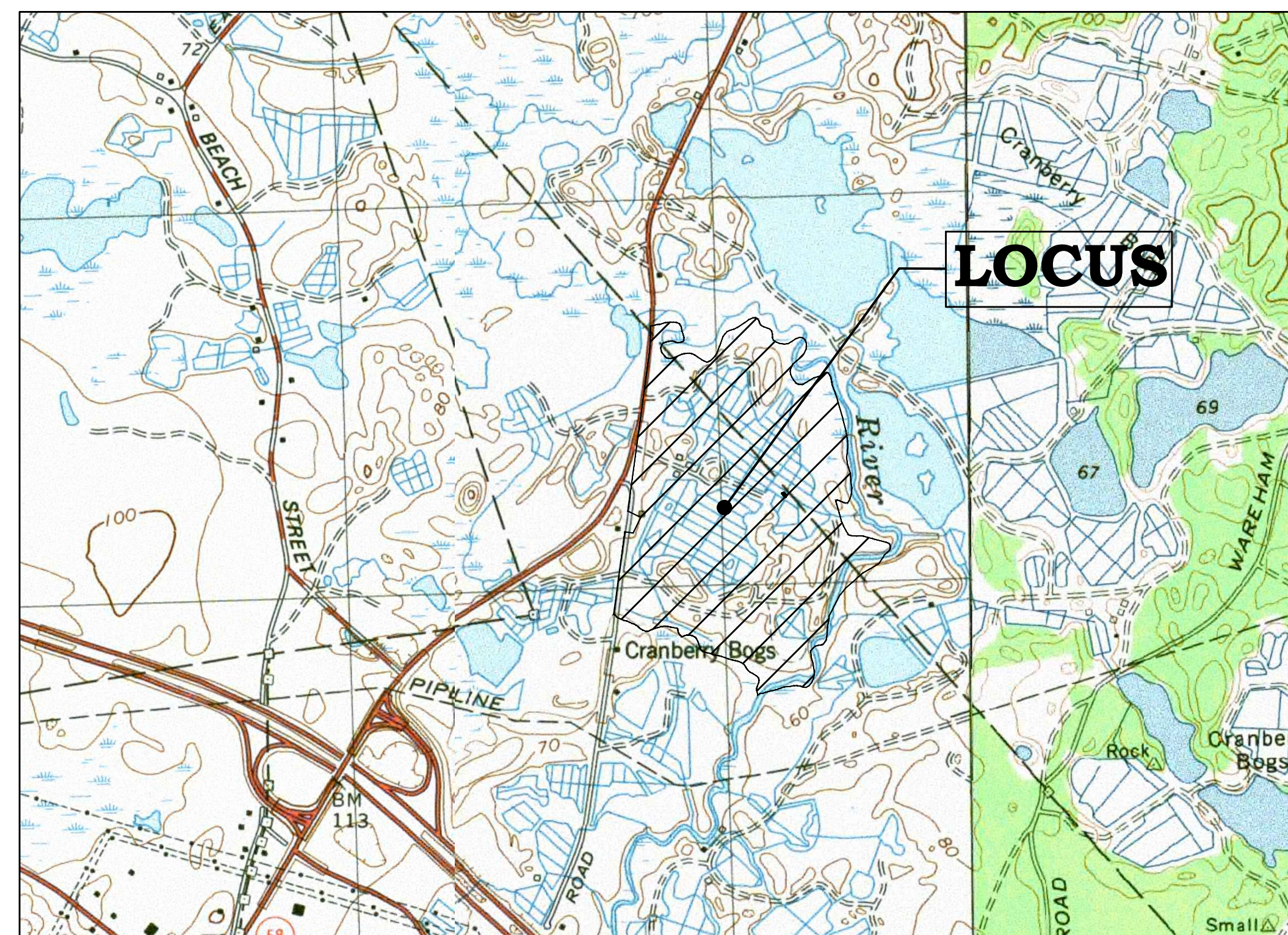
BE RE, LLC  
 PO Box 974  
 Edwards, Colorado 81632

#### CIVIL ENGINEER/SURVEYOR AND LANDSCAPE ARCHITECT

Beals and Thomas, Inc.  
 32 Court Street  
 Plymouth, Massachusetts 02360

#### PROJECT ATTORNEY

Dain, Torpy, Le Ray, Wiest & Garner, P.C.  
 745 Atlantic Avenue, Suite 500  
 Boston, Massachusetts 02111



**Locus Map**  
 Scale: 1" = 1000'



#### SHEET INDEX

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TOWN OF WAREHAM

APPROVED BY  
WAREHAM PLANNING BOARD:

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DATE OF SIGNATURE \_\_\_\_\_

PLAN FILED \_\_\_\_\_

PLAN APPROVED \_\_\_\_\_

TOWN OF CARVER

APPROVED BY  
CARVER PLANNING BOARD:

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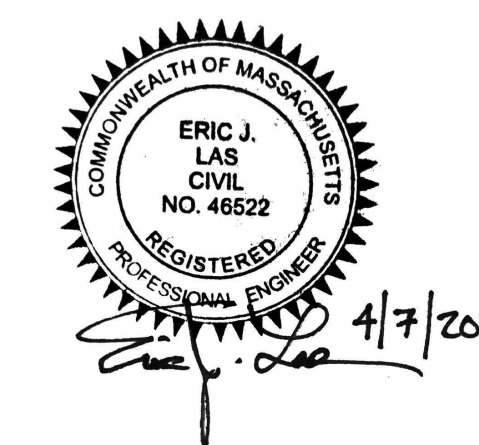
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PLAN APPROVED \_\_\_\_\_

**Issued For Permitting - December 16, 2020**  
**Revised Per Town Comments - March 11, 2021**  
**Revised Per Town Comments - April 07, 2021**



FOR PERMITTING  
ONLY

Job No.: 3203.00  
 Plan No.: 320300P00C  
 Sheet 1 of 13



**GENERAL NOTES**

- THE CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS. THE CONTRACTOR SHALL ALSO PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH THE SAME, AND COORDINATE WITH THE OWNER AND ENGINEER AS REQUIRED.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONSTRUCTION MEANS AND METHODS.
- LIMIT OF WORK SHALL BE SEDIMENT CONTROL BARRIERS, LIMIT OF GRADING AND SITE PROPERTY LINES AND/OR AS INDICATED ON DRAWINGS.
- ANY ALTERATION TO THESE DRAWINGS MADE IN THE FIELD DURING CONSTRUCTION SHALL BE RECORDED BY THE CONTRACTOR ON RECORD DOCUMENTS.
- ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.
- EXISTING TREES AND SHRUBS OUTSIDE THE LIMITS OF WORK SHALL BE REMOVED ONLY UPON PRIOR APPROVAL OF THE OWNER.
- FOR DRAWING LEGIBILITY, ALL EXISTING TOPOGRAPHIC FEATURES, EXISTING UTILITIES, PROPERTY BOUNDARIES, EASEMENTS, ETC. MAY NOT BE SHOWN ON ALL DRAWINGS. REFER TO ALL REFERENCED DRAWINGS AND OTHER DRAWINGS IN THIS SET FOR ADDITIONAL INFORMATION.
- ALL EXCAVATORS OR CONTRACTORS MUST REFER TO 520 CMR 14.00 TO OBTAIN A TRENCH PERMIT PRIOR TO ANY CONSTRUCTION RELATED TRENCHES ON SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH CONDITIONS THAT MAY BE PROMULGATED BY THE WAREHAM AND CARVER PLANNING BOARD, CONSERVATION COMMISSION AND MUNICIPAL AGENCIES.

**EROSION CONTROL AND SEDIMENTATION NOTES**

- A SEDIMENT CONTROL BARRIER SHALL BE INSTALLED ALONG THE EDGE OF PROPOSED DEVELOPMENT AS INDICATED IN THE PLAN PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OPERATIONS.
- CONTRACTOR SHALL MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES DURING ENTIRE CONSTRUCTION PERIOD.
- THE EROSION CONTROL BARRIER SHALL BE INSPECTED BY THE CONTRACTOR ON A WEEKLY BASIS.
- THE CONTRACTOR SHALL REMOVE ALL EROSION CONTROL BARRIERS AFTER REVEGETATION OF DISTURBED AREAS AND AFTER APPROVAL OF THE CONSERVATION COMMISSION
- ANY SEDIMENT TRACKED ONTO PUBLIC RIGHT-OF-WAYS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY.
- ALL STOCKPILE AREAS SHALL BE LOCATED WITHIN LIMIT OF WORK LINE AND STABILIZED TO PREVENT EROSION.
- ALL DEBRIS GENERATED DURING SITE PREPARATION ACTIVITIES SHALL BE LEGALLY DISPOSED OF.
- PROVIDE CRIBBING AS NECESSARY TO PROTECT EXISTING UTILITY LINES DURING CONSTRUCTION.
- SITE ELEMENTS TO REMAIN MUST BE PROTECTED FOR DURATION OF PROJECT.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADS.
- SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS DURING CONSTRUCTION TO ENSURE THAT THE EROSION CONTROL BARRIERS ARE INTACT.
- CONTRACTOR SHALL PROVIDE DUST CONTROL FOR CONSTRUCTION OPERATIONS AS APPROVED BY OWNER OR OWNER'S REPRESENTATIVE.
- DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- CLEAN AND MAINTAIN SEDIMENT CONTROL BARRIER AS REQUIRED DURING CONSTRUCTION OPERATIONS TO ENSURE ITS CONTINUED FUNCTIONALITY.
- TO THE EXTENT, DEWATERING WITHIN THE CRANBERRY BOGS IS NECESSARY, THE EXISTING WATER CONTROL AND CONVEYANCE SYSTEM WILL BE UTILIZED.
- ADDITIONAL MULCH TUBES SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- LOAM AND SEED ANY STOCKPILE EXPECTED TO REMAIN LONGER THAN SIX (6) MONTHS OR AT THE CONCLUSION OF THE WORK.
- IN SITUATIONS WHERE SOIL STOCKPILES OR OTHER UNVEGETATED AREAS WILL BE UNUSED FOR 14 DAYS OR LONGER, COVER OR TEMPORARY STABILIZATION WILL BE PROVIDED.
- INSTALLATION OF STABILIZATION MEASURES WILL BE COMPLETED AS SOON AS PRACTICABLE, BUT NO LONGER THAN SEVEN (7) CALENDAR DAYS AFTER STABILIZATION HAS BEEN INITIATED.

**LAYOUT AND MATERIALS NOTES**

- ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.
  - CONTRACTOR SHALL REPORT SIGNIFICANT CONFLICTS TO THE OWNER AND THE ENGINEER FOR RESOLUTION.
  - THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN SITE PLAN DIMENSIONS AND BUILDING PLANS BEFORE PROCEEDING WITH ANY PORTION OF SITE WORK WHICH MAY BE AFFECTED SO THAT PROPER ADJUSTMENTS TO THE SITE LAYOUT CAN BE MADE IF NECESSARY.
  - PROTECT EXISTING PROPERTY MONUMENTS AND ADJUTING PROPERTIES DURING CONSTRUCTION ACTIVITIES.
- GRADING, DRAINAGE AND UTILITY NOTES**
- ALL SITE WORK SHALL MEET OR EXCEED THE SITE WORK SPECIFICATIONS TO BE PREPARED FOR THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK WHICH WOULD BE AFFECTED.
  - THE CONTRACTOR SHALL VERIFY EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES, AS REQUIRED. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE OWNER AND ENGINEER FOR RESOLUTION.
  - INSTALL ALL UTILITIES AND APPURTENANCES PER UTILITY COMPANY STANDARDS.
  - CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER AND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY DAMAGE TO THESE FACILITIES RESULTING FROM CONSTRUCTION LOADS WILL BE RESTORED TO ORIGINAL CONDITION.
  - THE CONTRACTOR SHALL REMOVE ALL SEDIMENT CONTROL BARRIERS AFTER THE PROJECT IS COMPLETE AND AFTER APPROVAL OF THE CONSERVATION COMMISSION.
  - UNDERGROUND UTILITIES WILL BE INSTALLED VIA STANDARD CUT AND COVER TRENCHING METHODS. THE TRENCH WIDTH WILL BE APPROXIMATELY 3' WIDE, AND SIDE CAST MATERIAL IS NOT TO EXCEED AN ADDITIONAL 4' WIDTH BEYOND THE TRENCH. TRENCHES WILL BE COVERED AT THE END OF EACH WORK DAY.

WAREHAM ZONING TABLE	ZONING DISTRICT R-60 RESIDENCE 60
MIN. LOT AREA	60,000 SF.
MIN. FRONTAGE	180 FT.
MIN. FRONT SETBACK	20 FT.
MIN. SIDE SETBACK	10 FT.
MIN. REAR SETBACK	10 FT.
MAXIMUM BUILDING HEIGHT	35 FEET

CARVER ZONING TABLE	ZONING DISTRICT RA RESIDENTIAL/AGRICULTURAL
MIN. LOT AREA	60,000 SF.
MIN. FRONTAGE	150 FT.
MIN. FRONT SETBACK	50 FT.
MIN. SIDE SETBACK	30 FT.
MIN. REAR SETBACK	50 FT.
MAXIMUM BUILDING HEIGHT	35 FEET
MAXIMUM LOT WIDTH	80 FT.
MAXIMUM SITE DENSITY	50% (FOR SITES WITH 10-20 ACRES WITHIN SECURITY FENCE) 66% (FOR SITES WITH >20 ACRES WITHIN SECURITY FENCE)
MAX. BUILDING COVERAGE	30%
MINIMUM UPLAND	70% OF MINIMUM LOT SIZE

**PLANTING NOTES**

- RESTORE ALL DISTURBED AREAS AS SHOWN ON PLANS UNLESS OTHERWISE INDICATED.
- LOAM AND SEED** LAYDOWN AREAS, USING NEW ENGLAND EROSION CONTROL/RESTORATION SEED MIX FOR DRY SITES, SUPPLIED BY NEW ENGLAND WETLAND PLANTS INC. (OR APPROVED EQUAL).
- REGRADE STOCKPILE AREAS AFTER REMOVAL OF SURPLUS MATERIALS. SEED THE DISTURBED AREA UNLESS WITHIN EXISTING AGRICULTURAL AREAS.
- PLANTING SEED SHALL BE SOWN IN SEASONAL CONDITIONS AS APPROPRIATE FOR GOOD SEED SURVIVAL, OR AT SUCH TIMES AS APPROVED BY THE OWNER.
- IF CERTAIN OF THE SEEDED AREAS DO NOT SHOW A PROMPT "CATCH", THESE SHALL BE RESEED AT THE SAME RATE AND IN THE SAME MANNER AS BEFORE IN INTERVALS OF TEN (10) DAYS, WHICH PROCESS SHALL CONTINUE UNTIL A GROWTH OF GRASS IS ESTABLISHED OVER THE ENTIRE AREA.
- PROTECT NEWLY TOPSOILED, GRADED AND/OR SEEDED AREAS FROM TRAFFIC AND EROSION. KEEP AREAS FREE OF TRASH AND DEBRIS RESULTING FROM LANDSCAPE CONTRACTOR OPERATIONS.
- REPAIR AND RE-ESTABLISH GRADES IN SETTLED, ERODED AND RUTTED AREAS TO THE SPECIFIED GRADE AND TOLERANCES.

**SOLAR GENERAL NOTES**

- THESE NOTES SET MINIMUM STANDARDS FOR CONSTRUCTION. THE DRAWINGS GOVERN OVER THESE NOTES IN CASE OF CONFLICT.
- ALL WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF THE FOLLOWING: LOCAL BUILDING CODE, LOCAL ELECTRICAL CODE, ANY OTHER REGULATING AGENCIES WHICH HAVE AUTHORITY OVER ANY PORTION OF THE WORK AND THOSE CODES AND STANDARDS LISTED IN THESE DRAWINGS AND IN ANY CONTRACTOR AGREEMENT.
- EXCEPTIONS TO THE CONTRACT DOCUMENTS ARE PERMITTED ONLY WITH THE APPROVAL OF BE RE LLC.
- COORDINATE THESE DRAWINGS WITH SPECIFICATIONS AND MANUFACTURER INSTALLATION AND OPERATION MANUALS AND NOTIFY BE RE LLC OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK.
- PRIOR TO THE COMMENCEMENT OF ANY WORK, EACH TRADE SHALL VERIFY EXISTING CONDITIONS AND NOTIFY BE RE LLC OF ANY DISCREPANCIES TO THAT WHICH IS SHOWN IN THESE DRAWINGS, INCLUDING BUT NOT LIMITED TO DIMENSIONS OF THE WORK AREA, STRUCTURE, EXISTING ELECTRICAL SERVICE, CONDUIT PATHS, OBSTRUCTIONS, ACCESSIBILITY ISSUES, AND WORKING CLEARANCES. ANY WORK PERFORMED IN CONFLICT WITH THE CONTRACT DOCUMENTS OR ANY CODE REQUIREMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- NO STRUCTURAL MEMBER SHALL BE DRILLED UNLESS SPECIFICALLY AUTHORIZED BY BE RE LLC.
- CONTRACTOR ACKNOWLEDGES THAT THE SYSTEM AS INDICATED ON THE PLANS REQUIRES ALL COMPONENTS TO BE INSTALLED TO PROPERLY RESIST WIND LOADS, SUCH AS BALLAST, WIND DEFLECTORS, ETC. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE TEMPORARY MEANS TO RESIST WIND LOADS FOR ALL COMPONENTS NOT YET INSTALLED DURING AND AFTER REGULAR WORKING HOURS. THIS MAY INCLUDE TEMPORARY TIE DOWNS, COVERING, BALLAST OR ANY OTHER MEANS. DAMAGE TO ANY INSTALLED SYSTEM COMPONENT OR THE EXISTING FACILITY AS A RESULT OF THE UNFINISHED CONDITION NOT ADEQUATELY RESISTING WIND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR OR REPLACE AT THE CONTRACTOR'S COST.
- TIMBER PILES, HELICAL PILES OR I-BEAMS WILL BE USED TO SUPPORT THE SOLAR RACKS. HELICAL PILES WILL BE INSTALLED BY SPECIALIZED EQUIPMENT TO SCREW THE PIERS INTO THE GROUND. I-BEAMS WILL BE INSTALLED BY PILE DRIVING EQUIPMENT AND DRIVEN INTO THE GROUND BY VIBRATORY METHODS. IN EITHER CASE, NO FOOTINGS WILL BE USED, AND NO MATERIAL WILL BE EXCAVATED/DISPLACED FROM THE GROUND.
- NO SOLAR PANELS SHALL BE INSTALLED WITHIN TWENTY (20) FEET OF THE EXISTING CRANBERRY BOG LIMIT OR THE AREAS DESIGNATED AS CRANBERRY HARVESTING AREAS.
- THE SOLAR ARRAY LAYOUT IS DEPICTED SCHEMATICALLY; THE FINAL SIZE AND PANEL ORIENTATION ON THE NOTED CRANBERRY BOGS WILL BE DETERMINED PRIOR TO THE APPLICATION FOR A BUILDING PERMIT.
- THE NECESSITY, EXTENT AND SPECIFIC SIZE AND TYPE OF FENCE MATERIALS WILL BE DETERMINED WITH THE TOWN.
- FENCE LOCATION IS APPROXIMATE.
- BY REQUEST OF THE WAREHAM PLANNING BOARD, THE UTILITY-OWNED POI HAS BEEN REVISED FROM POLE-MOUNTED TO PAD-MOUNTED INFRASTRUCTURE. EVERSOURCE HAS DISCRETION TO AMEND THIS LAYOUT PER UTILITY NEEDS, TO BE DETERMINED. IF A POLE-MOUNTED POI IS ULTIMATELY REQUIRED BY EVERSOURCE, THE WAREHAM PLANNING BOARD WILL AMEND THE DECISION TO INCLUDE EVERSOURCE'S REQUIRED POI THROUGH THE APPROVAL OF A MINOR MODIFICATION.

