Site Plans

Issued for Local Approvals Date Issued Latest Issue

August 2, 2021 August 2, 2021

Proposed Large-Scale **Ground-Mounted Solar Photovoltaic** Installation

0 Route 25 Wareham, MA

Owner

David Fletcher PO Box 829 Plymouth, MA 02362

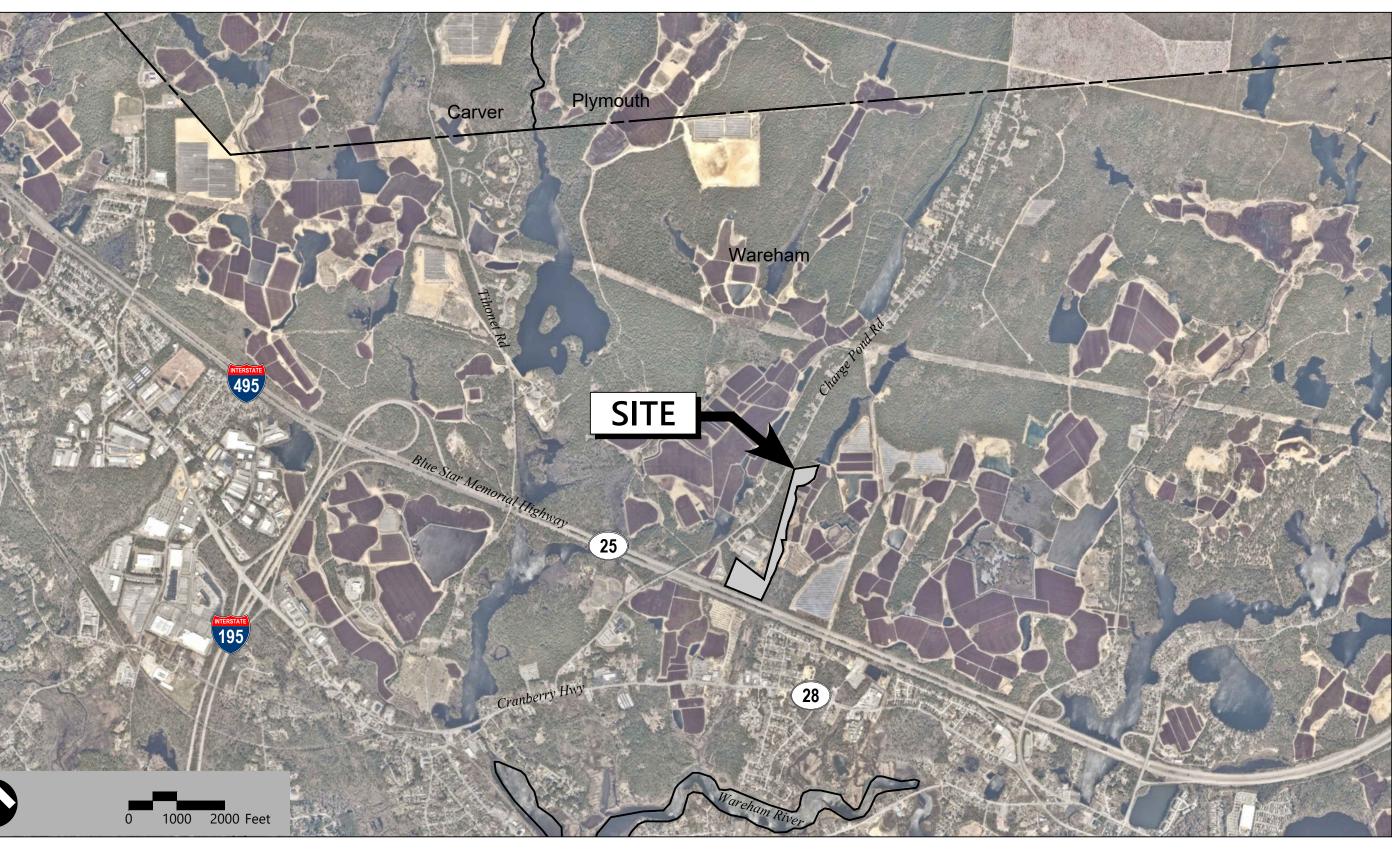
Applicant

Wareham PV I, LLC 330 Congress Street 6th Floor Boston, MA 02210

Assessor's Map 115: Lot 1000



Sneet		
No.		
C1.00		
C2.00		
C2.01-2.03		
C3.01-3.02		



	ndex				
	Drawing Title	Latest Issue			
	Legend and General Notes	August 2, 2021			
	Overall Site Plan	August 2, 2021			
3	Layout, Grading, Drainage, and Erosion Control Plan	August 2, 2021			
2	Site Details	August 2, 2021			

Reference Drawings			
No.	Drawing Title		
Sv-1 - Sv-7	' Existing Conditions Plan of Land		

