

ROCKY MAPLE SOLAR

IN

WAREHAM AND CARVER, MASSACHUSETTS

(Plymouth County)

OWNER/APPLICANT

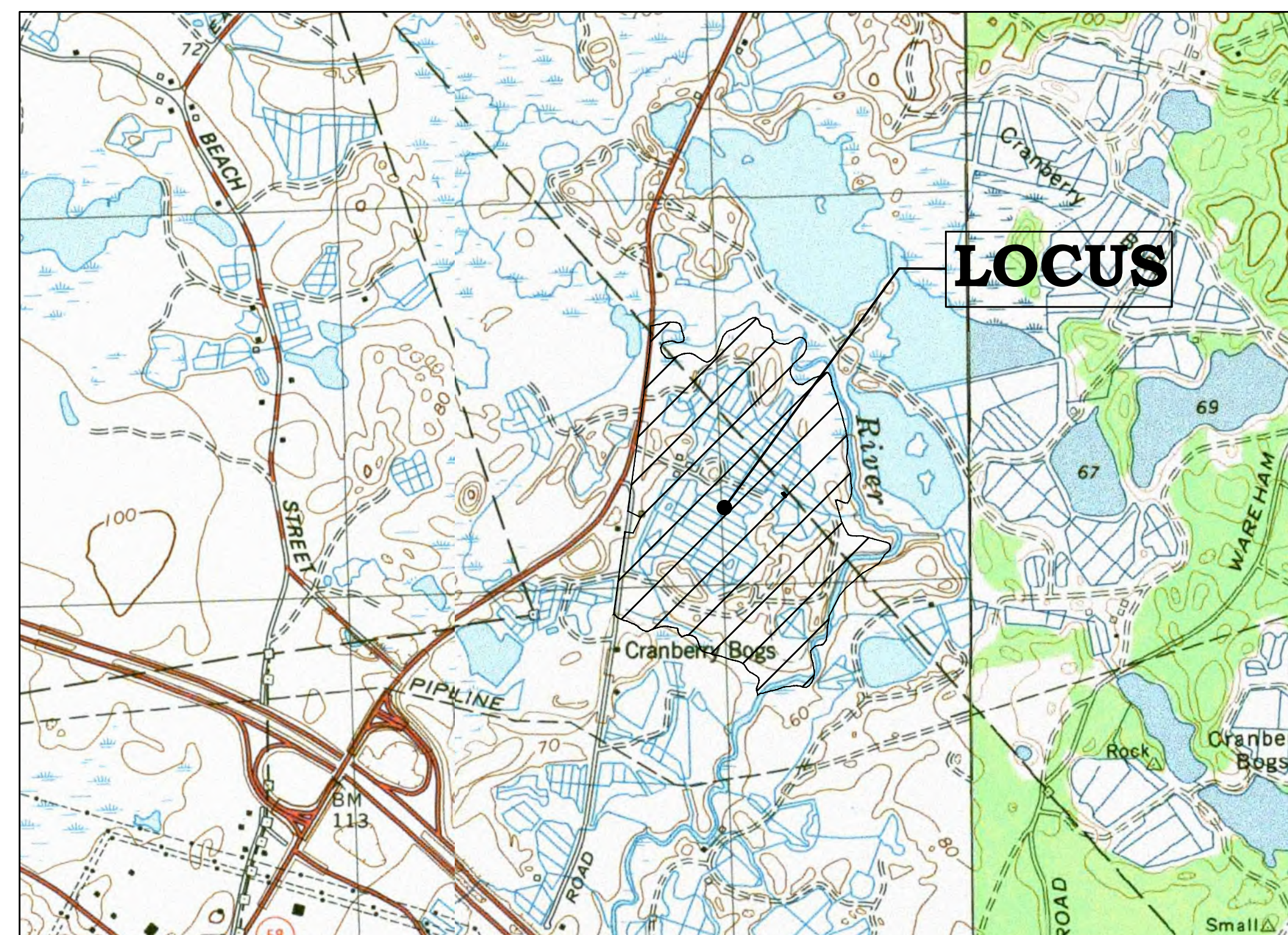
BE RE, LLC
 PO Box 974
 Edwards, Colorado 81632

CIVIL ENGINEER/SURVEYOR AND LANDSCAPE ARCHITECT

Beals and Thomas, Inc.
 32 Court Street
 Plymouth, Massachusetts 02360

PROJECT ATTORNEY

Dain, Torpy, Le Ray, Wiest & Garner, P.C.
 745 Atlantic Avenue, Suite 500
 Boston, Massachusetts 02111



Locus Map
 Scale: 1" = 1000'



SHEET INDEX

- Cover Sheet
- C1.1 Notes, References and Legend Sheet
- C2.1 Overview
- C3.1 Index Sheet
- C4.1-4.6 Site Development Plans
- C5.1-5.3 Site Details

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| <p>TOWN OF WAREHAM</p> <p>APPROVED BY WAREHAM PLANNING BOARD:</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>DATE OF SIGNATURE _____</p> <p>PLAN FILED _____</p> <p>PLAN APPROVED _____</p> | <p>TOWN OF CARVER</p> <p>APPROVED BY CARVER PLANNING BOARD:</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>DATE OF SIGNATURE _____</p> <p>PLAN FILED _____</p> <p>PLAN APPROVED _____</p> |
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Issued For Permitting - December 16, 2020
Revised Per Town Comments - March 11, 2021
Revised Per Town Comments - April 07, 2021
Revised Per Town Comments - April 20, 2021



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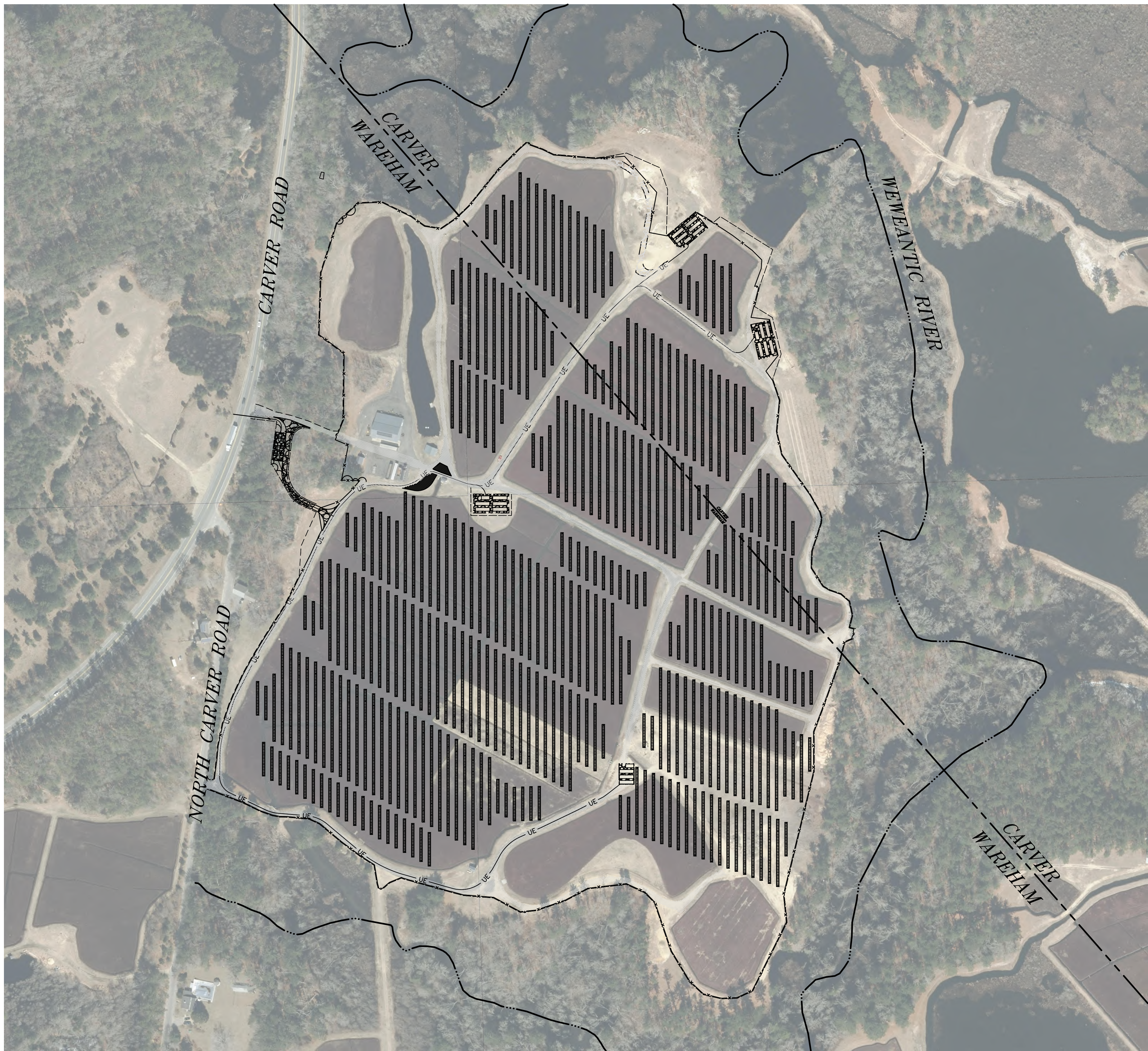
Job No.: 3203.00
 Plan No.: 320300P003D
 Sheet 1 of 13

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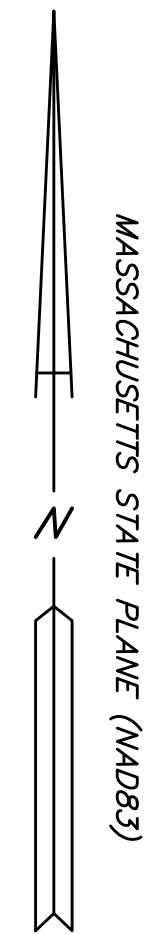
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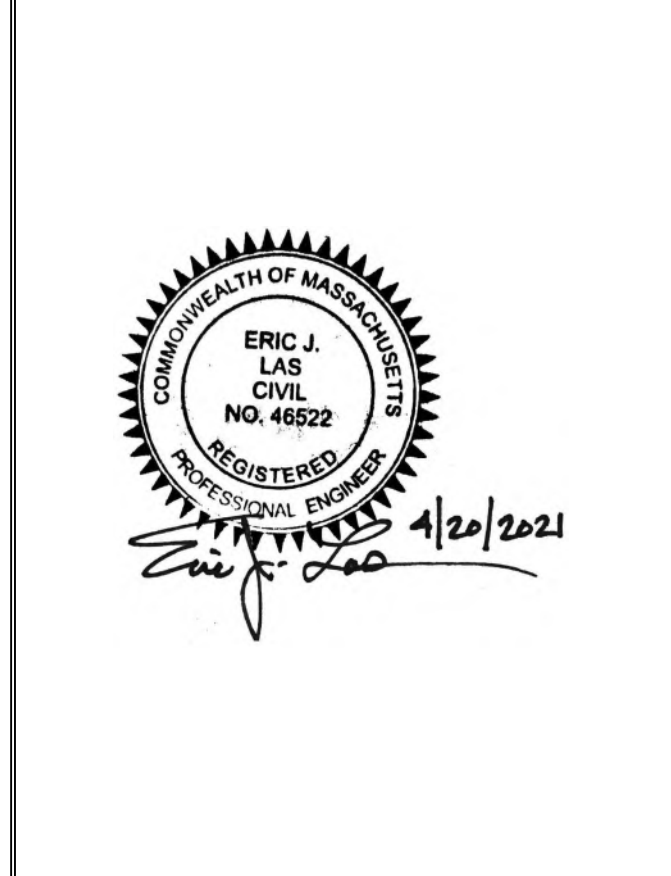


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| | APPROX. CENTER LINE OF STREAM |
| | BORDERING VEGETATIVE WETLANDS |
| | PROPOSED LIMIT OF WORK |
| | PROPOSED OVERHEAD WIRES |
| | PROPOSED UNDERGROUND ELECTRIC |
| | PROPOSED SOLAR MODULES |



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PROJECT:
ROCKY MAPLE SOLAR
 WAREHAM AND CARVER,
 MASSACHUSETTS

SCALE: 1" = 150' DATE: DECEMBER 16, 2020
 METERS
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OVERVIEW
 B+T JOB No. 3203.00
 B+T PLAN No. 320300P003D-003
 SHEET No. 3 OF 13

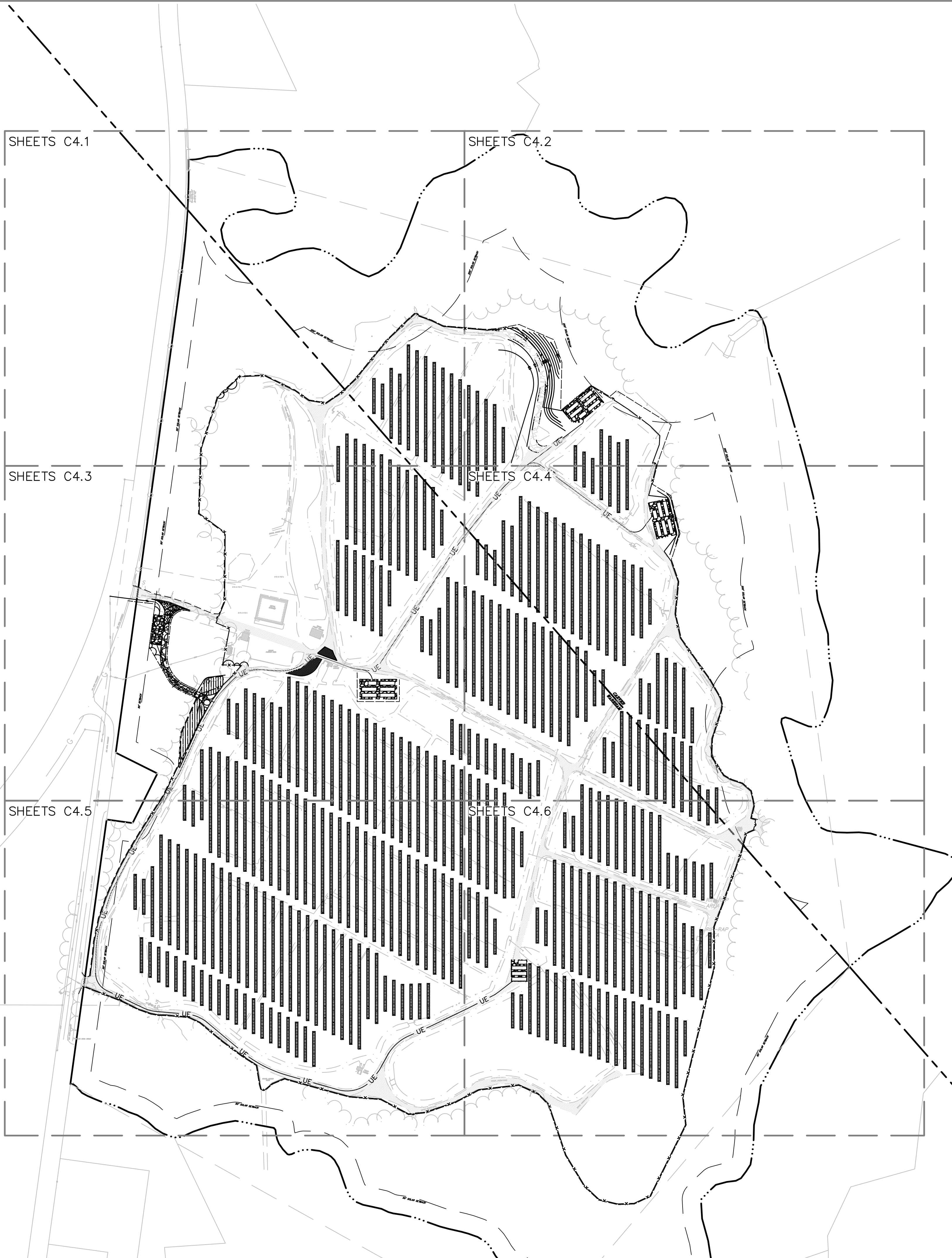
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INDEX SHEET