## LEGEND

EXISTING	PROPOSED

PREPARED FOR:

**BE RE, LLC**  
PO BOX 974  
EDWARDS, COLORADO



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ISSUE DATE	DESCRIPTION
NBB	NBB NPS EJJ
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PROJECT:

**ROCKY MAPLE SOLAR**  
WAREHAM AND CARVER,  
MASSACHUSETTS

SCALE: N/A DATE: DECEMBER 16, 2020

**NOTES, REFERENCES AND LEGEND**

B+T JOB NO.3203.00

B+T PLAN NO. 320300P003C-002

C1.1

SHEET No. 2 OF 13

### ZONING TABLE

WAREHAM ZONING DISTRICT = RESIDENCE 60 (R60)		
	REQUIRED	PROPOSED
MINIMUM LOT AREA (SF)	60,000	4,807,007
MINIMUM LOT FRONTAGE (FT)	180	2,307
MINIMUM FRONT YARD SETBACK (FT)	20	92
MINIMUM SIDE YARD SETBACK (FT)	10	194
MINIMUM REAR YARD SETBACK (FT)	10	211
MAXIMUM BUILDING HEIGHT (FT)	35	13
CARVER ZONING DISTRICT = RESIDENTIAL/AGRICULTURAL (RA)		
MINIMUM LOT AREA (SF)	60,000	4,807,007
MINIMUM LOT FRONTAGE (FT)	150	2,307
MINIMUM FRONT YARD SETBACK (FT)	50	92
MINIMUM SIDE YARD SETBACK (FT)	30	194
MINIMUM REAR YARD SETBACK (FT)	50	211
MAXIMUM BUILDING HEIGHT (FT)	35	13

**TOWN OF WAREHAM**

APPROVED BY WAREHAM PLANNING BOARD:

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DATE OF SIGNATURE \_\_\_\_\_

PLAN FILED \_\_\_\_\_

PLAN APPROVED \_\_\_\_\_

**TOWN OF CARVER**

APPROVED BY CARVER PLANNING BOARD:

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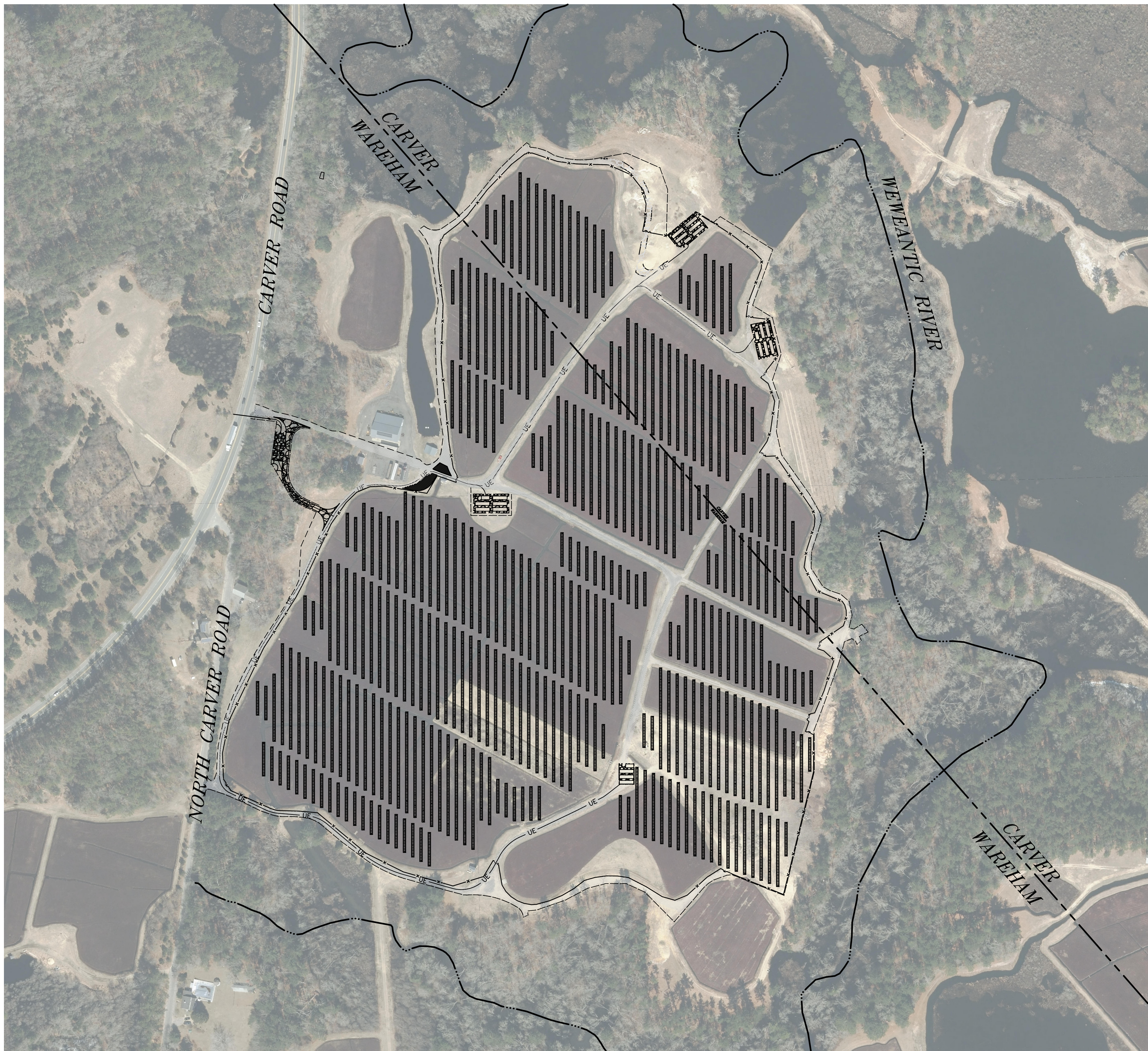
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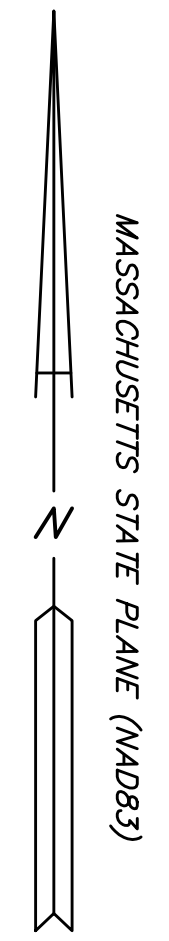
**TOWN OF WAREHAM**  
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**TOWN OF CARVER**  
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**LEGEND**

	PROPERTY LINE
	APPROX. CENTER LINE OF STREAM
	BORDERING VEGETATIVE WETLANDS
	PROPOSED LIMIT OF WORK
	PROPOSED OVERHEAD WIRES
	PROPOSED UNDERGROUND ELECTRIC
	PROPOSED SOLAR MODULES



FOR NOTES, REFERENCES AND LEGEND SEE SHEET C1.1.  
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**BE RE, LLC**  
 PO BOX 974  
 EDWARDS, COLORADO

Professional Engineer Seal for Eric J. Las, No. 46522, Registered Professional Engineer, dated 4/7/2021.

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PREPARED BY:  
**BEALS + THOMAS**  
 Civil Engineers + Landscape Architects +  
 Land Surveyors + Planners +  
 Environmental Specialists

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PROJECT:  
**ROCKY MAPLE SOLAR**  
 WAREHAM AND CARVER,  
 MASSACHUSETTS

SCALE: 1" = 150' DATE: DECEMBER 16, 2020

METERS  
 0 25 50 100  
 FEET  
 0 75 150 300 450

**OVERVIEW**

B+T JOB No. 3203.00

B+T PLAN No. 320300P003C-003

SHEET No. 3 OF 13

**C2.1**



**TOWN OF WAREHAM**

APPROVED BY  
WAREHAM PLANNING BOARD:

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**TOWN OF CARVER**

APPROVED BY  
CARVER PLANNING BOARD:

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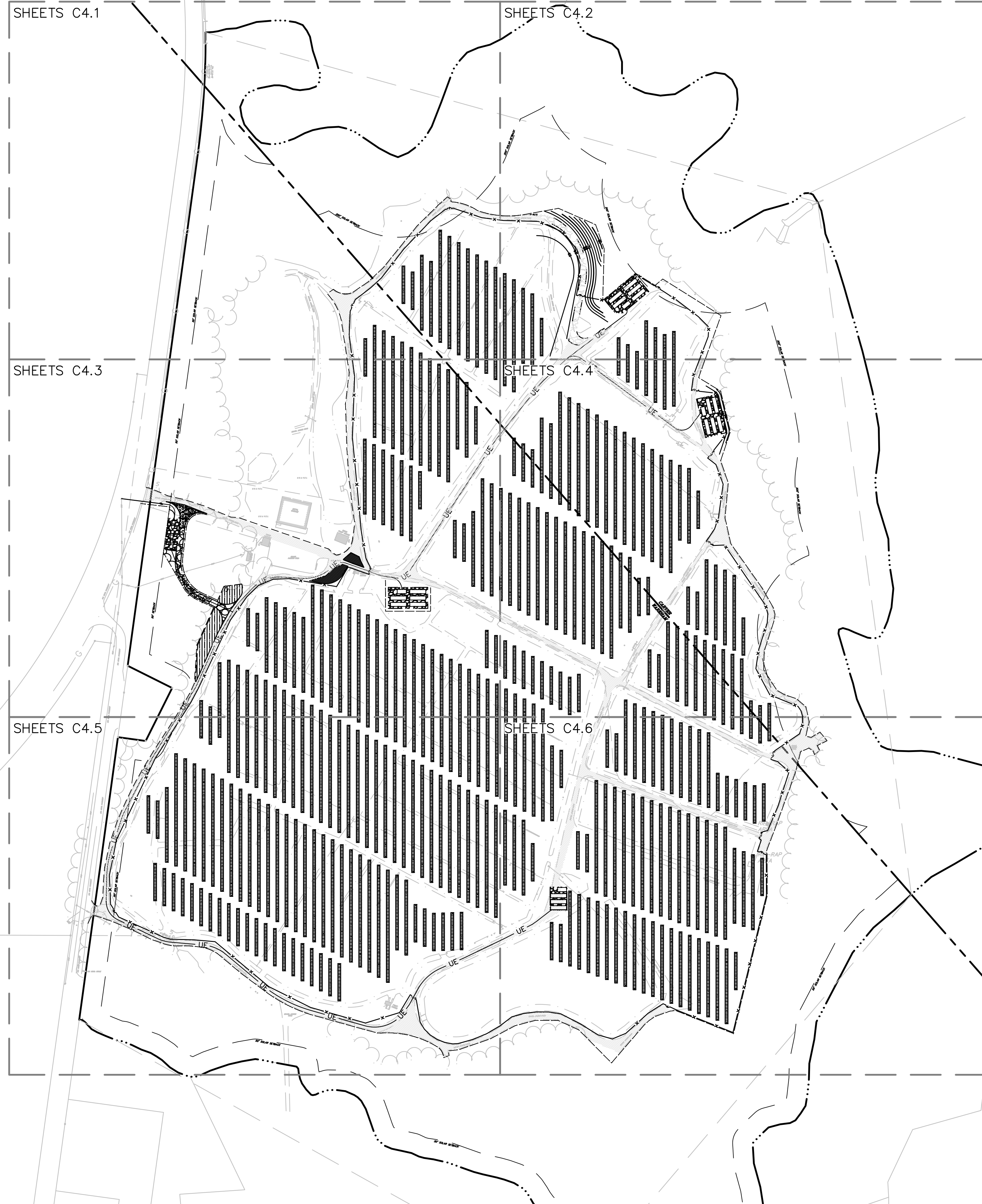
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MASSACHUSETTS

SCALE: 1" = 150' DATE: DECEMBER 16, 2020

**INDEX SHEET**

B+T JOB No.3203.00

B+T PLAN No. 320300P003C-004

SHEET No. 4 OF 13

**C3.1**

FOR NOTES, REFERENCES AND LEGEND SEE SHEET C1.1.

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WAREHAM AND CARVER, MASSACHUSETTS

SCALE: 1" = 40' DATE: DECEMBER 16, 2020



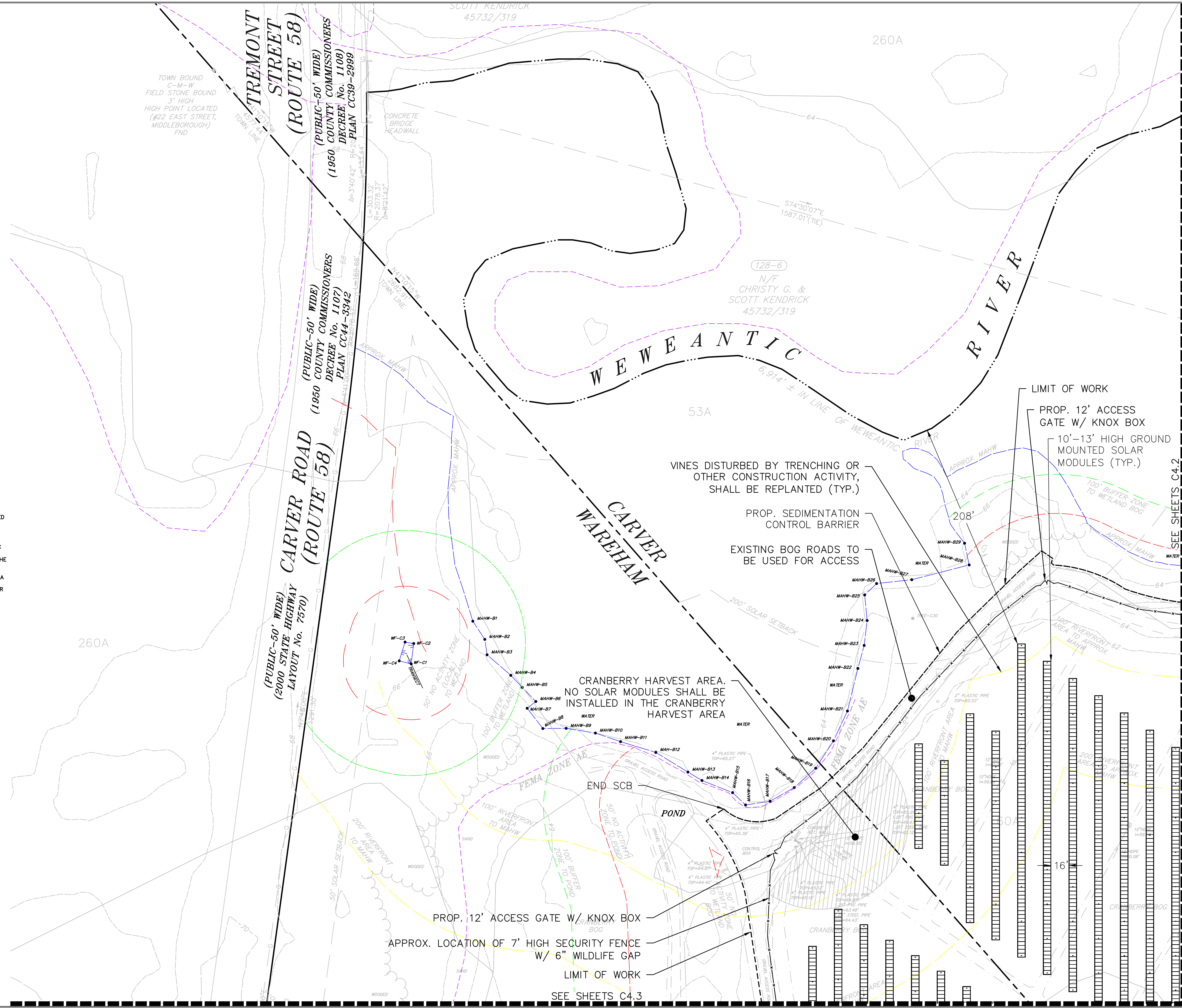
**SITE DEVELOPMENT PLAN**

B+T JOB NO.3203.00

B+T PLAN NO. 320300P003C-005

SHEET No. 5 OF 13

**C4.1**



FOR NOTES, REFERENCES AND LEGEND SEE SHEET C1.1.  
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**TOWN OF WAREHAM**

APPROVED BY  
WAREHAM PLANNING BOARD:

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DATE OF SIGNATURE \_\_\_\_\_

PLAN FILED \_\_\_\_\_

PLAN APPROVED \_\_\_\_\_

**TOWN OF CARVER**

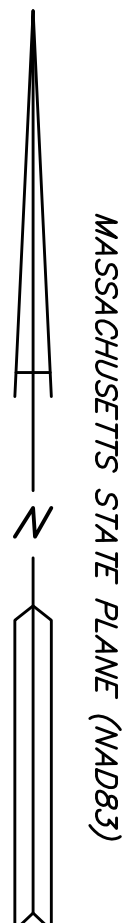
APPROVED BY  
CARVER PLANNING BOARD:

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DATE OF SIGNATURE \_\_\_\_\_

PLAN FILED \_\_\_\_\_

PLAN APPROVED \_\_\_\_\_



TOWN BOUND  
C-M-W  
FIELD STONE BOUND  
3' HIGH  
HIGH POINT LOCATED  
(#22 EAST STREET,  
MIDDLEBOROUGH)  
FND

TREMONT STREET  
(ROUTE 58)  
(PUBLIC-50' WIDE)  
(1950 COUNTY COMMISSIONERS  
DECREE, No. 1108)  
PLAN CC39-2999

CARVER ROAD  
(ROUTE 58)  
(PUBLIC-50' WIDE)  
(1950 COUNTY COMMISSIONERS  
DECREE No. 1107)  
PLAN CC44-3342

(PUBLIC-50' WIDE)  
(2000 STATE HIGHWAY  
LAYOUT No. 7570)

SCOTT KENDRICK  
45732/319

260A

53A

260A

CARVER  
WAREHAM

CRANBERRY HARVEST AREA.  
NO SOLAR MODULES SHALL BE  
INSTALLED IN THE CRANBERRY  
HARVEST AREA

FEMA ZONE AE

POND

PROP. 12' ACCESS GATE W/ KNOX BOX

APPROX. LOCATION OF 7' HIGH SECURITY FENCE  
W/ 6" WILDLIFE GAP

LIMIT OF WORK

SEE SHEETS C4.3

VINES DISTURBED BY TRENCHING OR  
OTHER CONSTRUCTION ACTIVITY,  
SHALL BE REPLANTED (TYP.)

