# ROCKY MAPLE SOLAR IN

# WAREHAM AND CARVER, MASSACHUSETTS (Plymouth County)

# OWNER/APPLICANT

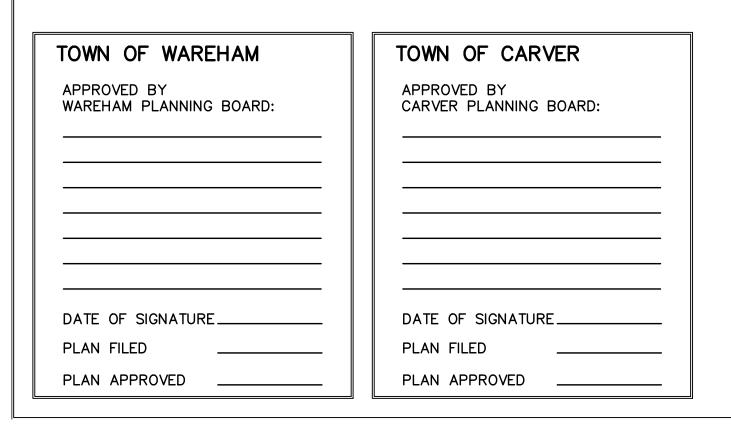
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PO Box 974
Edwards, Colorado 81632

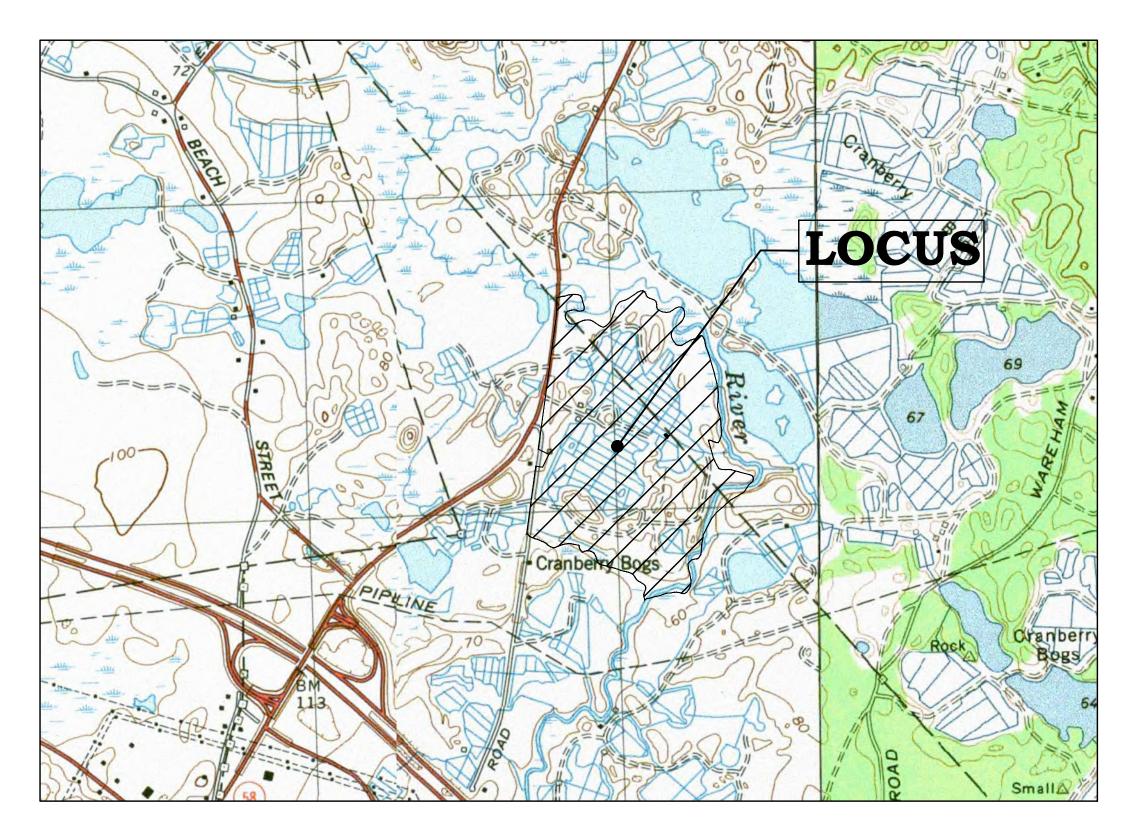
# CIVIL ENGINEER/SURVEYOR AND LANDSCAPE ARCHITECT

Beals and Thomas, Inc.
32 Court Street
Plymouth, Massachusetts 02360

# PROJECT ATTORNEY

Dain, Torpy, Le Ray, Wiest & Garner, P.C. 745 Atlantic Avenue, Suite 500 Boston, Massachusetts 02111





# **Locus Map Scale: 1" = 1000'**



Issued For Permitting - December 16, 2020 Revised Per Town Comments - March 11, 2021 Revised Per Town Comments - April 07, 2021 Revised Per Town Comments - April 20, 2021

# SHEET INDEX

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C5.1-5.3 Site Details



FOR PERMITTING ONLY

Job No.: 3203.00

Plan No.: 320300P003D

Sheet 1 of 13

#### **GENERAL NOTES**

- 1. THE CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS. THE CONTRACTOR SHALL ALSO PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH THE SAME, AND COORDINATE WITH THE OWNER AND ENGINEER AS REQUIRED.
- 2. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONSTRUCTION MEANS AND METHODS.
- 3. LIMIT OF WORK SHALL BE SEDIMENT CONTROL BARRIERS, LIMIT OF GRADING AND SITE PROPERTY LINES AND/OR AS INDICATED ON
- 4. ANY ALTERATION TO THESE DRAWINGS MADE IN THE FIELD DURING CONSTRUCTION SHALL BE RECORDED BY THE CONTRACTOR ON RECORD DOCUMENTS.
- 5. ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.
- 6. EXISTING TREES AND SHRUBS OUTSIDE THE LIMITS OF WORK SHALL BE REMOVED ONLY UPON PRIOR APPROVAL OF THE OWNER.
- 7. FOR DRAWING LEGIBILITY, ALL EXISTING TOPOGRAPHIC FEATURES, EXISTING UTILITIES, PROPERTY BOUNDARIES, EASEMENTS, ETC. MAY NOT BE SHOWN ON ALL DRAWINGS. REFER TO ALL REFERENCED DRAWINGS AND OTHER DRAWINGS IN THIS SET FOR ADDITIONAL INFORMATION.
- 8. ALL EXCAVATORS OR CONTRACTORS MUST REFER TO 520 CMR 14.00 TO OBTAIN A TRENCH PERMIT PRIOR TO ANY CONSTRUCTION RELATED TRENCHES ON SITE.
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH CONDITIONS THAT MAY BE PROMULGATED BY THE WAREHAM AND CARVER PLANNING BOARD, CONSERVATION COMMISSION AND MUNICIPAL AGENCIES.

#### EROSION CONTROL AND SEDIMENTATION NOTES

- 10. A SEDIMENT CONTROL BARRIER SHALL BE INSTALLED ALONG THE EDGE OF PROPOSED DEVELOPMENT AS INDICATED IN THE PLAN PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OPERATIONS.
- 11. CONTRACTOR SHALL MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES DURING ENTIRE CONSTRUCTION PERIOD.
- 12. THE EROSION CONTROL BARRIER SHALL BE INSPECTED BY THE CONTRACTOR ON A WEEKLY BASIS.
- 13. THE CONTRACTOR SHALL REMOVE ALL EROSION CONTROL BARRIERS AFTER REVEGETATION OF DISTURBED AREAS AND AFTER APPROVAL OF THE CONSERVATION COMMISSION
- 14. ANY SEDIMENT TRACKED ONTO PUBLIC RIGHT-OF-WAYS SHALL BE SWEPT AT THE END OF EACH WORKING DAY.
- 15. ALL STOCKPILE AREAS SHALL BE LOCATED WITHIN LIMIT OF WORK LINE AND STABILIZED TO PREVENT EROSION.
- 16. ALL DEBRIS GENERATED DURING SITE PREPARATION ACTIVITIES SHALL BE LEGALLY DISPOSED OF. 17. PROVIDE CRIBBING AS NECESSARY TO PROTECT EXISTING UTILITY LINES DURING CONSTRUCTION.
- 18. SITE ELEMENTS TO REMAIN MUST BE PROTECTED FOR DURATION OF PROJECT.
- 19. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- 20. ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC
- 21. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS DURING CONSTRUCTION TO ENSURE THAT THE EROSION CONTROL BARRIERS ARE INTACT.
- 22. CONTRACTOR SHALL PROVIDE DUST CONTROL FOR CONSTRUCTION OPERATIONS AS APPROVED BY OWNER OR OWNER'S REPRESENTATIVE. 23. DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNER OR
- 24. CLEAN AND MAINTAIN SEDIMENT CONTROL BARRIER AS REQUIRED DURING CONSTRUCTION OPERATIONS TO ENSURE ITS CONTINUED FUNCTIONALITY.
- 25. TO THE EXTENT, DEWATERING WITHIN THE CRANBERRY BOGS IS NECESSARY, THE EXISTING WATER CONTROL AND CONVEYANCE SYSTEM WILL BE UTILIZED.
- 26. ADDITIONAL MULCH TUBES SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- 27. LOAM AND SEED ANY STOCKPILE EXPECTED TO REMAIN LONGER THAN SIX (6) MONTHS OR AT THE CONCLUSION OF THE WORK.
- 28. IN SITUATIONS WHERE SOIL STOCKPILES OR OTHER UNVEGETATED AREAS WILL BE UNUSED FOR 14 DAYS OR LONGER, COVER OR TEMPORARY STABILIZATION WILL BE PROVIDED.
- 29. INSTALLATION OF STABILIZATION MEASURES WILL BE COMPLETED AS SOON AS PRACTICABLE, BUT NO LONGER THAN SEVEN (7) CALENDAR DAYS AFTER STABILIZATION HAS BEEN INITIATED.
- LAYOUT AND MATERIALS NOTES
- 30. ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.
- 31. CONTRACTOR SHALL REPORT SIGNIFICANT CONFLICTS TO THE OWNER AND THE ENGINEER FOR RESOLUTION.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN SITE PLAN DIMENSIONS AND BUILDING PLANS BEFORE PROCEEDING WITH ANY PORTION OF SITE WORK WHICH MAY BE AFFECTED SO THAT PROPER ADJUSTMENTS TO THE SITE LAYOUT CAN BE MADE IF NECESSARY.
- 33. PROTECT EXISTING PROPERTY MONUMENTS AND ABUTTING PROPERTIES DURING CONSTRUCTION ACTIVITIES.

#### GRADING, DRAINAGE AND UTILITY NOTES

OWNER'S REPRESENTATIVE.

- 34. ALL SITE WORK SHALL MEET OR EXCEED THE SITE WORK SPECIFICATIONS TO BE PREPARED FOR THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK WHICH WOULD BE AFFECTED.
- 35. THE CONTRACTOR SHALL VERIFY EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES, AS REQUIRED. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE OWNER AND ENGINEER FOR RESOLUTION.
- 36. INSTALL ALL UTILITIES AND APPURTENANCES PER UTILITY COMPANY STANDARDS.
- 37. CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE. SEWER AND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY DAMAGE TO THESE FACILITIES RESULTING FROM CONSTRUCTION LOADS WILL BE RESTORED TO ORIGINAL CONDITION.
- 38. THE CONTRACTOR SHALL REMOVE ALL SEDIMENT CONTROL BARRIERS AFTER THE PROJECT IS COMPLETE AND AFTER APPROVAL OF THE CONSERVATION COMMISSION.
- 39. UNDERGROUND UTILITIES WILL BE INSTALLED VIA STANDARD CUT AND COVER TRENCHING METHODS. THE TRENCH WIDTH WILL BE APPROXIMATELY 3' WIDE, AND SIDE CAST MATERIAL IS NOT TO EXCEED AN ADDITIONAL 4' WIDTH BEYOND THE TRENCH. TRENCHES WILL BE COVERED AT THE END OF EACH WORK DAY.