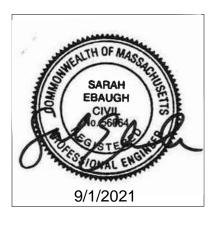




101 Walnut Street PO Box 9151 Watertown, MA 0247 617.924.1770

Designer/Developer/Electrical Engineer

Wareham PV I, LLC 330 Congress Street, 6th Floor Boston, MA 02210 617.377.4301



15225.01 Proposed Solar Ar Local Approvals - 8/2/2021 VHB Project : Issued for :

Legend

Exist.	Prop.		Exist.	Prop.	
		PROPERTY LINE	$ \begin{array}{c} & & \\ & & $	and the second sec	CONCRETE
		PROJECT LIMIT LINE			HEAVY DUTY PAVEMENT
		RIGHT-OF-WAY/PROPERTY LINE			BUILDINGS
		EASEMENT	220222		RIPRAP
		BUILDING SETBACK	52012520		CONSTRUCTION EXIT
				0%%0%%(
10+00	10+00	PARKING SETBACK BASELINE	27.35 TC×	27.35 TC×	TOP OF CURB ELEVATION
I	' 		26.85 BC×	26.85 BC×	BOTTOM OF CURB ELEVATION
			132.75 ×	132.75 ×	SPOT ELEVATION
			45.0 TW× 38.5 BW×	45.0 TW 38.5 BW	TOP & BOTTOM OF WALL ELEVATIO
		TOWN LINE	- 🔶	\bullet	BORING LOCATION
		LIMIT OF DISTURBANCE			TEST PIT LOCATION
<u>Δ</u>		WETLAND LINE WITH FLAG	€ ^{MW}	\odot MW	MONITORING WELL
		FLOODPLAIN			
		BORDERING LAND SUBJECT	UD 12"D		UNDERDRAIN
BLSF		BORDERING LAND SUBJECT TO FLOODING			DRAIN
BZ		WETLAND BUFFER ZONE		<u>6"RD»</u>	ROOF DRAIN
NDZ		NO DISTURB ZONE	1 <u>2</u> "S	12"S	SEWER
200'RA		200' RIVERFRONT AREA	FM	FM	FORCE MAIN
			OHW	OHW	OVERHEAD WIRE
		GRAVEL ROAD	6"W	——6"W ——	WATER
<u> </u>	EOP	EDGE OF PAVEMENT	4"FP		FIRE PROTECTION
BB	BB	BITUMINOUS BERM		2"DW	DOMESTIC WATER
BC	BC	BITUMINOUS CURB		G	GAS
CC	CC	CONCRETE CURB	——————————————————————————————————————	——E——	ELECTRIC
	CG	CURB AND GUTTER	STM	STM	STEAM
CC	ECC	EXTRUDED CONCRETE CURB	T	T	TELEPHONE
CC	MCC	MONOLITHIC CONCRETE CURB	——FA	——FA——	FIRE ALARM
CC	PCC	PRECAST CONC. CURB	CATV	——CATV——	CABLE TV
SGE	SGE	SLOPED GRAN. EDGING			
VGC	VGC	VERT. GRAN. CURB			CATCH BASIN CONCENTRIC
		LIMIT OF CURB TYPE			CATCH BASIN ECCENTRIC
		SAWCUT			DOUBLE CATCH BASIN CONCENTRIC
	•		_		DOUBLE CATCH BASIN ECCENTRIC
////////		BUILDING		=	GUTTER INLET
		BUILDING ENTRANCE	\bigcirc	ullet	DRAIN MANHOLE CONCENTRIC
	Ξ	LOADING DOCK	\bigcirc	$\textcircled{\bullet}$	DRAIN MANHOLE ECCENTRIC
		BOLLARD	=TD=		TRENCH DRAIN
*	•		Ľ	I	PLUG OR CAP
D	D	DUMPSTER PAD	CO	• ^{CO}	CLEANOUT
<u> </u>	•			►	FLARED END SECTION
0		DOUBLE SIGN	\sim	\searrow	HEADWALL
т т	I	STEEL GUARDRAIL			
		WOOD GUARDRAIL	S	$\textcircled{\bullet}$	SEWER MANHOLE CONCENTRIC
			<u> </u>		SEWER MANHOLE ECCENTRIC
		РАТН	©CS	CS	CURB STOP & BOX
\sim		TREE LINE	wv ©	₩V ●	WATER VALVE & BOX
		WIRE FENCE	TSV	TSV	TAPPING SLEEVE, VALVE & BOX
	~ ~	FENCE			FIRE DEPARTMENT CONNECTION
	- • •		HYD ©	HYD ⊙	FIRE HYDRANT
-00		STOCKADE FENCE	WM	WM ⊡	WATER METER
000000	$\infty \infty \infty \infty$	STONE WALL	PIV	PIV	
		RETAINING WALL	©		
· · ·		STREAM / POND / WATER COURSE			WATER WELL
· ·		DETENTION BASIN	GG	O GG	GAS GATE
	· · · · · · · · · · · · · · ·	STRAW BALES	GM	GM ⊡	GAS METER
		SILT FENCE	E	● ^{EMH}	ELECTRIC MANHOLE
X	×			-	
	· c:::::> ·	STRAW WATTLE	EM	EM ⊡	
X		STRAW WATTLE	- •		
X		MINOR CONTOUR	- ©	• •	ELECTRIC METER LIGHT POLE
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Abbreviations

Genera	
ABAN	ABANDON
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
	APPROXIMATE
BIT	BITUMINOUS
BS	BOTTOM OF SLOPE
BWLL	BROKEN WHITE LANE LINE
CONC	CONCRETE
DYCL	DOUBLE YELLOW CENTER LINE
EL	ELEVATION
ELEV	ELEVATION
EX	EXISTING
FDN	FOUNDATION
FFE	FIRST FLOOR ELEVATION
GRAN	GRANITE
GTD	GRADE TO DRAIN
LA	LANDSCAPE AREA
LOD	LIMIT OF DISTURBANCE
MAX	MAXIMUM
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PERF	PERFORATED
PROP	PROPOSED
REM	REMOVE
RET	RETAIN
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
SWEL	SOLID WHITE EDGE LINE
SWEL	SOLID WHITE LANE LINE
TS	TOP OF SLOPE
ТҮР	TYPICAL
Utility	
СВ	CATCH BASIN
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
DCB	DOUBLE CATCH BASIN
DMH	DRAIN MANHOLE
CIP	CAST IRON PIPE
COND	CONDUIT
DIP	DUCTILE IRON PIPE
FES	FLARED END SECTION
FM	FORCE MAIN
F&G	FRAME AND GRATE
F&C	FRAME AND COVER
GI	GUTTER INLET
GT	GREASE TRAP
HDPE	HIGH DENSITY POLYETHYLENE PIPE
нн	HANDHOLE
HW	HEADWALL
HYD	HYDRANT
INV	INVERT ELEVATION
I=	INVERT ELEVATION
LP	LIGHT POLE
MES	METAL END SECTION
PIV	POST INDICATOR VALVE
FIV	PAVED WATER WAY
PWW	
	POLYVINYLCHLORIDE PIPE
PWW	
PWW PVC	POLYVINYLCHLORIDE PIPE
PWW PVC RCP	POLYVINYLCHLORIDE PIPE REINFORCED CONCRETE PIPE
PWW PVC RCP R=	POLYVINYLCHLORIDE PIPE REINFORCED CONCRETE PIPE RIM ELEVATION
PWW PVC RCP R= RIM=	POLYVINYLCHLORIDE PIPE REINFORCED CONCRETE PIPE RIM ELEVATION RIM ELEVATION
PWW PVC RCP R= RIM= SMH	POLYVINYLCHLORIDE PIPE REINFORCED CONCRETE PIPE RIM ELEVATION RIM ELEVATION SEWER MANHOLE

Notes

Ge	neral	
1.	CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.	
2.	CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.	
3.	ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).	
4.	AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE 6 INCHES LOAM AND SEED.	
5.	WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS.	
5.	WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.	
7.	UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.	
3.	TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.	
€.	AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.	
10.	IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.	
1.	CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.	
2.	DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.	
3.	CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.	
14.	THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND FALLS WITHIN THE NPDES CONSTRUCTION GENERAL PERMIT (CGP) PROGRAM AND EPA JURISDICTION. PRIOR TO THE START OF CONSTRUCTION CONTRACTOR IS TO FILE A CGP NOTICE OF INTENT WITH THE EPA AND PREPARE A STORMWATER POLLUTION PREVENTION PLAN IN ACCORDANCE WITH THE NPDES REGULATIONS. CONTRACTOR SHALL CONFIRM THE OWNER HAS ALSO FILED A NOTICE OF INTENT WITH THE EPA.	
Jti	ilities	
	THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.	
2.	WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.	
3.	SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.	
1.	RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS:	
	A. PAVEMENTS AND CONCRETE SURFACES: FLUSH	
	 B. ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH C. LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE 	
5.	SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY	
D .	SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.	
) .	CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.	
	UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:	
	A. STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HDPE)	
	B. PIPE INSTALLATION AND MATERIALS SHALL COMPLY WITH THE STATE PLUMBING CODE WHERE APPLICABLE. CONTRACTOR SHALL COORDINATE WITH LOCAL PLUMBING INSPECTOR PRIOR TO BEGINNING WORK.	
3.	CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEWORK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASEMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.	
).	CONTRACTOR SHALL EXCAVATE AND BACKFILL TRENCHES FOR GAS IN ACCORDANCE WITH GAS COMPANY'S REQUIREMENTS.	
10.	ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4' MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE 5 FEET.	
Pla	ant Maintenance Notes	
1.	CONTRACTOR SHALL PROVIDE COMPLETE MAINTENANCE OF THE LAWNS AND PLANTINGS. NO IRRIGATION IS PROPOSED FOR THIS SITE. THE CONTRACTOR SHALL SUPPLY SUPPLEMENTAL WATERING FOR NEW LAWNS AND PLANTINGS DURING THE ONE YEAR PLANT GUARANTEE PERIOD.	
2.	CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE LANDSCAPE MAINTENANCE WORK. WATER SHALL BE PROVIDED BY THE CONTRACTOR.	
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- 3. WATERING SHALL BE REQUIRED DURING THE GROWING SEASON, WHEN NATURAL RAINFALL IS BELOW ONE INCH PER WEEK.
- 4. WATER SHALL BE APPLIED IN SUFFICIENT QUANTITY TO THOROUGHLY SATURATE THE SOIL IN THE ROOT ZONE OF EACH PLANT.
- 5. CONTRACTOR SHALL REPLACE DEAD OR DYING PLANTS AT THE END OF THE ONE YEAR GUARANTEE PERIOD. CONTRACTOR SHALL TURN OVER MAINTENANCE TO THE FACILITY MAINTENANCE STAFF AT THAT TIME.