PROP. SEDIMENTATION  
CONTROL BARRIER

EXISTING BOG ROADS TO  
BE USED FOR ACCESS

LIMIT OF WORK

PROP. 12' ACCESS  
GATE W/ KNOX BOX

10'-13' HIGH GROUND  
MOUNTED SOLAR  
MODULES (TYP.)

SEE SHEETS C4.2

100' BUFFER ZONE  
TO WETLAND BOG

100' RIVERFRONT AREA TO APPROX.  
MAHW

200' RIVERFRONT AREA TO APPROX.  
MAHW

200' RIVERFRONT AREA TO APPROX.  
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200' RIVERFRONT AREA TO APPROX.  
MAHW

200' SOLAR SETBACK

END SCB

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50' NO ACTIVITY ZONE  
(LOCAL)  
TO WETLAND

100' BUFFER ZONE  
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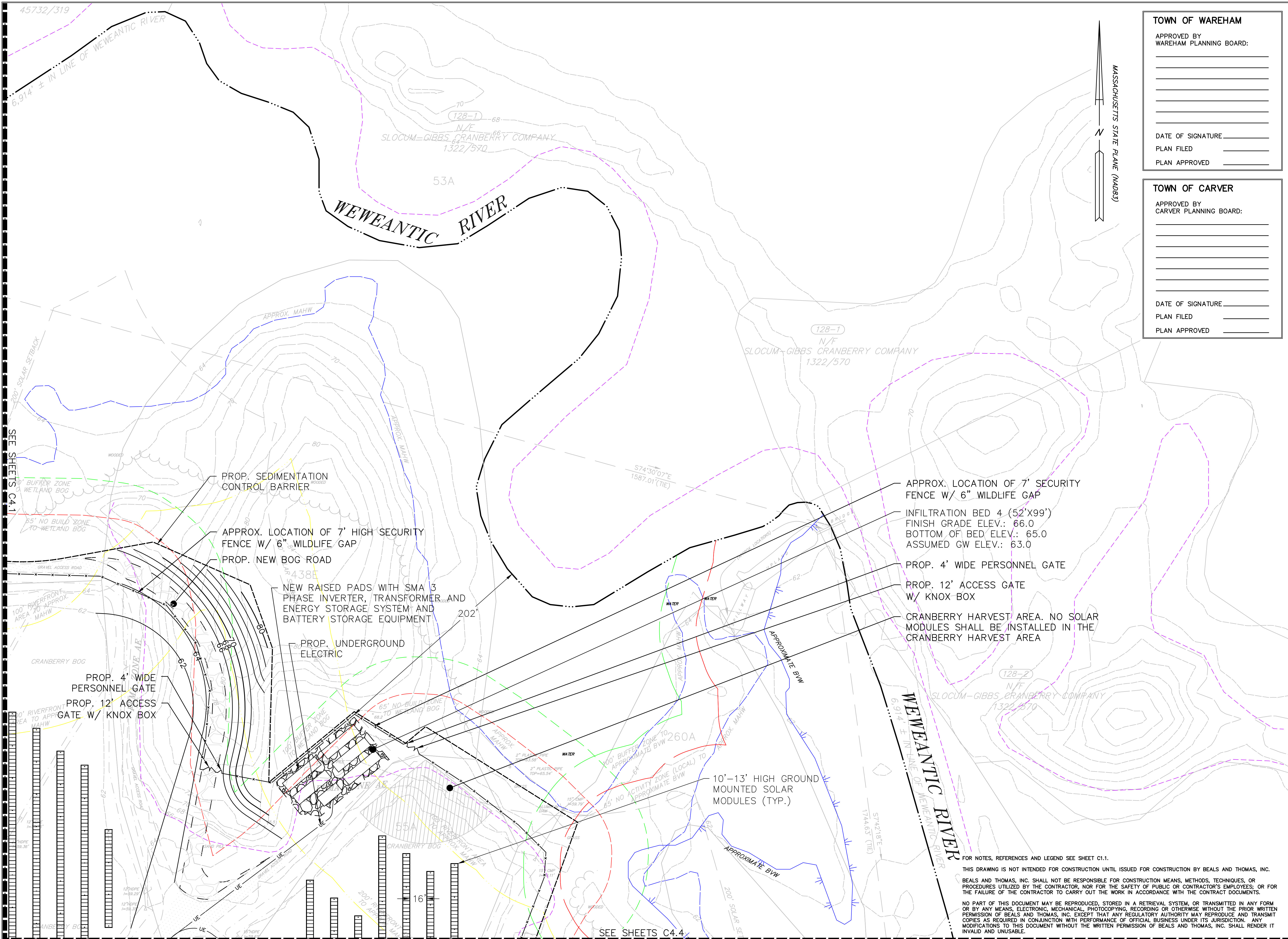
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**TOWN OF WAREHAM**  
 APPROVED BY  
 WAREHAM PLANNING BOARD:  
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 DATE OF SIGNATURE \_\_\_\_\_  
 PLAN FILED \_\_\_\_\_  
 PLAN APPROVED \_\_\_\_\_

**TOWN OF CARVER**  
 APPROVED BY  
 CARVER PLANNING BOARD:  
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 DATE OF SIGNATURE \_\_\_\_\_  
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PREPARED FOR:  
  
**BE RE, LLC**  
 PO BOX 974  
 EDWARDS, COLORADO



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2	04/07/2021 REVISED PER TOWN COMMENTS
1	03/11/2021 REVISED PER TOWN COMMENTS
0	12/16/2020 ISSUED FOR PERMITTING
	ISSUE DATE DESCRIPTION
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DES	DWN CHK'D APP'D

PROJECT:  
**ROCKY MAPLE SOLAR**  
 WAREHAM AND CARVER,  
 MASSACHUSETTS

SCALE: 1" = 40' DATE: DECEMBER 16, 2020  
 METERS  
 0 5 10 25  
 FEET  
 0 20 40 80 120

**SITE DEVELOPMENT PLAN**

B+T JOB NO. 3203.00  
 B+T PLAN NO. 320300P003C-006  
 SHEET No. 6 OF 13

**C4.2**

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SEE SHEETS C4.1

SEE SHEETS C4.4



MASSACHUSETTS STATE PLANE (NAD83)

SEE SHEETS C4.1

PREPARED FOR:

**BE RE, LLC**  
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EDWARDS, COLORADO



4/7/2021



4/7/2021

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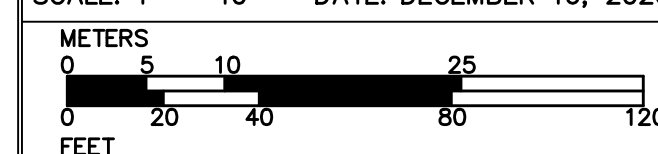
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2	04/07/2021 REVISED PER TOWN COMMENTS
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0	12/16/2020 ISSUED FOR PERMITTING
ISSUE DATE	DESCRIPTION
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PROJECT:

**ROCKY MAPLE SOLAR**  
WAREHAM AND CARVER, MASSACHUSETTS

SCALE: 1" = 40' DATE: DECEMBER 16, 2020



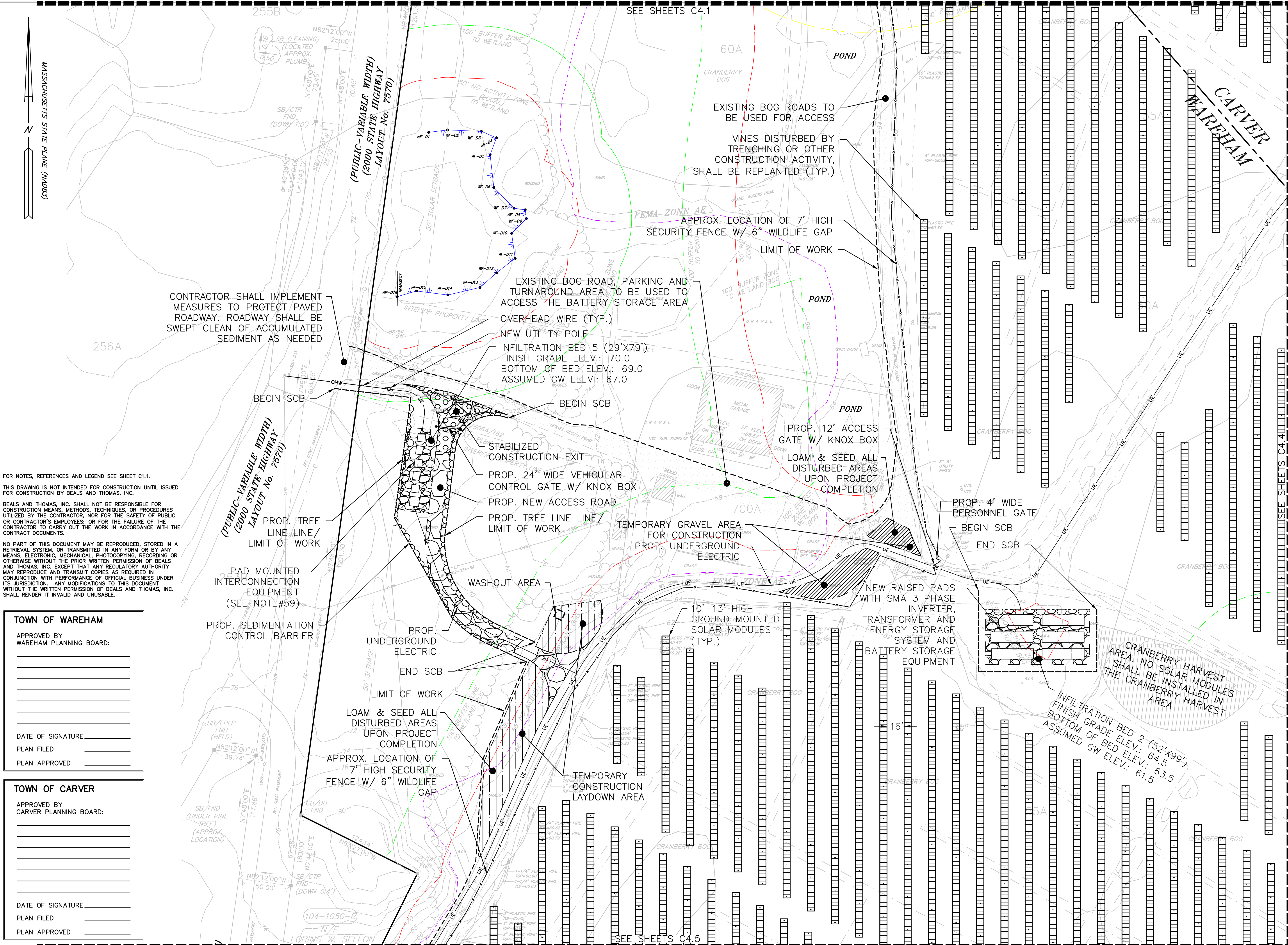
**SITE DEVELOPMENT PLAN**

B+T JOB No.3203.00

B+T PLAN No. 320300P003C-007

**C4.3**

SHEET No. 7 OF 13



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**TOWN OF WAREHAM**

APPROVED BY  
WAREHAM PLANNING BOARD:

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DATE OF SIGNATURE \_\_\_\_\_

PLAN FILED \_\_\_\_\_

PLAN APPROVED \_\_\_\_\_

**TOWN OF CARVER**

APPROVED BY  
CARVER PLANNING BOARD:

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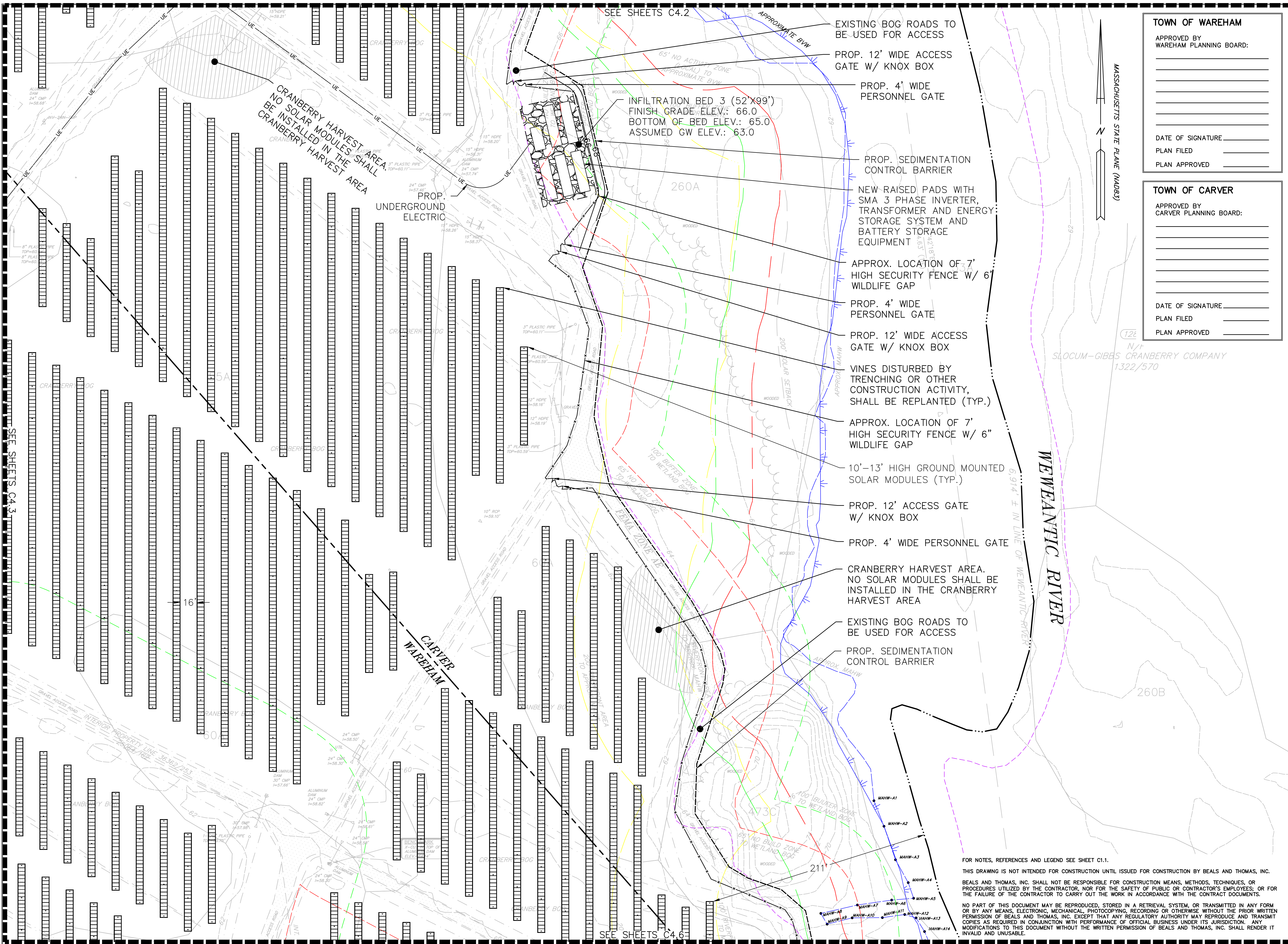
DATE OF SIGNATURE \_\_\_\_\_

PLAN FILED \_\_\_\_\_

PLAN APPROVED \_\_\_\_\_

SEE SHEETS C4.5



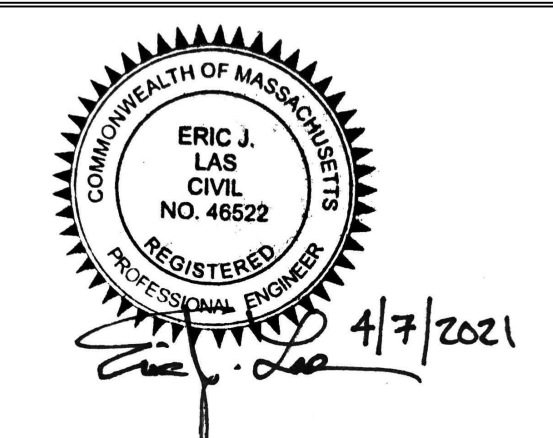


**TOWN OF WAREHAM**  
 APPROVED BY  
 WAREHAM PLANNING BOARD:  
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**TOWN OF CARVER**  
 APPROVED BY  
 CARVER PLANNING BOARD:  
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 PLAN FILED \_\_\_\_\_  
 PLAN APPROVED \_\_\_\_\_

PREPARED FOR:

**BE RE, LLC**  
 PO BOX 974  
 EDWARDS, COLORADO



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ISSUE DATE	DESCRIPTION
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PROJECT:  
**ROCKY MAPLE SOLAR**  
 WAREHAM AND CARVER,  
 MASSACHUSETTS

SCALE: 1" = 40' DATE: DECEMBER 16, 2020  
 METERS  
 0 5 10 25  
 FEET  
 0 20 40 80 120

**SITE DEVELOPMENT PLAN**

B+T JOB No. 3203.00  
 B+T PLAN No. 32030003C-008  
 SHEET No. 8 OF 13

**C4.4**

FOR NOTES, REFERENCES AND LEGEND SEE SHEET C1.1.  
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**TOWN OF WAREHAM**