#### PLANTING NOTES

- 40. RESTORE ALL DISTURBED AREAS AS SHOWN ON PLANS UNLESS OTHERWISE INDICATED.
- 41. LOAM AND SEED LAYDOWN AREAS, USING NEW ENGLAND EROSION CONTROL/RESTORATION SEED MIX FOR DRY SITES, SUPPLIED BY NEW ENGLAND WETLAND PLANTS INC. (OR APPROVED EQUAL).
- 42. REGRADE STOCKPILE AREAS AFTER REMOVAL OF SURPLUS MATERIALS. SEED THE DISTURBED AREA UNLESS WITHIN EXISTING AGRICULTURAL ACCESS AREAS.
- 43. PLANTING SEED SHALL BE SOWN IN SEASONAL CONDITIONS AS APPROPRIATE FOR GOOD SEED SURVIVAL, OR AT SUCH TIMES AS APPROVED BY THE OWNER.
- 44. IF CERTAIN OF THE SEEDED AREAS DO NOT SHOW A PROMPT "CATCH", THESE SHALL BE RESEEDED AT THE SAME RATE AND IN THE SAME

MANNER AS BEFORE IN INTERVALS OF TEN (10) DAYS, WHICH PROCESS SHALL CONTINUE UNTIL A GROWTH OF GRASS IS ESTABLISHED

- 45. PROTECT NEWLY TOPSOILED, GRADED AND/OR SEEDED AREAS FROM TRAFFIC AND EROSION. KEEP AREAS FREE OF TRASH AND DEBRIS
- RESULTING FROM LANDSCAPE CONTRACTOR OPERATIONS.

46. REPAIR AND RE-ESTABLISH GRADES IN SETTLED, ERODED AND RUTTED AREAS TO THE SPECIFIED GRADE AND TOLERANCES.

#### SOLAR GENERAL NOTES

OVER THE ENTIRE AREA.

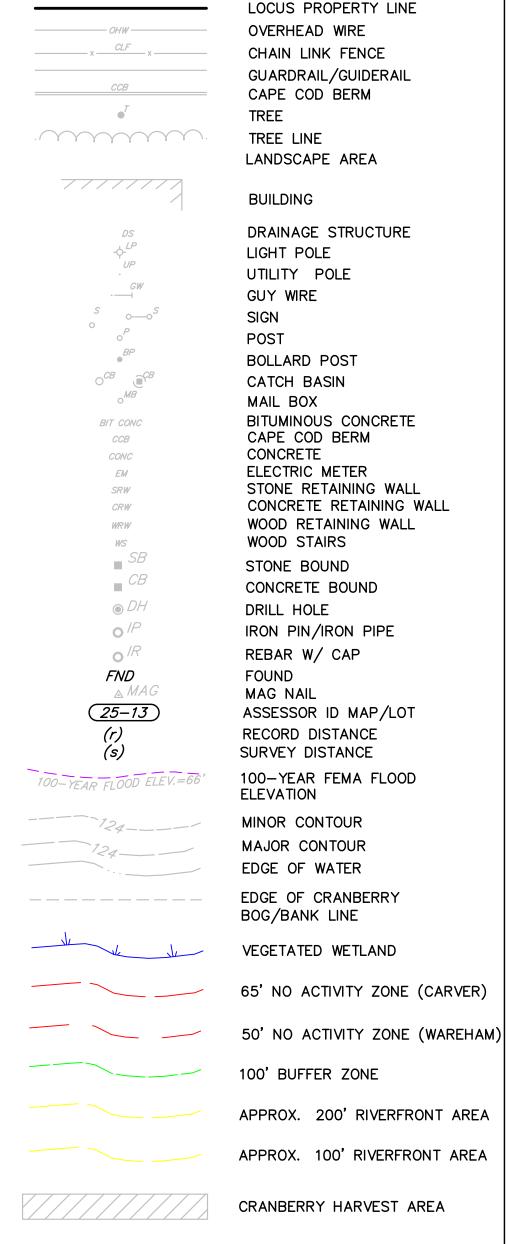
- 47. THESE NOTES SET MINIMUM STANDARDS FOR CONSTRUCTION. THE DRAWINGS GOVERN OVER THESE NOTES IN CASE OF CONFLICT.
- 48. ALL WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF THE FOLLOWING: LOCAL BUILDING CODE, LOCAL ELECTRICAL CODE, ANY OTHER REGULATING AGENCIES WHICH HAVE AUTHORITY OVER ANY PORTION OF THE WORK AND THOSE CODES AND STANDARDS LISTED IN THESE DRAWINGS AND IN ANY CONTRACTOR AGREEMENT.
- 49. EXCEPTIONS TO THE CONTRACT DOCUMENTS ARE PERMITTED ONLY WITH THE APPROVAL OF BE RE LLC.
- 50. COORDINATE THESE DRAWINGS WITH SPECIFICATIONS AND MANUFACTURER INSTALLATION AND OPERATION MANUALS AND NOTIFY BE RE LLC OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK.
- 51. PRIOR TO THE COMMENCEMENT OF ANY WORK, EACH TRADE SHALL VERIFY EXISTING CONDITIONS AND NOTIFY BE RE LLC OF ANY DISCREPANCIES TO THAT WHICH IS SHOWN IN THESE DRAWINGS, INCLUDING BUT NOT LIMITED TO DIMENSIONS OF THE WORK AREA, STRUCTURE, EXISTING ELECTRICAL SERVICE, CONDUIT PATHS, OBSTRUCTIONS, ACCESSIBILITY ISSUES, AND WORKING CLEARANCES. ANY WORK PERFORMED IN CONFLICT WITH THE CONTRACT DOCUMENTS OR ANY CODE REQUIREMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- 52. NO STRUCTURAL MEMBER SHALL BE DRILLED UNLESS SPECIFICALLY AUTHORIZED BY BE RE LLC.
- 53. CONTRACTOR ACKNOWLEDGES THAT THE SYSTEM AS INDICATED ON THE PLANS REQUIRES ALL COMPONENTS TO BE INSTALLED TO PROPERLY RESIST WIND LOADS, SUCH AS BALLAST, WIND DEFLECTORS, ETC. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE TEMPORARY MEANS TO RESIST WIND LOADS FOR ALL COMPONENTS NOT YET INSTALLED DURING AND AFTER REGULAR WORKING HOURS. THIS MAY INCLUDE TEMPORARY TIE DOWNS, COVERING, BALLAST OR ANY OTHER MEANS. DAMAGE TO ANY INSTALLED SYSTEM COMPONENT OR THE EXISTING FACILITY AS A RESULT OF THE UNFINISHED CONDITION NOT ADEQUATELY RESISTING WIND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR OR REPLACE AT THE CONTRACTOR'S COST.
- 54. TIMBER PILES, HELICAL PILES OR I-BEAMS WILL BE USED TO SUPPORT THE SOLAR RACKS. HELICAL PILES WILL BE INSTALLED BY SPECIALIZED EQUIPMENT TO SCREW THE PIERS INTO THE GROUND. I-BEAMS WILL BE INSTALLED BY PILE DRIVING EQUIPMENT AND DRIVEN INTO THE GROUND BY VIBRATORY METHODS, IN EITHER CASE, NO FOOTINGS WILL BE USED, AND NO MATERIAL WILL BE EXCAVATED/DISPLACED FROM THE GROUND.
- 55. NO SOLAR PANELS SHALL BE INSTALLED WITHIN TWENTY (20) FEET OF THE EXISTING CRANBERRY BOG LIMIT OR THE AREAS DESIGNATED
- 56. THE SOLAR ARRAY LAYOUT IS DEPICTED SCHEMATICALLY; THE FINAL SIZE AND PANEL ORIENTATION ON THE NOTED CRANBERRY BOGS WILL BE DETERMINED PRIOR TO THE APPLICATION FOR A BUILDING PERMIT.
- 57. THE NECESSITY, EXTENT AND SPECIFIC SIZE AND TYPE OF FENCE MATERIALS WILL BE DETERMINED WITH THE TOWN.

#### 58. FENCE LOCATION IS APPROXIMATE.

59. BY REQUEST OF THE WAREHAM PLANNING BOARD. THE UTILITY-OWNED POI HAS BEEN REVISED FROM POLE-MOUNTED TO PAD-MOUNTED INFRASTRUCTURE. EVERSOURCE HAS DISCRETION TO AMEND THIS LAYOUT PER UTILITY NEEDS, TO BE DETERMINED. IF A POLE-MOUNTED POI IS ULTIMATELY REQUIRED BY EVERSOURCE, THE WAREHAM PLANNING BOARD WILL AMEND THE DECISION TO INCLUDE EVERSOURCE'S REQUIRED POI THROUGH THE APPROVAL OF A MINOR MODIFICATION.

# LEGEND

### **EXISTING**



APPROX. CENTER LINE OF STREAM

TOWN OF WAREHAM

WAREHAM PLANNING BOARD:

DATE OF SIGNATURE \_\_\_\_

APPROVED BY

# PROPOSED

UTILITY POLE
OVERHEAD WIRES
CHAIN LINK FENCE
UNDERGROUND ELECTRIC CONDUIT
SEDIMENT CONTROL BARRIER
GROUND MOUNTED SOLAR MODULES
TREE CLEARING LIMIT
TYPICAL
ON CENTER
LIMIT OF WORK
TEMPORARY GRAVEL DRIVE/ TEMPORARY LAYDOWN AREA
RIP-RAP CONSTRUCTION TRACKING PAD/ TRAP ROCK SPILLWAY



PO BOX 974

EDWARDS, COLORADO

PREPARED FOR:

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#### PREPARED BY:

BEALS+THOMA
Civil Engineers + Landscape Architects
Land Surveyors + Planners +
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- 03/11/2021 REVISED PER TOWN COMMENTS
- 0 12/16/2020 ISSUED FOR PERMITTING

ISSUE DATE DESCRIPTION

NBB | NBB | NPS | DES | DWN | CHK'D | APP'D

PROJECT:

# ROCKY MAPLE SOLAR

WAREHAM AND CARVER. MASSACHUSETTS

SCALE: N/A DATE: DECEMBER 16, 2020

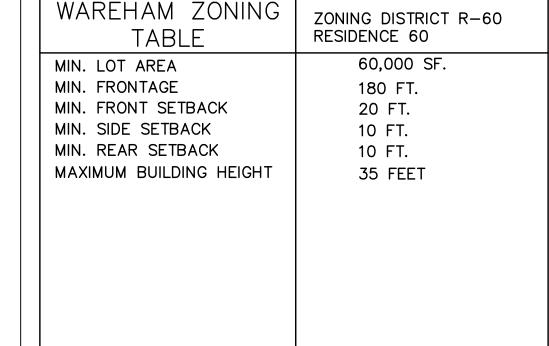
NOTES, REFERENCES

AND LEGEND

B+T JOB NO.3203.00

B+T PLAN NO. 320300P003D-002

SHEET No. 2 OF 13



CARVER ZONING TABLE	ZONING DISTRICT RA RESIDENTIAL/AGRICULTURAL
MIN. LOT AREA MIN. FRONTAGE MIN. FRONT SETBACK MIN. SIDE SETBACK MIN. REAR SETBACK MAXIMUM BUILDING HEIGHT MAXIMUM LOT WIDTH MAXIMUM SITE DENSITY  MAX. BUILDING COVERAGE	60,000 SF.  150 FT. 50 FT. 30 FT. 50 FT. 550 FT. 550 FT. 550 FT. 35 FEET 80 FT. 50% (FOR SITES WITH 10-20 ACRES WITHIN SECURITY FENCE) 66% (FOR SITES WITH >20 ACRES WITHIN SECURITY FENCE) 30%
MINIMUM UPLAND	70% OF MINIMUM LOT SIZE