ayout and Materials

- DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
- PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LAND SURVEYOR.
- PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.

emolition

- CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.
- EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
- CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.
- THE DEMOLITION LIMITS DEPICTED IN THE PLANS IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS BID/PROPOSAL TO PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION FOR CHANGED CONDITIONS OR UNFORESEEN OR LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS DISCOVERED DURING EXECUTION OF THE WORK.
- UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS.

rosion Control

- PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL SEDIMENT CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
- CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION PREVENTION AND SEDIMENT CONTROL MEASURES ON A WEEKLY BASIS (MINIMUM) OR AS REQUIRED PER THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL ADDRESS DEFICIENCIES AND MAINTENANCE ITEMS WITHIN TWENTY-FOUR HOURS OF INSPECTION. CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT SUCH THAT IT DOES NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
- CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
- CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION. REFER TO PROJECT SWPPP FOR SPECIFIC TIMEFRAMES.
- UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF SEDIMENT CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.

Existing Conditions Information

- BASE PLAN: "EXISTING CONDITIONS PLAN OF LAND" DATED JANUARY 12 2021, PREPARED BY VHB.
- TOPOGRAPHY: ELEVATIONS ARE BASED ON NAVD 1988.

Document Use

- THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.
- CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
- SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.

Planting Notes

- ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED AS SHOWN ON THE PLANS FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW GRADE AND ABOVE GROUND UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS.
- NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICT.
- A 3-INCH DEEP MULCH PER SPECIFICATION SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED ON THE PLANS, OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
- ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANT LIST AND PLANT LABELS PRIOR TO BIDDING.
- ANY PROPOSED PLANT SUBSTITUTIONS MUST BE REVIEWED BY LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
- 8. ALL PLANT MATERIALS INSTALLED SHALL MEET THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND CONTRACT DOCUMENTS.
- 9. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
- 10. AREAS DESIGNATED "LOAM & SEED" SHALL RECEIVE MINIMUM 6" OF LOAM AND SPECIFIED SEED MIX. LAWNS OVER 2:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC.
- 11. ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE LOAM AND SEEDED OR MULCHED AS DIRECTED BY OWNER'S REPRESENTATIVE.
- 12. THIS PLAN IS INTENDED FOR PLANTING PURPOSES. REFER TO SITE / CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.

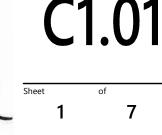
Proposed Large-Scale Ground-Mounted Solar Photovoltaic Installation ^{0 Route 25}

Wareham, MA

No.	Revision	Date	Appvd.
Design	SKE	Checked by	RG
Issued	for	Date	
Lo	cal Approvals	August 2	, 2021

Legend and General Notes

Drawing Number

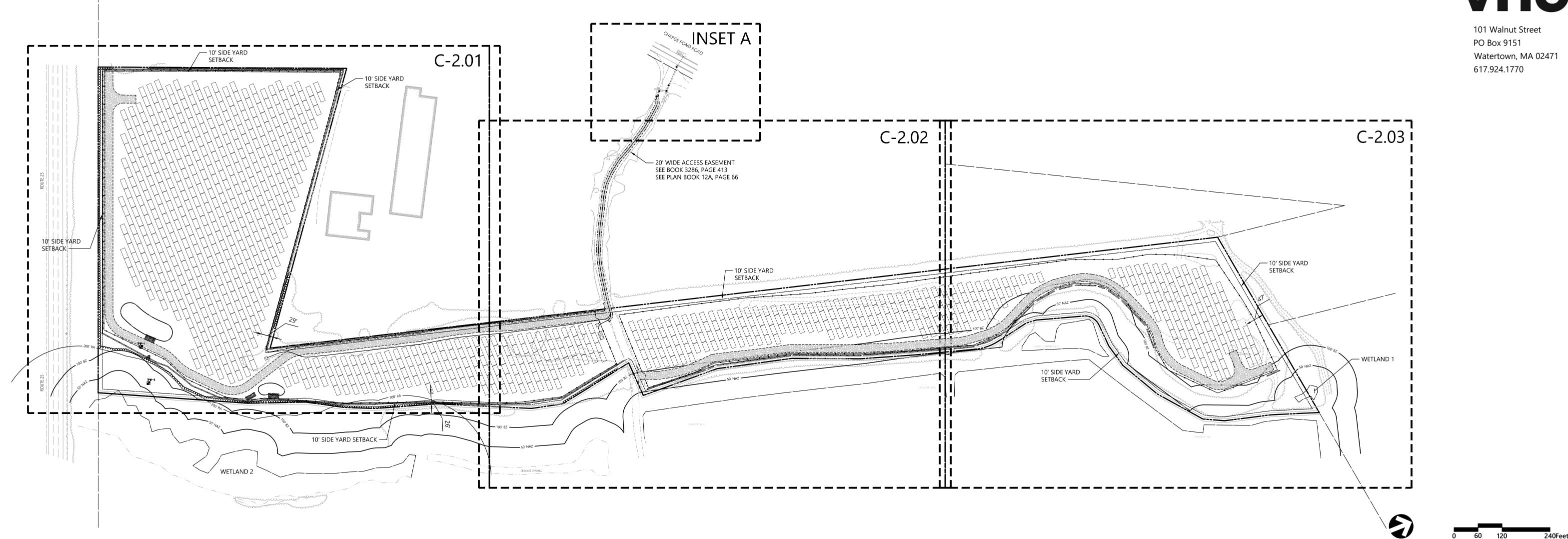


9/1/2021

Project Number **15225.01**

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101 Walnut Street PO Box 9151 Watertown, MA 02471 617.924.1770



SOLAR FARM SEED MIX

-	
<u>% SEED</u>	BOTANICAL NAME
30%	Festuca rubra
30%	Festuca ovina 'Whisper'
15%	Festuca ovina var. duriuscula (F. longifolia) 'He
15%	Festuca brevipila 'Chariot'
10%	Lolium multiflorum (L. perenne var. italicum)
Total 100%	

COMMON NAME Creeping Red Fescue Sheep Fescue 'Whisper' cula (F. longifolia) 'Heron' Hard Fescue 'Heron' Hard Fescue 'Chariot' Annual Ryegrass

NOTE:

SEEDING RATE TO BE 6 LB PER 1,000 SF. SEED MIX TO BE ERNMX-186 "SOLAR FARM SEED MIX" AS MANUFACTURED BY ERNST CONSERVATION SEEDS, 8884 MERCER PIKE, MEADVILLE PA, 16335 (800) 873-3321.