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C3.1

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Eric J. Las



4/20/2021
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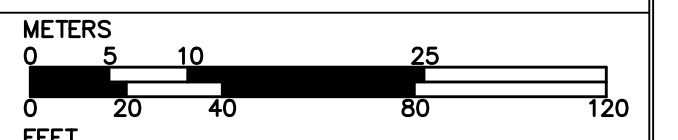
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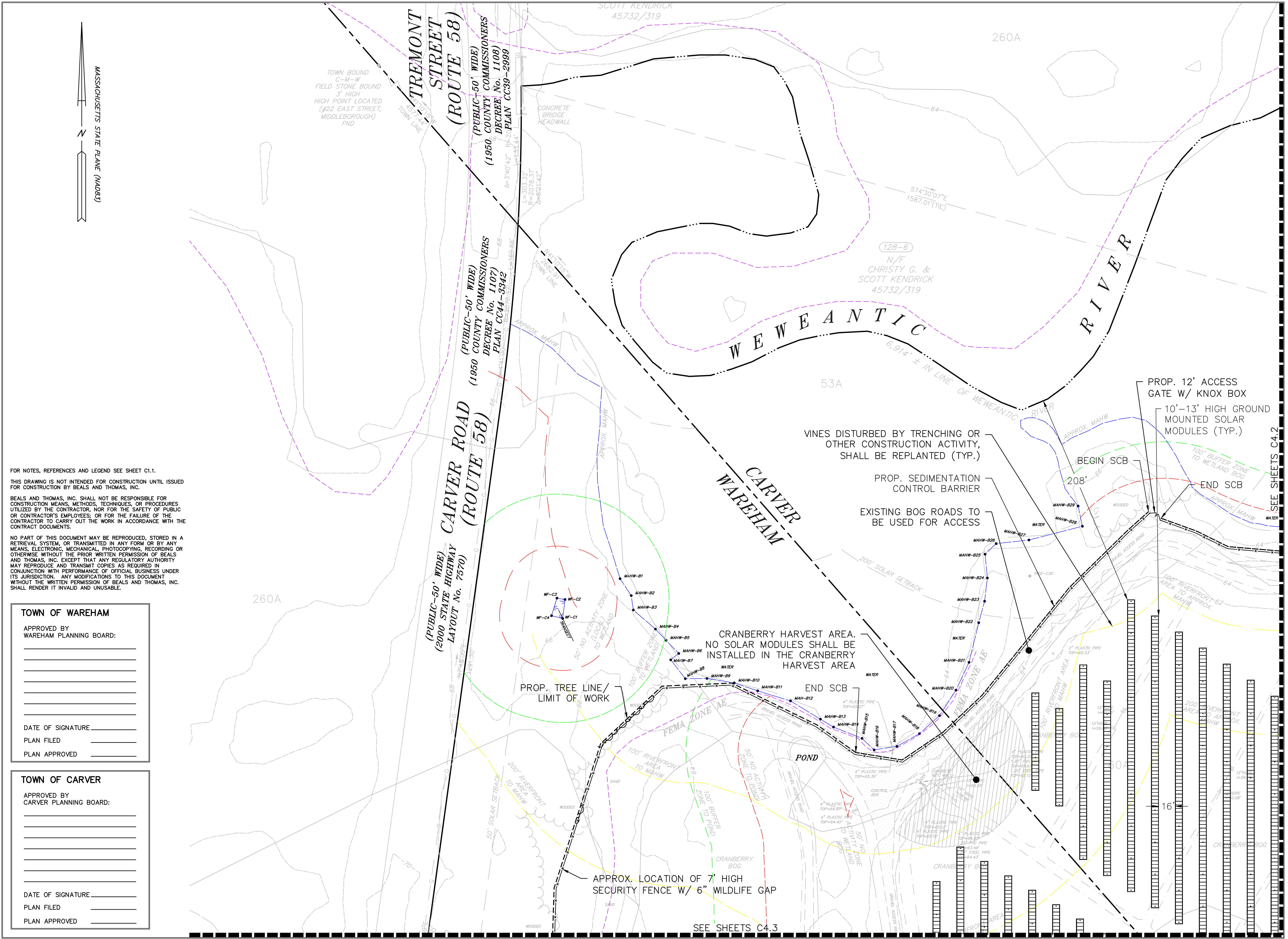
SITE DEVELOPMENT PLAN

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B+T PLAN NO. 320300P003D-005

SHEET No. 5 OF 13

C4.1



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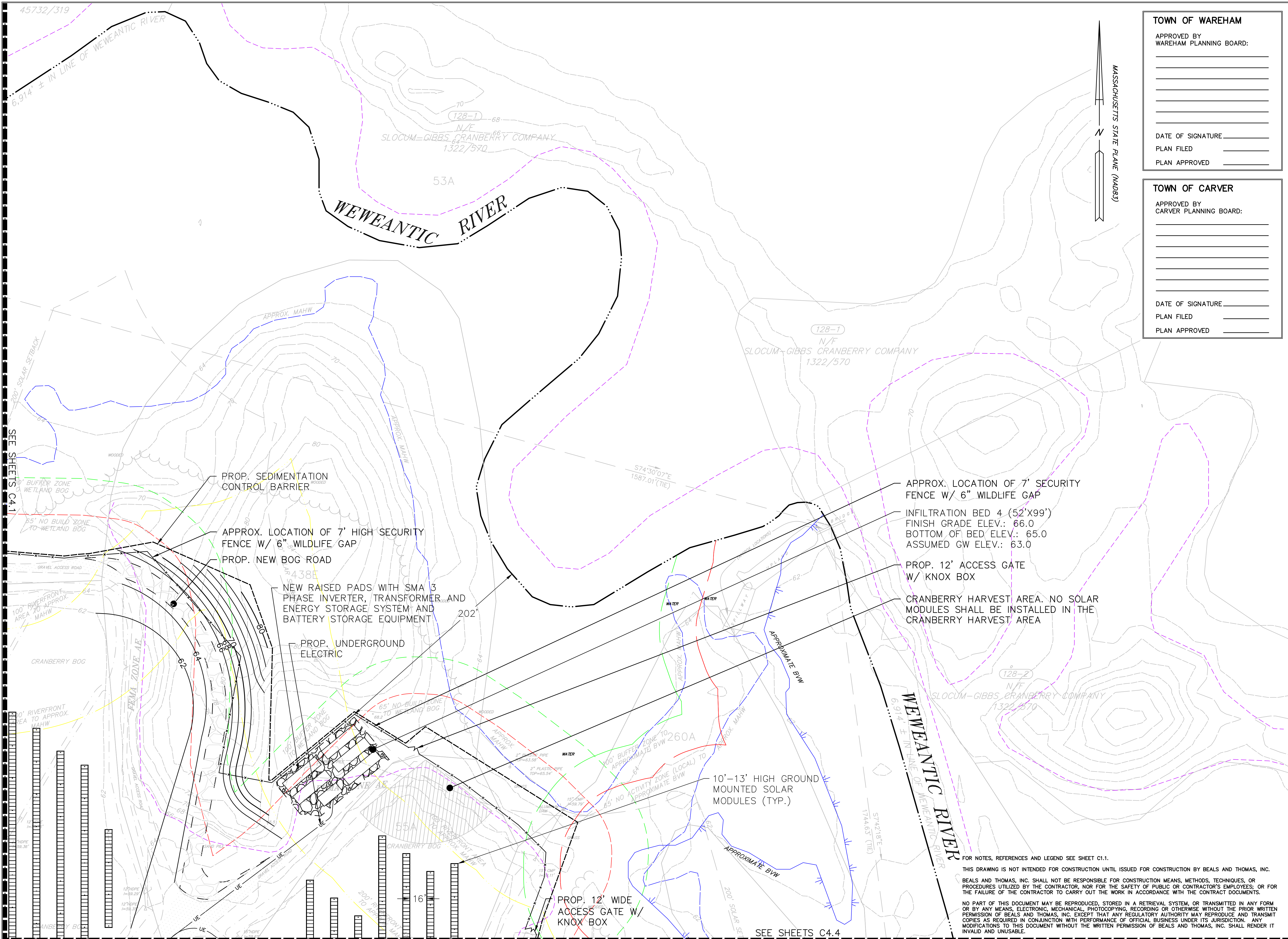
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SEE SHEETS C4.3

SEE SHEETS C4.2



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SCALE: 1" = 40' DATE: DECEMBER 16, 2020
 METERS
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SITE DEVELOPMENT PLAN

B+T JOB NO. 3203.00
 B+T PLAN NO. 320300P003D-006
 SHEET No. 6 OF 13

C4.2

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SEE SHEETS C4.1

SEE SHEETS C4.4

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PROJECT:

ROCKY MAPLE SOLAR

WAREHAM AND CARVER, MASSACHUSETTS

SCALE: 1" = 40' DATE: DECEMBER 16, 2020



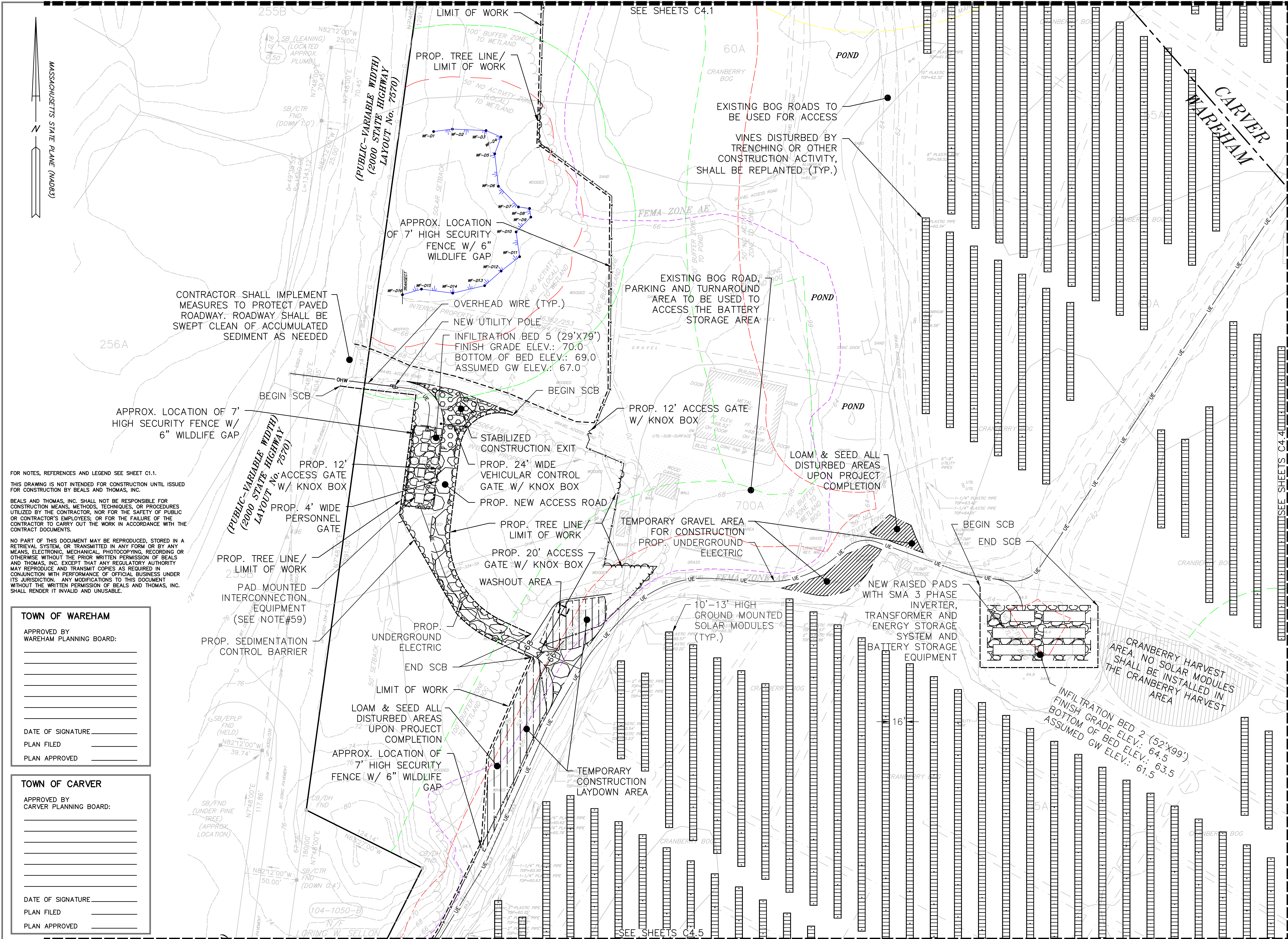
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B+T PLAN NO. 320300P003D-007