ZONING T	ABLE	
WAREHAM ZONING DISTRICT = RE	SIDENCE 60 (R6	0)
	REQUIRED	PROPOSED
MINIMUM LOT AREA (SF)	60,000	4,807,007
MINIMUM LOT FRONTAGE (FT)	180	2,307
MINIMUM FRONT YARD SETBACK (FT)	20	92
MINIMUM SIDE YARD SETBACK (FT)	10	194
MINIMUM REAR YARD SETBACK (FT)	10	211
MAXIMUM BUILDING HEIGHT (FT)	35	13
CARVER ZONING DISTRICT = RESIDENTI	AL/AGRICULTURA	AL (RA)
MINIMUM LOT AREA (SF)	60,000	4,807,007
MINIMUM LOT FRONTAGE (FT)	150	2,307
MINIMUM FRONT YARD SETBACK (FT)	50	92
MINIMUM SIDE YARD SETBACK (FT)	30	194
MINIMUM REAR YARD SETBACK (FT)	50	211
MAXIMUM BUILDING HEIGHT (FT)	35	13

	PLAN FILED	PLAN FILED
	PLAN APPROVED	PLAN APPROVED
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TOWN OF CARVER

DATE OF SIGNATURE\_

CARVER PLANNING BOARD:

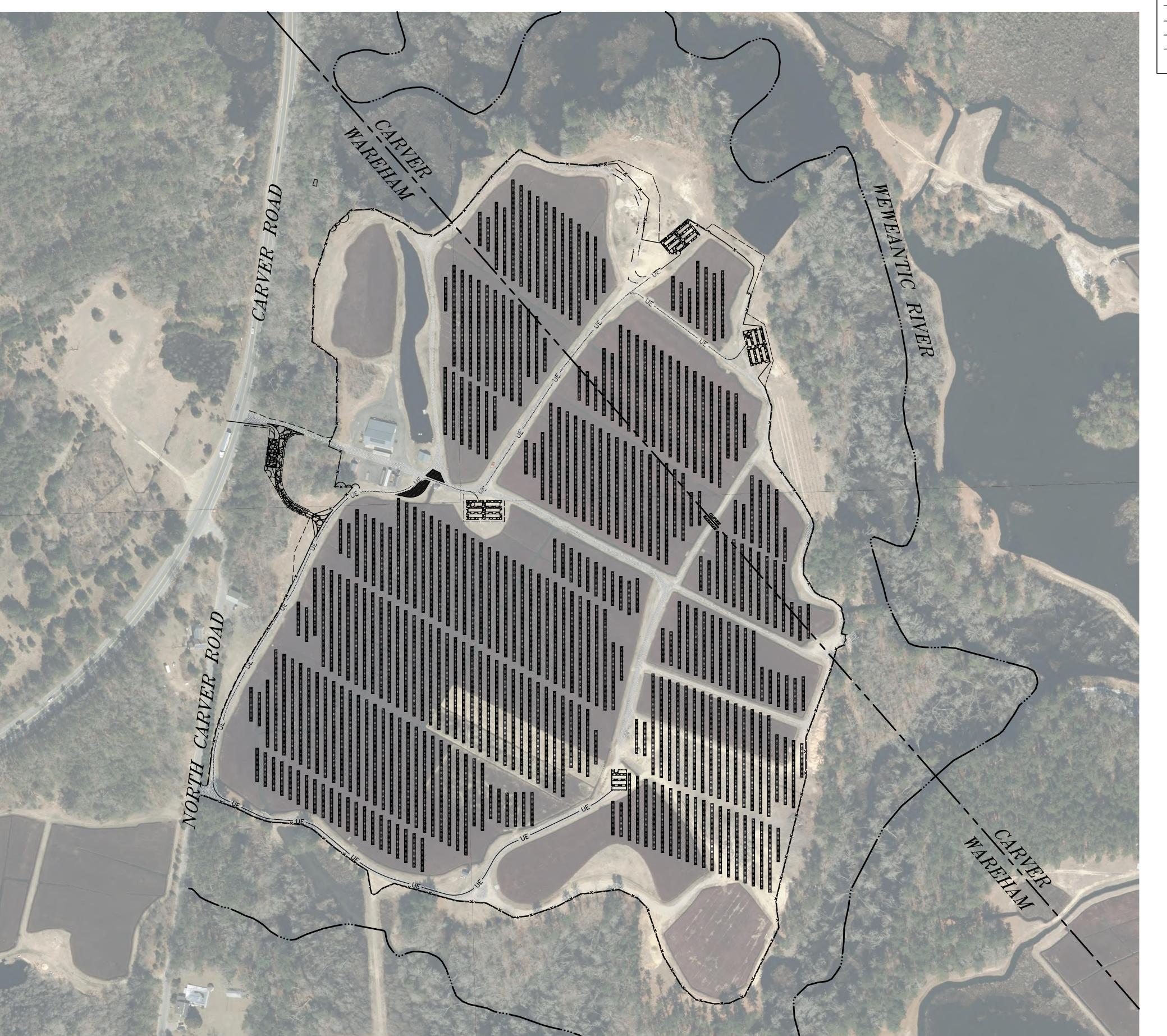
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TOWN OF CAR	VER
APPROVED BY CARVER PLANNING	BOARD:

DATE OF SIGNATURE.

PLAN APPROVED

PLAN FILED



# LEGEND

PROPERTY LINE APPROX. CENTER LINE OF STREAM BORDERING VEGETATIVE WETLANDS

PROPOSED LIMIT OF WORK PROPOSED OVERHEAD WIRES PROPOSED UNDERGROUND ELECTRIC PROPOSED SOLAR MODULES

BE RE, LLC PO BOX 974 EDWARDS, COLORADO

PREPARED FOR:





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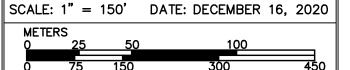
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PROJECT:

# ROCKY MAPLE SOLAR

NBB NBB NPS EJL DES DWN CHK'D APP'D

> WAREHAM AND CARVER, MASSACHUSETTS



# **OVERVIEW**

B+T JOB NO.3203.00

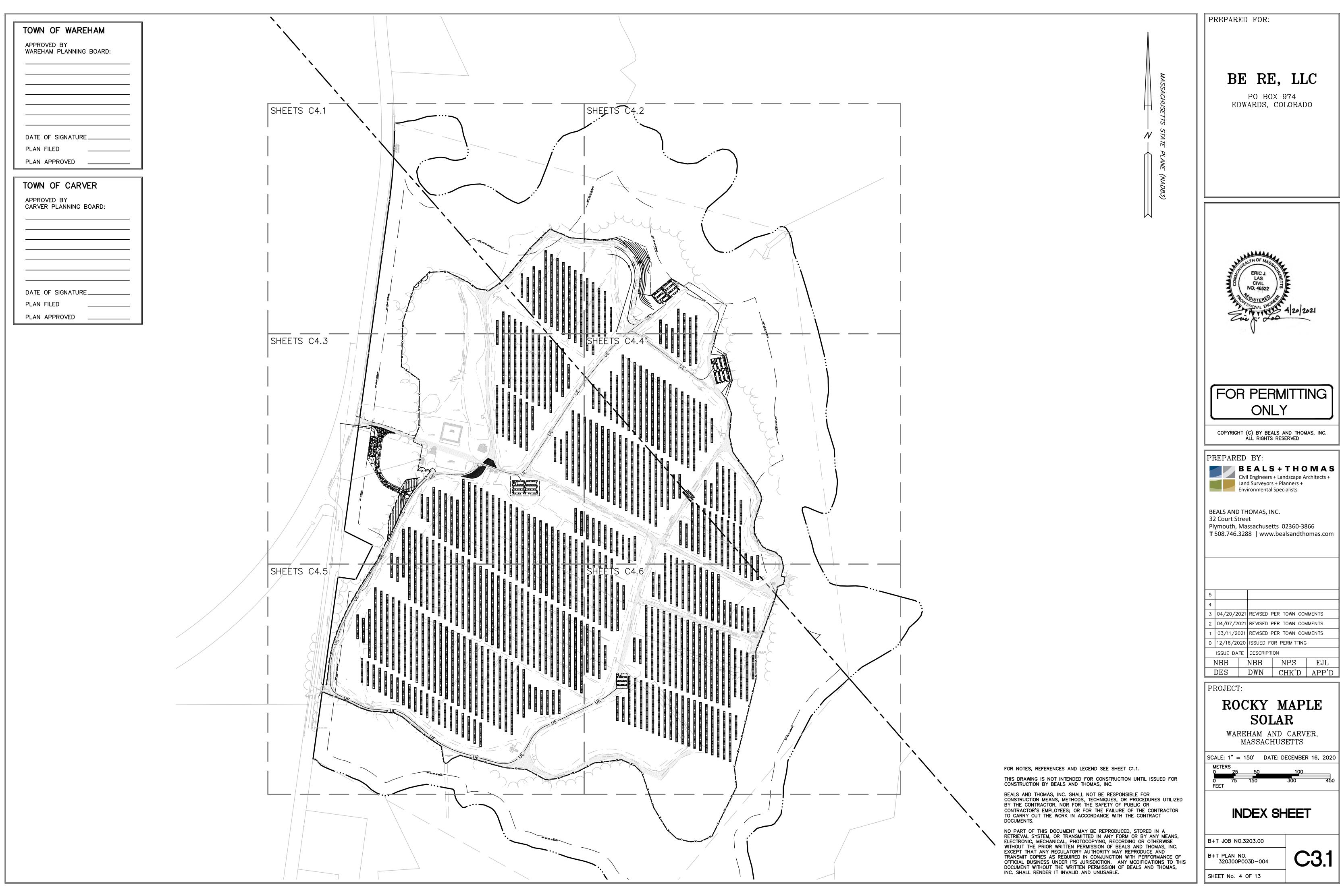
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SHEET No. 3 OF 13

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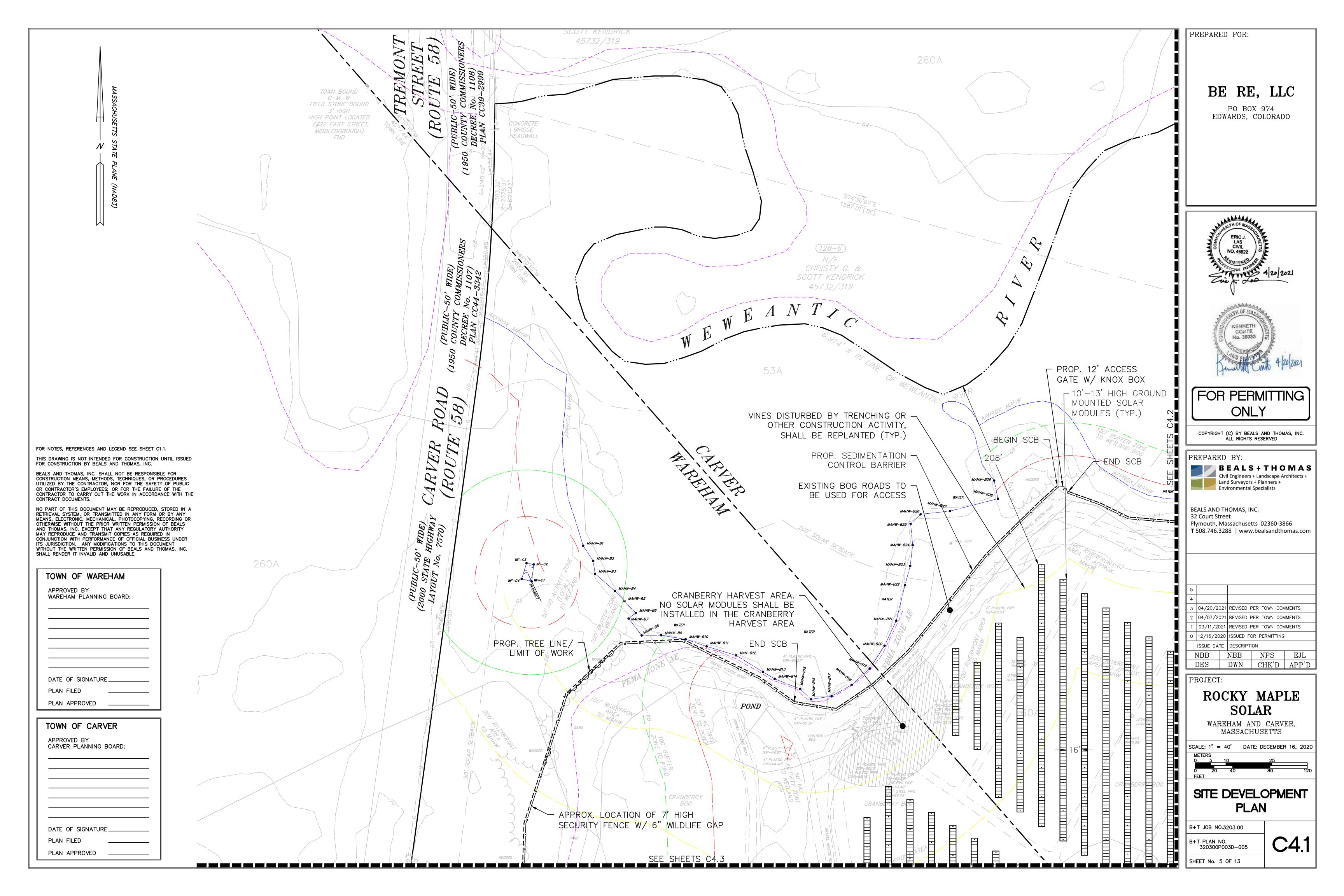