APPROVED BY  
WAREHAM PLANNING BOARD:

DATE OF SIGNATURE \_\_\_\_\_

PLAN FILED \_\_\_\_\_

PLAN APPROVED \_\_\_\_\_

**TOWN OF CARVER**

APPROVED BY  
CARVER PLANNING BOARD:

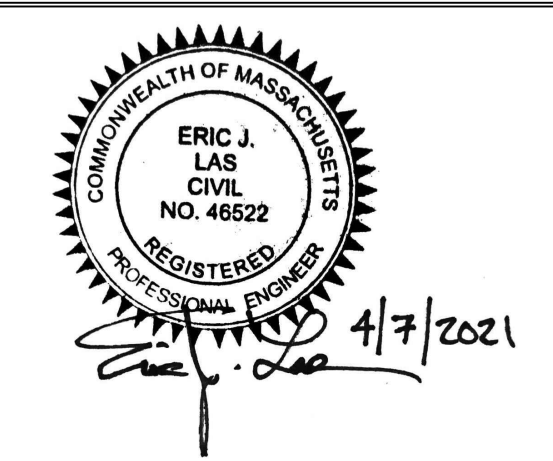
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PLAN FILED \_\_\_\_\_

PLAN APPROVED \_\_\_\_\_

PREPARED FOR:

**BE RE, LLC**  
PO BOX 974  
EDWARDS, COLORADO



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Civil Engineers + Landscape Architects +  
Land Surveyors + Planners +  
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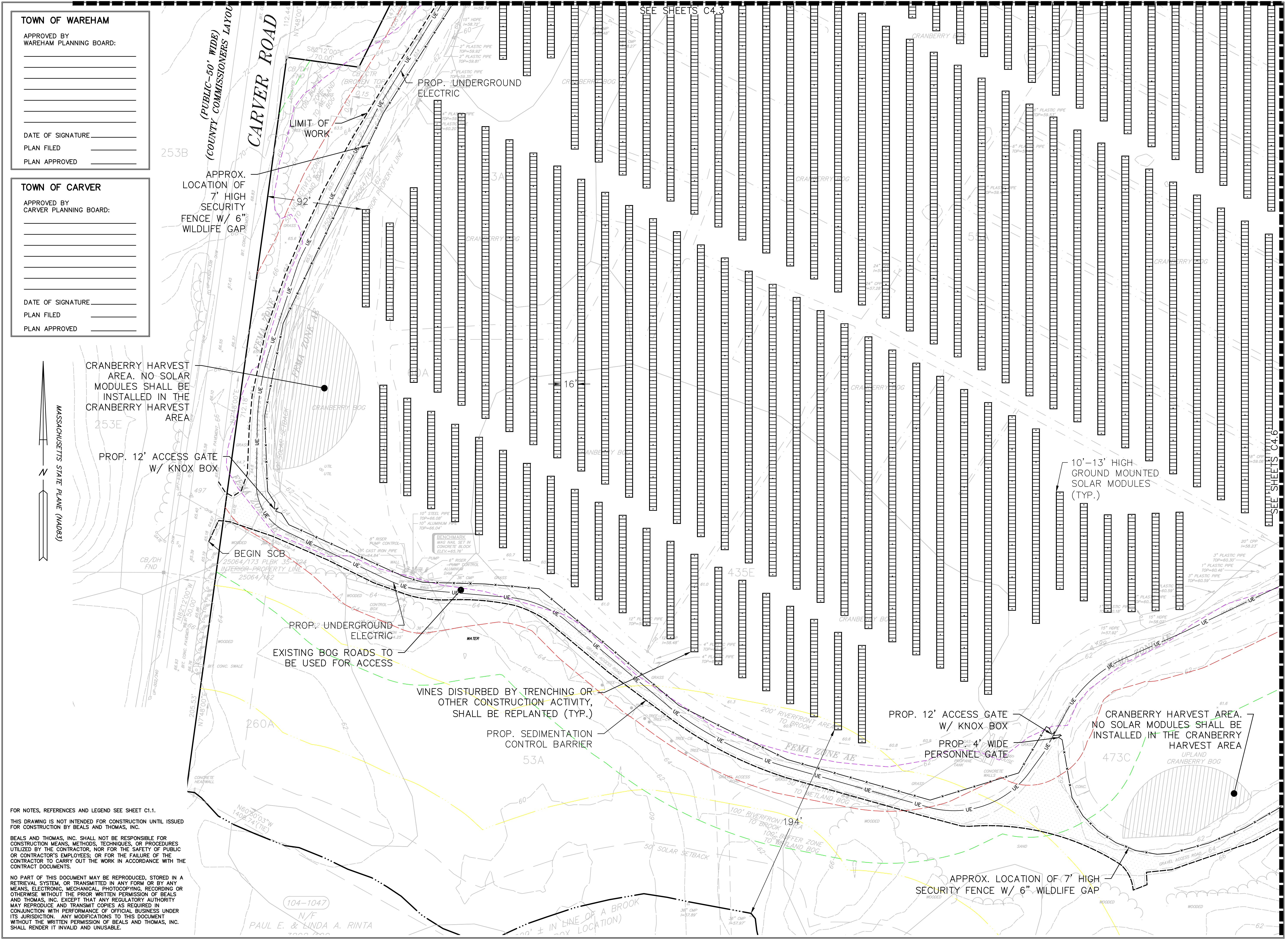
PROJECT:  
**ROCKY MAPLE SOLAR**  
WAREHAM AND CARVER,  
MASSACHUSETTS

SCALE: 1" = 40' DATE: DECEMBER 16, 2020

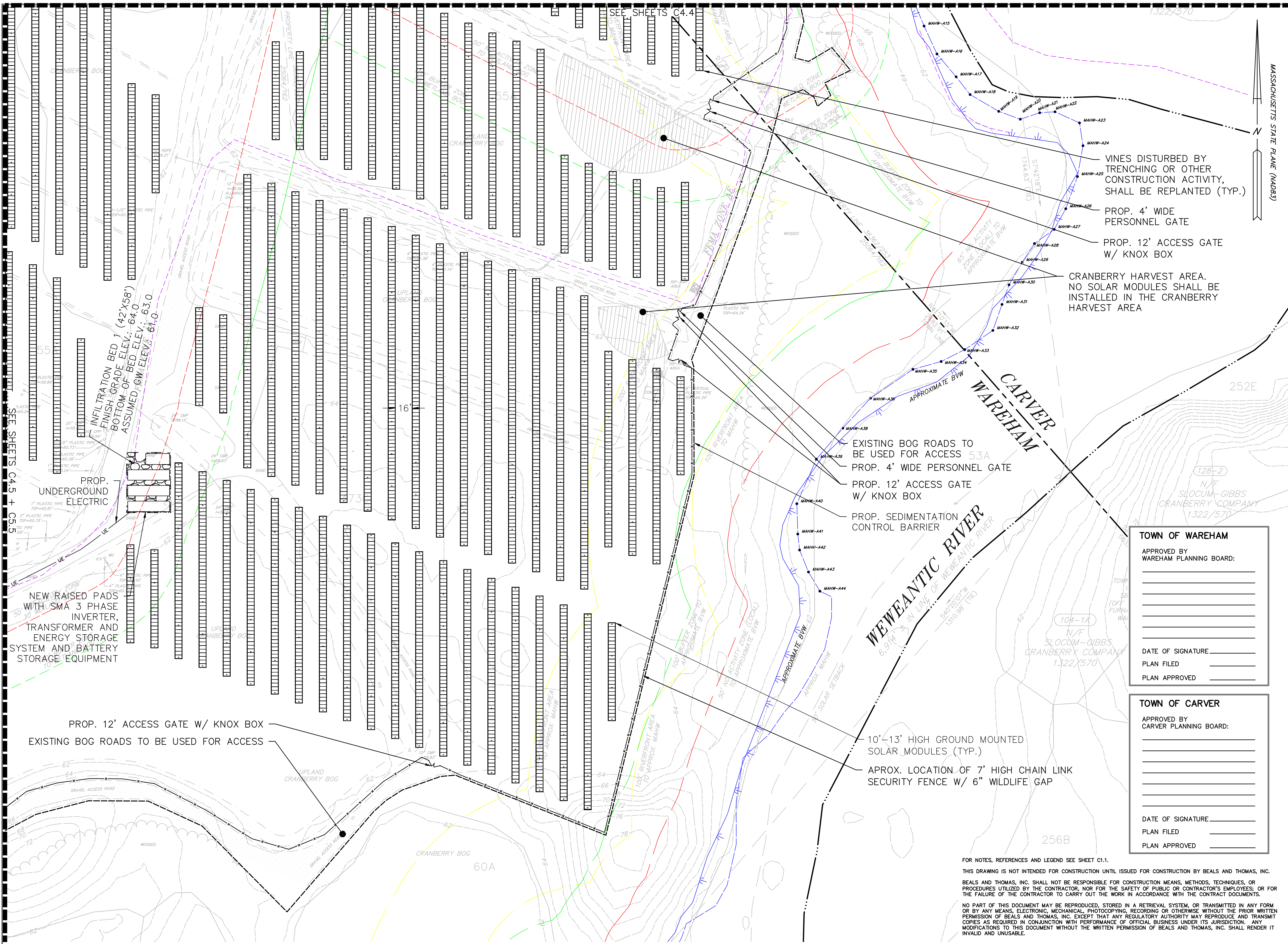
**SITE DEVELOPMENT PLAN**

B+T JOB No. 3203.00  
B+T PLAN No. 320300P003B-009  
SHEET No. 9 OF 13

**C4.5**

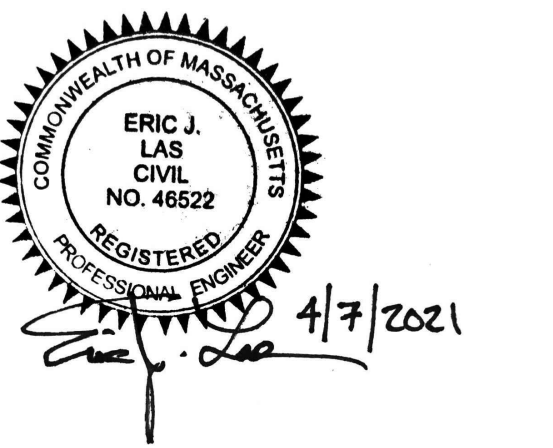






PREPARED FOR:

**BE RE, LLC**  
 PO BOX 974  
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ISSUE DATE	DESCRIPTION
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2	04/07/2021 REVISED PER TOWN COMMENTS
1	03/11/2021 REVISED PER TOWN COMMENTS
0	12/16/2020 ISSUED FOR PERMITTING

ISSUE DATE	DESCRIPTION	NBB	NBS	NPS	EJL
		DES	DWN	CHK'D	APP'D

PROJECT:  
**ROCKY MAPLE SOLAR**  
 WAREHAM AND CARVER,  
 MASSACHUSETTS

SCALE: 1" = 40' DATE: DECEMBER 16, 2020  
 METERS  
 0 5 10 25  
 FEET  
 0 20 40 80 120

**SITE DEVELOPMENT PLAN**

B+T JOB NO. 3203.00  
 B+T PLAN NO. 320300P03C-10  
 SHEET No. 10 OF 13

**C4.6**

VINES DISTURBED BY TRENCHING OR OTHER CONSTRUCTION ACTIVITY, SHALL BE REPLANTED (TYP.)  
 PROP. 4' WIDE PERSONNEL GATE  
 PROP. 12' ACCESS GATE W/ KNOX BOX  
 CRANBERRY HARVEST AREA. NO SOLAR MODULES SHALL BE INSTALLED IN THE CRANBERRY HARVEST AREA

EXISTING BOG ROADS TO BE USED FOR ACCESS  
 PROP. 4' WIDE PERSONNEL GATE  
 PROP. 12' ACCESS GATE W/ KNOX BOX  
 PROP. SEDIMENTATION CONTROL BARRIER

10'-13' HIGH GROUND MOUNTED SOLAR MODULES (TYP.)  
 APROX. LOCATION OF 7' HIGH CHAIN LINK SECURITY FENCE W/ 6" WILDLIFE GAP

**TOWN OF WAREHAM**

APPROVED BY WAREHAM PLANNING BOARD:

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DATE OF SIGNATURE \_\_\_\_\_

PLAN FILED \_\_\_\_\_

PLAN APPROVED \_\_\_\_\_

**TOWN OF CARVER**

APPROVED BY CARVER PLANNING BOARD:

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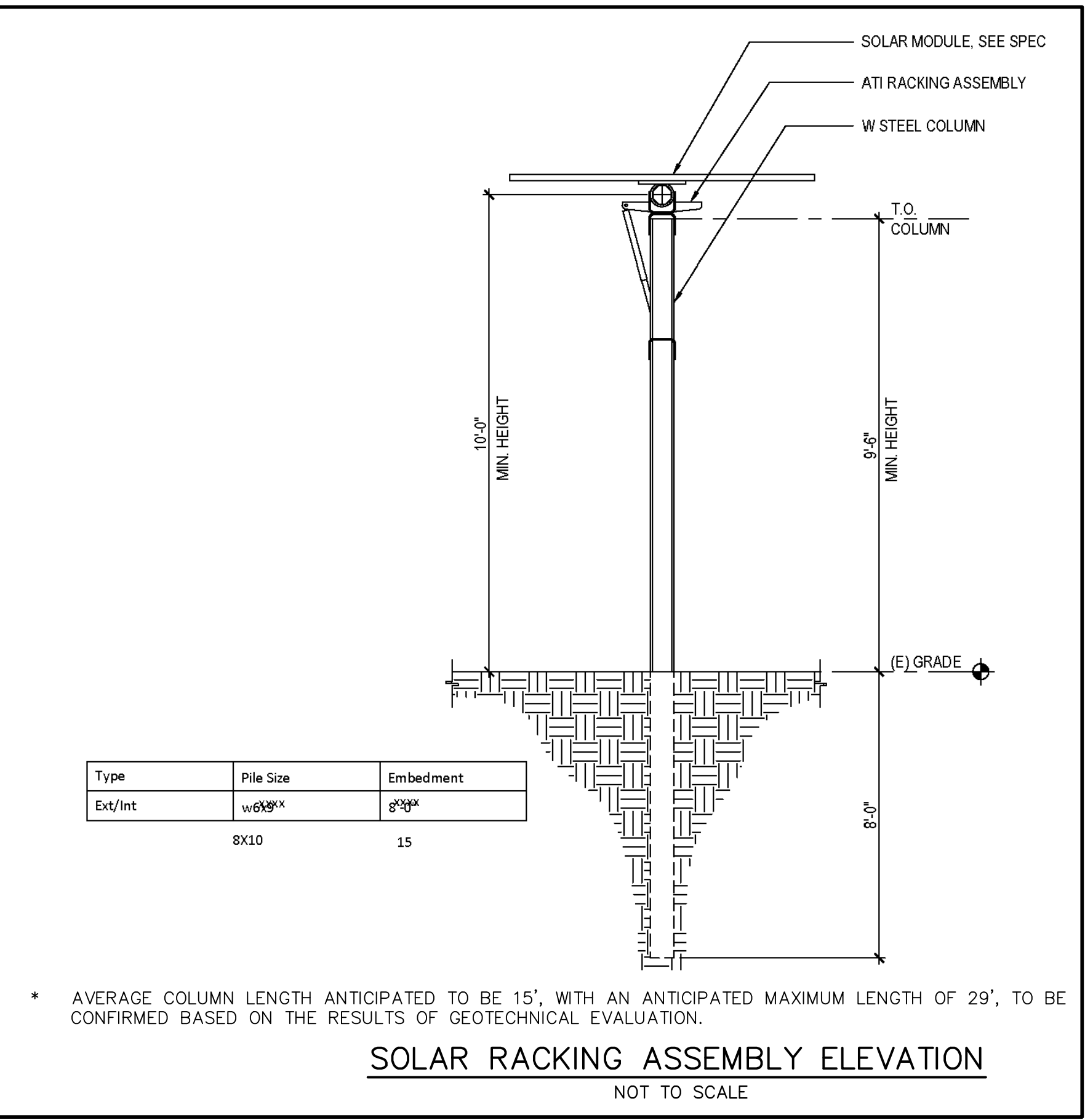
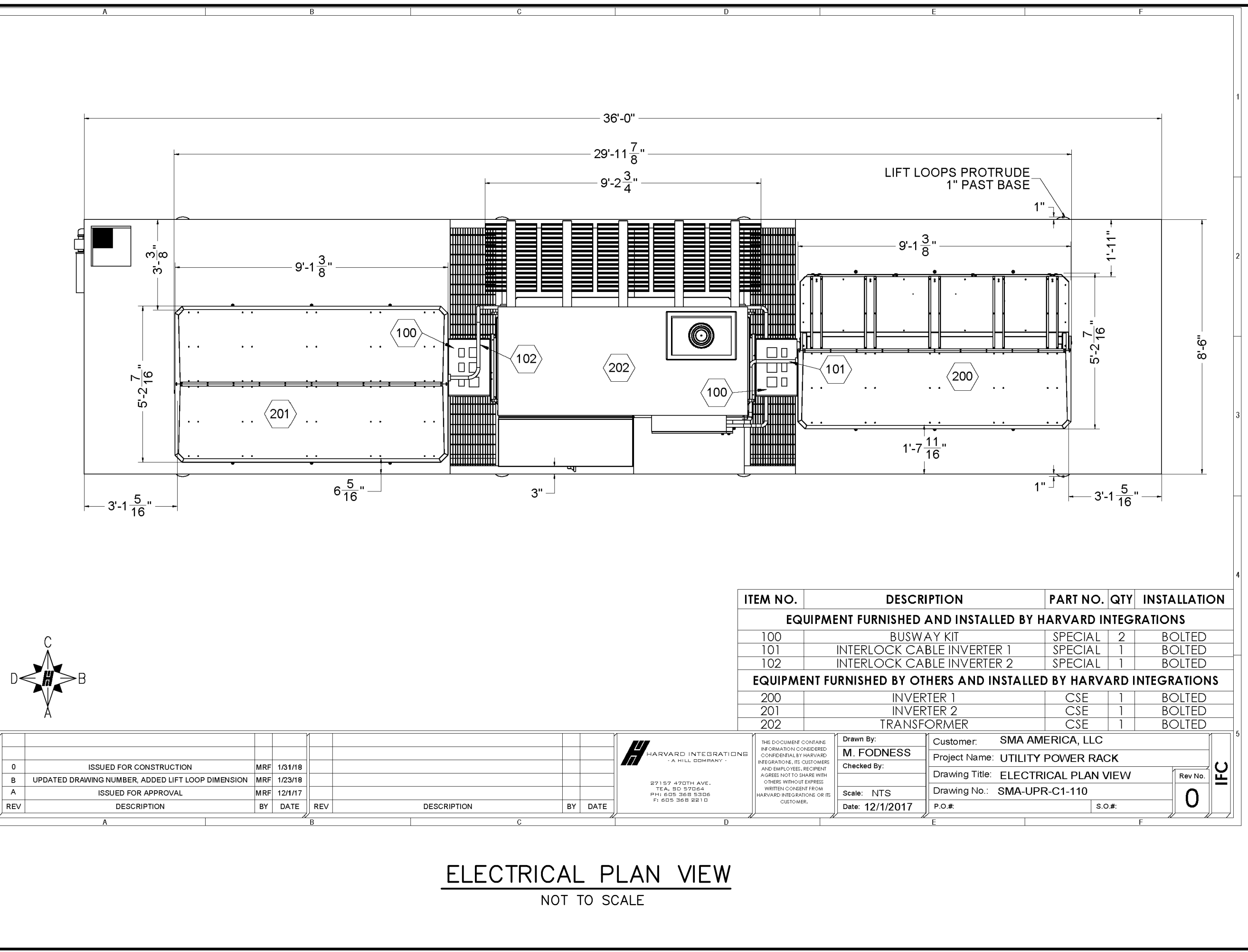
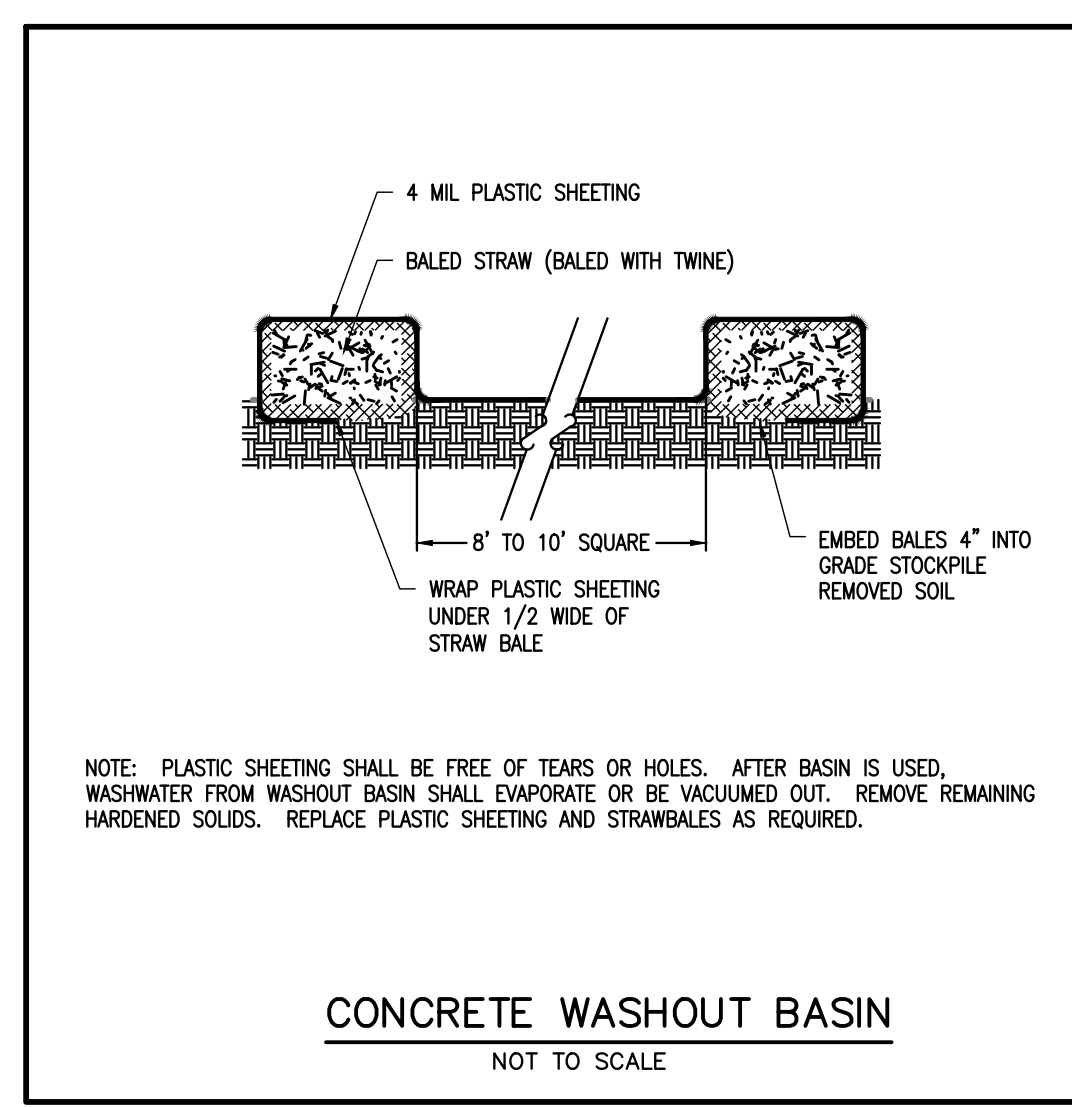
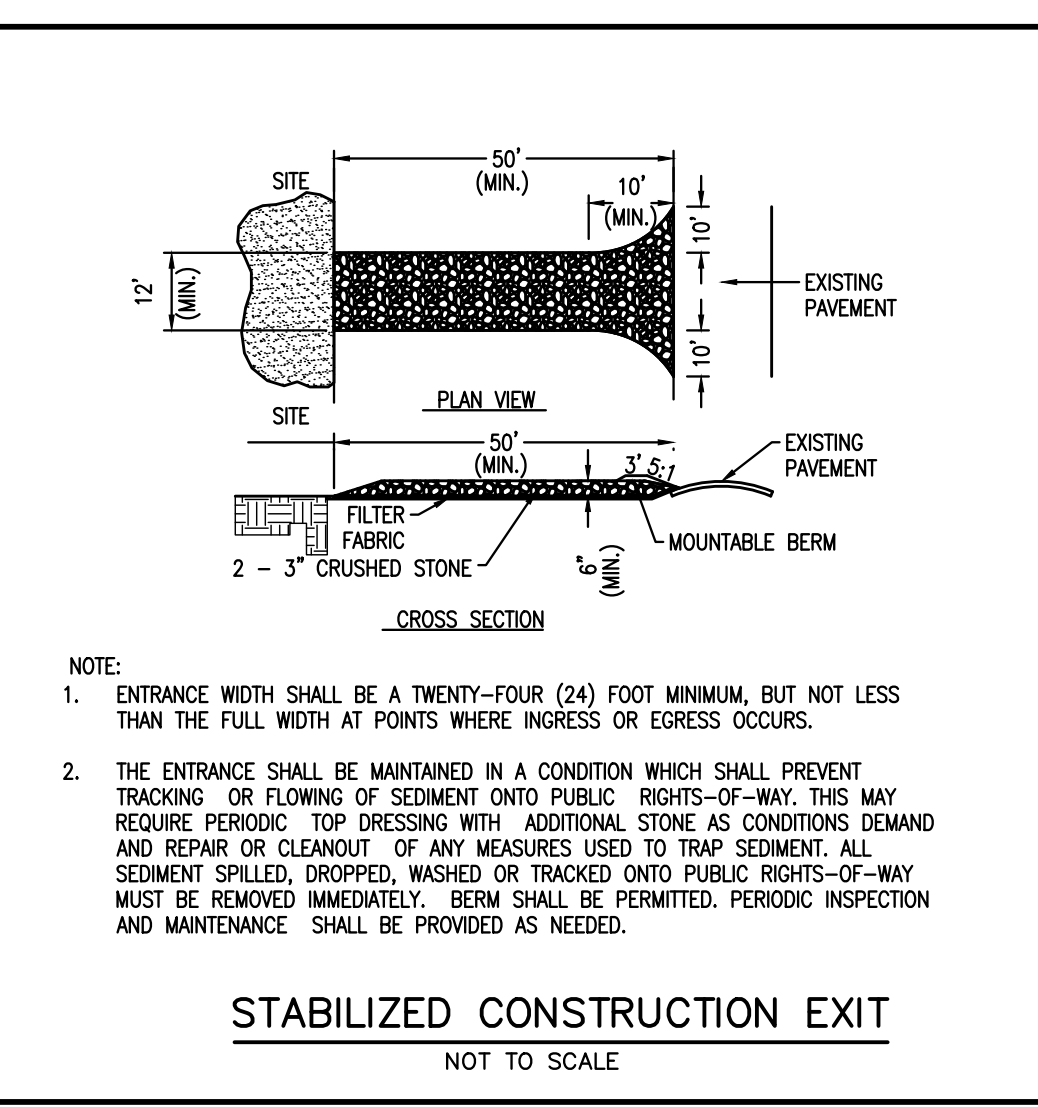
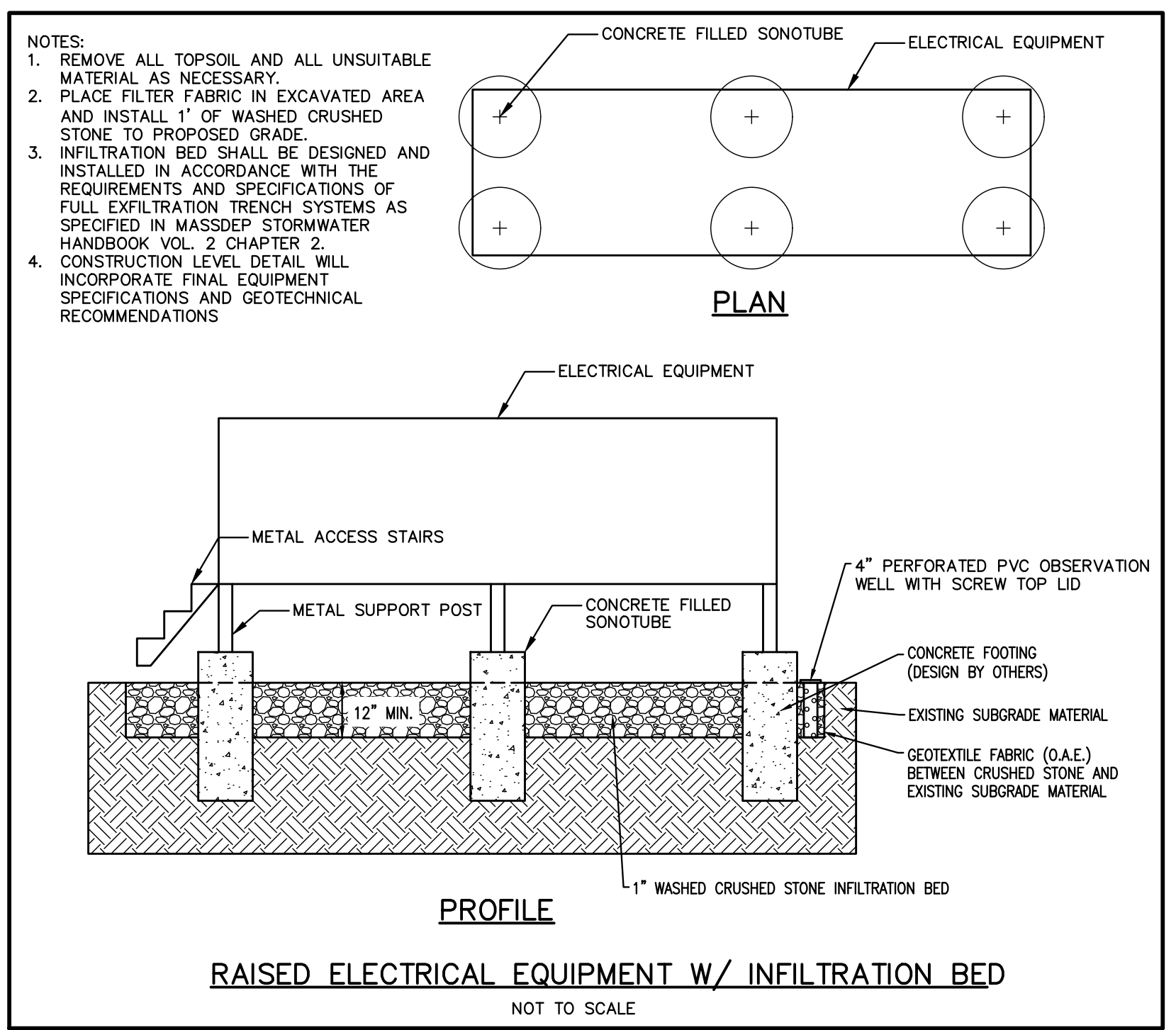
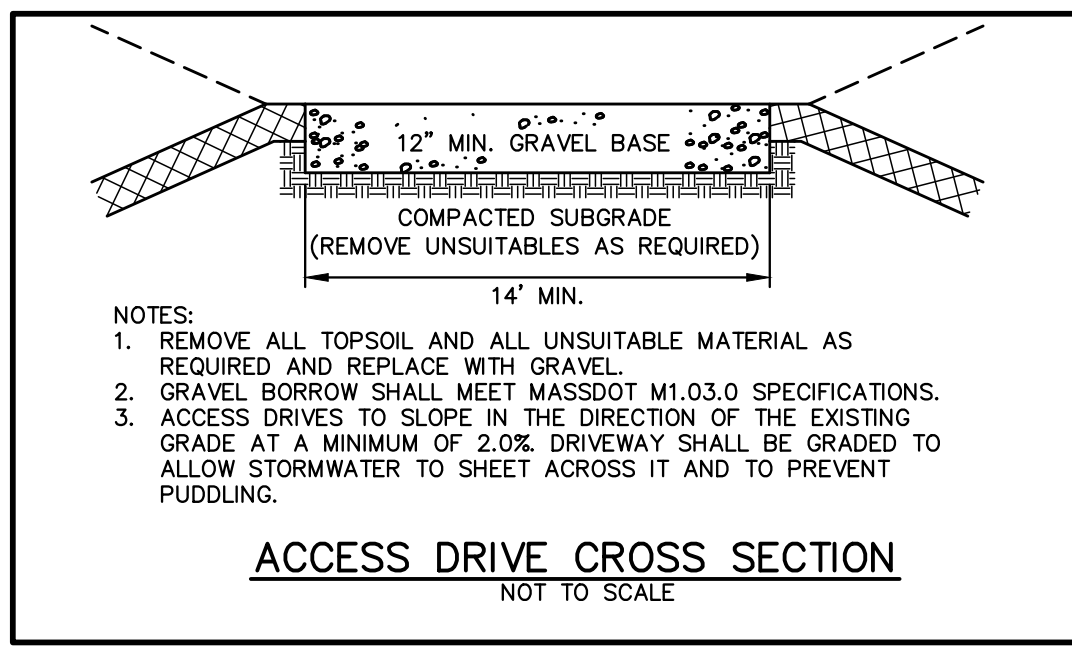
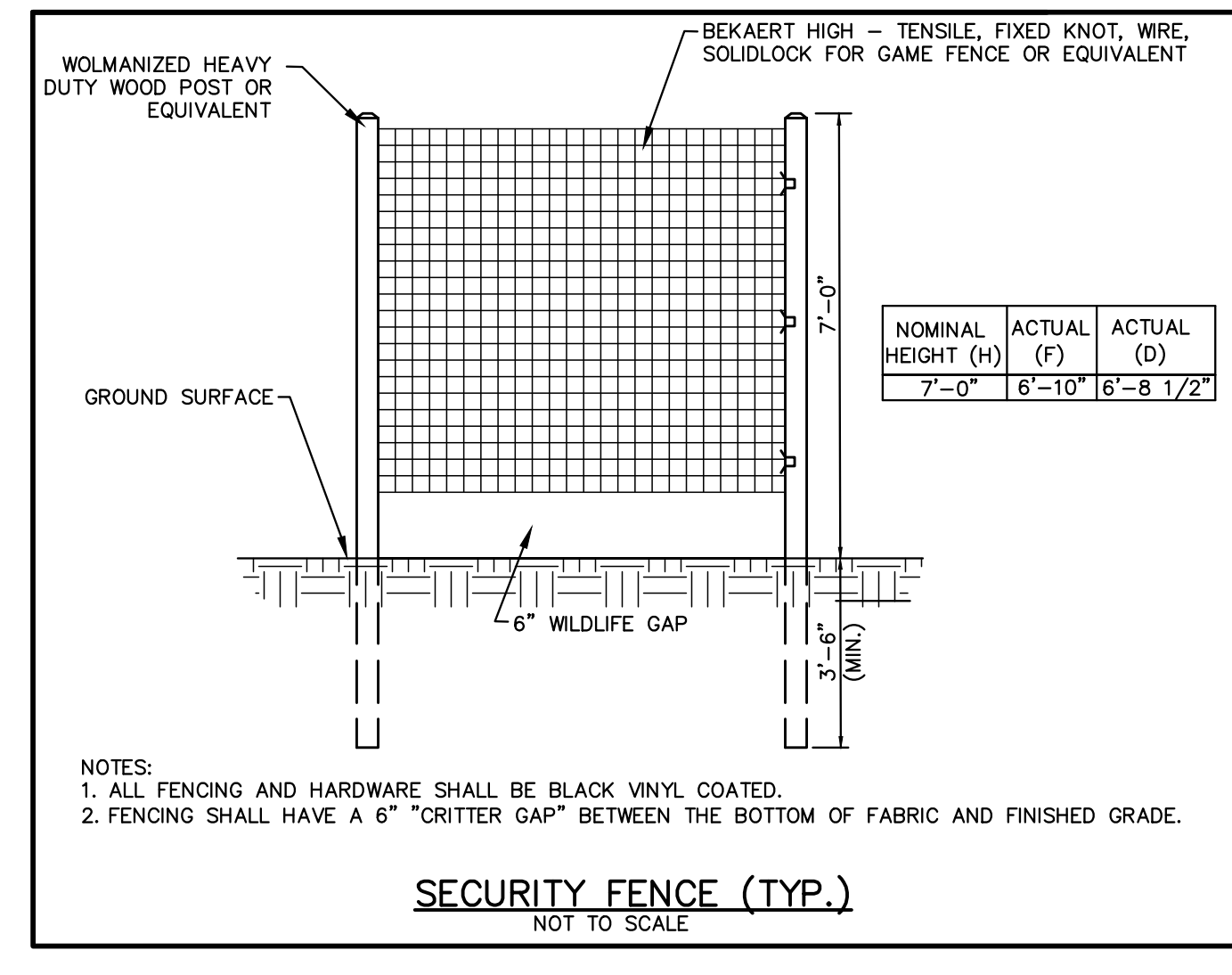
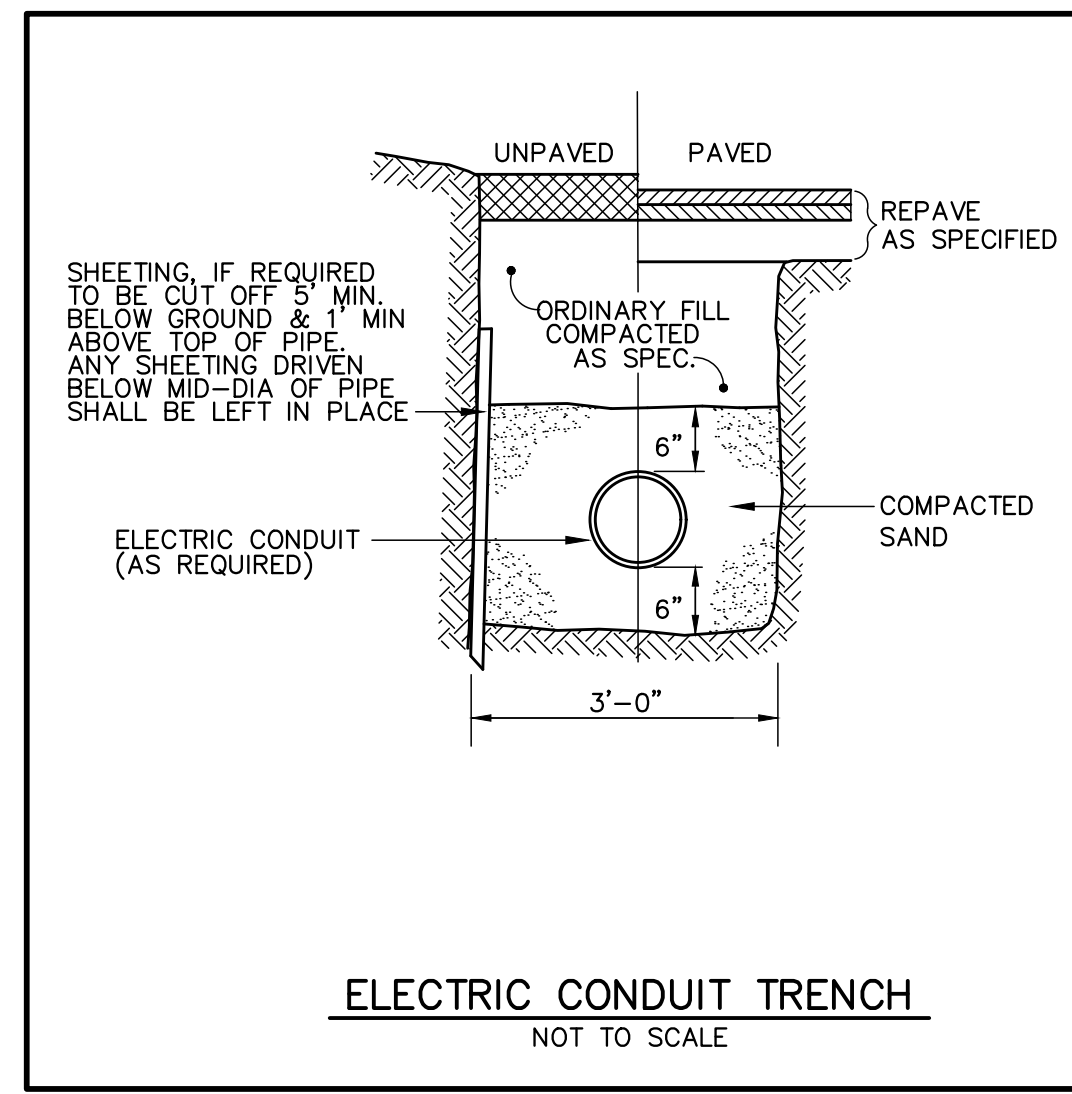
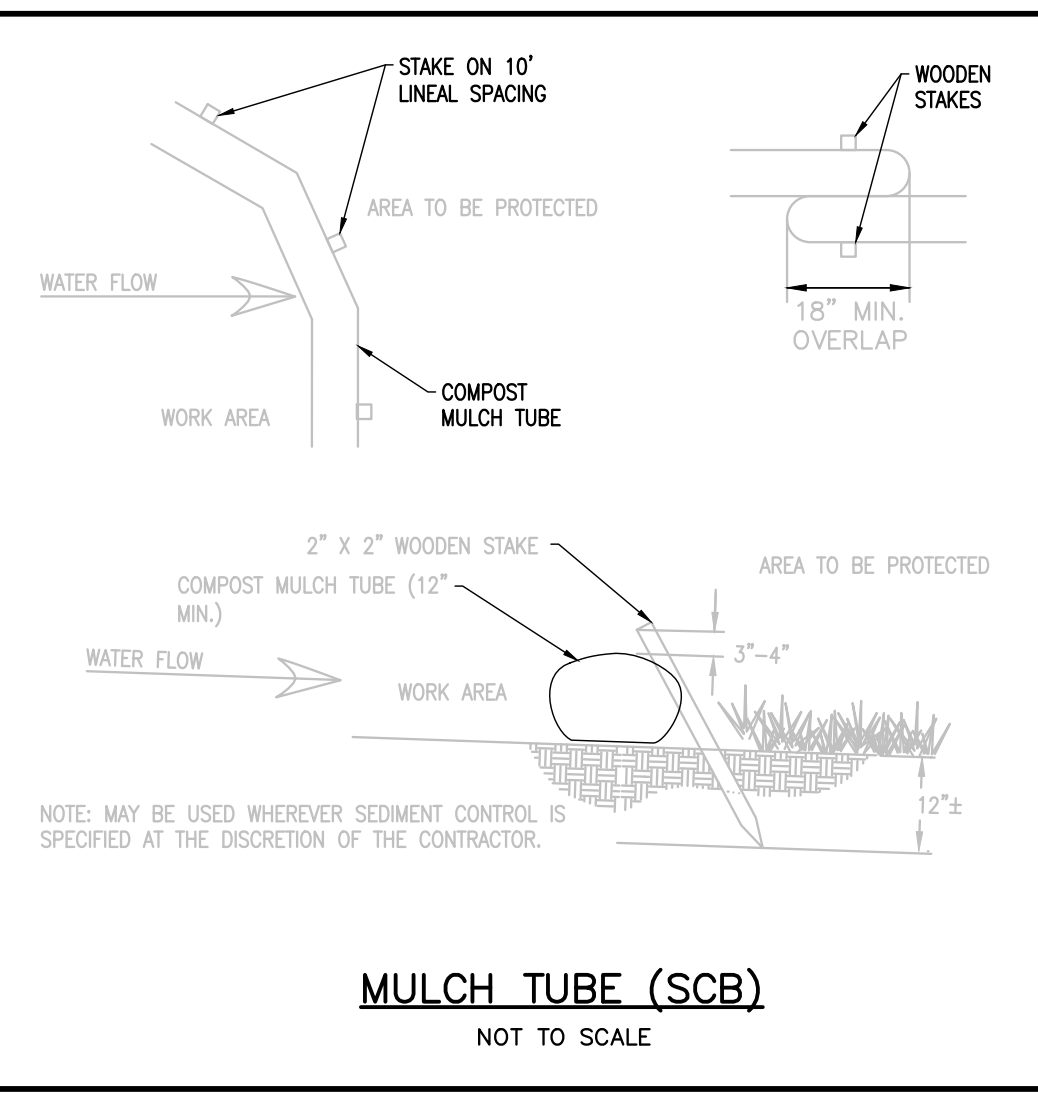
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TOWN OF WAREHAM	TOWN OF CARVER
APPROVED BY WAREHAM PLANNING BOARD:	APPROVED BY CARVER PLANNING BOARD:
_____	_____
DATE OF SIGNATURE _____	DATE OF SIGNATURE _____
PLAN FILED _____	PLAN FILED _____
PLAN APPROVED _____	PLAN APPROVED _____