C4.3

SHEET No. 7 OF 13



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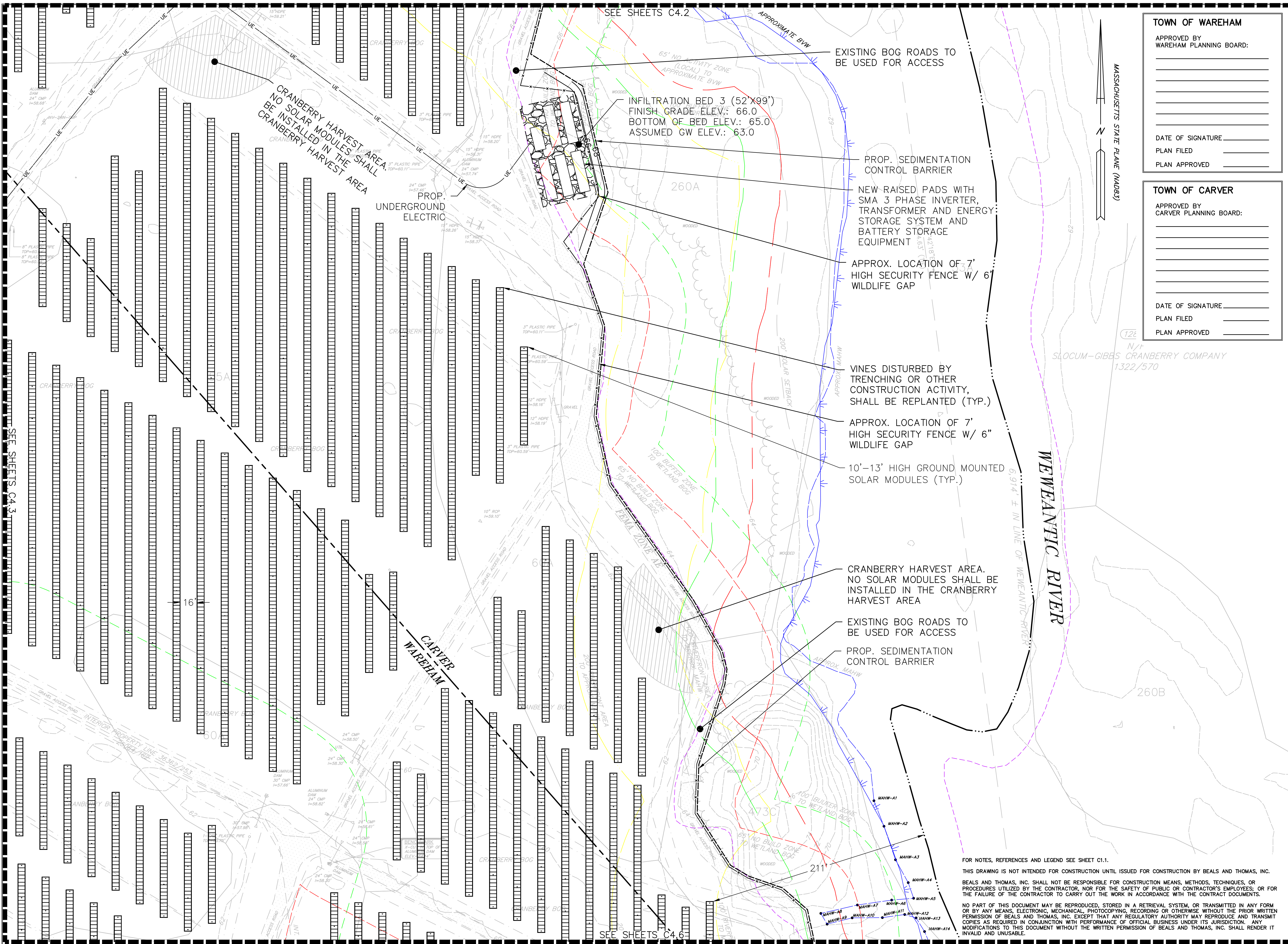
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SEE SHEETS C4.5

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USE SHEETS C4.4



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COMMONWEALTH OF MASSACHUSETTS
 ERIC J. LAS
 CIVIL
 NO. 48522
 REGISTERED
 PROFESSIONAL ENGINEER
 4/20/2021
 COMMONWEALTH OF MASSACHUSETTS
 KENNETH COYTE
 No. 38033
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SITE DEVELOPMENT PLAN

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C4.4

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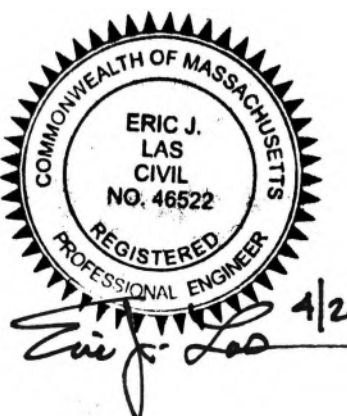
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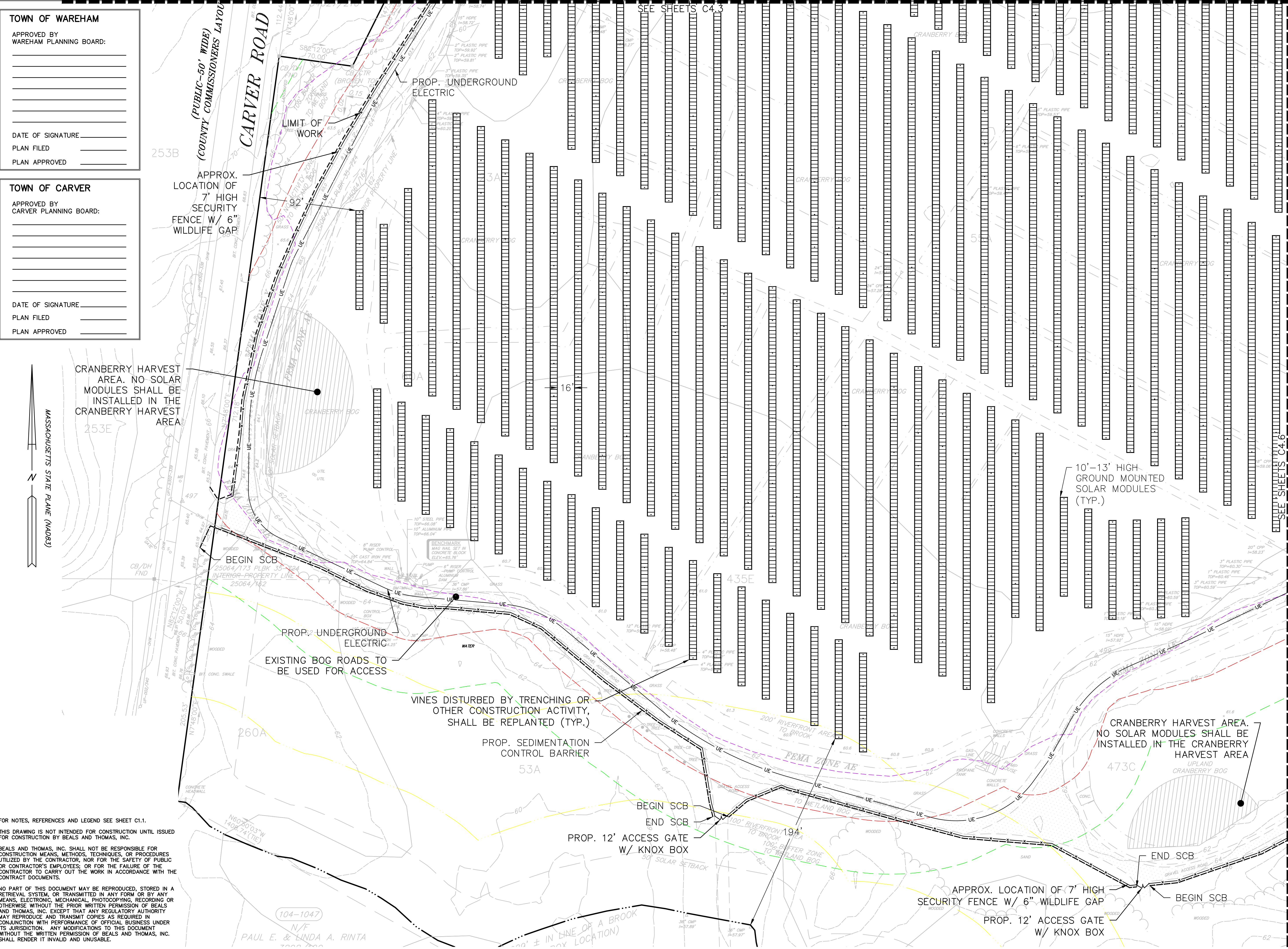
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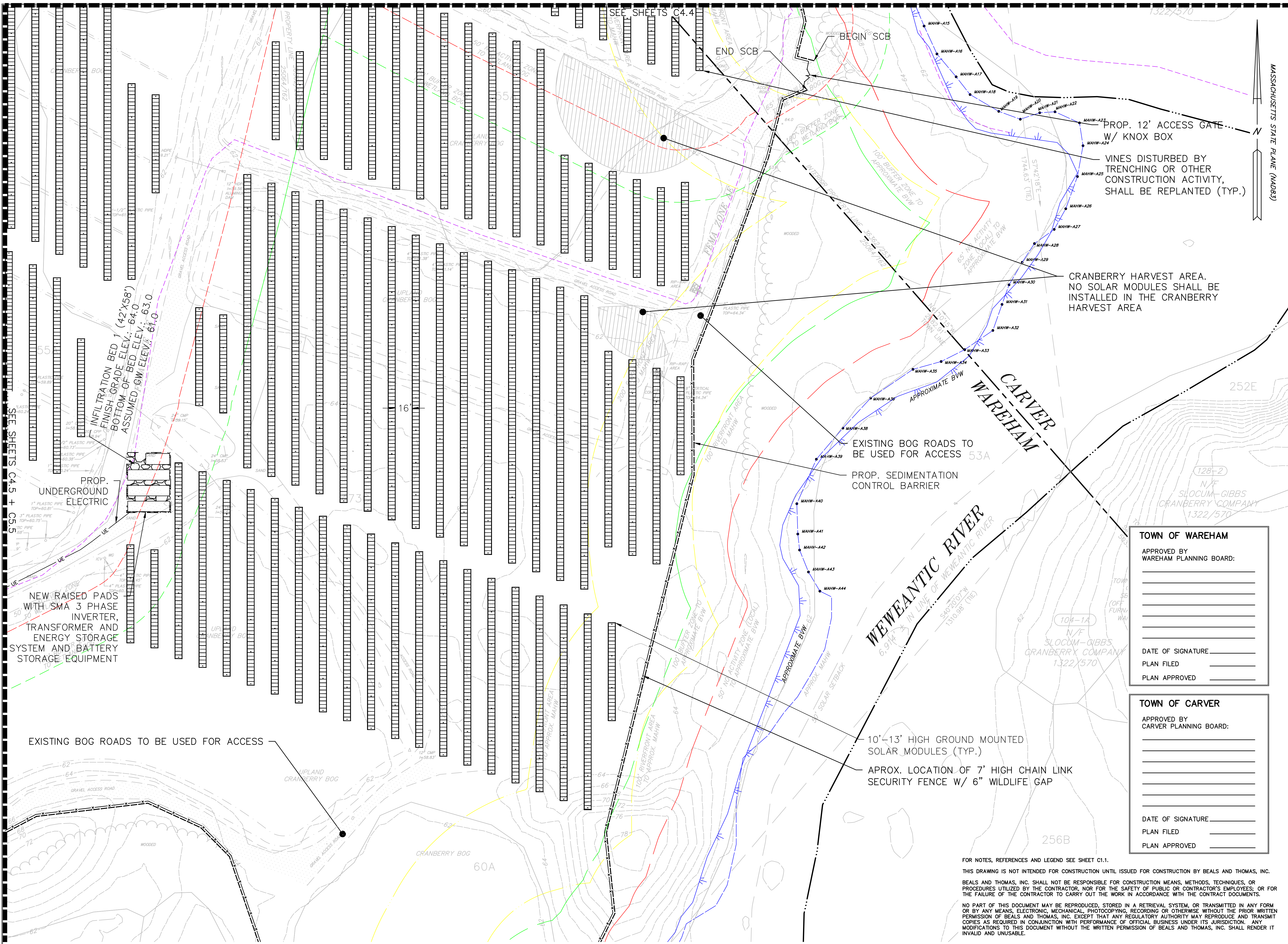
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SHEET No. 9 OF 13

C4.5



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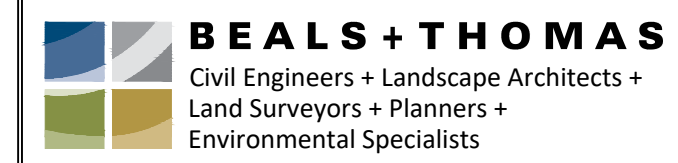


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B+T JOB NO. 3203.00
 B+T PLAN NO. 320300P03D-10
 SHEET No. 10 OF 13