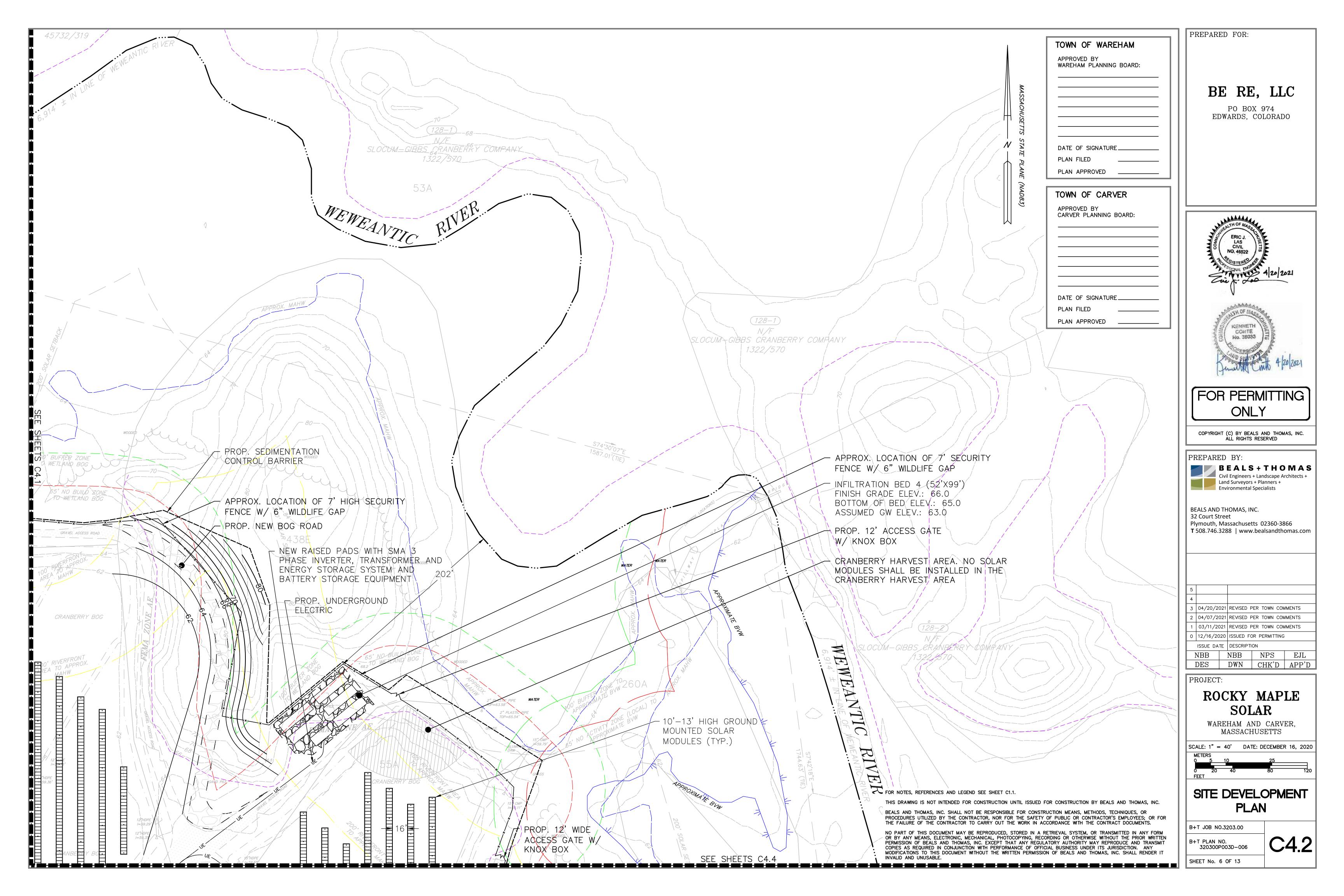


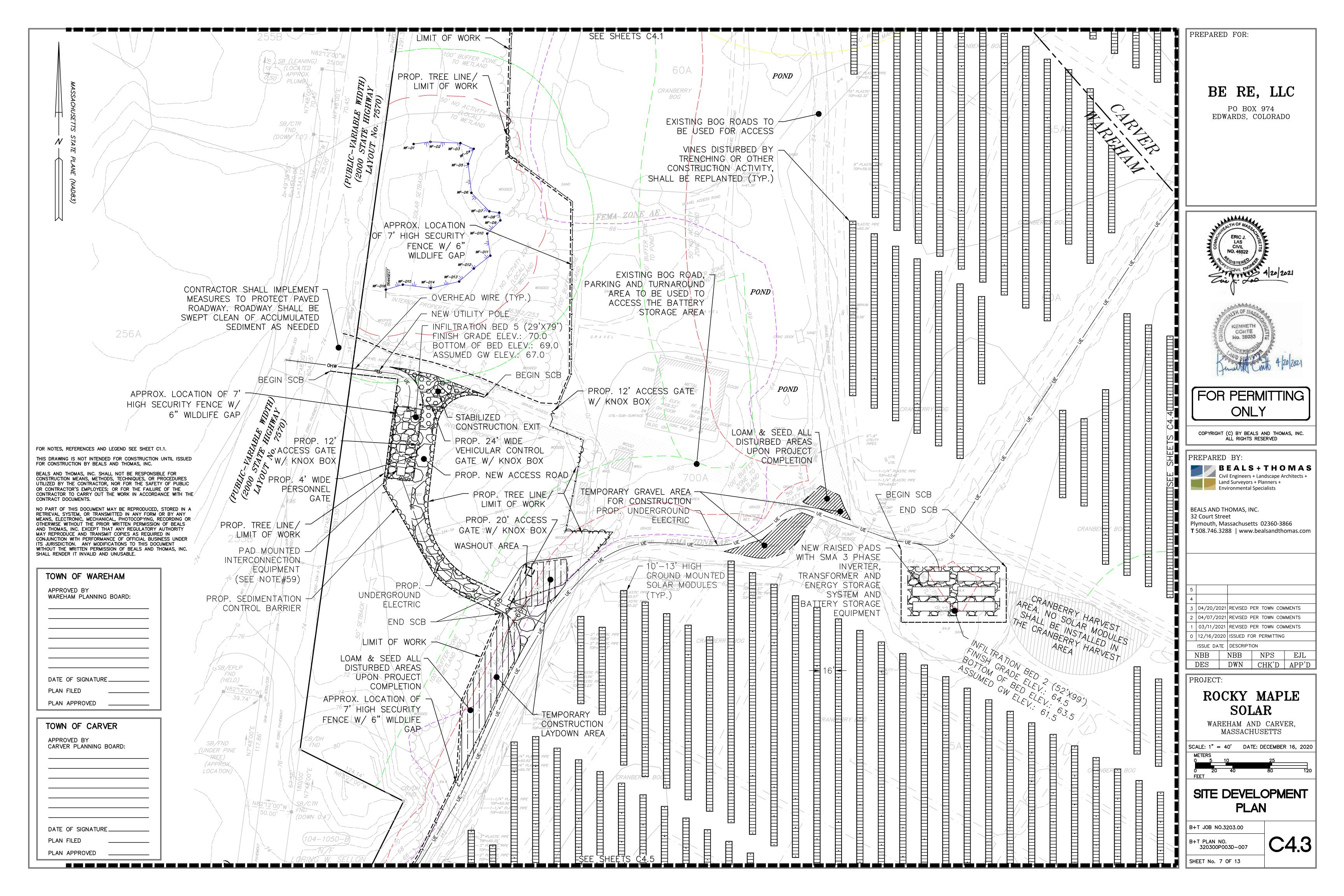
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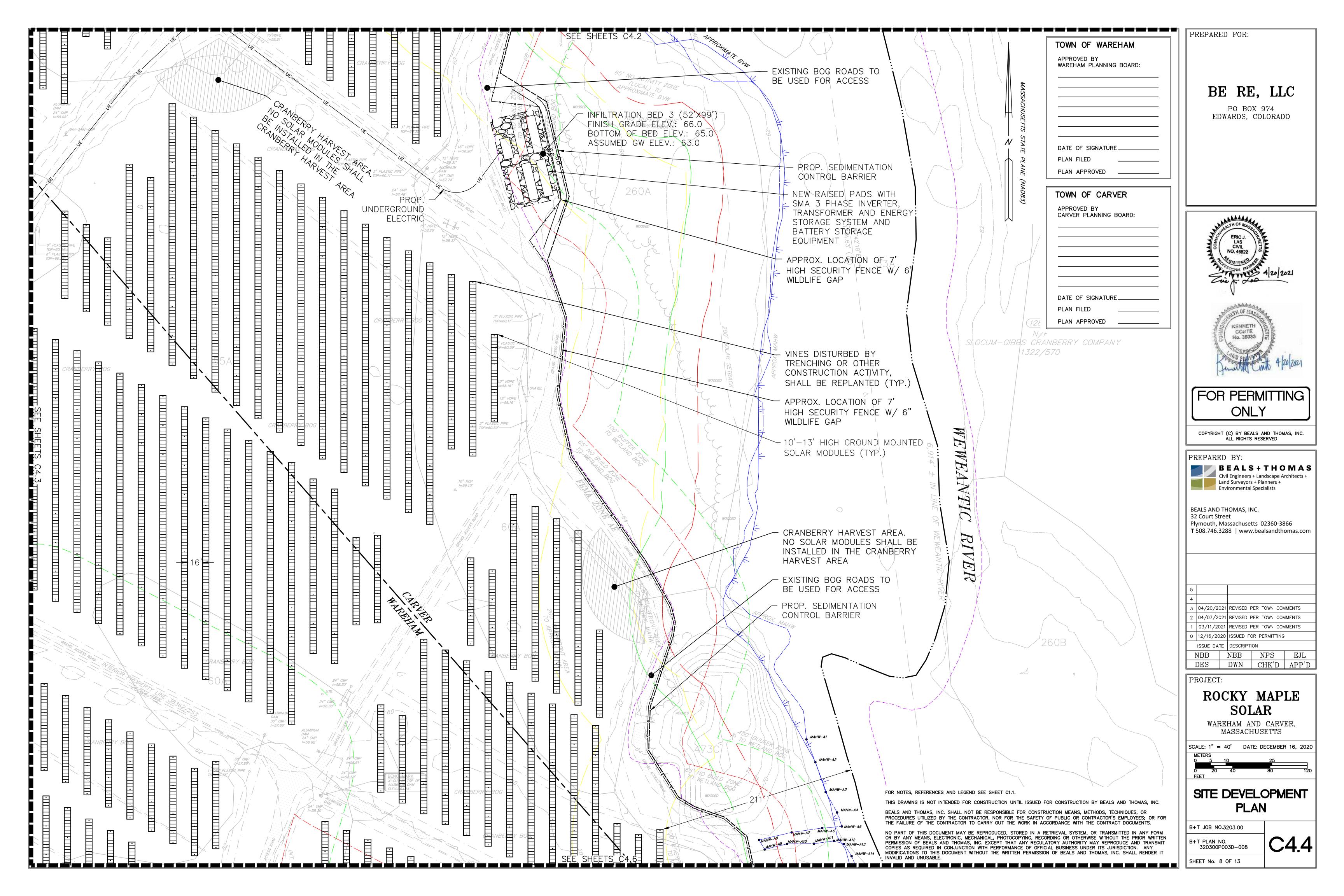
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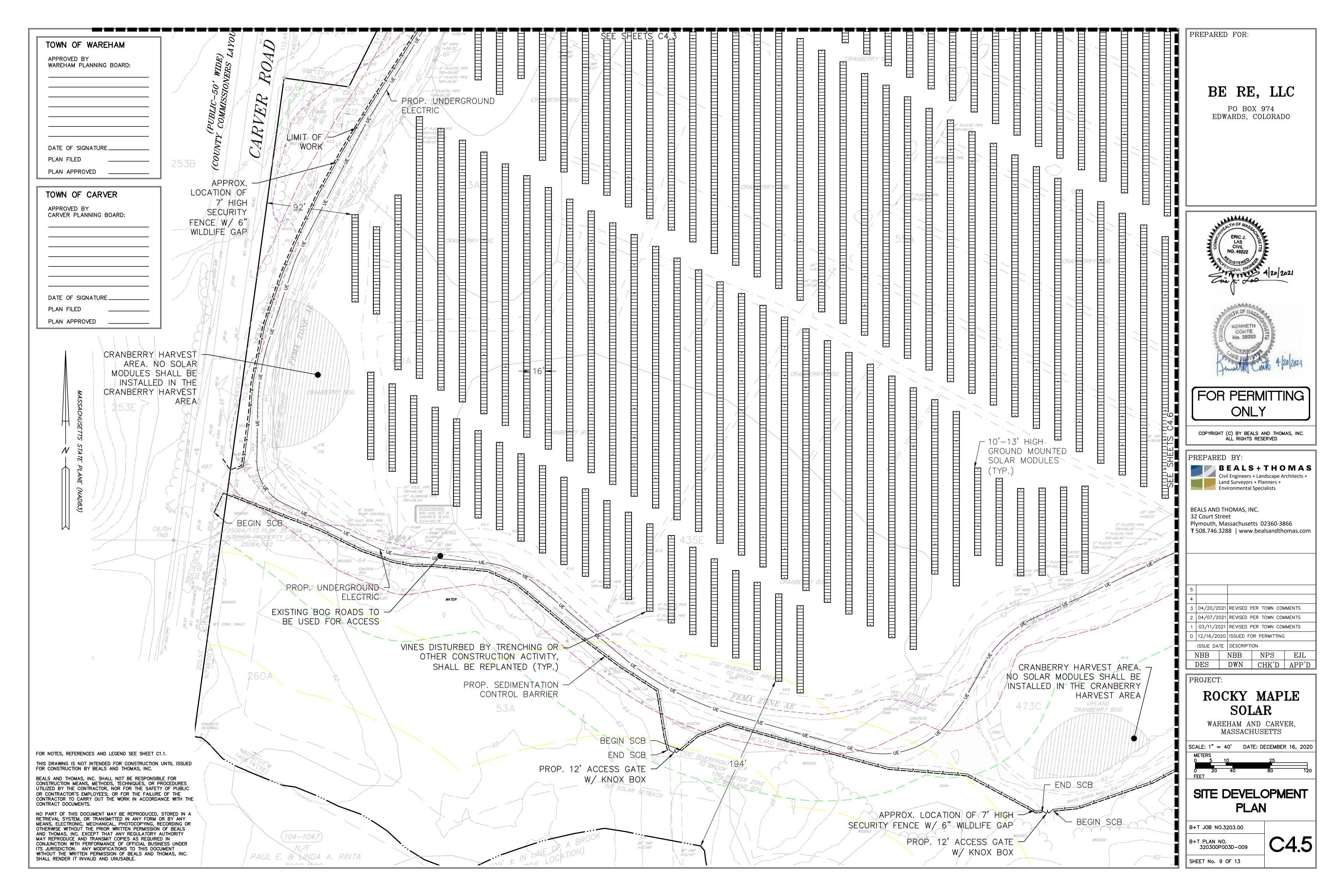