Zoning Summary Chart

Zoning District(s): Residential 130 (R-130)			
Zoning Regulation Requirements	Required ¹	Provided	
MINIMUM LOT AREA ²	≥3 Acres	22.4 Acres	
FRONTAGE ³	Not Applicable	Not Applicable	
MINIMUM FRONT YARD SETBACK ⁵	20 Feet	Not Applicable	
MINIMUM SIDE YARD SETBACK ⁵	10 Feet	26 Feet	
MINIMUM REAR YARD SETBACK ⁵	10 Feet	Not Applicable	
MAXIMUM BUILDING HEIGHT ⁴	35 Feet	Not Applicable	
(1) Zoning requirements as specified in "Zoning By-Laws Town of Wareham Massachusetts" (revised October 2018) (hereinafter "Zoning By-Laws").			
(2) Per Section 594.1.1 of Zoning By-Laws.			
(3) Per Section 611 of Zoning By-Laws, R-130 district minimum frontage requirement is not applicable because proposed project is not "principal building" or "accessory building" as those terms are defined in Article 16 of Zoning By-Laws.			
(4) Per Section 611 of Zoning By-Laws, R-130 district maximum allowed height requirement is not applicable because proposed project is not "principal building" or "accessory building" as those terms are defined in Article 16 of Zoning By-Laws.			
(5) Parcel on which project is proposed does not abut and is not across the street from any Residential district or residential development (Parcel is only within Residential (i.e., R-130) district).			

Notes

- 0 Route 25 (Map 115, Lot 1000) (the "Project Parcel") is located outside the 100-year flood plain as noted on the FEMA Flood Insurance Rate Map (FIRM) Panels Number 25023C0487K & 25023C0489L last revised July 6, 2021.
 Access to the Project Parcel is via an existing 20-foot wide access easement from Charge Pond Road taken by MassDOT predecessor Massachusetts Department of Public Works on behalf of certain landowners (including the owner of the Project Parcel) in 1966 in connection with the development of Route 25 as a limited access highway. See Layout 5560 and Order of Taking dated April 14, 1966, recorded at the Plymouth County Registry of Deeds in Book 3286, Page 413 and Plan Book 12A, Page 66.

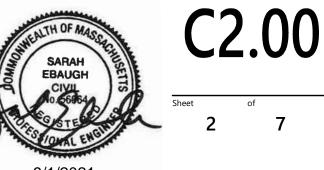
Proposed Large-Scale Ground-Mounted Solar Photovoltaic Installation 0 Route 25 Wareham, MA

Date Appvd.

No. Revision

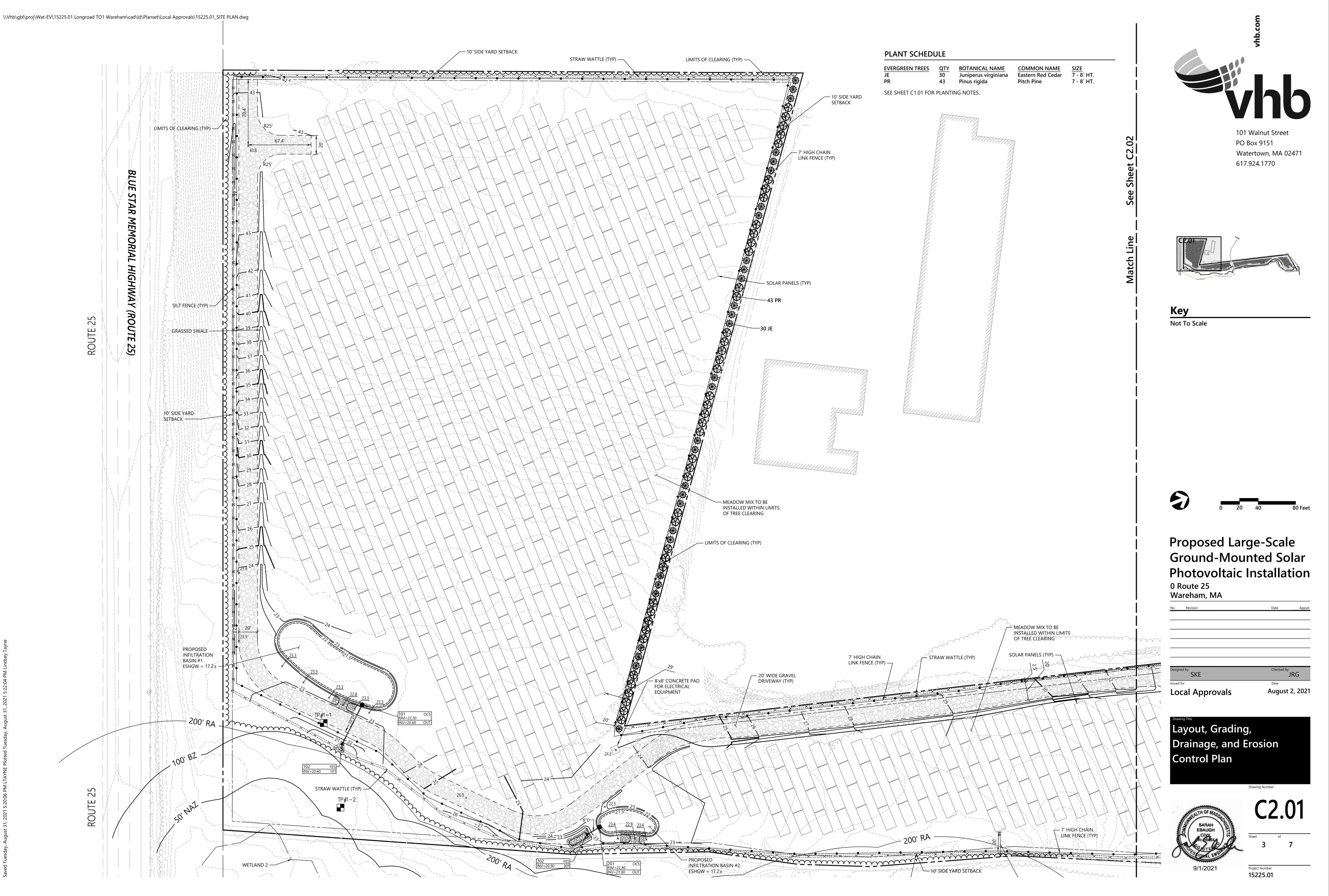
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Issued for Local Approvals	Date August 2, 2021