C4.6

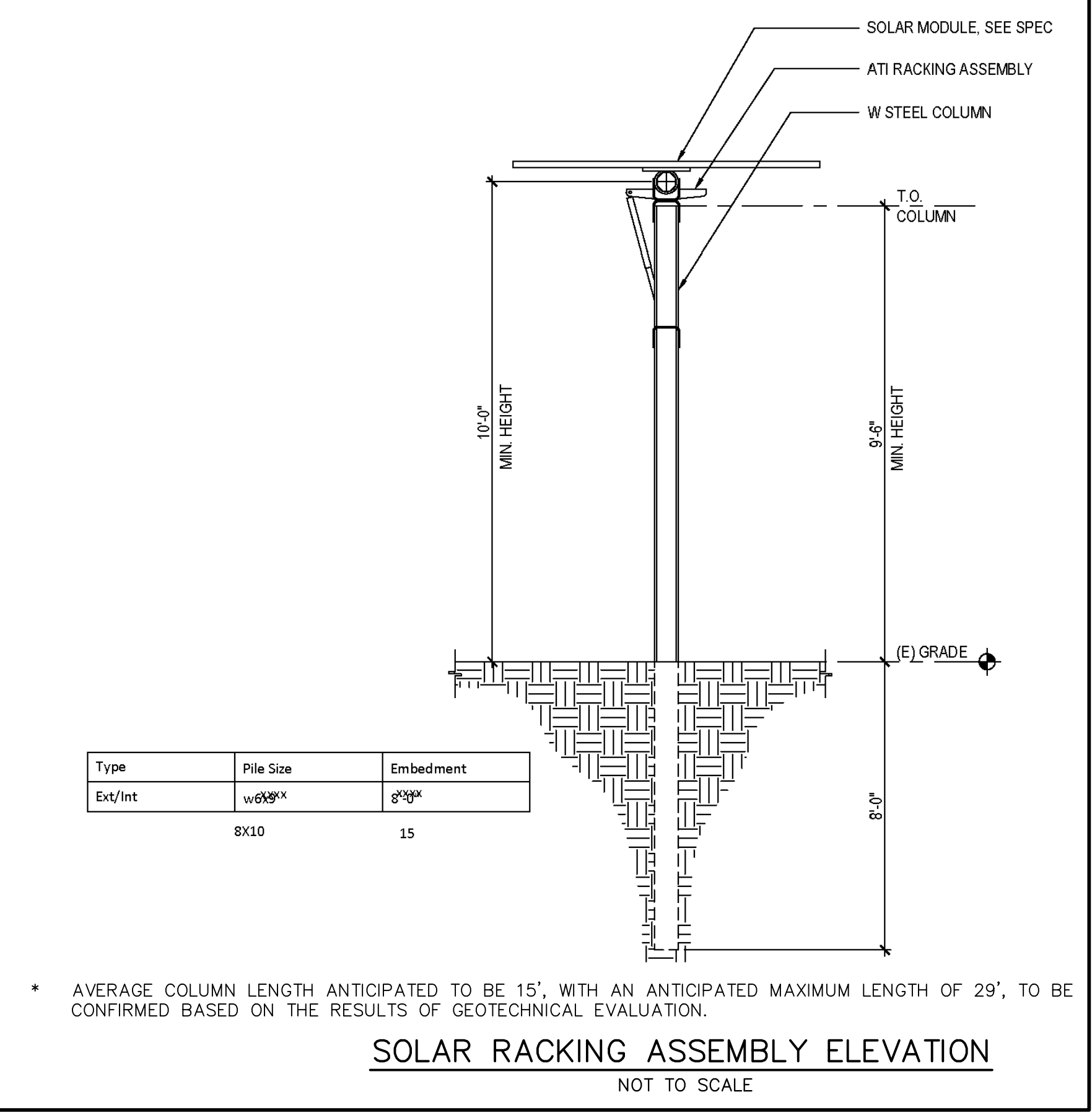
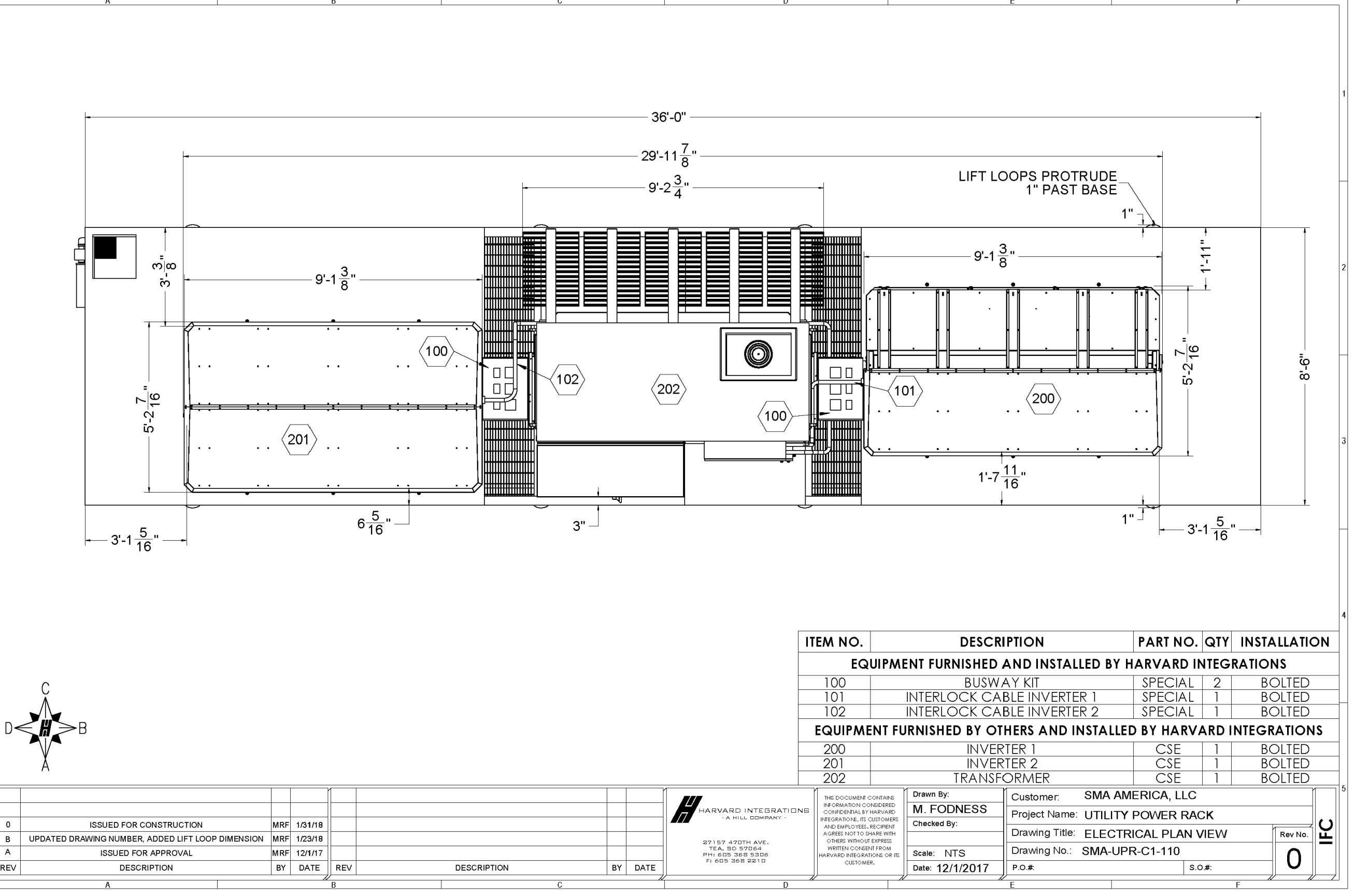
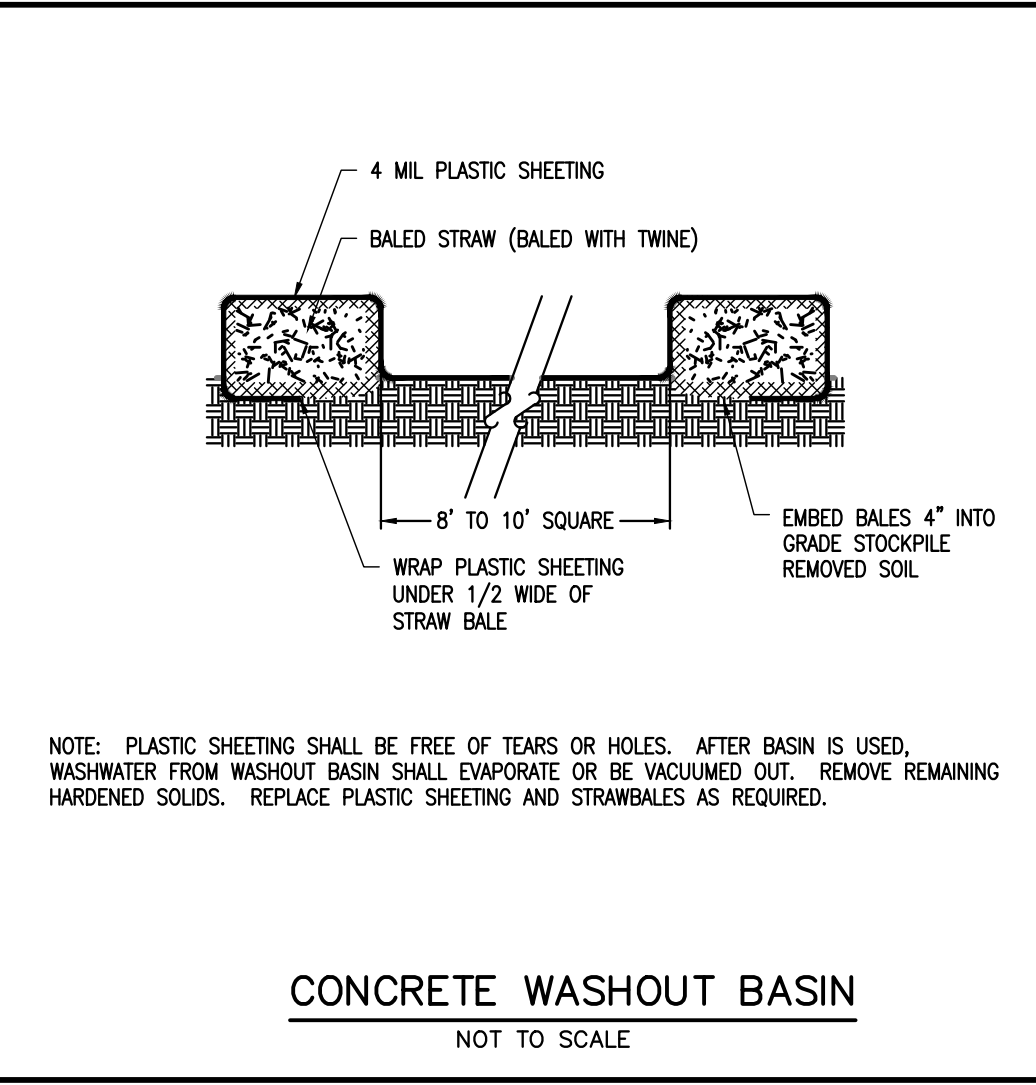
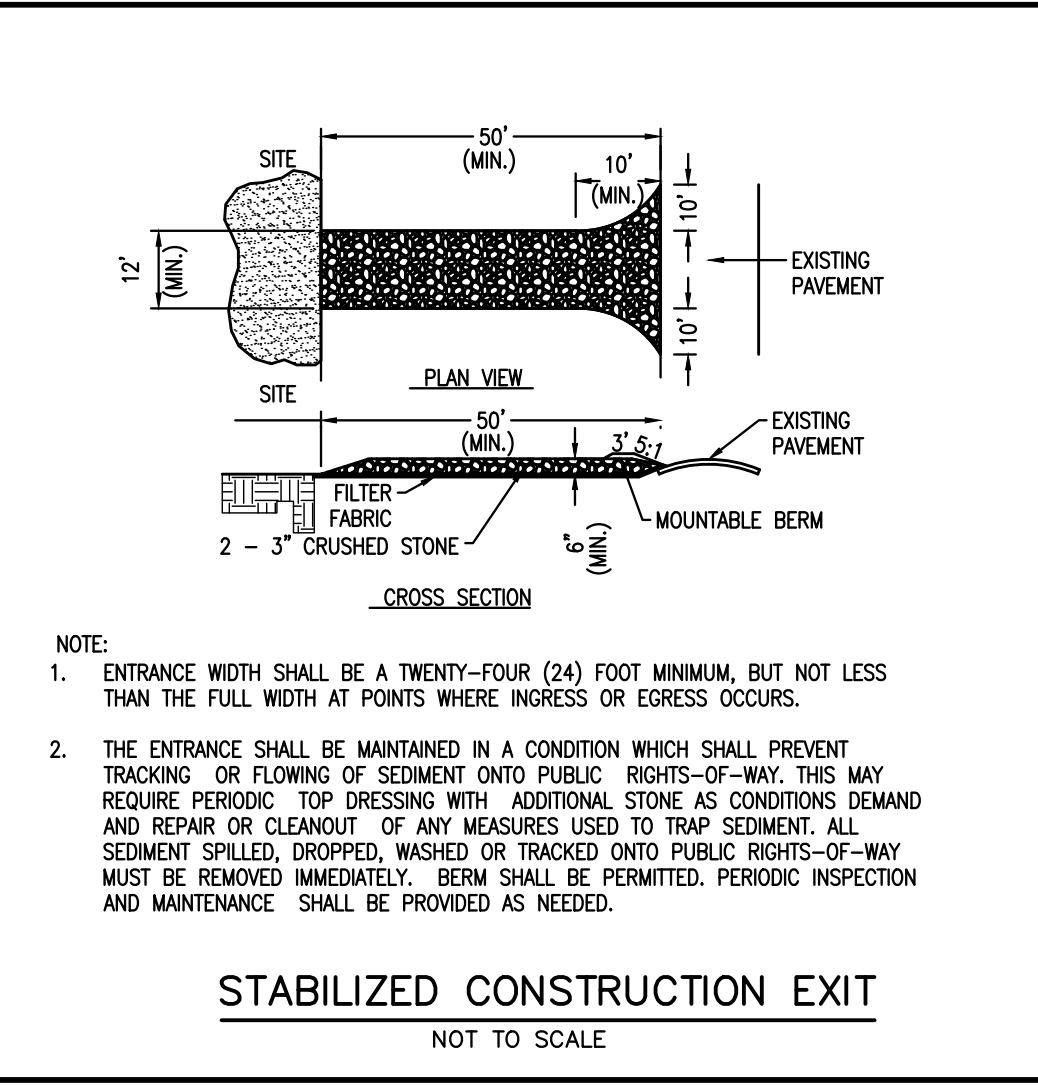
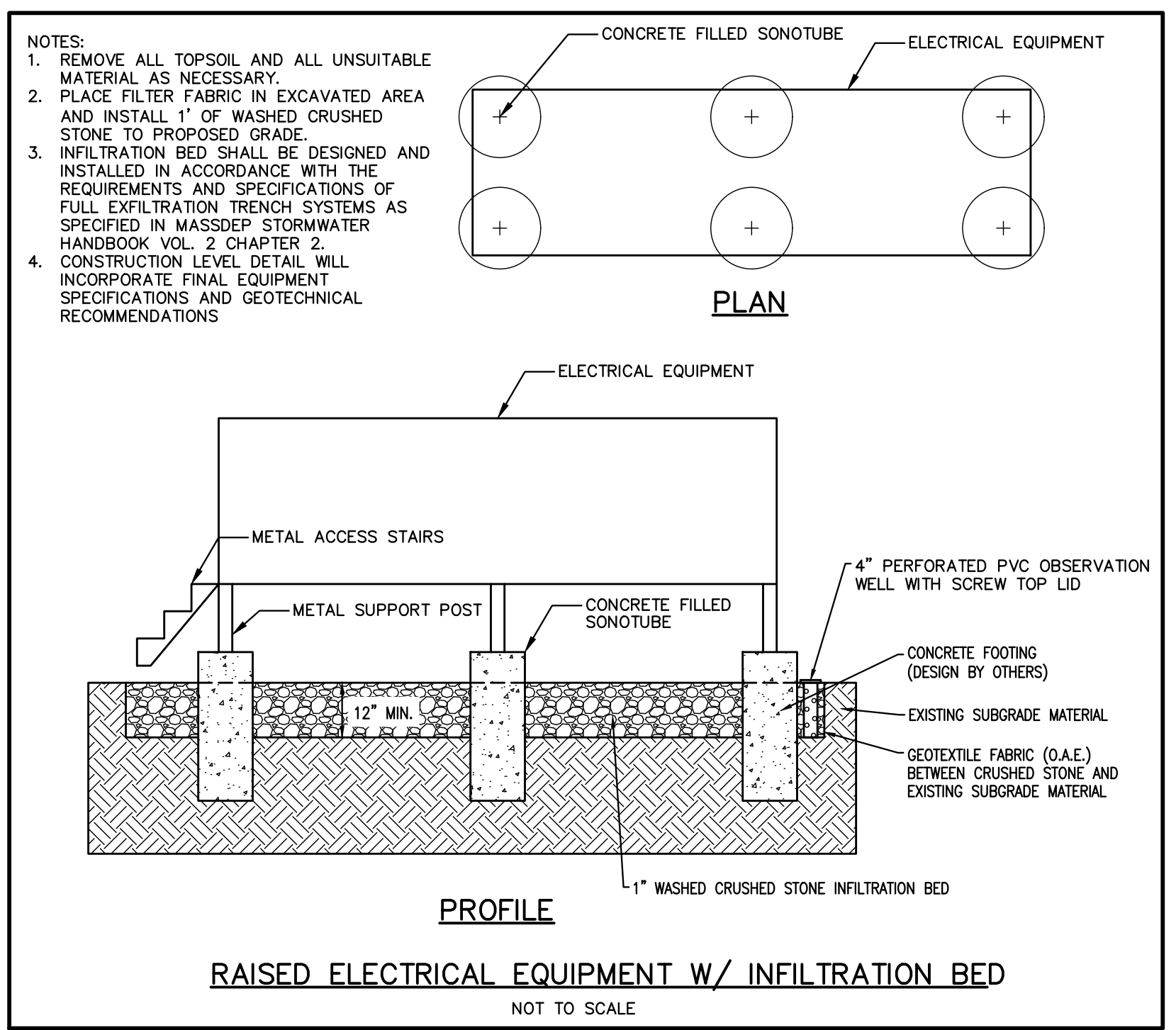