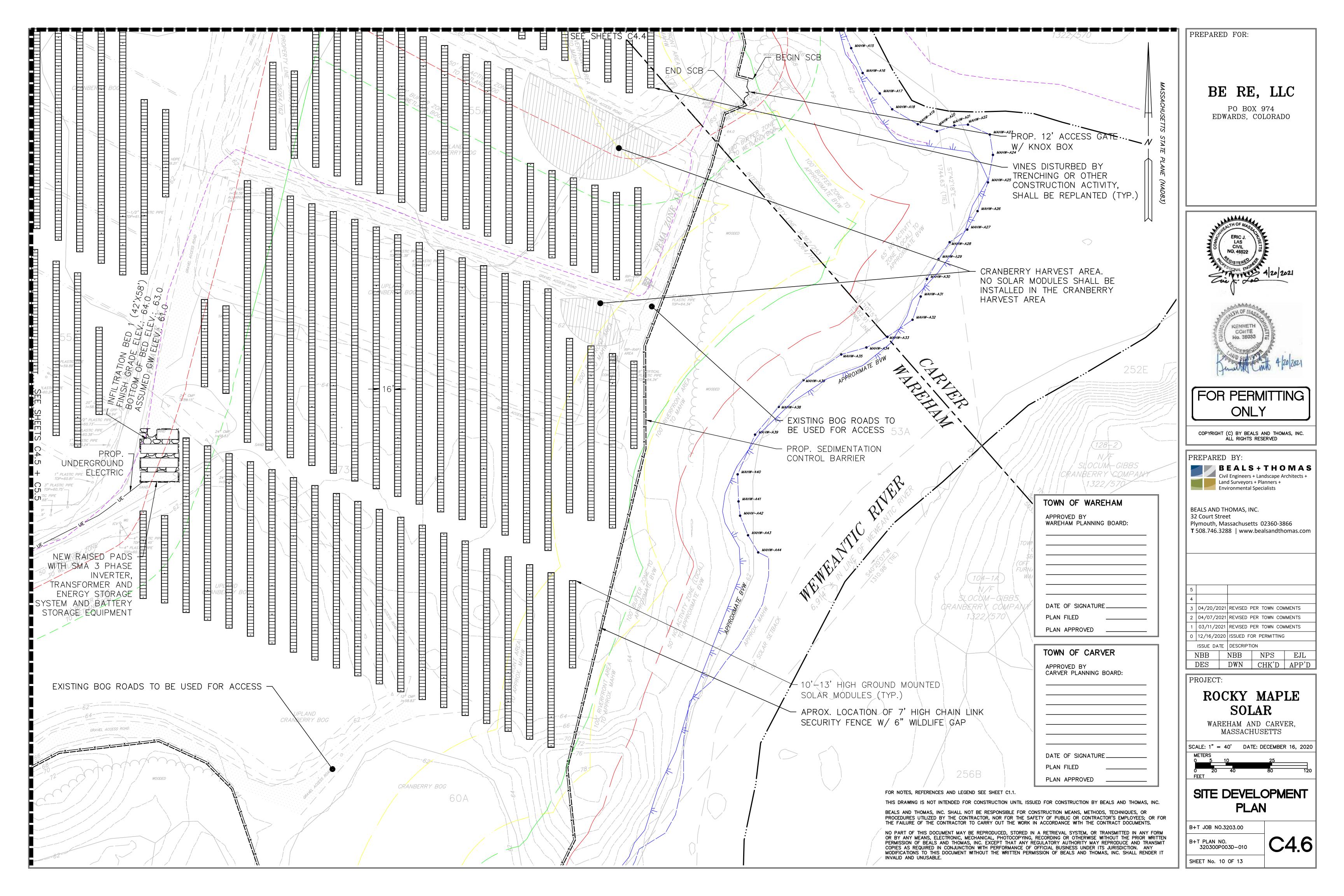


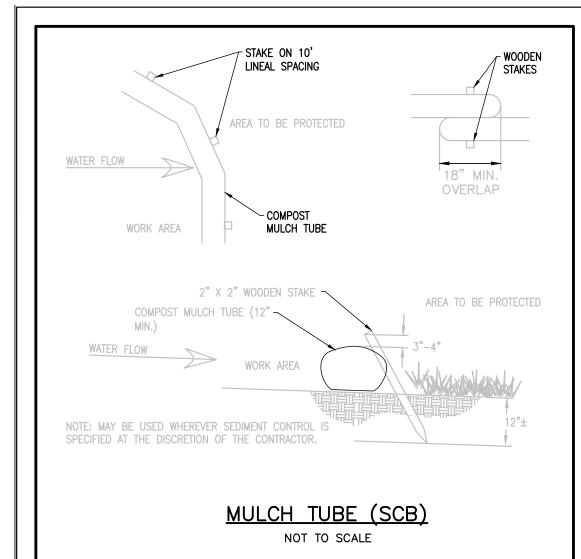


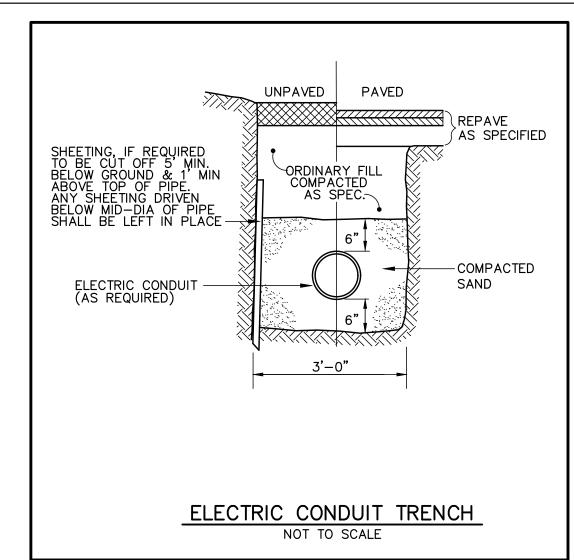


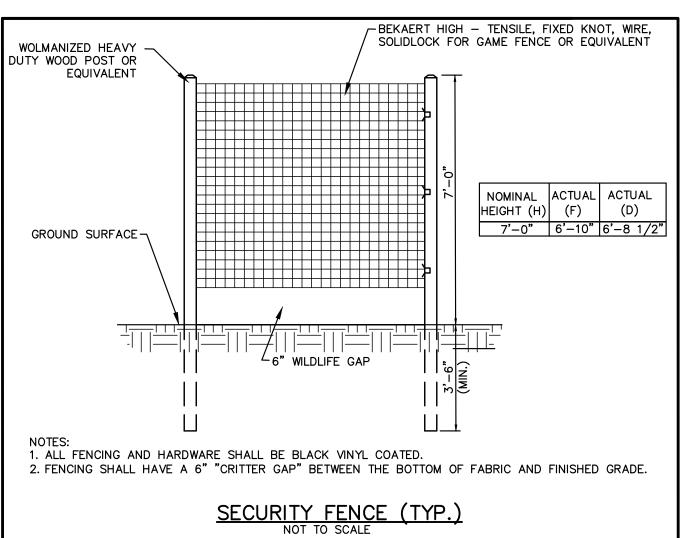


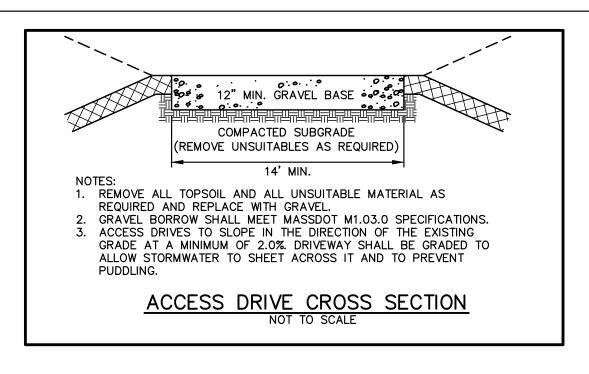


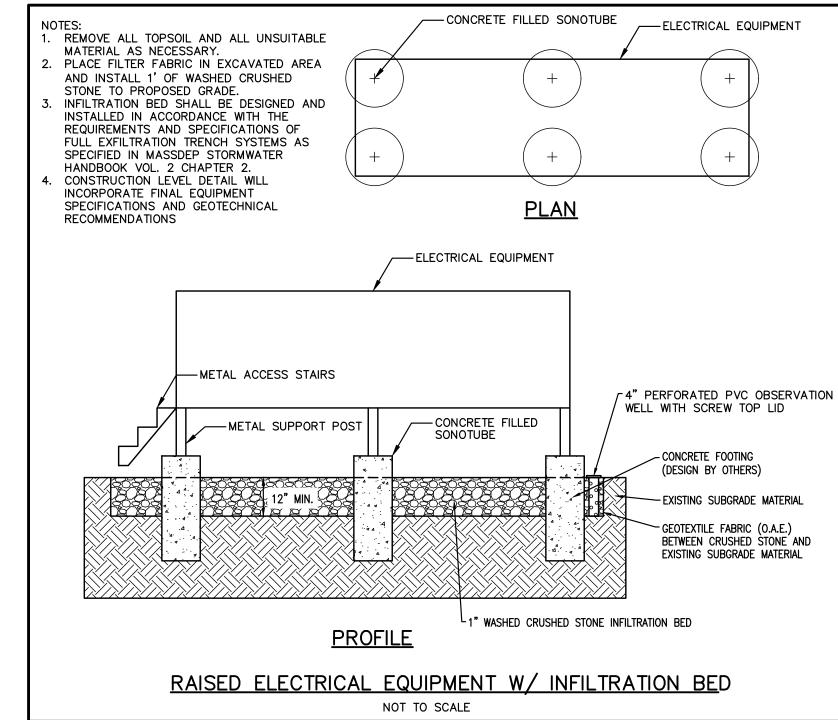


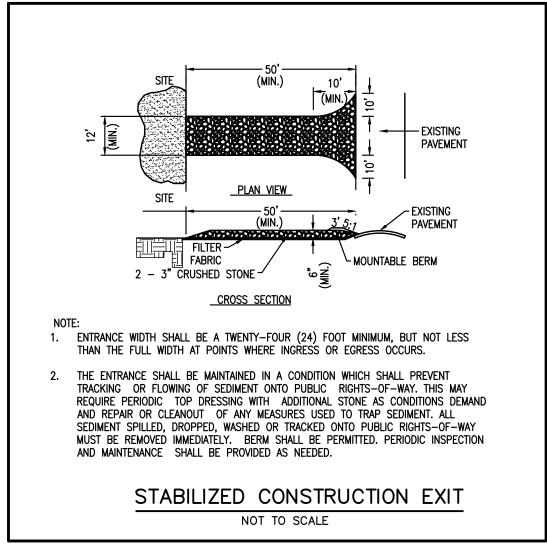


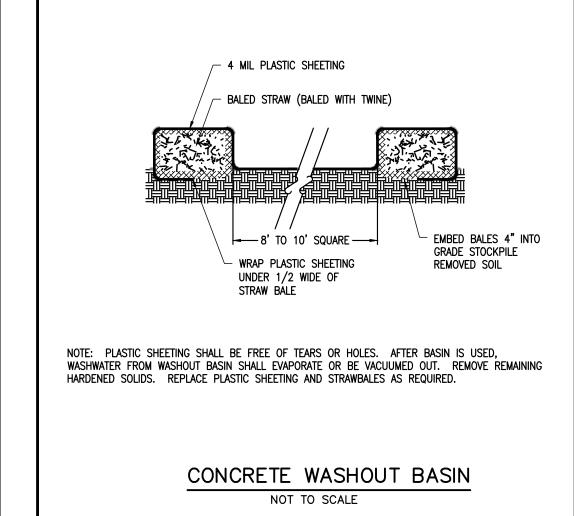