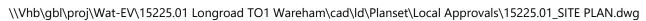
Overall Site Plan

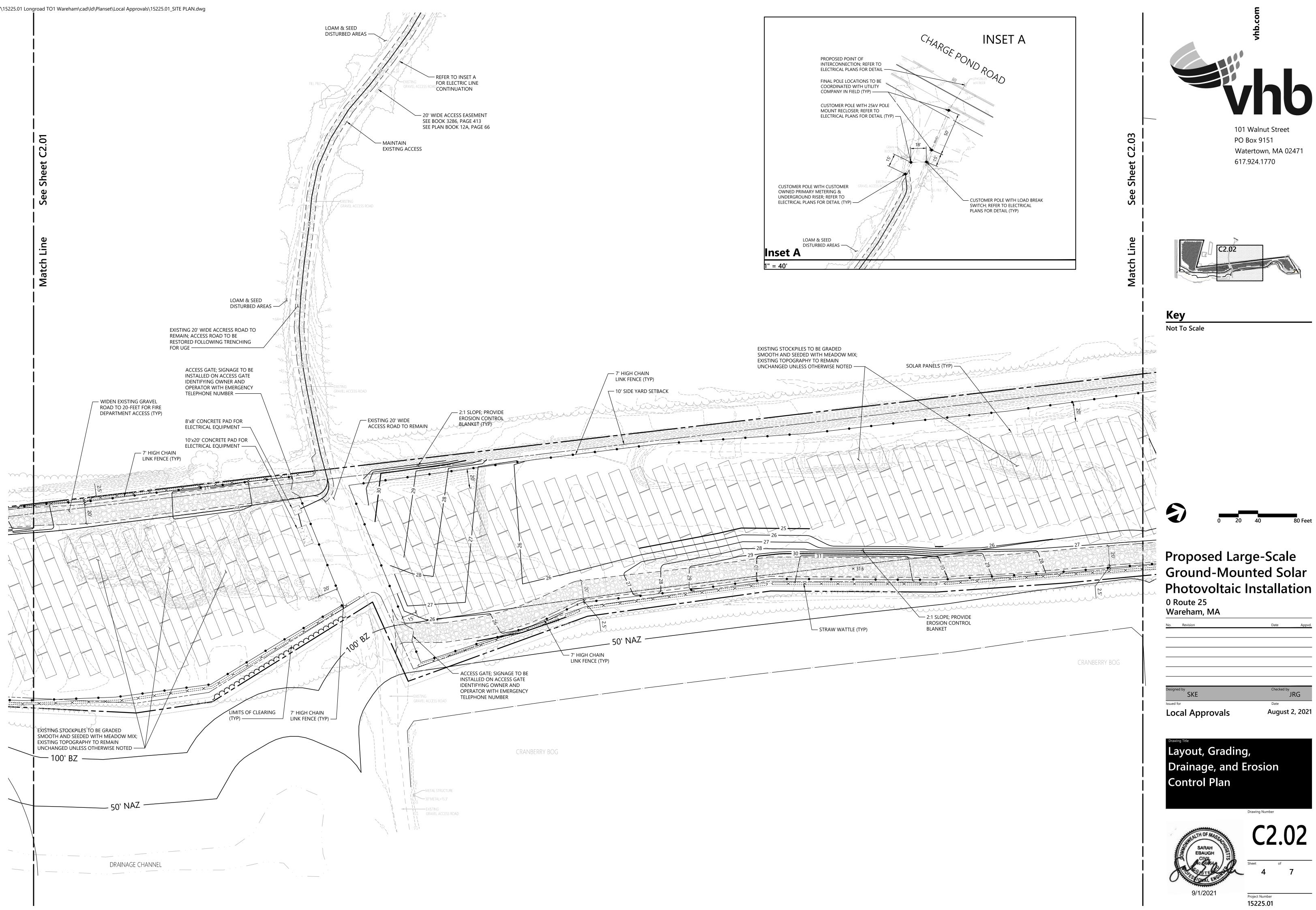


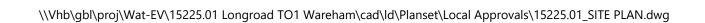
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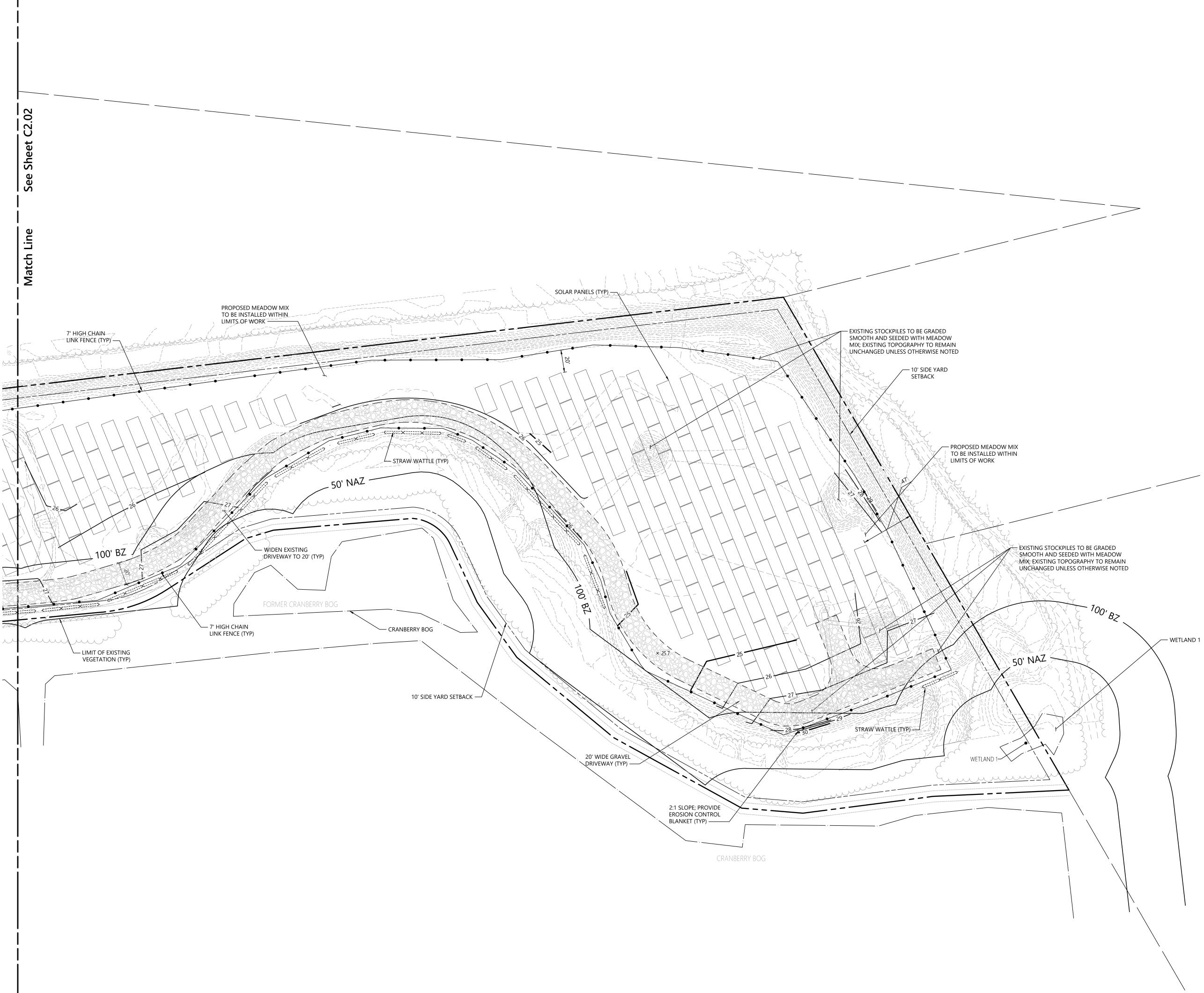
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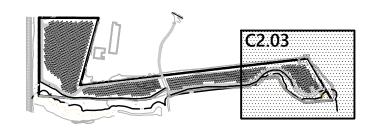












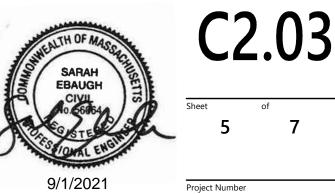
Key Not To Scale



Proposed Large-Scale Ground-Mounted Solar **Photovoltaic Installation** 0 Route 25 Wareham, MA