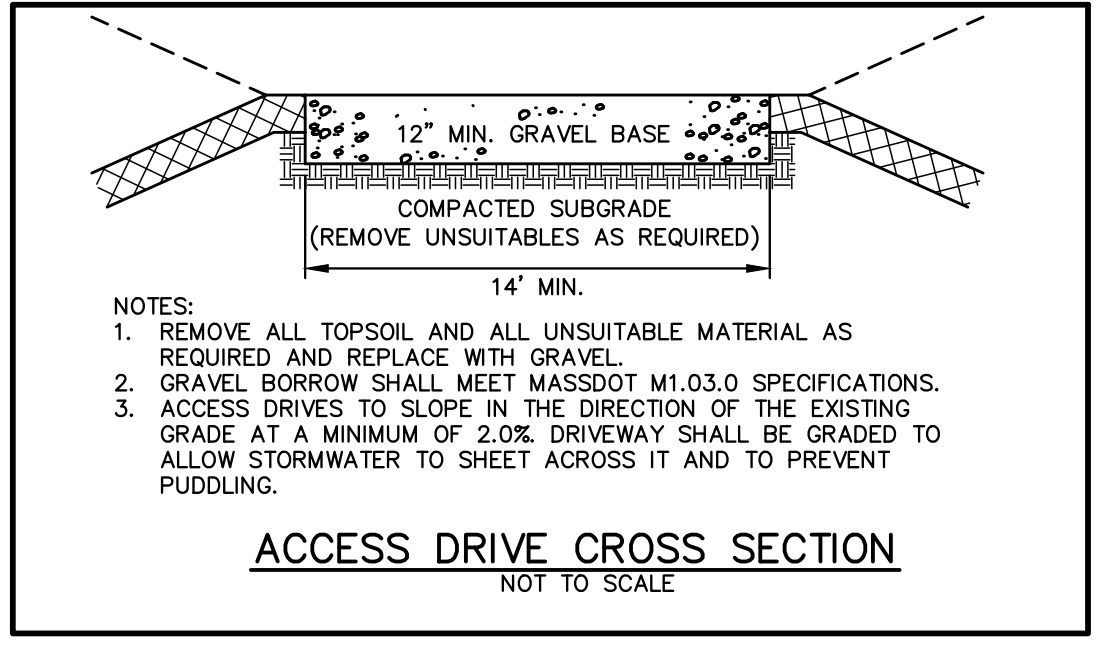
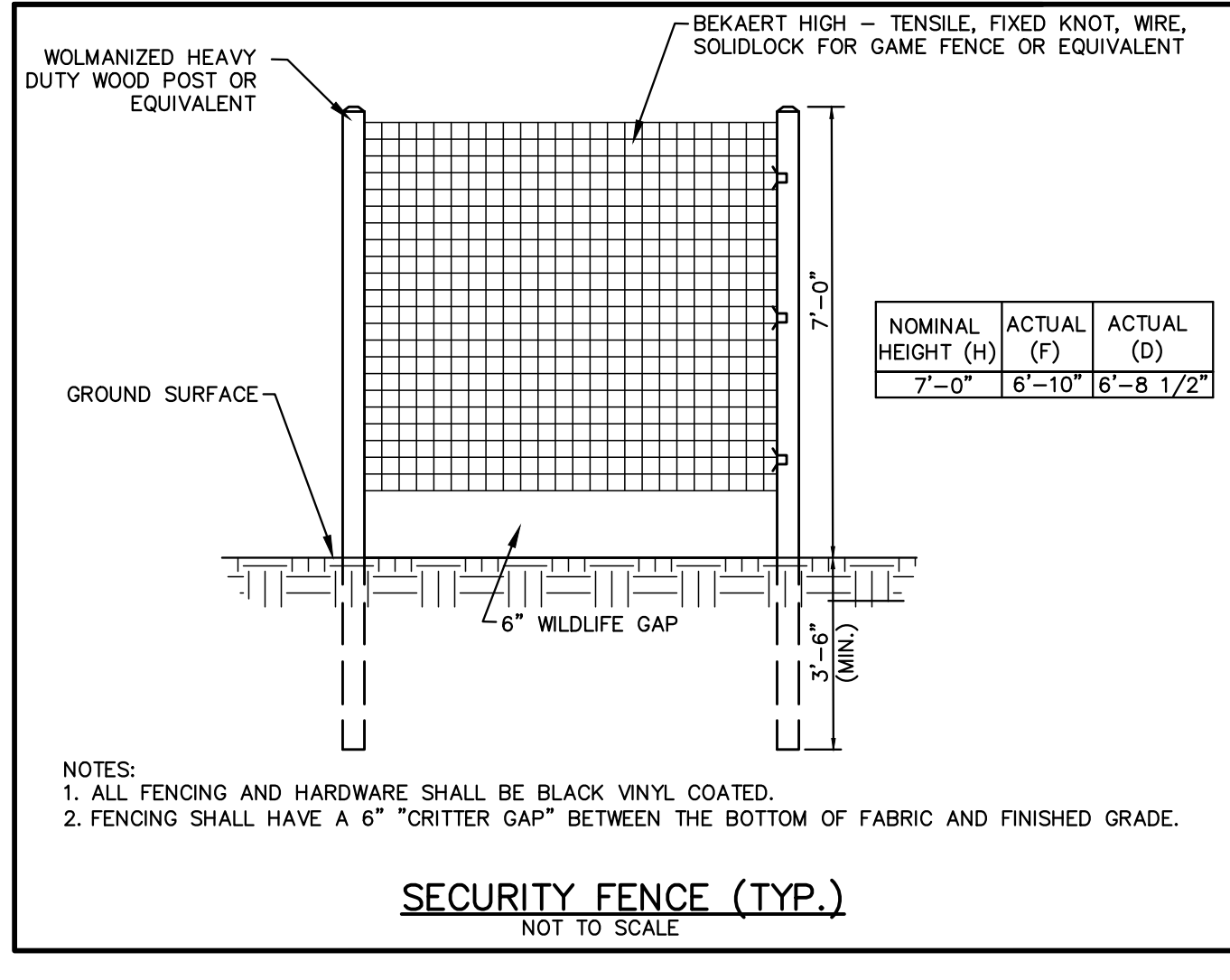
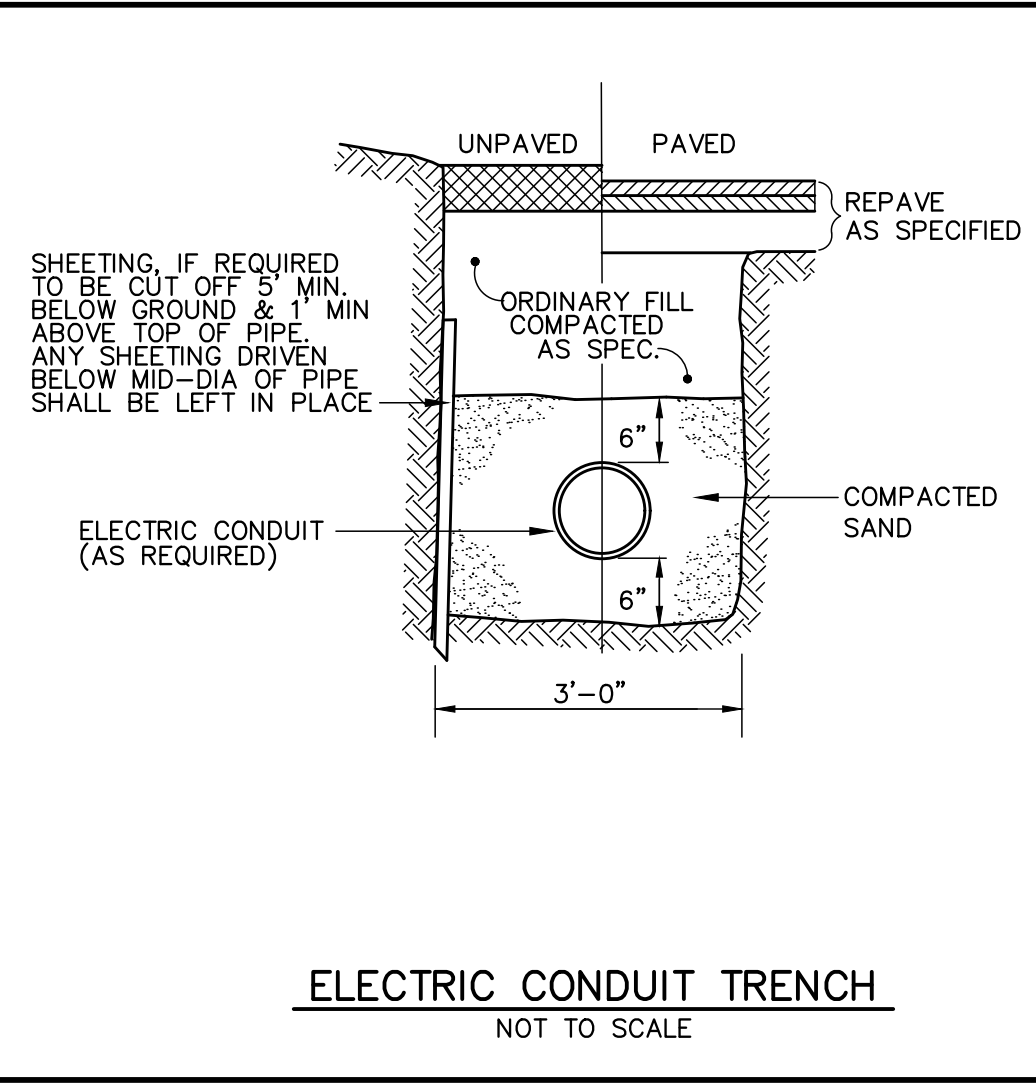
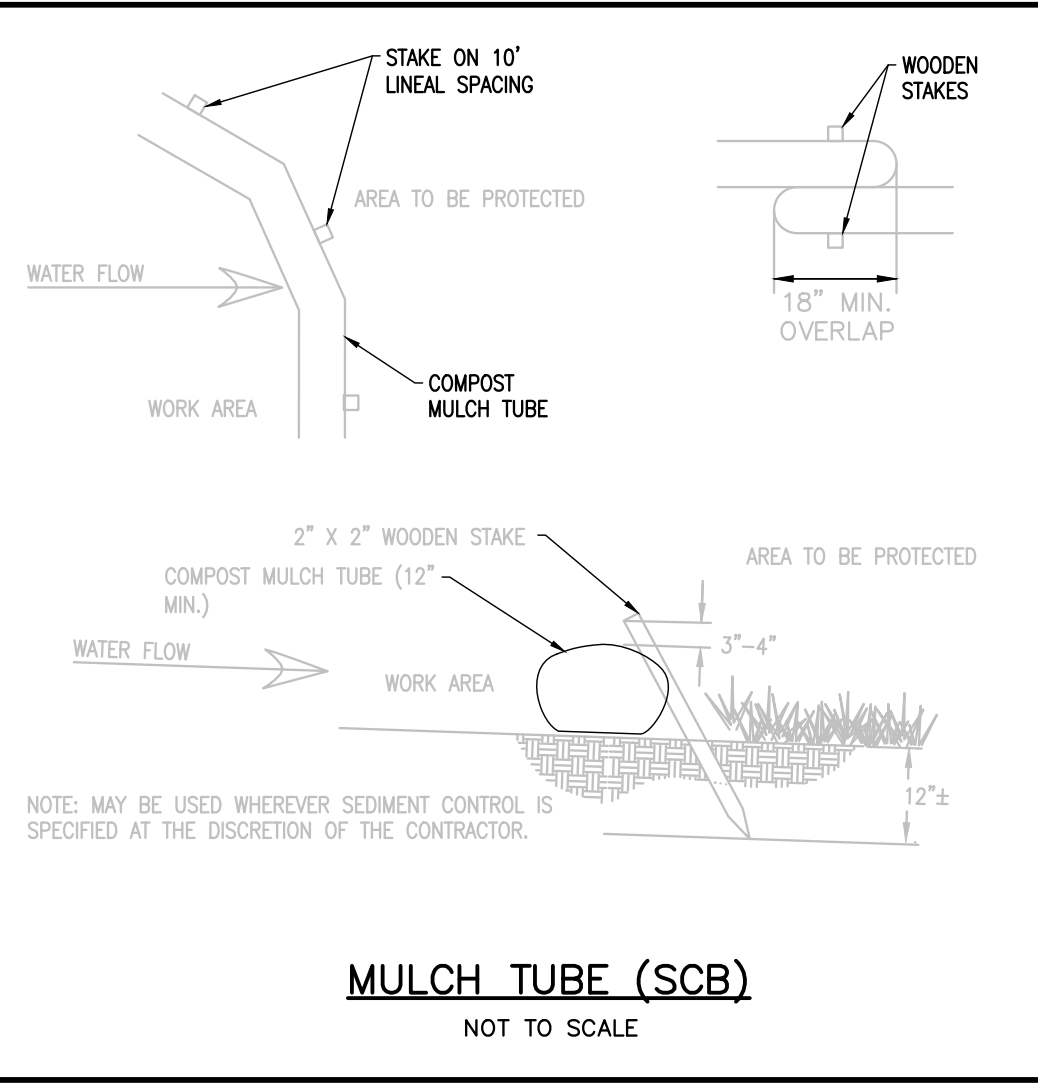
TOWN OF WAREHAM
 APPROVED BY WAREHAM PLANNING BOARD:

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 PLAN FILED _____
 PLAN APPROVED _____

TOWN OF CARVER
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| PLAN FILED _____ | _____ | PLAN FILED _____ | _____ |
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BE RE, LLC
PO BOX 974
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Environmental Specialists

BEALS AND THOMAS, INC.
32 Court Street
Plymouth, Massachusetts 02360-3866
T 508.746.3288 | www.bealsandthomas.com

| ISSUE DATE | DESCRIPTION |
|------------|---------------------------|
| 04/20/2021 | REVISED PER TOWN COMMENTS |
| 04/07/2021 | REVISED PER TOWN COMMENTS |
| 03/11/2021 | REVISED PER TOWN COMMENTS |
| 12/16/2020 | ISSUED FOR PERMITTING |

| ISSUE DATE | DESCRIPTION | NBB | NPS | EJL |
|------------|-------------|-------|-------|-----|
| DES | DWN | CHK'D | APP'D | |

PROJECT:

ROCKY MAPLE SOLAR
WAREHAM AND CARVER, MASSACHUSETTS

SCALE: AS NOTED DATE: DECEMBER 16, 2020

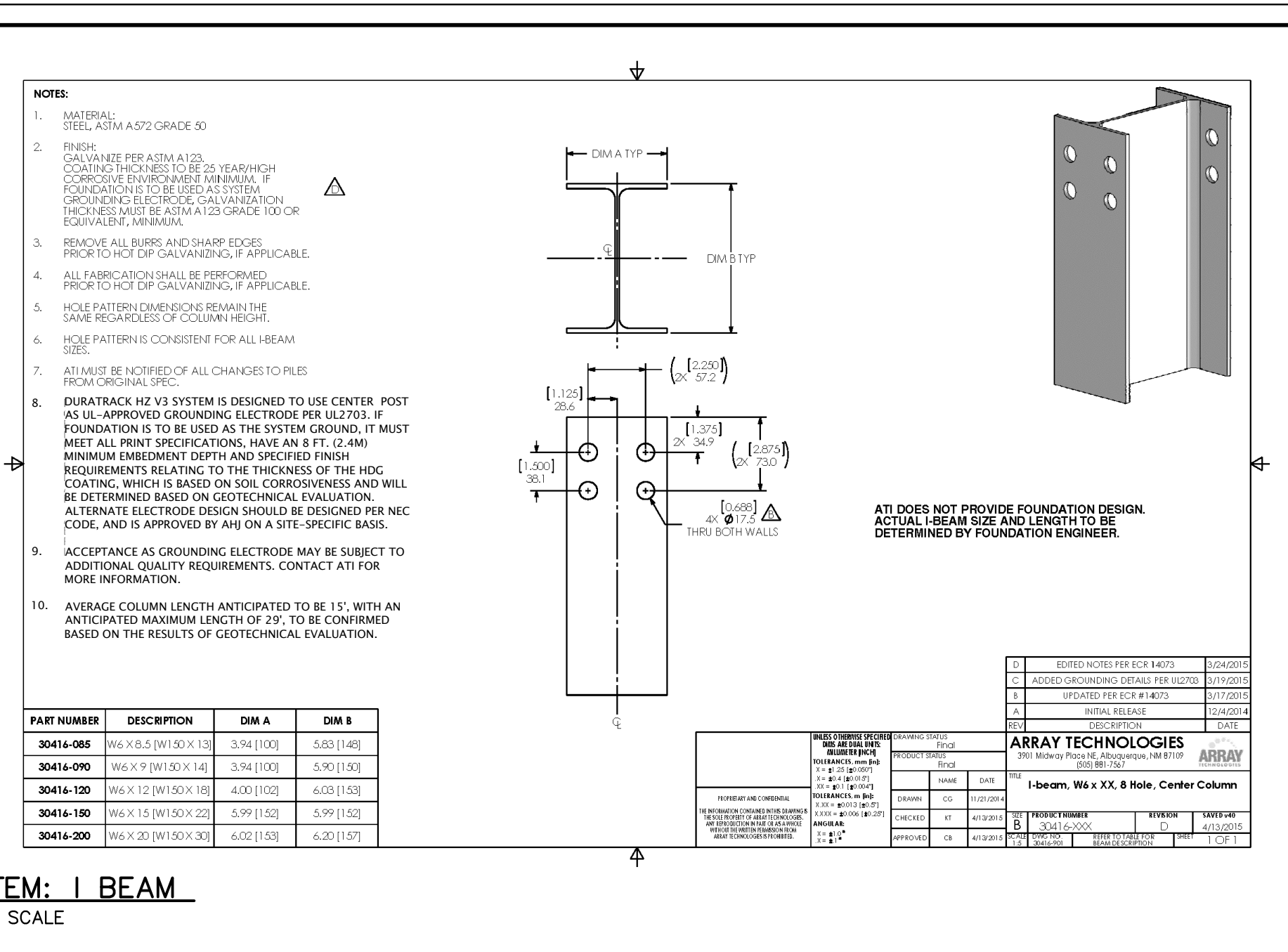
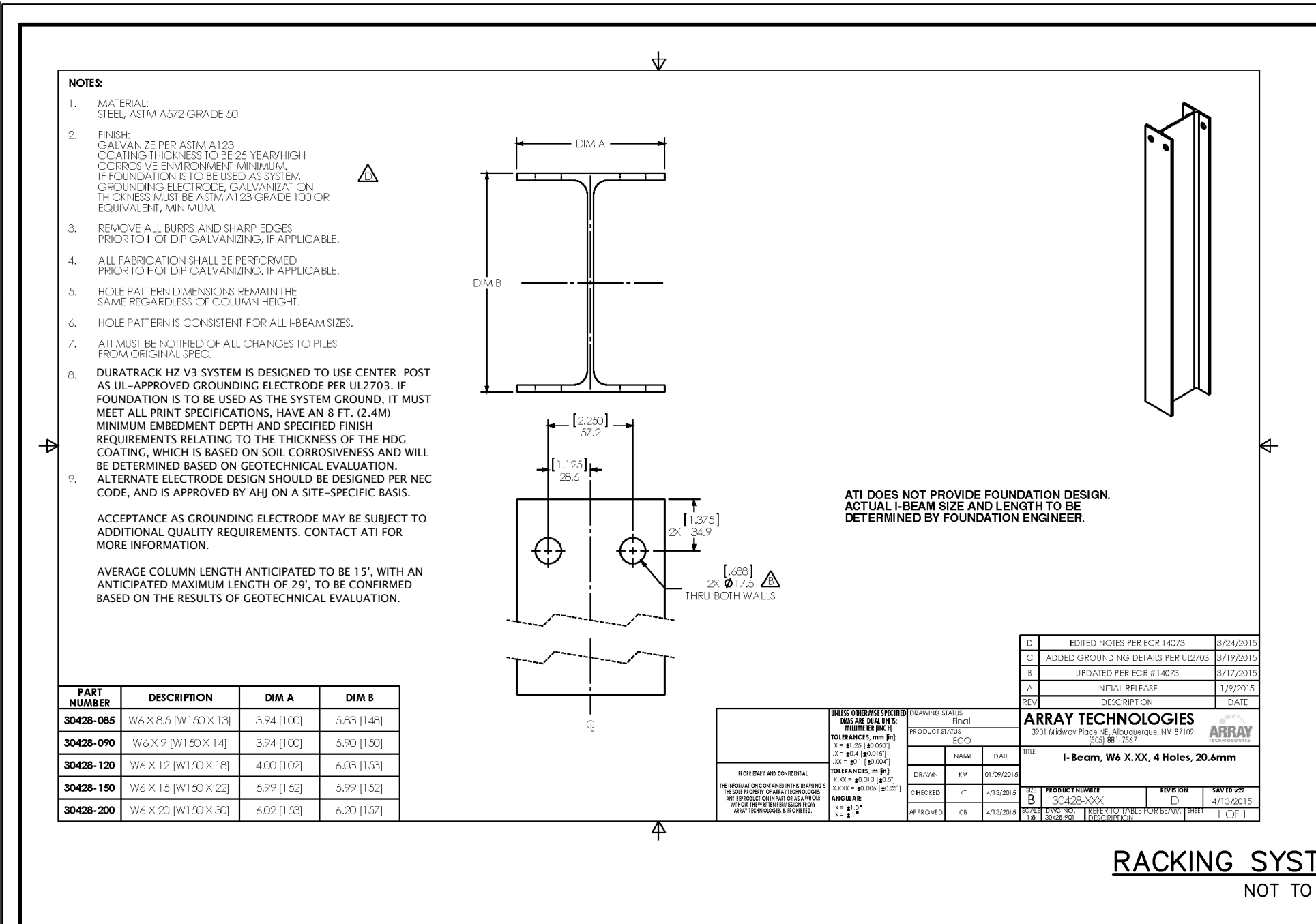
SITE DETAILS