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03/11/2021	REVISED PER TOWN COMMENTS
12/16/2020	ISSUED FOR PERMITTING

ISSUE DATE	DESCRIPTION	NBB	NPS	EJL
DES	DWN	CHK'D	APP'D	

PROJECT:  
**ROCKY MAPLE SOLAR**  
WAREHAM AND CARVER, MASSACHUSETTS

SCALE: AS NOTED DATE: DECEMBER 16, 2020

**SITE DETAILS**

B+T JOB No. 3203.00

B+T PLAN No. 320300P003C-011

SHEET No. 11 OF 13

**C5.1**

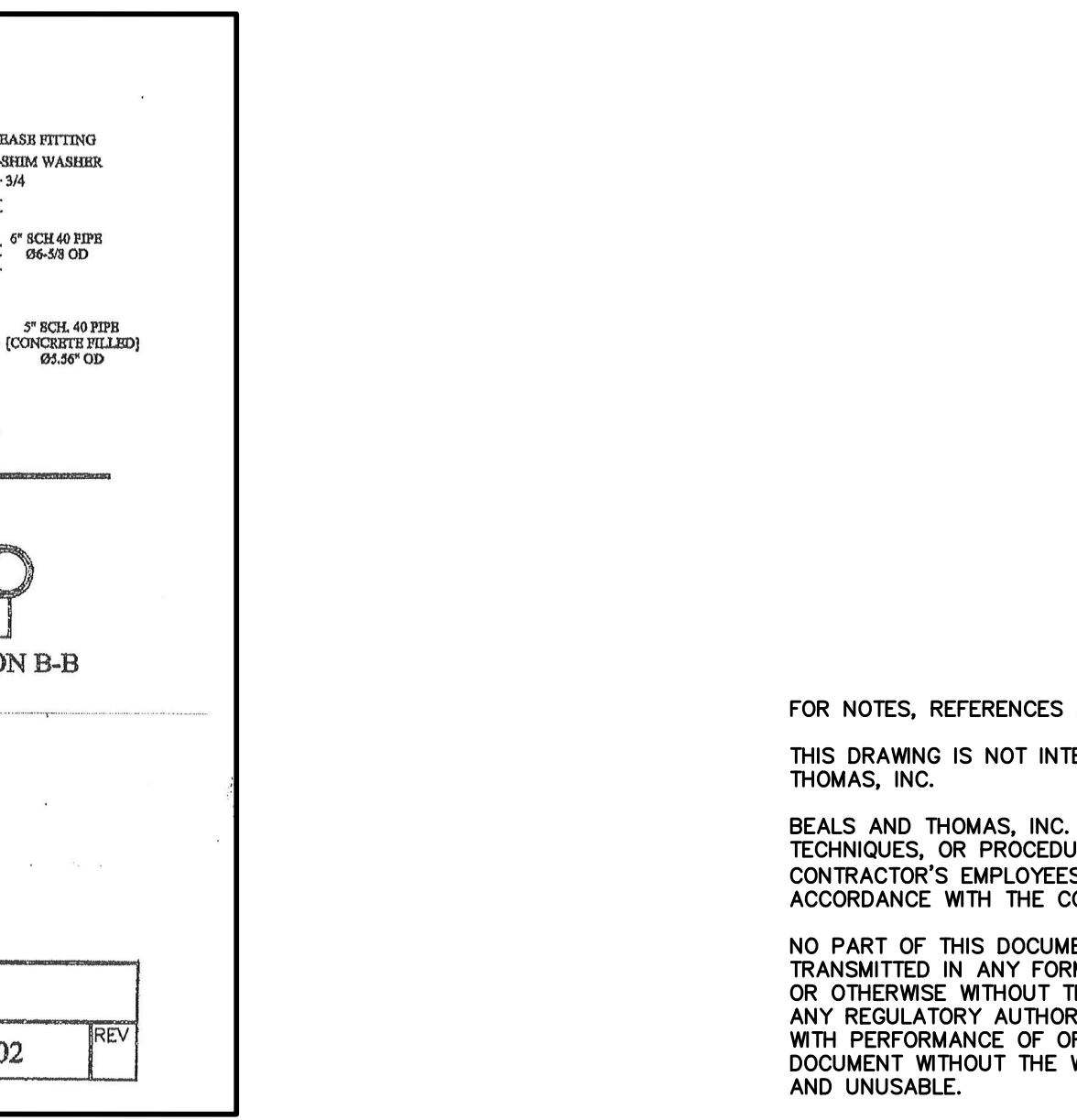
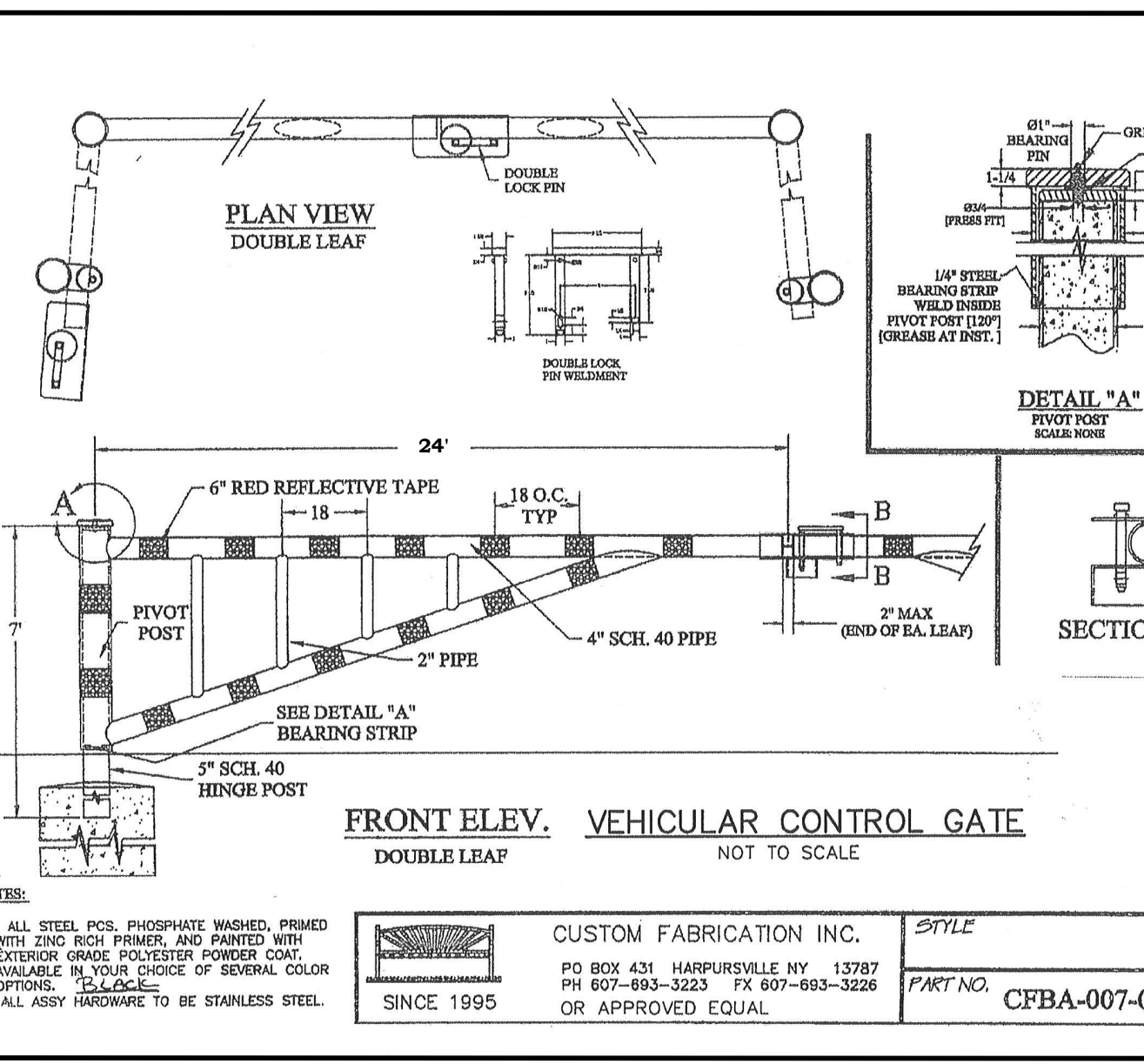