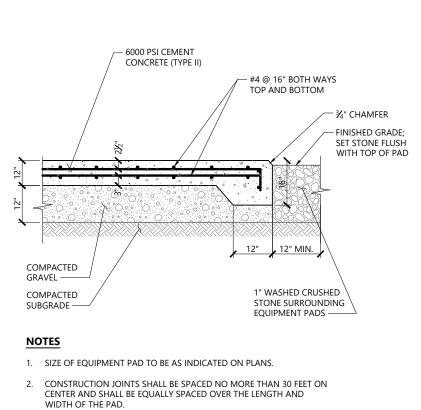


Layout, Grading, Drainage, and Erosion **Control Plan**



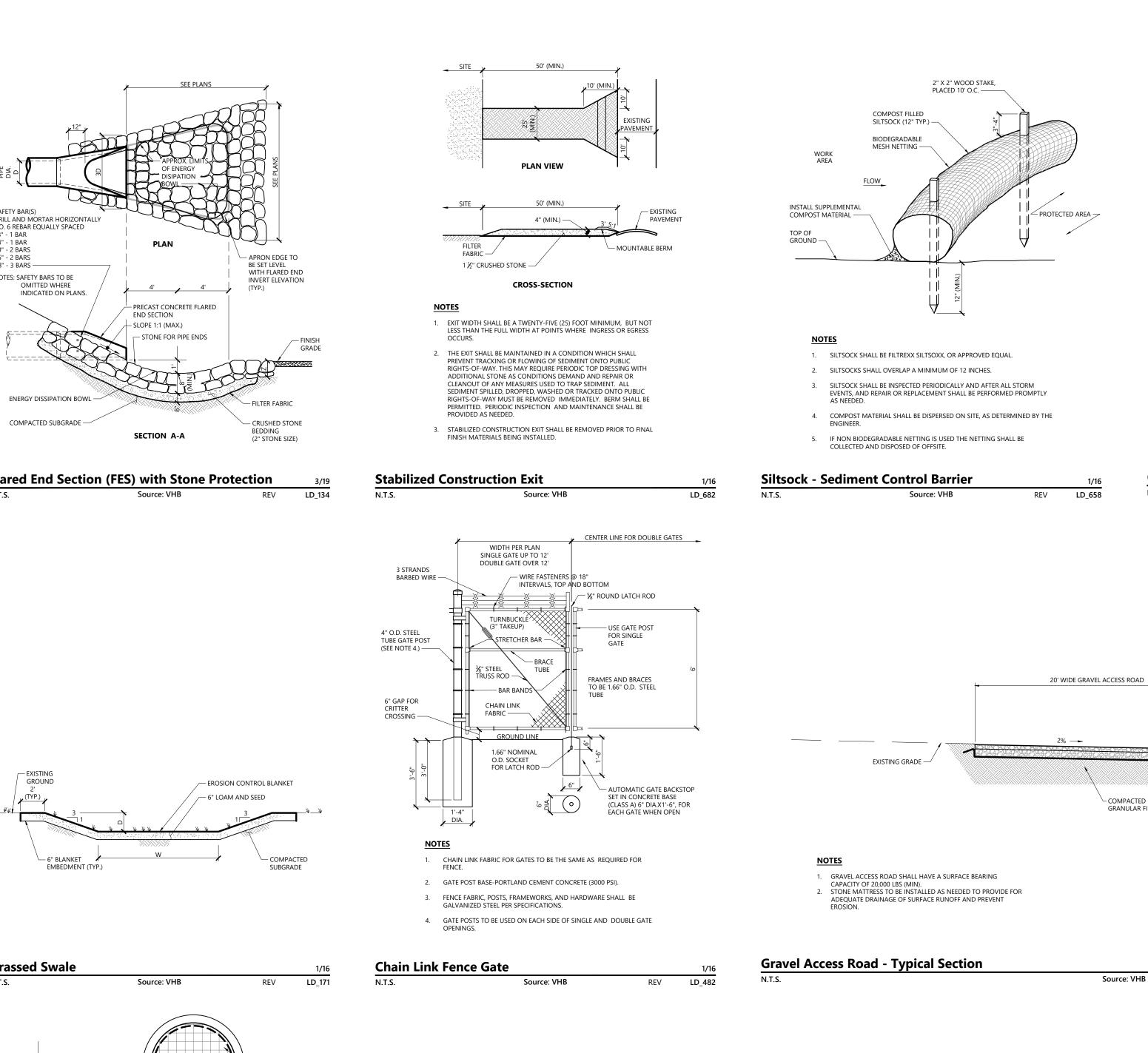
Project Number 15225.01

Drawing Number



3. SHOWN FOR REFERENCE; FINAL PAD DESIGN TO BE PROVIDED PRIOR TO CONSTRUCTION

Source: VHB



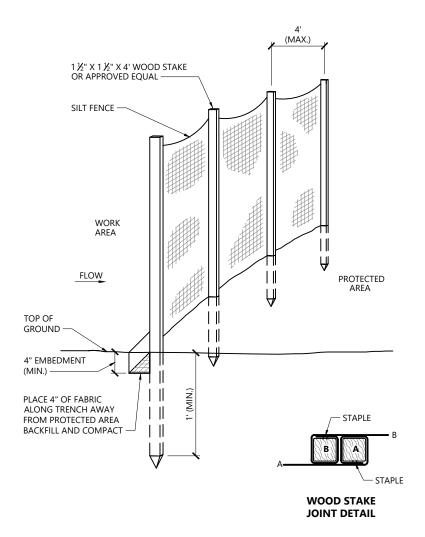


1/16

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LD_650

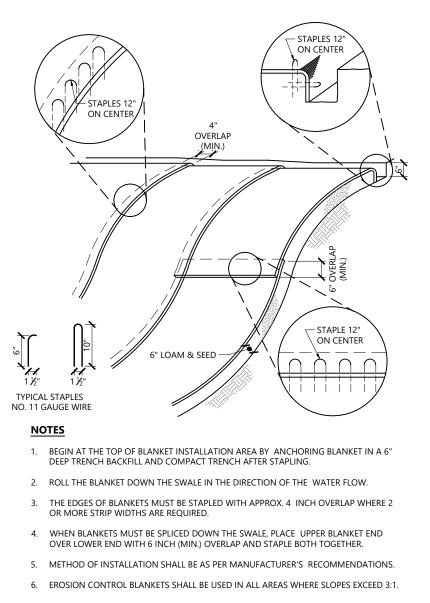
LD_712A



Silt Fence Barrier N.T.S.