B+T JOB No. 3203.00

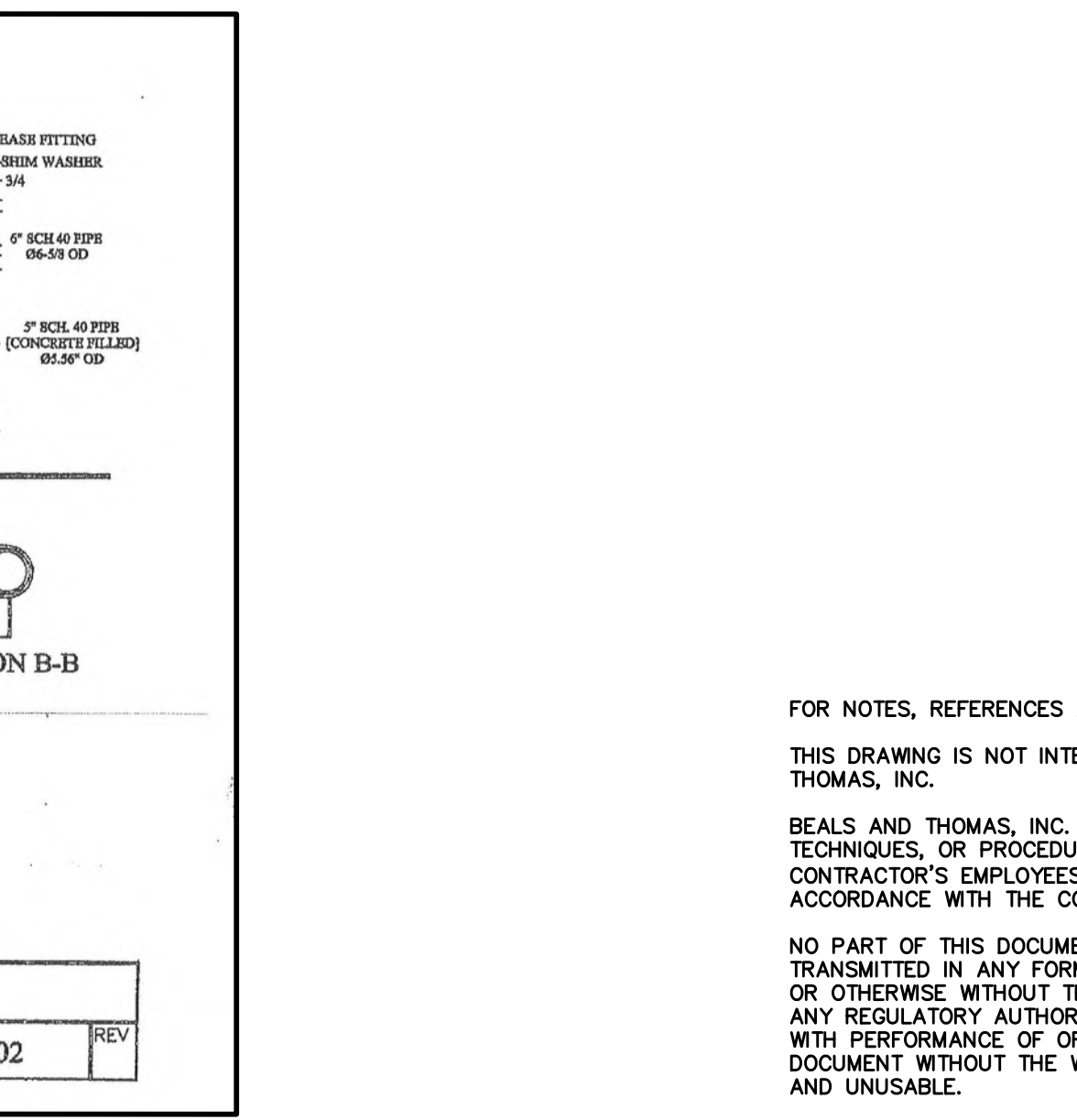
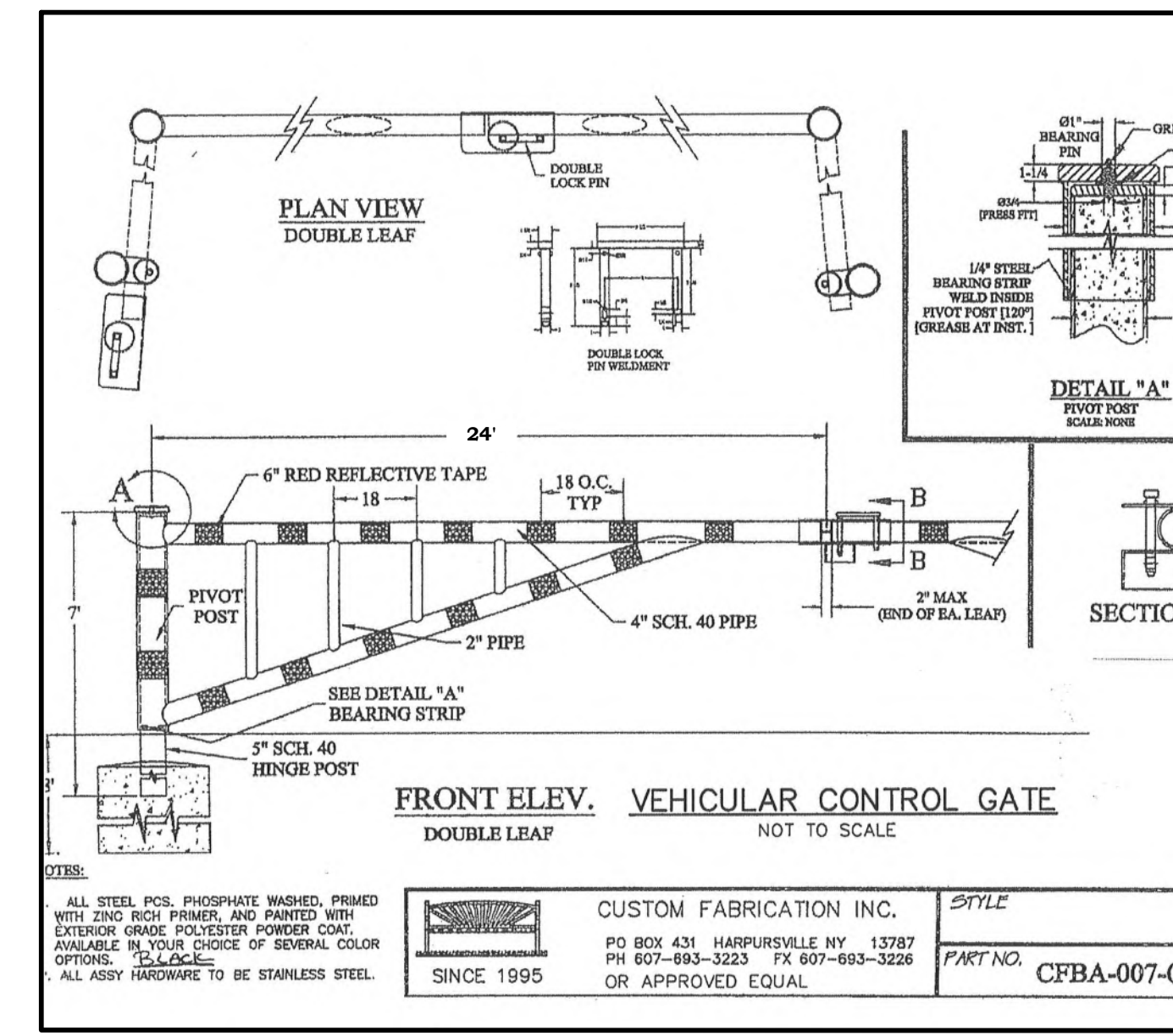
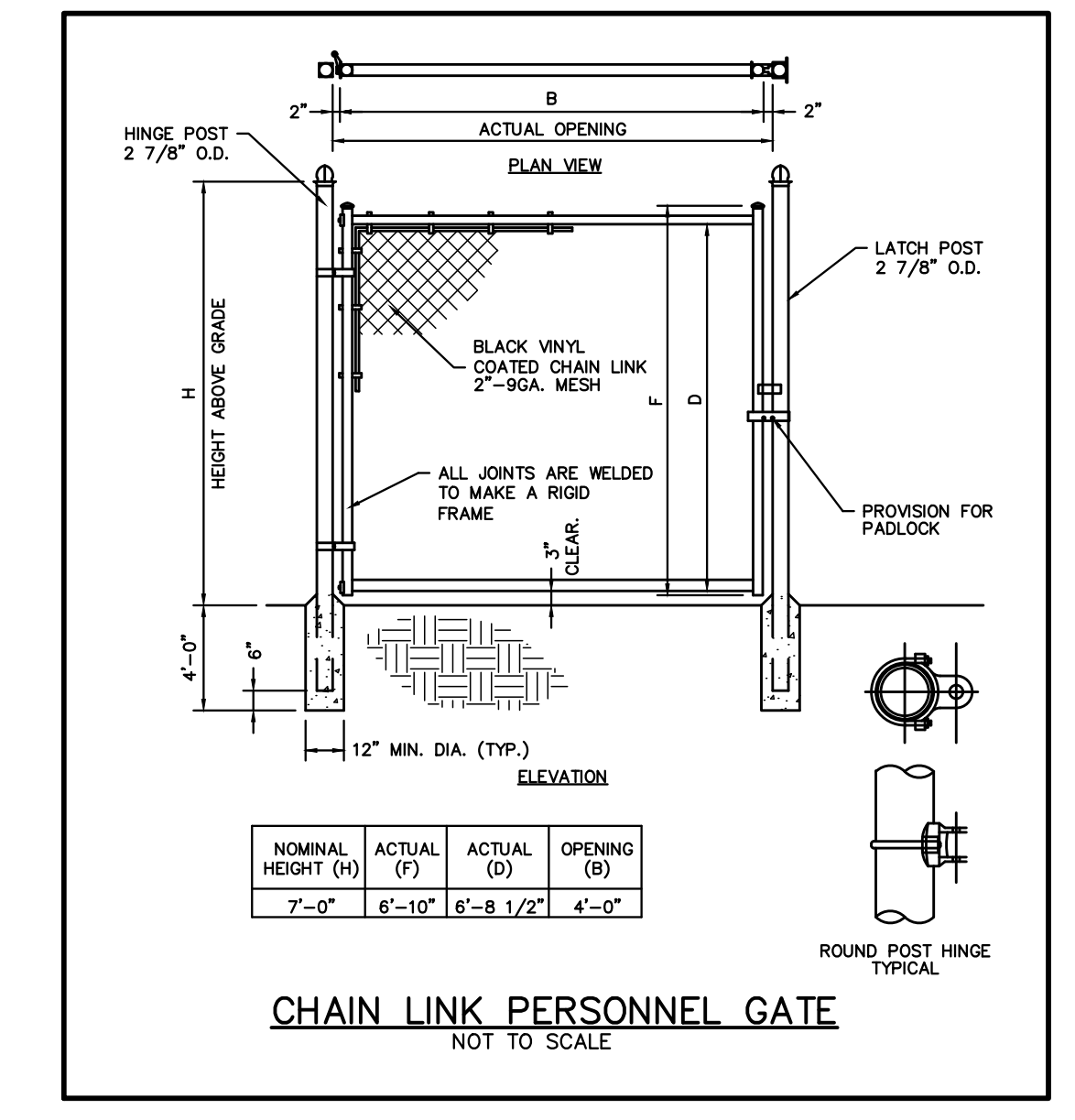
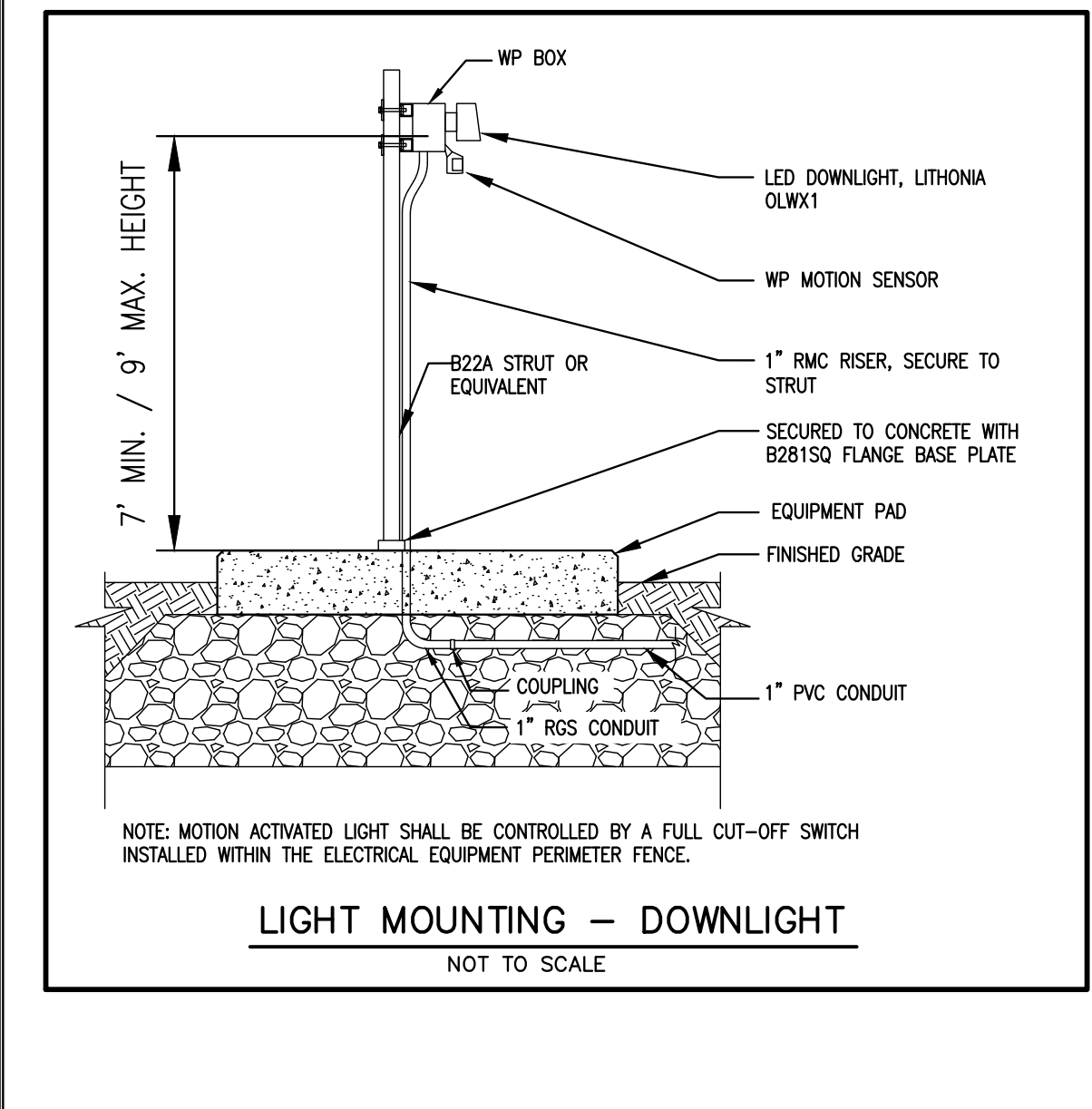
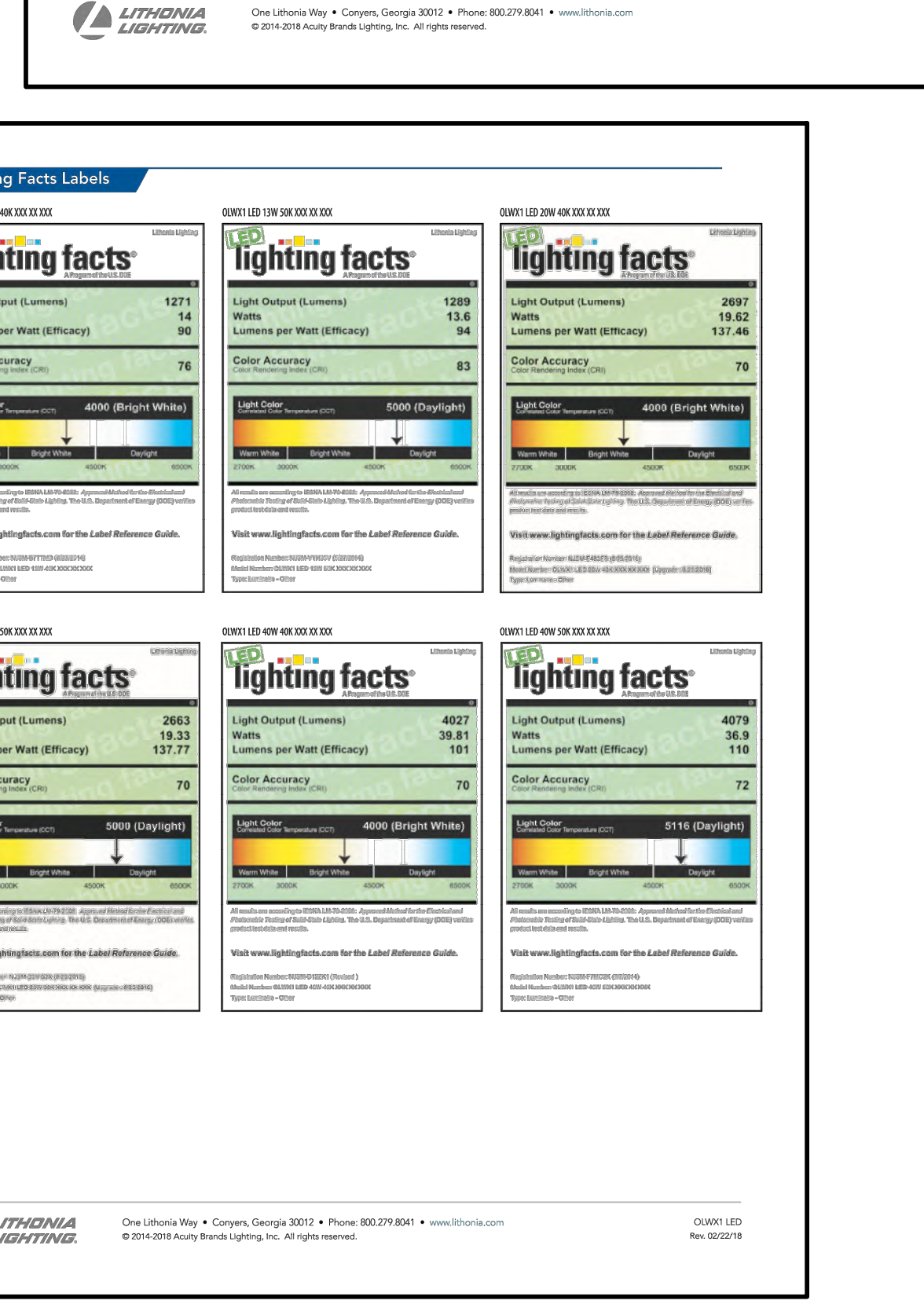
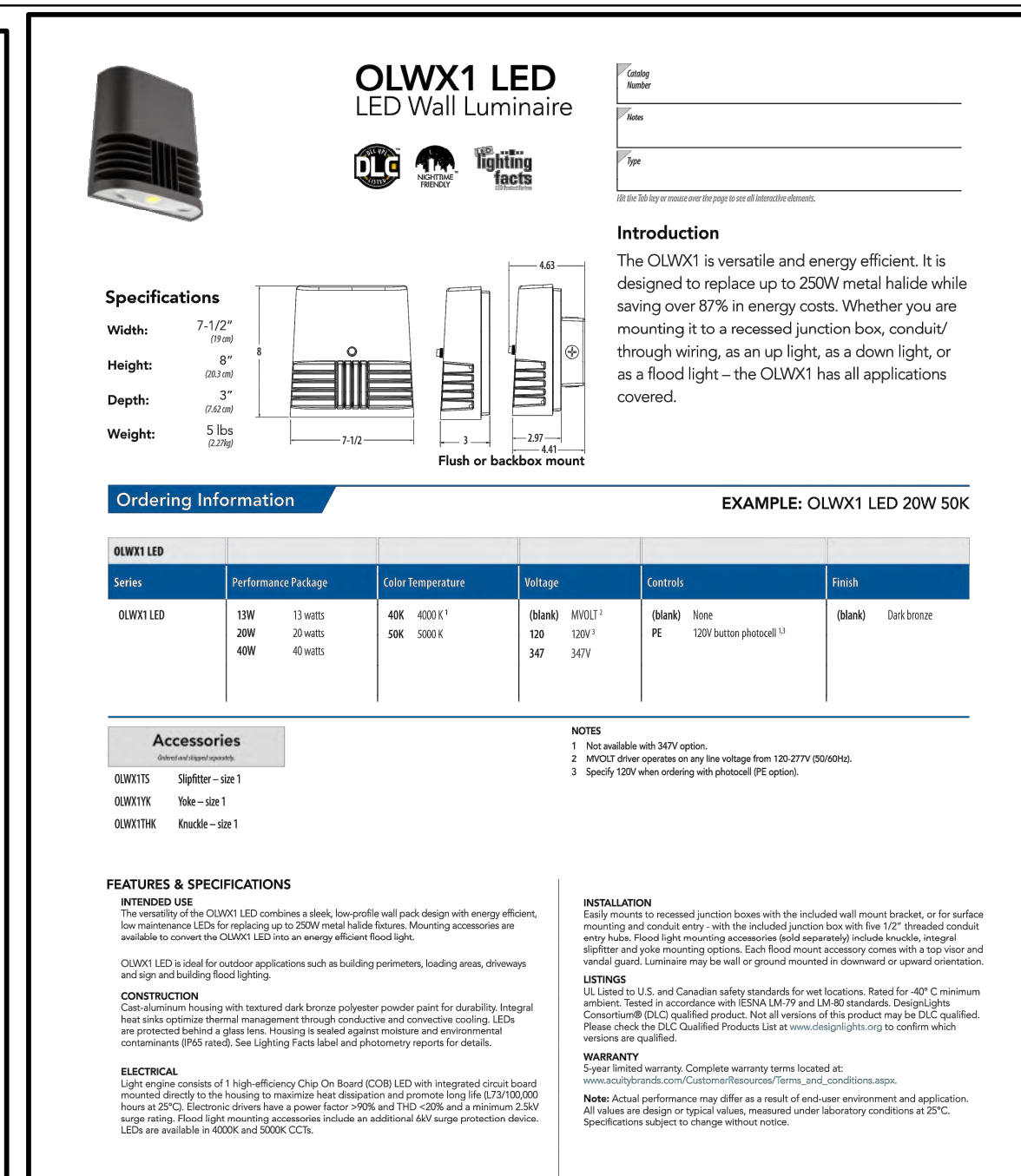
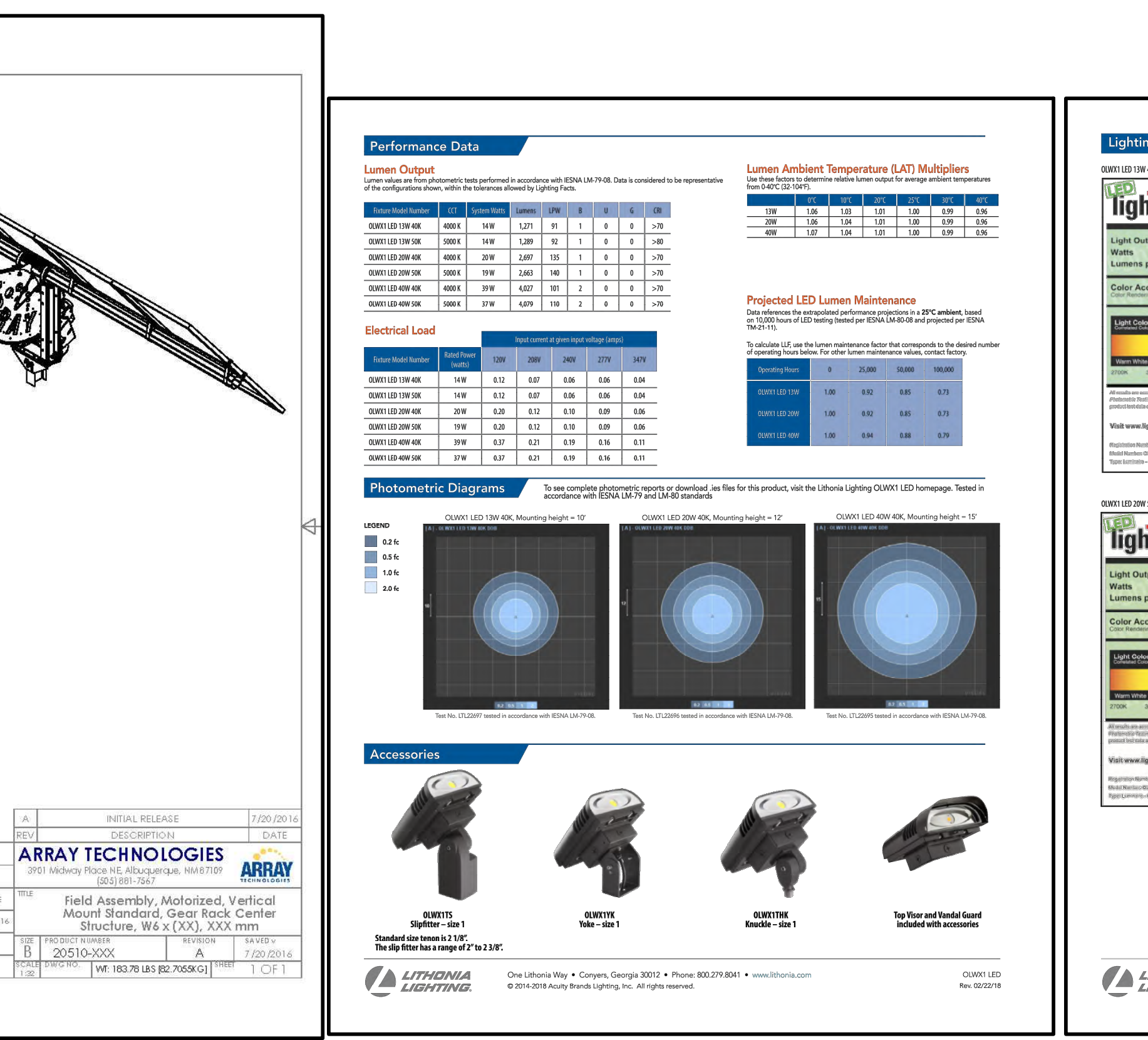
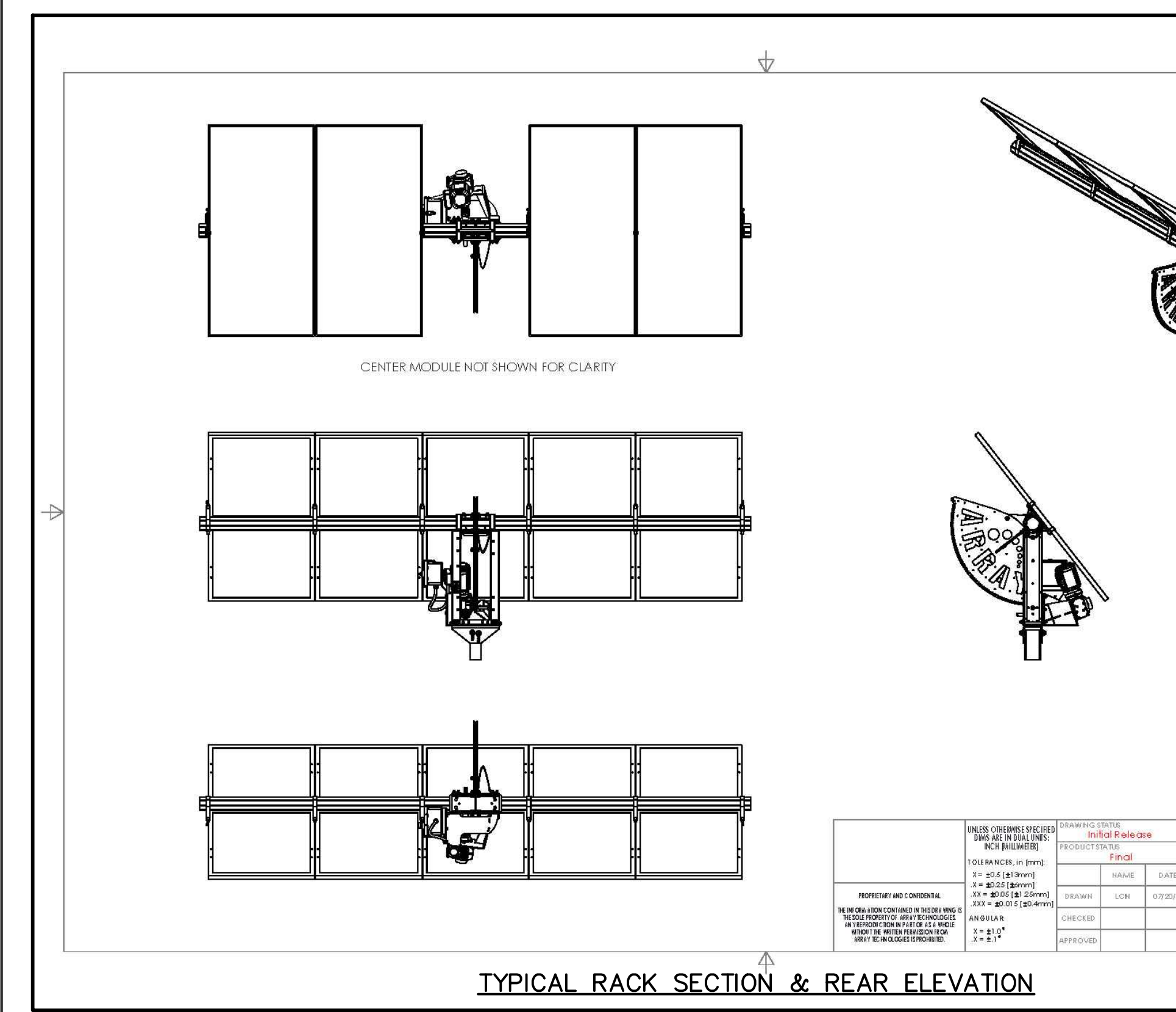
B+T PLAN No. 320300P003D-011