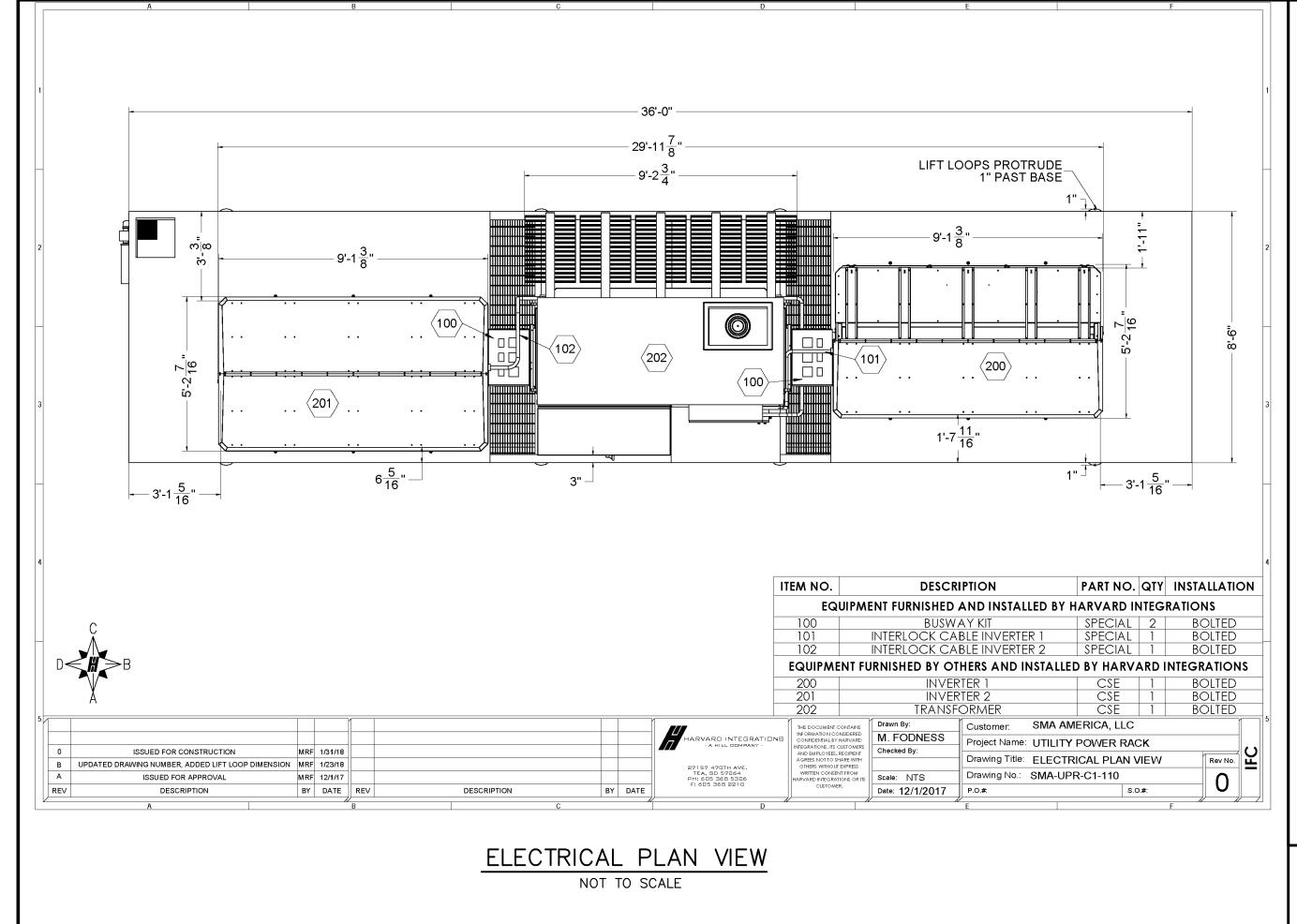


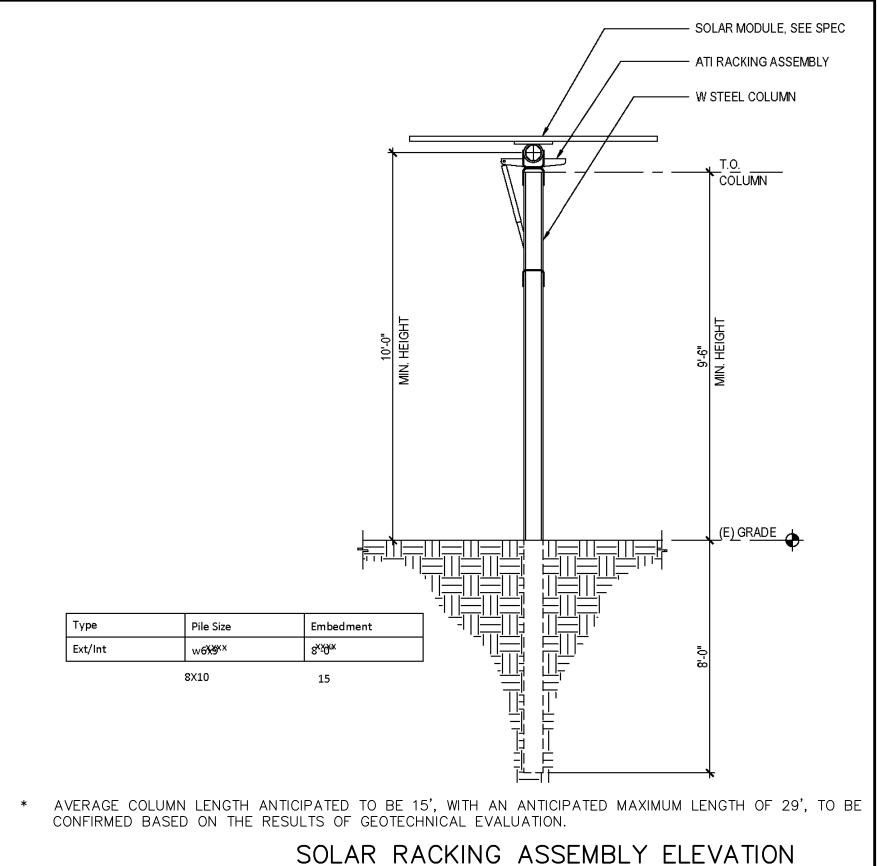




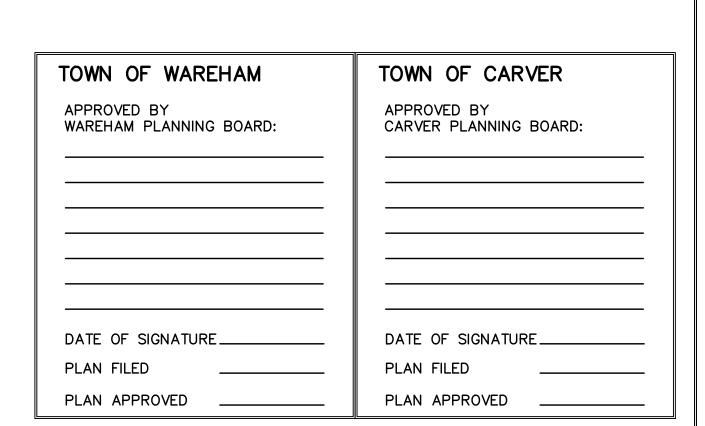








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BEALS + THOMAS

Civil Engineers + Landscape Architects +
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PROJECT:

# ROCKY MAPLE SOLAR

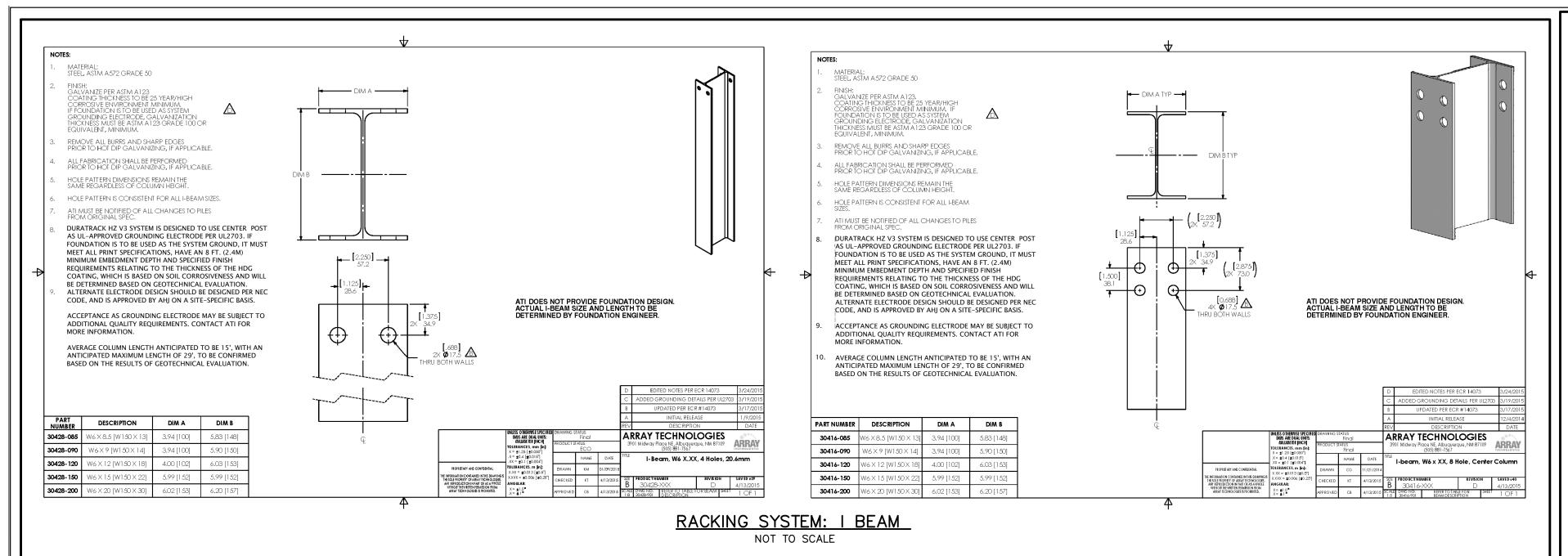
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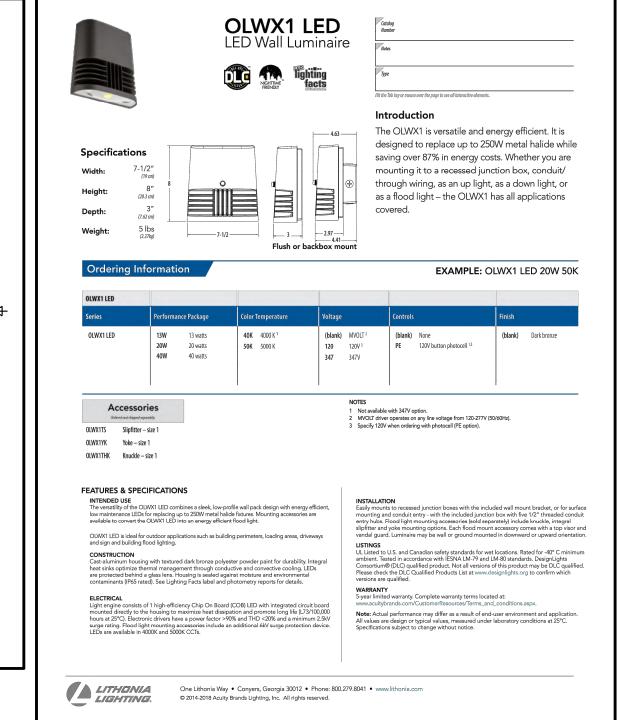
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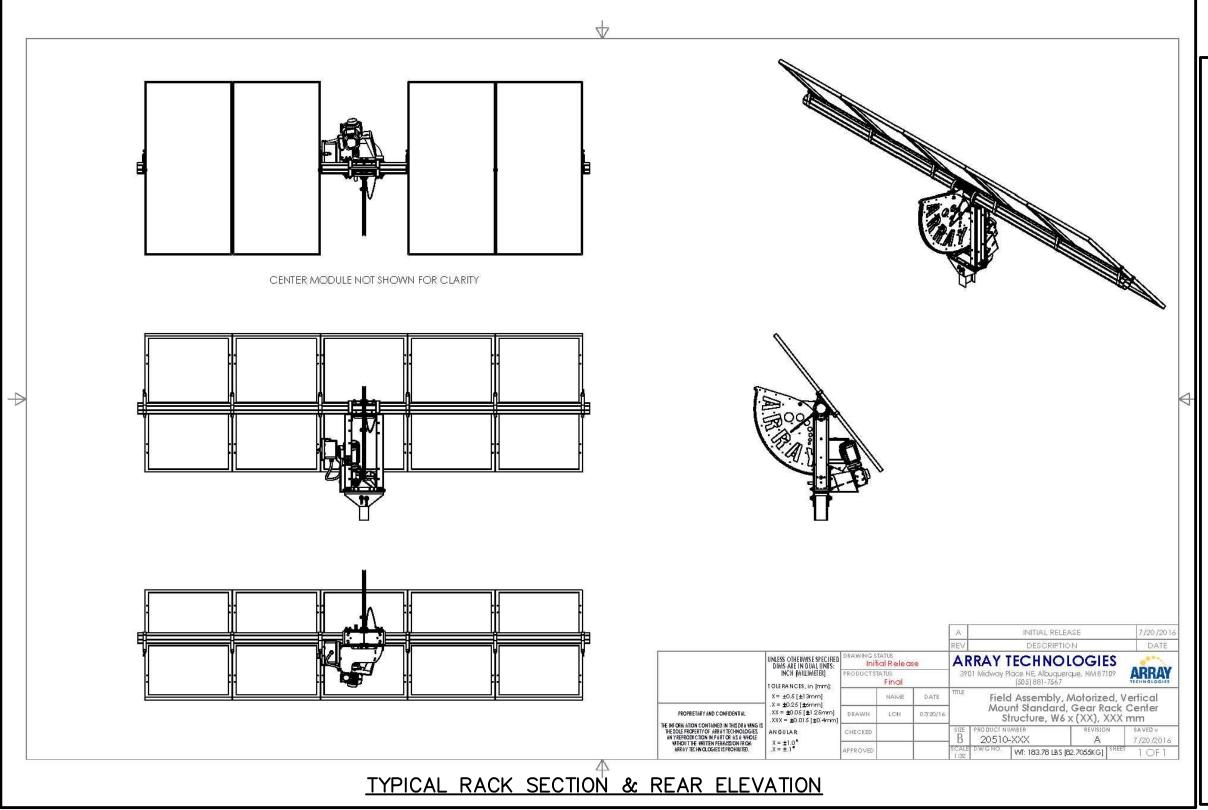
SITE DETAILS

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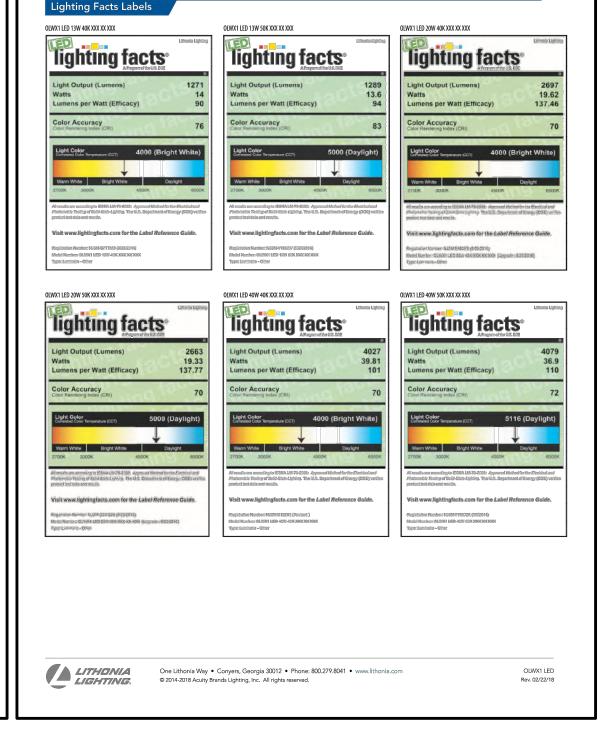
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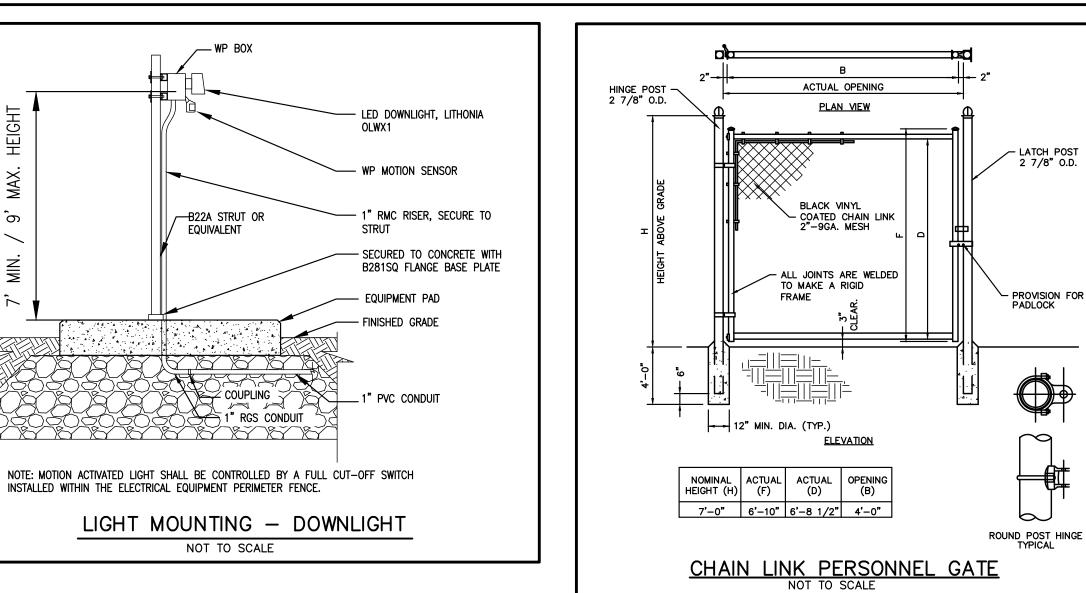


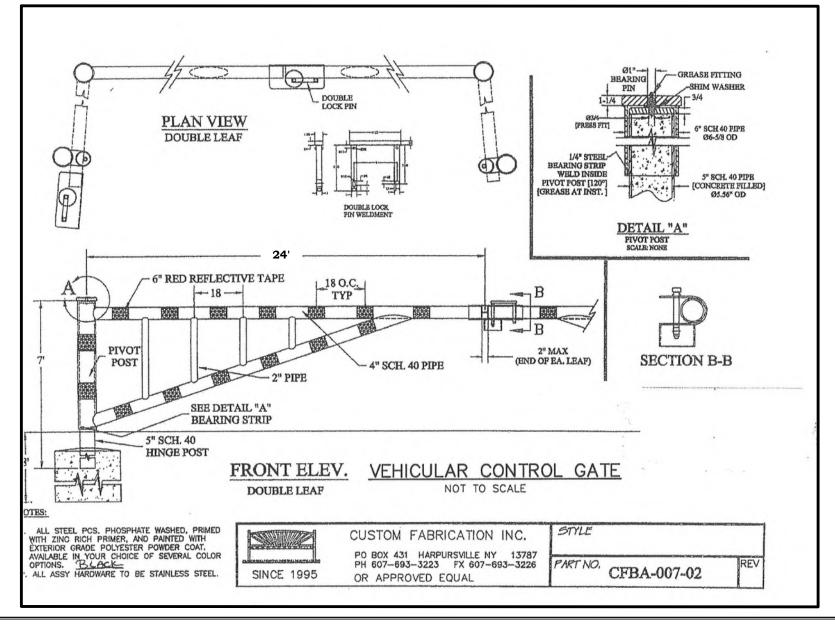












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FOR NOTES, REFERENCES AND LEGEND SEE SHEET C1.1.