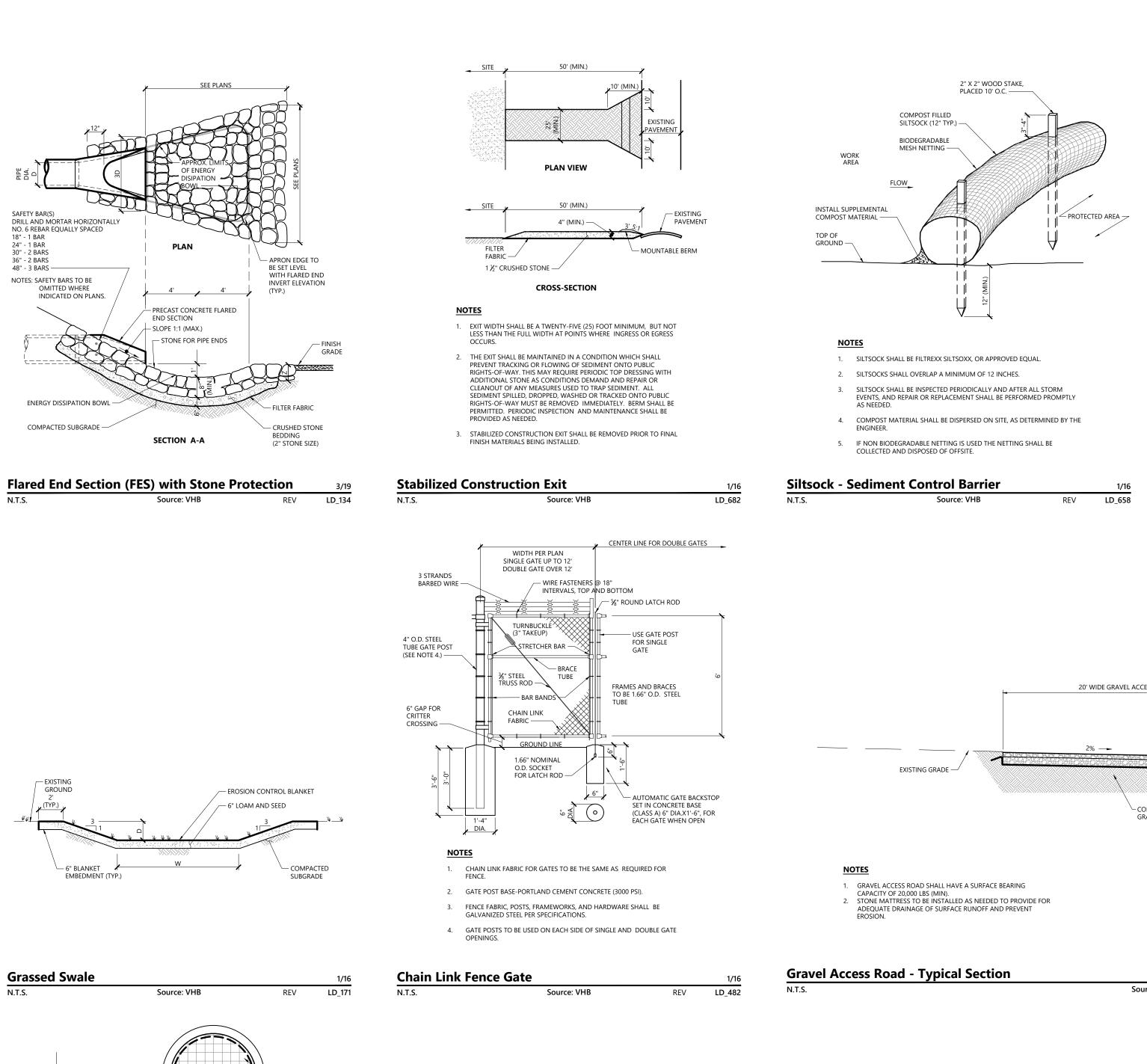
Concrete Pad

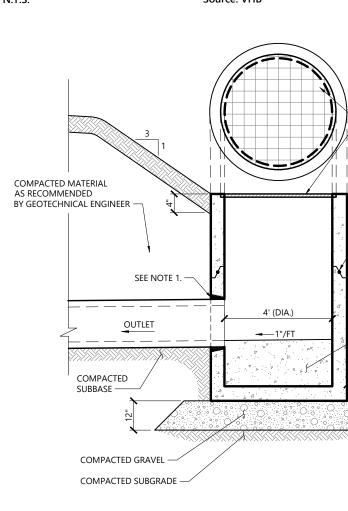
N.T.S.



Source: VHB

Erosion Control Blanket Slope Installation 1/16 N.T.S. LD_680 Source: VHB





– TRASH GRATE,

(2" X 2" MAX. OPENING SIZE)

NORMAL WATER

- CEMENT CONCRETE

1/16

LD_163

INFIL

— SEE NOTE 2.

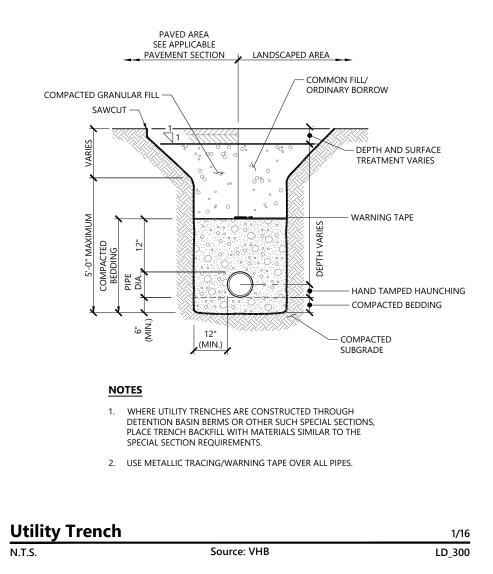
GALVANIZED STEEL

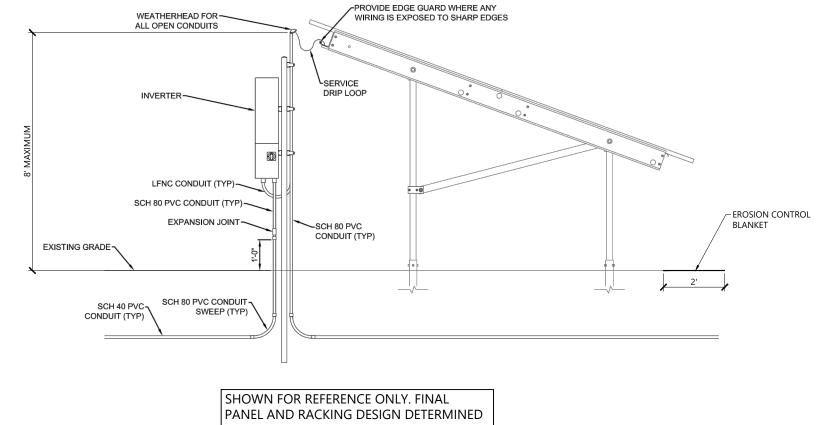
OR APPROVED EQUAL



- 1. PROVIDE OPENINGS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
- 2. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.

Outlet Control Structure N.T.S. Source: VHB

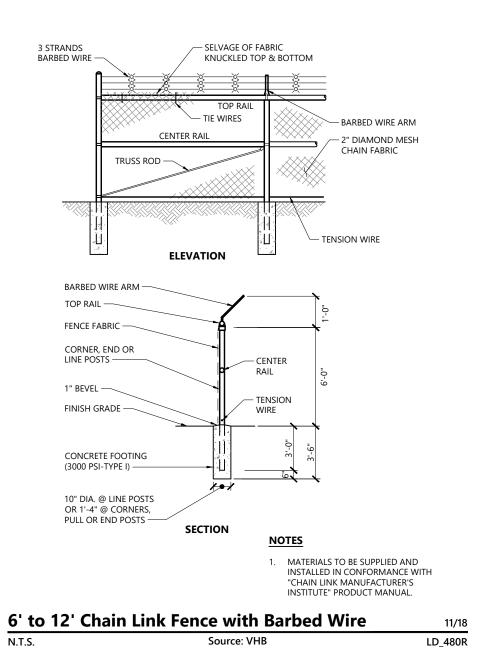




BY ELECTRICAL ENGINEER/SOLAR INSTALLER

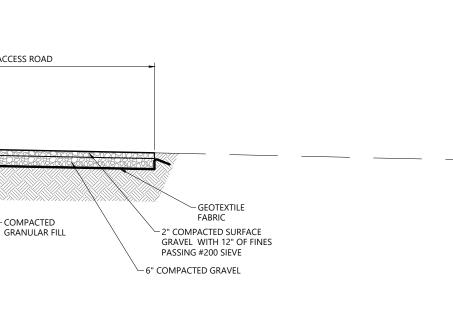
Inverter and Array Detail (Side) N.T.S.

Source: Ameresco Inc.