SHEET No. 11 OF 13

C5.1



RACKING SYSTEM: I BEAM
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TOWN OF CARVER

APPROVED BY CARVER PLANNING BOARD:

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PROJECT:

ROCKY MAPLE SOLAR
WAREHAM AND CARVER, MASSACHUSETTS

SCALE: AS NOTED DATE: DECEMBER 16, 2020

SITE DETAILS

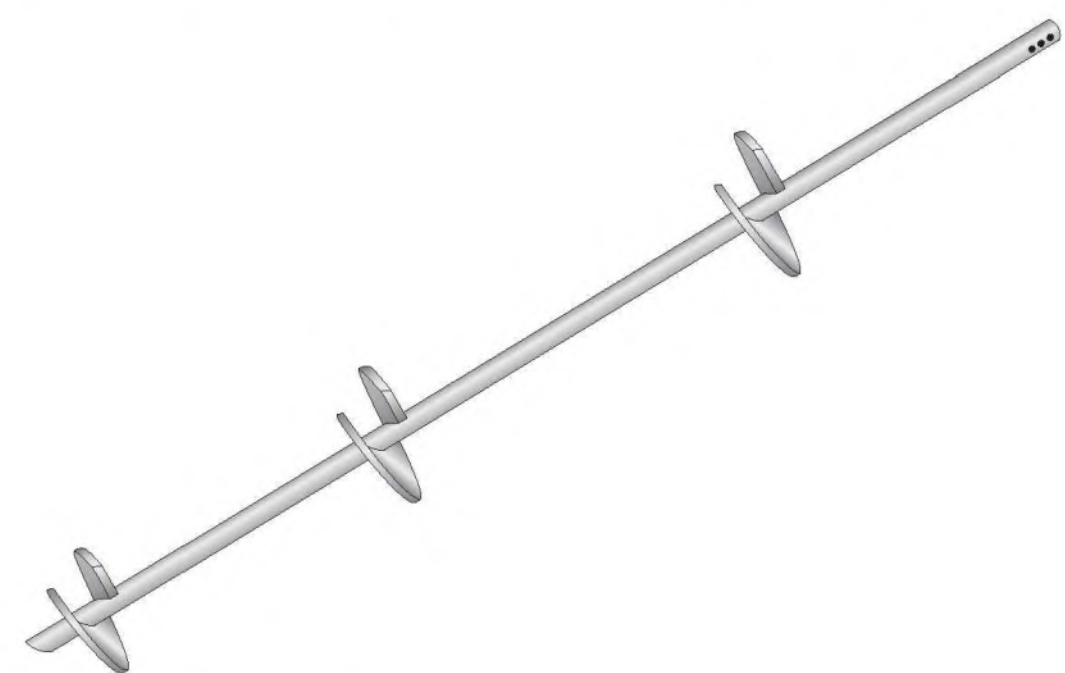
B+T JOB No. 3203.00

B+T PLAN No. 320300P03D-012

SHEET No. 12 OF 13

C5.2

TAF-450-84-10-12-14 -- Round Pipe Shaft 4-1/2" (114.3 mm) OD Lead Section



| Product Specifications | |
|------------------------|--|
| Anchor Style | Round Pipe Shaft (450) Anchor |
| Component | Lead Section |
| Number of Helices | 3 |
| Helix Diameter | 10" (254 mm) - 12" (305 mm) - 14" (356 mm) |
| Length | 84" (2134 mm) |
| Pipe Wall Thickness | .337" (8.66 mm) |
| Flight Thickness | 3/8" (9.5 mm) |
| Flight Yield Strength | 50,000 lbs (222.4 kN) |
| Min Yield Strength | 70,000 lbs (311.4 kN) |
| Torque Rating | 22,000 Ft Lbs (29,827.994 N-M) |
| Coating | Hot-Dip Galvanized |
| Standard Package | 10 |
| Standard Package Unit | EA |
| Min Order Qty | 1 |
| Weight/Ea. | 193 lbs |
| Weight Per Pallet | 1930 lbs |

Notes
 Round Pipe Shaft (450) Lead Section, 84" Length (3048 mm) long with 10" (356 mm)-12" (356 mm) - 14" (356 mm) Helices

ECP Utility 1-866-327-0007 Fax: 913-393-0008 www.getecp.com
 * AVERAGE COLUMN LENGTH ANTICIPATED TO BE 15', WITH AN ANTICIPATED MAXIMUM LENGTH OF 29', TO BE CONFIRMED BASED ON THE RESULTS OF GEOTECHNICAL EVALUATION.
 * ALTERNATIVE SOLAR ARRAY POSTS, SUCH AS TIMBER UTILITY POLES, MAY BE NECESSARY DEPENDING ON FURTHER GEOTECHNICAL ANALYSES WHICH SHALL BE PERFORMED PRIOR TO CONSTRUCTION.

HELICAL PILE

| FOUNDATION LOAD CHART | | | | | | | | | |
|--|----------------|------|------|------|------|------|------|------|------|
| (FORCES ARE ROUNDED TO THE NEAREST 100 LBS AT TOP OF PIER) | | | | | | | | | |
| LOAD CASE | LOAD DIRECTION | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 |
| DEAD | ↓ Y | 1900 | 9500 | 9000 | 1600 | 1100 | 9800 | 9000 | 600 |
| FLOOR LIVE/EQUIPMENT | ↓ Y | 1400 | 2200 | 3600 | 3500 | 4300 | 3500 | 4200 | 5400 |
| SNOW | ↓ Y | 1500 | 1700 | 1700 | 1500 | 1500 | 1700 | 1700 | 1500 |
| WIND X | ± X | 3200 | 3500 | 3400 | 3200 | 1400 | 1800 | 1700 | 1400 |
| WIND Z | ± Z | 1400 | 1400 | 300 | 400 | 500 | 500 | 200 | 200 |
| WIND UP | ↑ Y | 2100 | 2100 | 2300 | 2300 | 2300 | 2300 | 2000 | 2100 |
| SEISMIC X | ± X | 2000 | 2000 | 2200 | 2300 | 2300 | 2300 | 2000 | 2000 |
| | ± Y | 2000 | 2000 | 2200 | 2300 | 2300 | 2300 | 2000 | 2000 |
| SEISMIC Z | ± Z | 1800 | 1800 | 2400 | 2500 | 2500 | 2600 | 1800 | 1800 |
| | ± Y | 2000 | 2000 | 2200 | 2300 | 2300 | 2300 | 2000 | 2000 |

DESIGN LOADS

- CODE: 2012 INTERNATIONAL BUILDING CODE
- FLOOR DL + LL = 250 PSF
 FLOOR DL + LL BREAKDOWN:
 * LL = 225 PSF
 * TRANSFORMER = 1117 PSF
 * INVERTER = 200 PSF
 * FILLED CONTAINMENT = 52 PSF
- SEISMIC LOADS - BASED ON 71.9 KIPS TOTAL WEIGHT
- WIND - 140 MPH
- SNOW - 40 PSF
- ALL LOADS ARE UNFACTORED

SEE PAGE 200 FOR LIFT LOOP SPACING

| REV | DESCRIPTION | BY | DATE |
|-----|-------------------------|----|--------|
| 0 | ISSUED FOR CONSTRUCTION | | 2/7/18 |

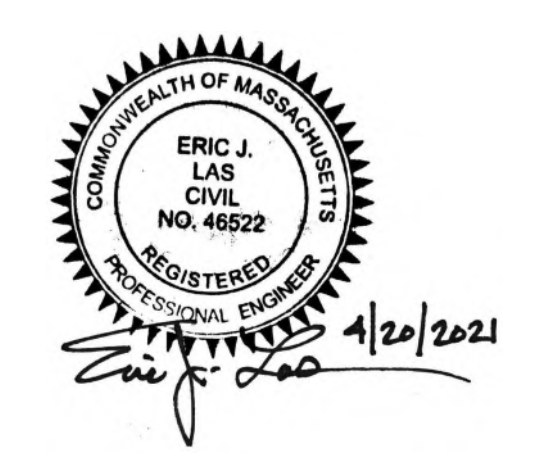
Customer: SMA AMERICA, LLC
 Project Name: UTILITY POWER RACK
 Drawing Title: FOUNDATION LOAD CHART
 Drawing No.: SMA-UPR-C1-250
 Date: 2/7/18

NOTE: 1 SF. PIER SUPPORTS ANTICIPATED

FOUNDATION LOAD CHART
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TOWN OF WAREHAM

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|------------|-------------|-------|-------|-----|
| DES | DWN | CHK'D | APP'D | |

PROJECT:
ROCKY MAPLE SOLAR
 WAREHAM AND CARVER, MASSACHUSETTS

SCALE: AS NOTED DATE: DECEMBER 16, 2020

SITE DETAILS

| | |
|------------------------------|-------------|
| B+T JOB NO.3203.00 | C5.3 |
| B+T PLAN NO. 320300P003D-013 | |
| SHEET No. 13 OF 13 | |

CAB SYSTEM ELEVATIONS

REV 1: WIRE MESH SECURITY
 POINT AIR TRACKER

Module Wiring Collected into Strings

String Wiring Collected into single conduit run for entire array

*Picture shows standard system not raised to 10ft

STRING WIRING

PICTURE AND DETAILS SHOW STANDARD SYSTEM, NOT RAISED TO 10 FEET ABOVE GROUND, AS PROPOSED.

SUSPENDED WIRING
 NOT TO SCALE

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