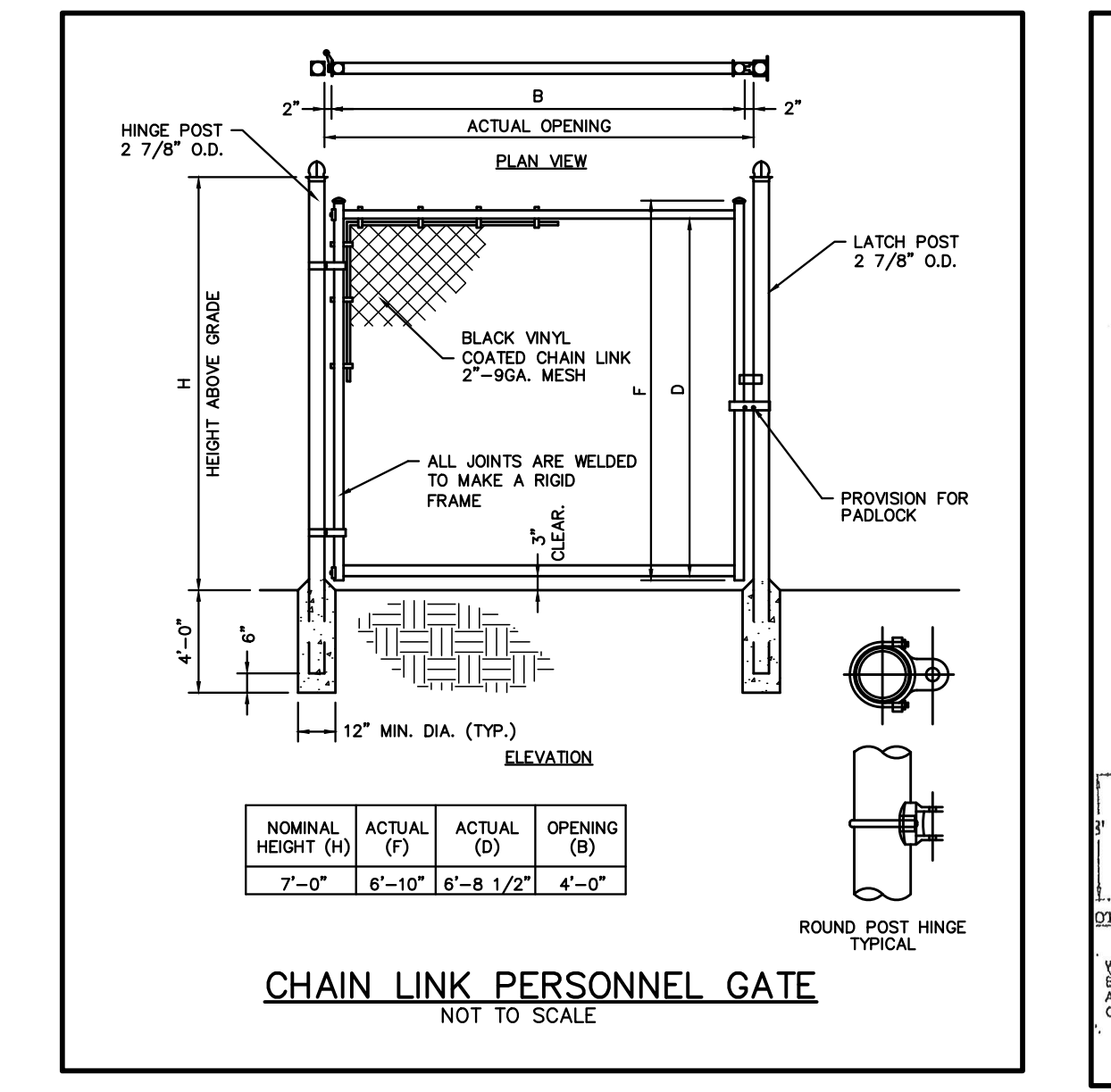
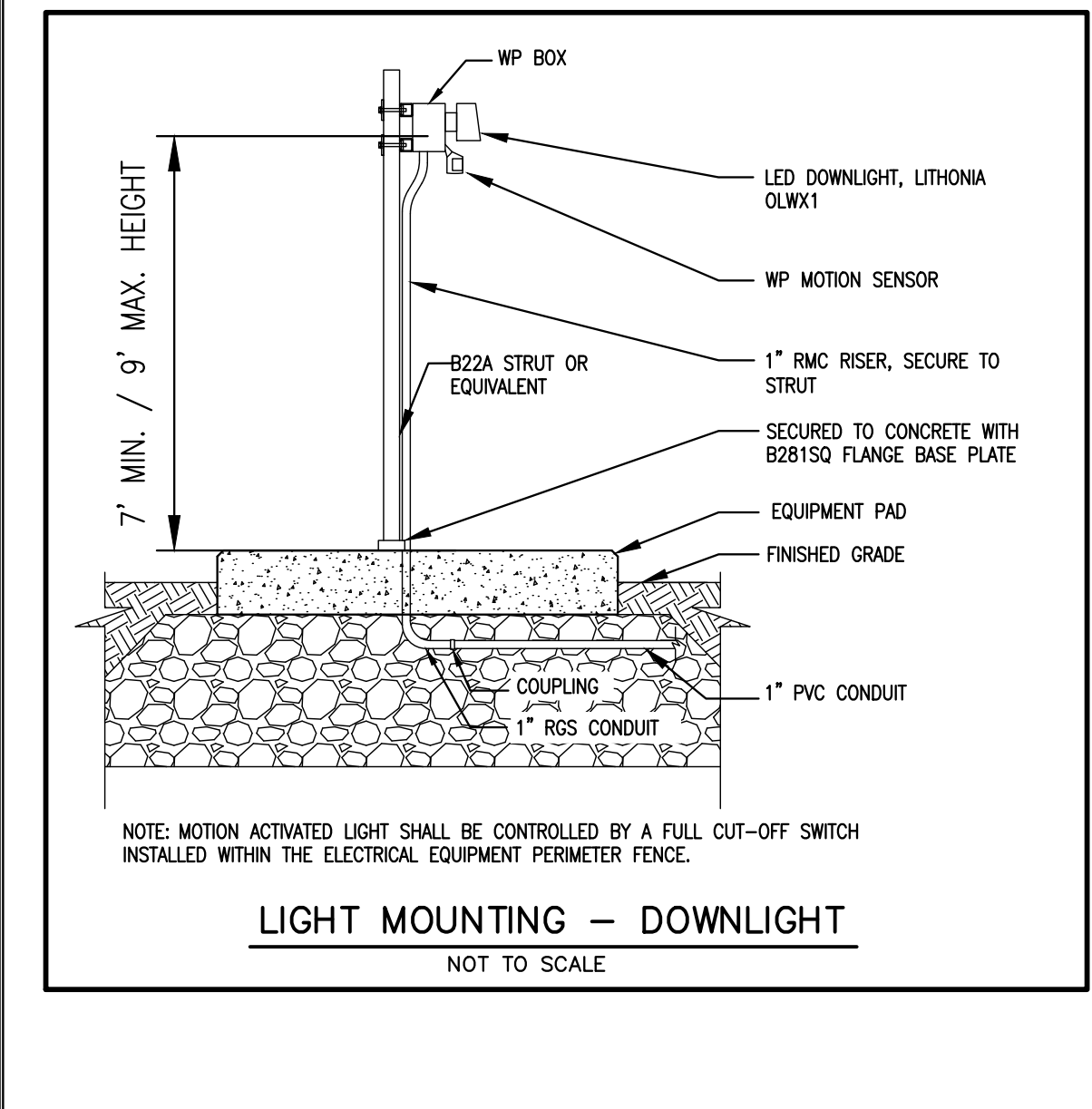
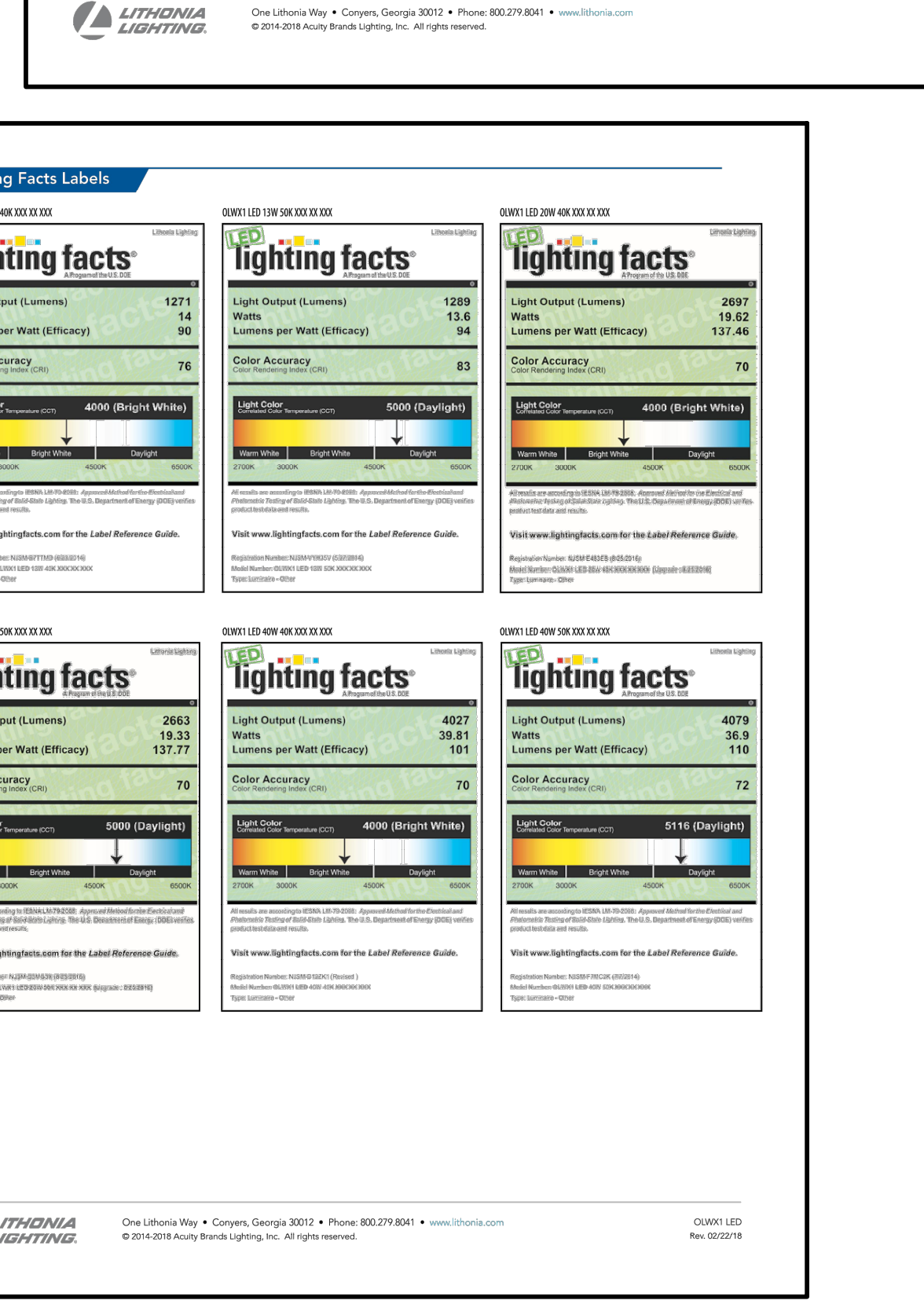
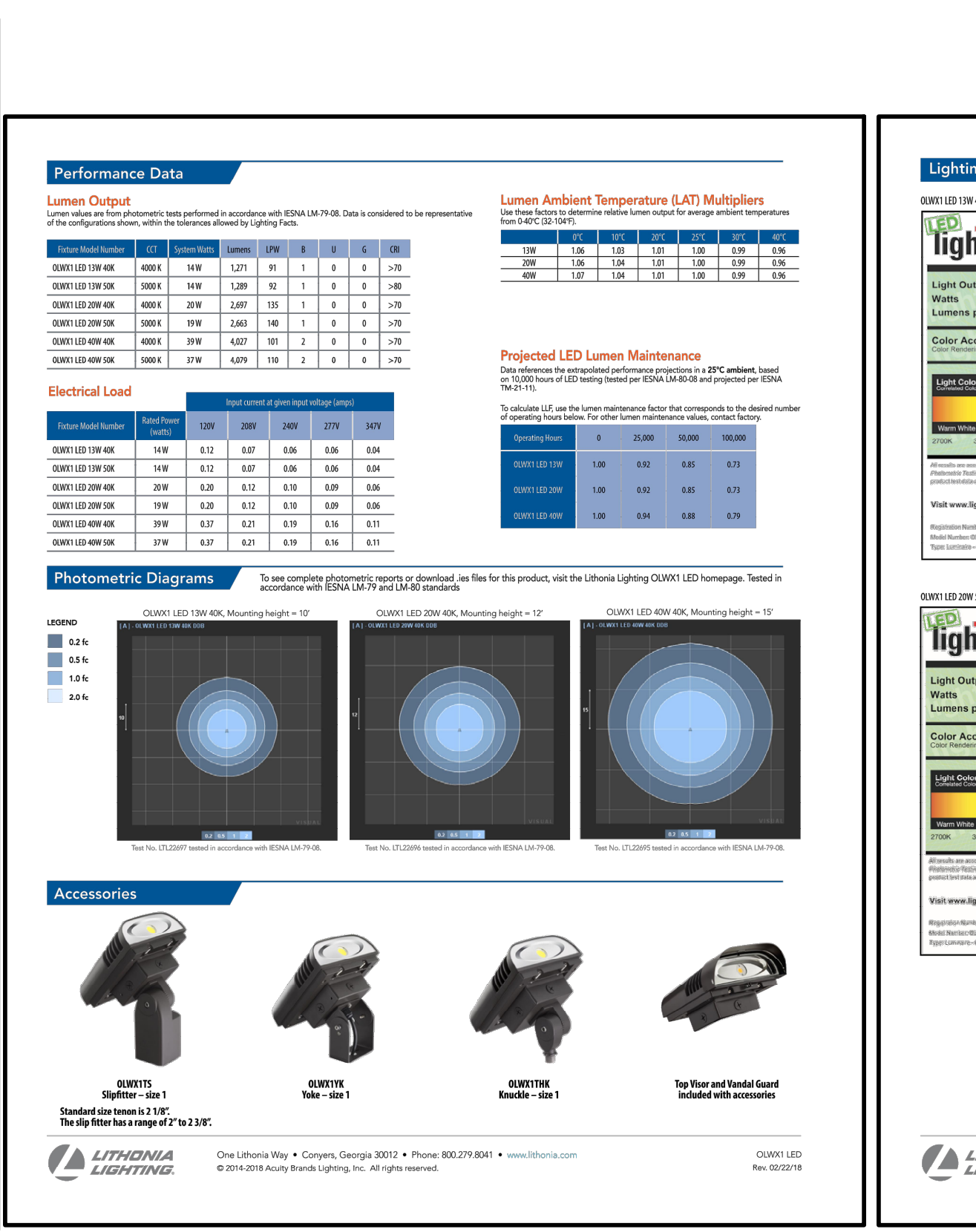
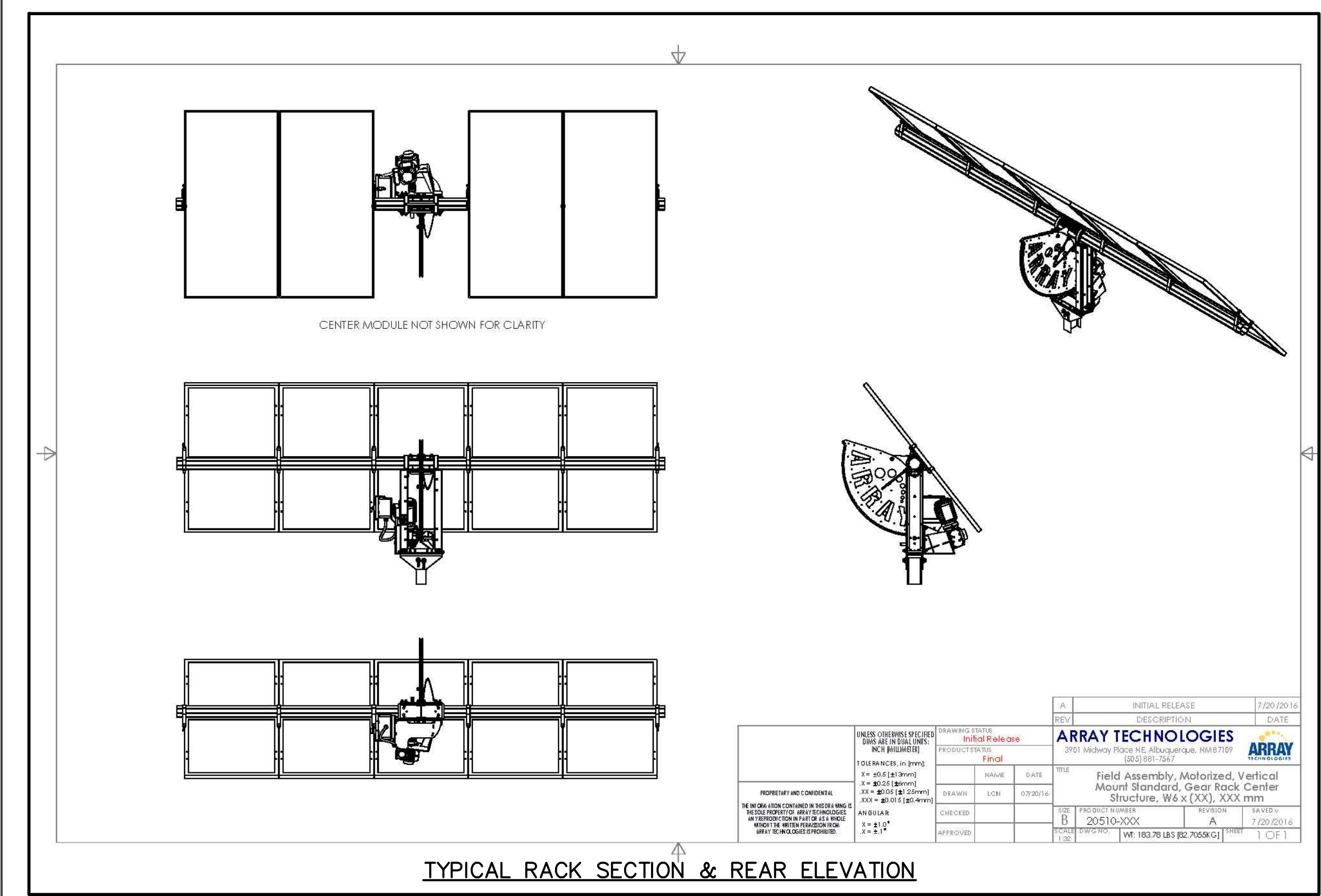
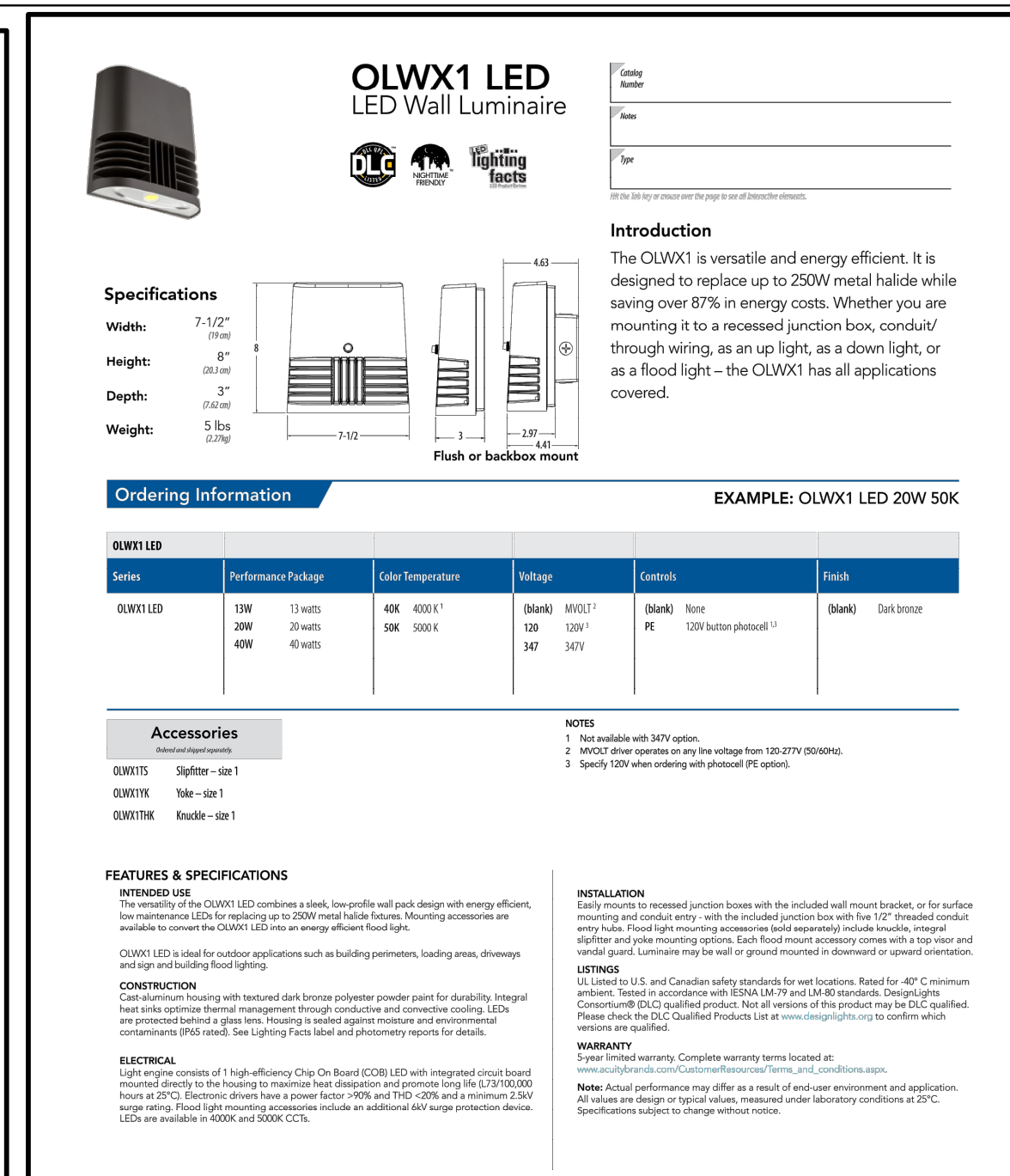
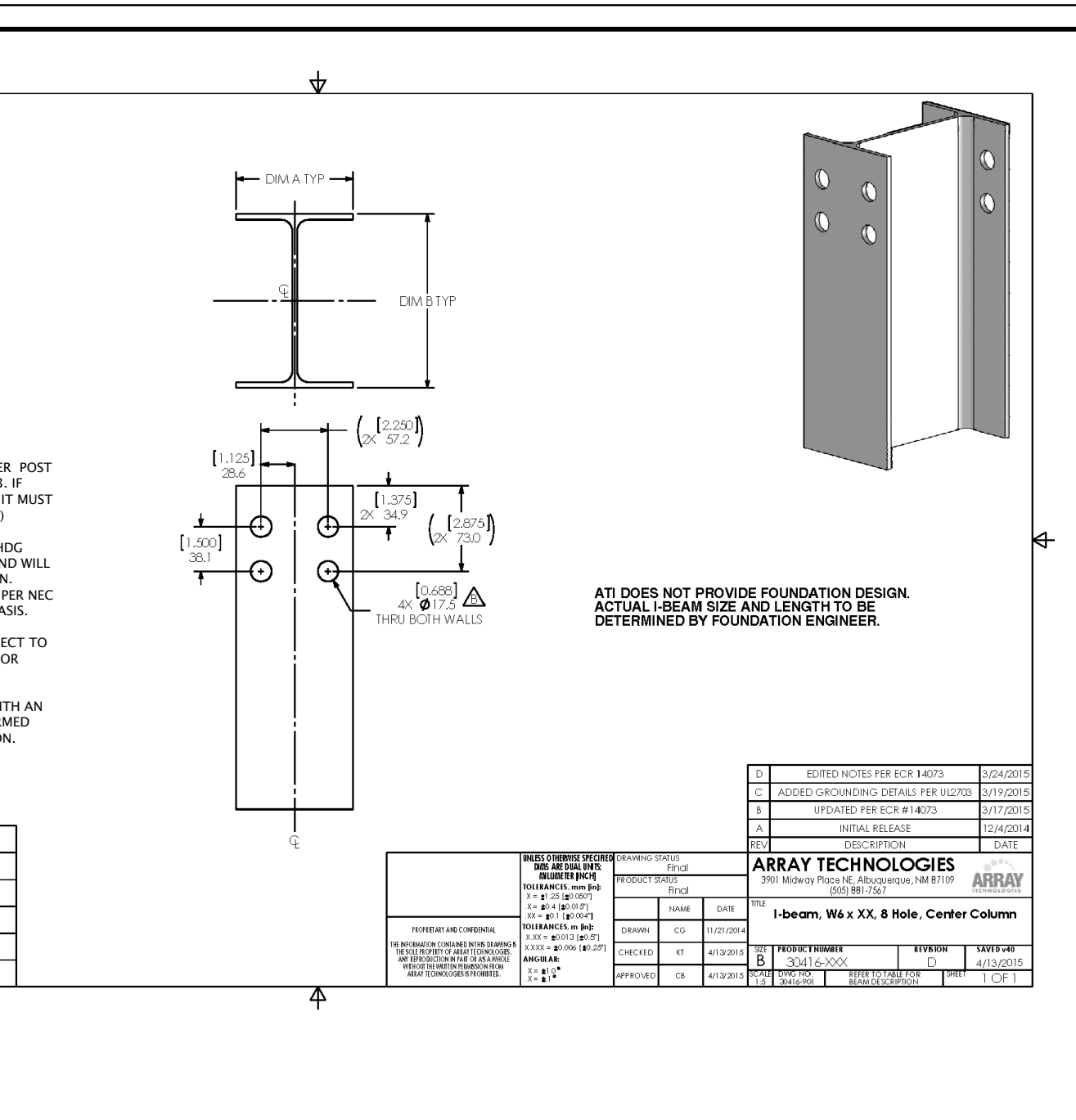
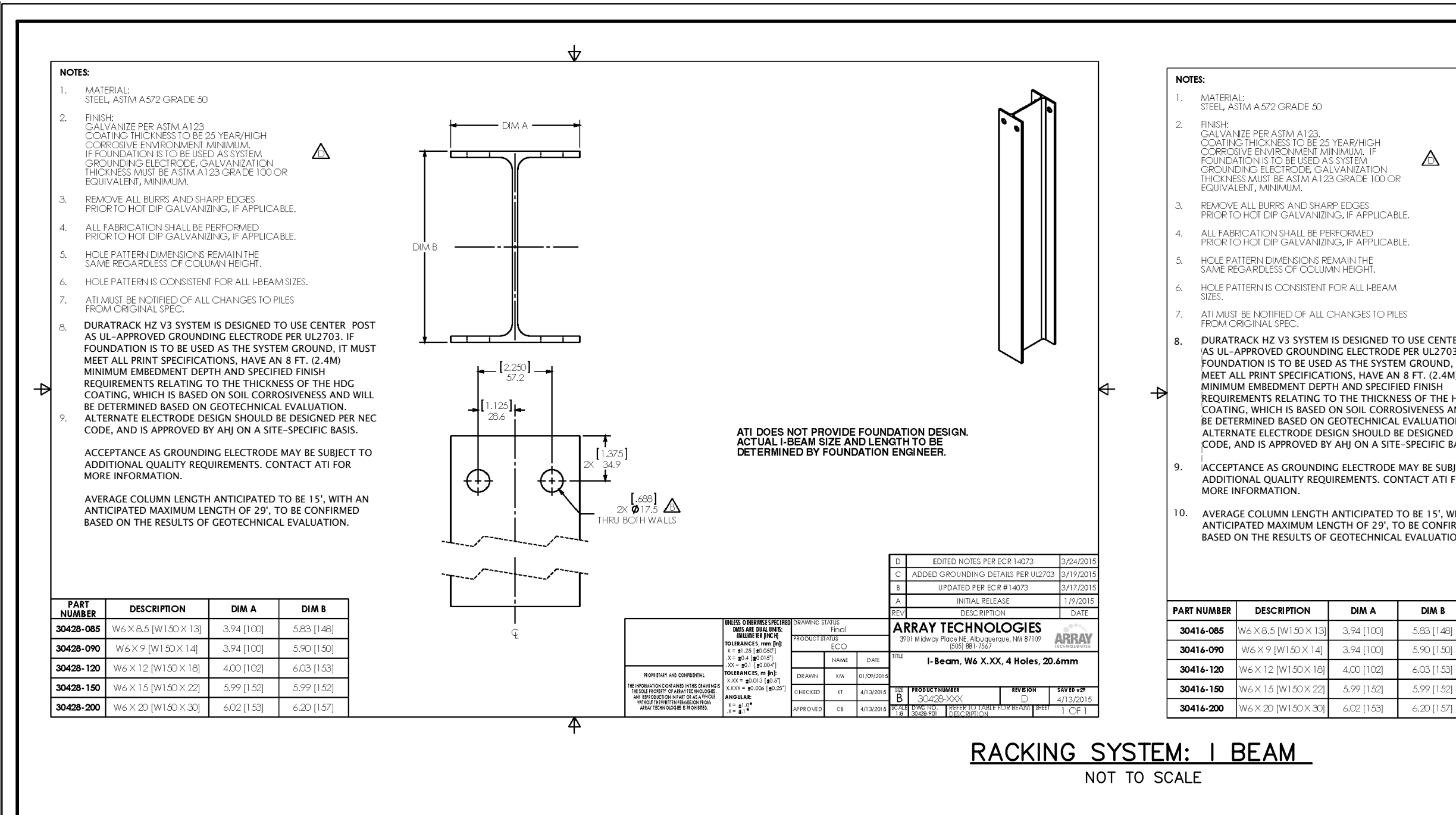
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**ERIC J. LAS**  
CIVIL NO. 48522  
REGISTERED PROFESSIONAL ENGINEER