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# ROCKY MAPLE SOLAR

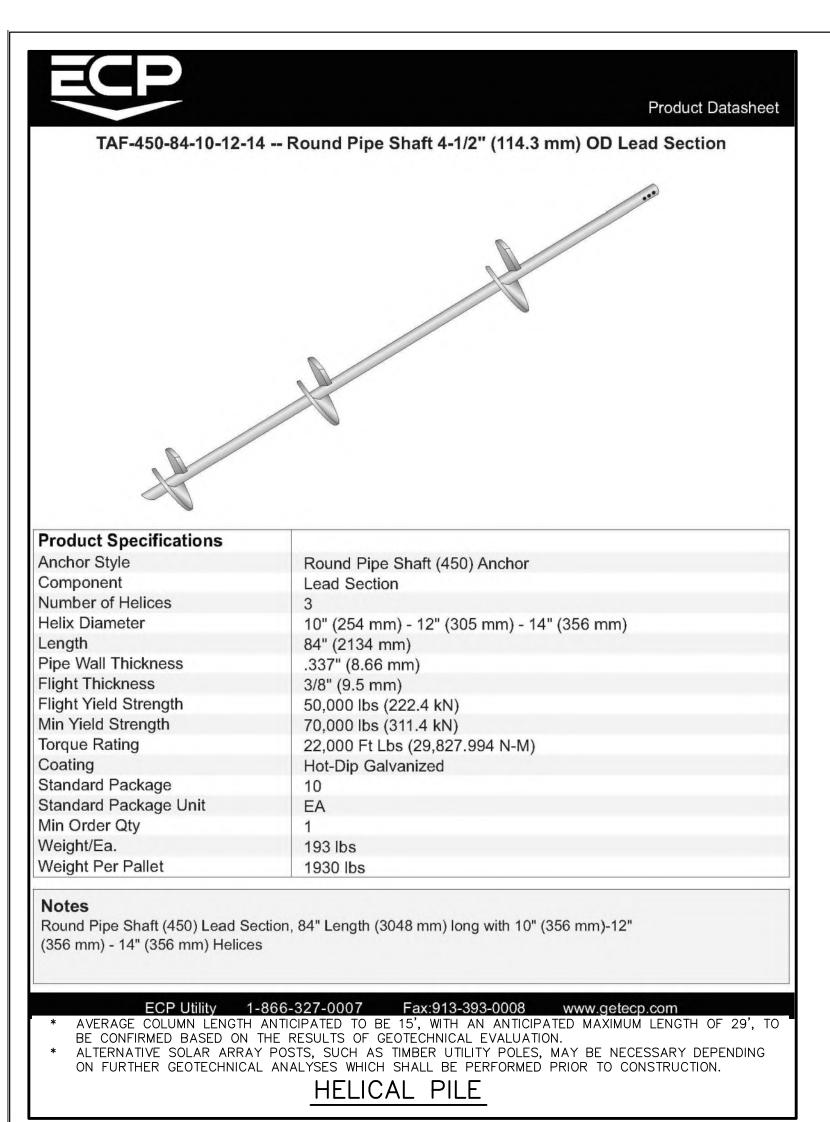
WAREHAM AND CARVER, MASSACHUSETTS

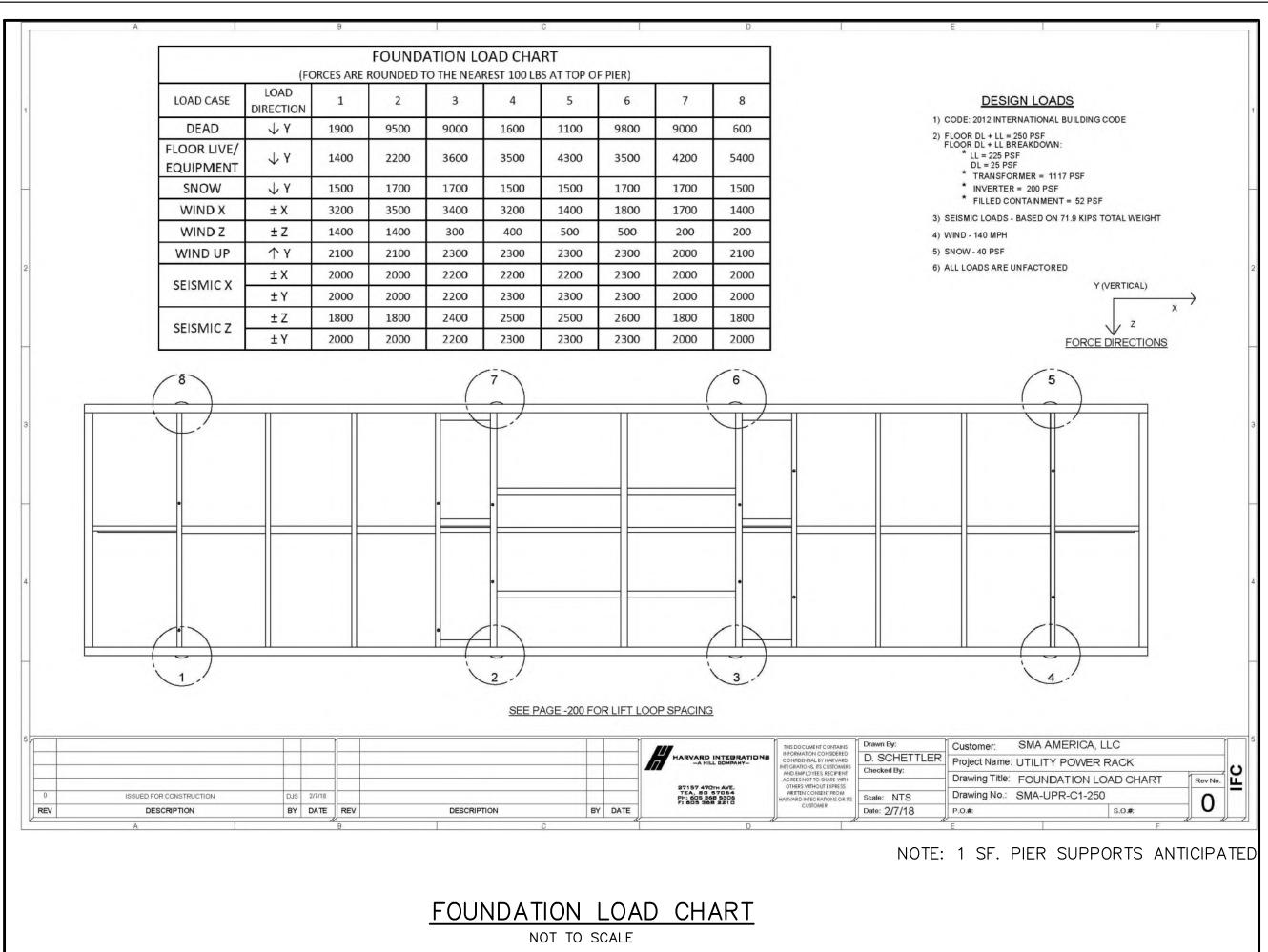
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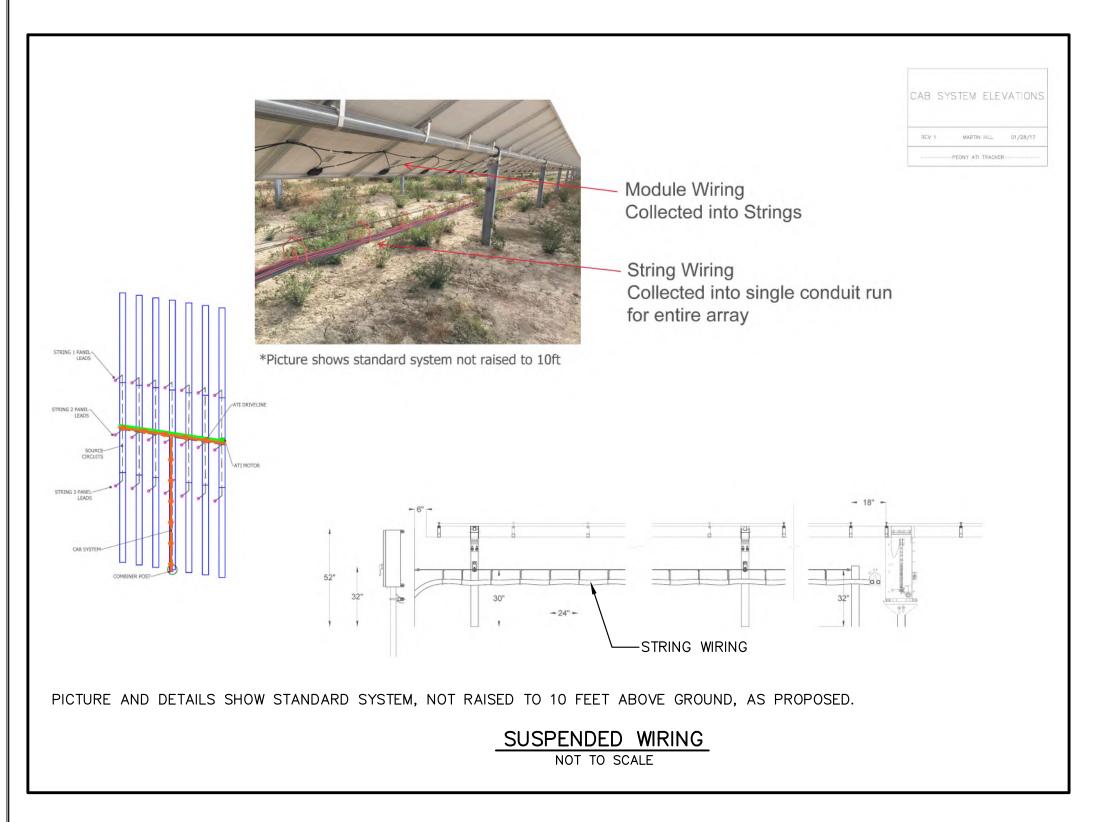
SITE DETAILS

B+T JOB NO.3203.00

B+T PLAN NO. 320300P003D-012 SHEET No. 12 OF 13







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PROJECT:

# ROCKY MAPLE SOLAR

WAREHAM AND CARVER, MASSACHUSETTS

SCALE: AS NOTED DATE: DECEMBER 16, 2020

SITE DETAILS

B+T JOB NO.3203.00

B+T PLAN NO.

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SHEET No. 13 OF 13