4/7/2021

PREPARED BY:

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**TOWN OF WAREHAM**

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**TOWN OF CARVER**

APPROVED BY CARVER PLANNING BOARD:

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PLAN FILED \_\_\_\_\_  
PLAN APPROVED \_\_\_\_\_

**PROJECT:**

**ROCKY MAPLE SOLAR**  
WAREHAM AND CARVER, MASSACHUSETTS

SCALE: AS NOTED DATE: DECEMBER 16, 2020

**SITE DETAILS**

B+T JOB No. 3203.00

B+T PLAN NO. 320300PO3C-012

SHEET No. 12 OF 13

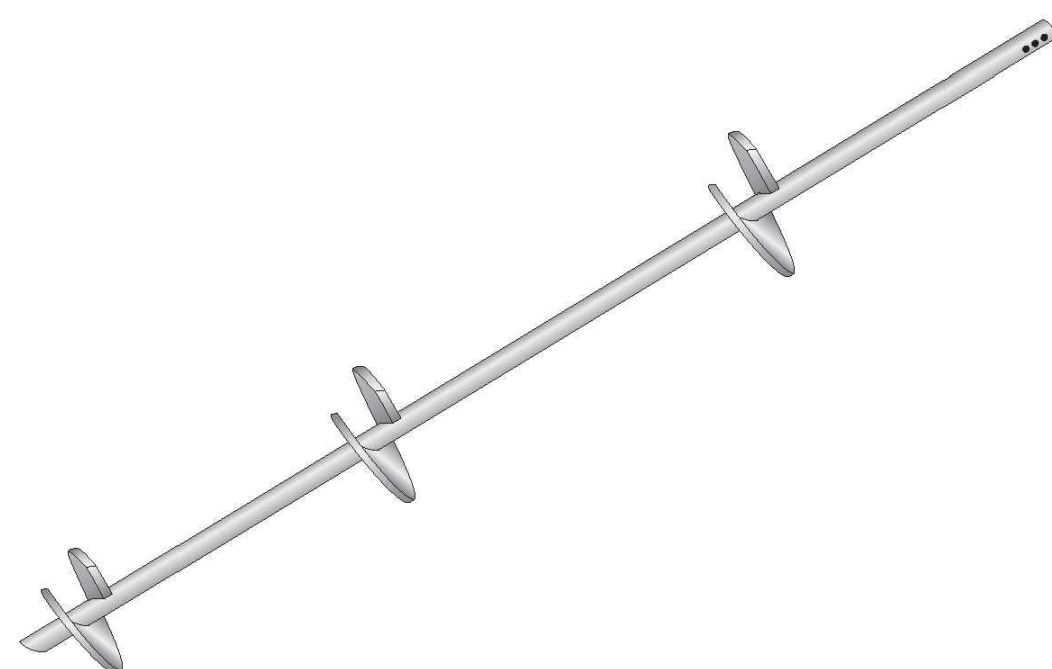
**C5.2**





Product Datasheet

TAF-450-84-10-12-14 -- Round Pipe Shaft 4-1/2" (114.3 mm) OD Lead Section



Product Specifications	
Anchor Style	Round Pipe Shaft (450) Anchor
Component	Lead Section
Number of Helices	3
Helix Diameter	10" (254 mm) - 12" (305 mm) - 14" (356 mm)
Length	84" (2134 mm)
Pipe Wall Thickness	.337" (8.66 mm)
Flight Thickness	3/8" (9.5 mm)
Flight Yield Strength	50,000 lbs (222.4 kN)
Min Yield Strength	70,000 lbs (311.4 kN)
Torque Rating	22,000 Ft Lbs (29,827.994 N-M)
Coating	Hot-Dip Galvanized
Standard Package	10
Standard Package Unit	EA
Min Order Qty	1
Weight/Ea.	193 lbs
Weight Per Pallet	1930 lbs

**Notes**  
 Round Pipe Shaft (450) Lead Section, 84" Length (3048 mm) long with 10" (356 mm)-12" (356 mm) - 14" (356 mm) Helices

ECP Utility 1-866-327-0007 Fax: 913-393-0008 www.getecp.com  
 \* AVERAGE COLUMN LENGTH ANTICIPATED TO BE 15', WITH AN ANTICIPATED MAXIMUM LENGTH OF 29', TO BE CONFIRMED BASED ON THE RESULTS OF GEOTECHNICAL EVALUATION.  
 \* ALTERNATIVE SOLAR ARRAY POSTS, SUCH AS TIMBER UTILITY POLES, MAY BE NECESSARY DEPENDING ON FURTHER GEOTECHNICAL ANALYSES WHICH SHALL BE PERFORMED PRIOR TO CONSTRUCTION.

**HELICAL PILE**

FOUNDATION LOAD CHART									
(FORCES ARE ROUNDED TO THE NEAREST 100 LBS AT TOP OF PIER)									
LOAD CASE	LOAD DIRECTION	1	2	3	4	5	6	7	8
DEAD	↓ Y	1900	9500	9000	1600	1100	9800	9000	600
FLOOR LIVE/EQUIPMENT	↓ Y	1400	2200	3600	3500	4300	3500	4200	5400
SNOW	↓ Y	1500	1700	1700	1500	1500	1700	1700	1500
WIND X	± X	3200	3500	3400	3200	1400	1800	1700	1400
WIND Z	± Z	1400	1400	300	400	500	500	200	200
WIND UP	↑ Y	2100	2100	2300	2300	2300	2300	2000	2100
SEISMIC X	± X	2000	2000	2200	2200	2200	2300	2000	2000
	± Y	2000	2000	2200	2300	2300	2300	2000	2000
SEISMIC Z	± Z	1800	1800	2400	2500	2500	2600	1800	1800
	± Y	2000	2000	2200	2300	2300	2300	2000	2000

**DESIGN LOADS**  
 1) CODE: 2012 INTERNATIONAL BUILDING CODE  
 2) FLOOR DL + LL = 250 PSF  
 FLOOR DL + LL BREAKDOWN:  
 \* LL = 225 PSF  
 \* DL = 25 PSF  
 \* TRANSFORMER = 1117 PSF  
 \* INVERTER = 200 PSF  
 \* FILLED CONTAINMENT = 52 PSF  
 3) SEISMIC LOADS - BASED ON 71.9 KIPS TOTAL WEIGHT  
 4) WIND - 140 MPH  
 5) SNOW - 40 PSF  
 6) ALL LOADS ARE UNFACTORED

SEE PAGE 200 FOR LIFT LOOP SPACING

REV	DESCRIPTION	BY	DATE
0	ISSUED FOR CONSTRUCTION		2/7/18

Customer: SMA AMERICA, LLC  
 Project Name: UTILITY POWER RACK  
 Drawing Title: FOUNDATION LOAD CHART  
 Drawing No.: SMA-UPR-C1-250  
 Scale: NTS  
 Date: 2/7/18  
 P.O.#: \_\_\_\_\_ S.O.#: \_\_\_\_\_

NOTE: 1 SF. PIER SUPPORTS ANTICIPATED

**FOUNDATION LOAD CHART**  
NOT TO SCALE

Module Wiring Collected into Strings  
 String Wiring Collected into single conduit run for entire array

\*Picture shows standard system not raised to 10ft

STRING WIRING

PICTURE AND DETAILS SHOW STANDARD SYSTEM, NOT RAISED TO 10 FEET ABOVE GROUND, AS PROPOSED.

**SUSPENDED WIRING**  
NOT TO SCALE

CAB SYSTEM ELEVATIONS

REV	DATE	DESCRIPTION
1	2/7/18	ISSUED FOR CONSTRUCTION

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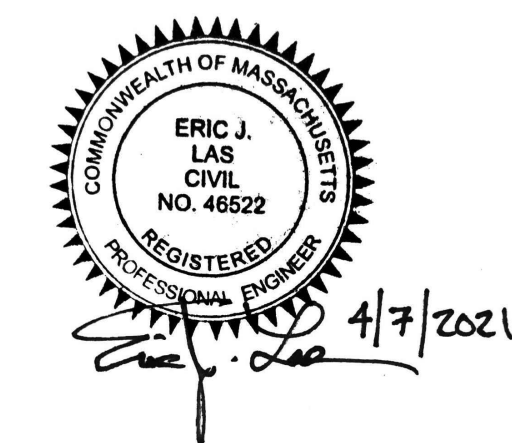
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PROJECT:

**ROCKY MAPLE SOLAR**  
WAREHAM AND CARVER, MASSACHUSETTS

SCALE: AS NOTED DATE: DECEMBER 16, 2020

**SITE DETAILS**

B+T JOB NO.3203.00

B+T PLAN NO. 320300P003C-013

SHEET No. 13 OF 13

**C5.3**