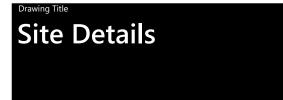


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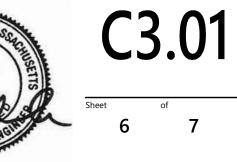


Proposed Large-Scale **Ground-Mounted Solar Photovoltaic Installation** 0 Route 25

Wareham, MA No. Revision Date Appvd. Checked by SKE Issued for Date August 2, 2021 Local Approvals



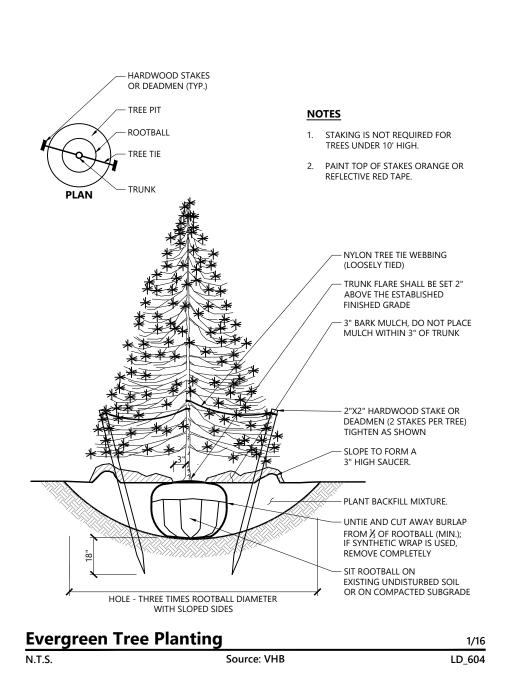
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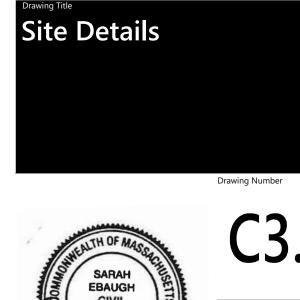
Project Number 15225.01





Proposed Large-Scale Ground-Mounted Solar Photovoltaic Installation ^{0 Route 25} Wareham, MA

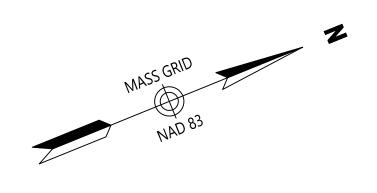
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Design	SKE	Checked by	RG
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Issued	for	Date	
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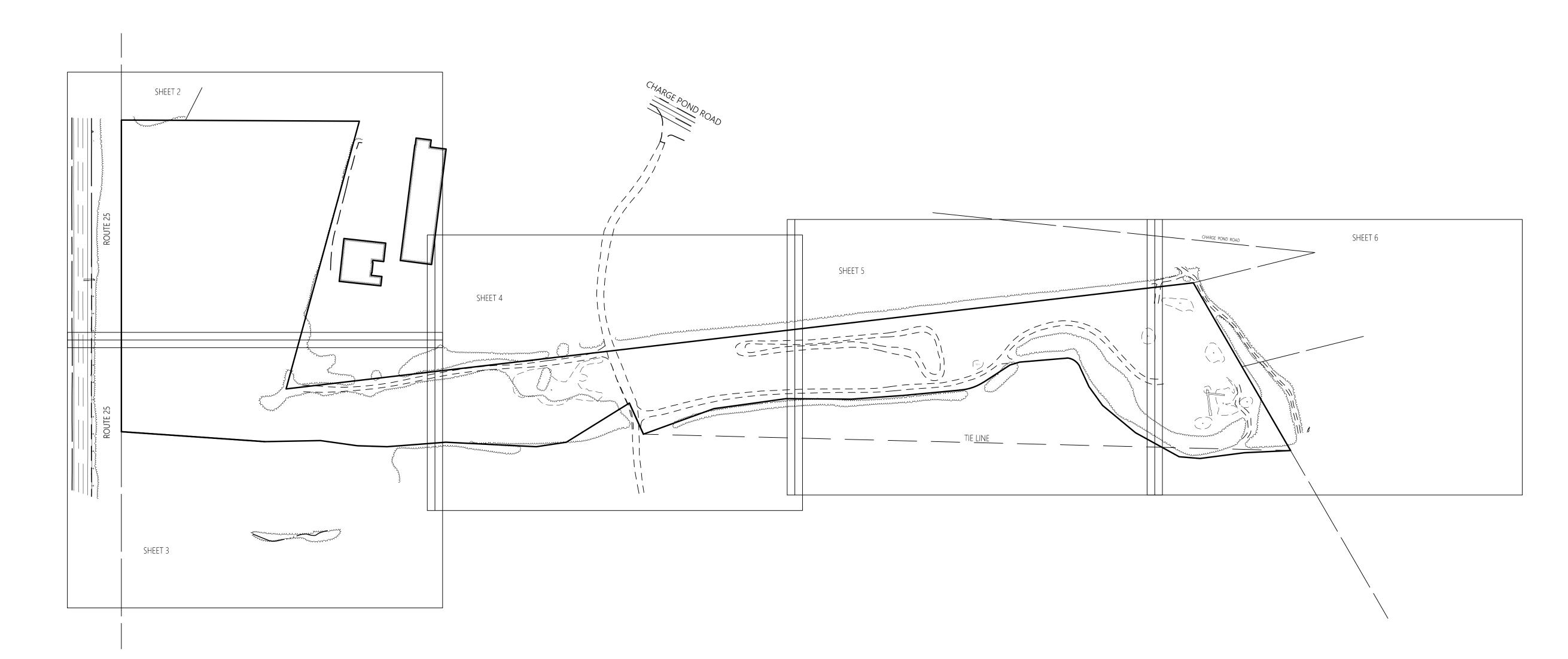


C3.02

9/1/2021

Project Number 15225.01





General Notes

- 1) THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VHB, INC. IN DECEMBER, 2020 AND FROM DEEDS AND PLANS OF RECORD.
- 2) THE EXISTING CONDITIONS SHOWN ON THIS PLAN WERE DEVELOPED FROM A COMBINED EFFORT OF AERIAL PHOTOGRAMMETRIC AND LIDAR METHOD MAPPING BY EASTERN TOPOGRAPHICS, INC., BASED ON AERIAL PHOTOGRAPHS TAKEN ON NOVEMBER 29, 2020 AND FROM AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VHB, INC. IN MAY, 2021.
- 3) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- 4) HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.
- 5) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND MAY BE SUBJECT TO ADDITIONAL INFORMATION DISCLOSED IN SUCH.
- 6) THE WETLANDS SHOWN ON THIS PLAN WERE FLAGGED AND LOCATED (USING GPS) BY VHB ENVIRONMENTAL DEPARTMENT IN FEBRUARY, 2020.

Record Owner

DAVID FLETCHER MAP 115 LOT 1000 BOOK 34514, PAGE 232





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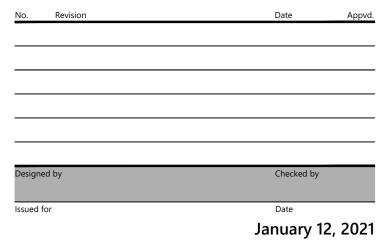
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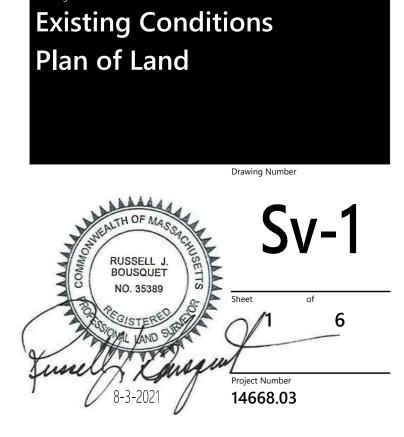
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SGE	SLOPED GRANITE EDGE
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BF1=100	VEGETATED WETLAND BOUNDARY
WF1-100	

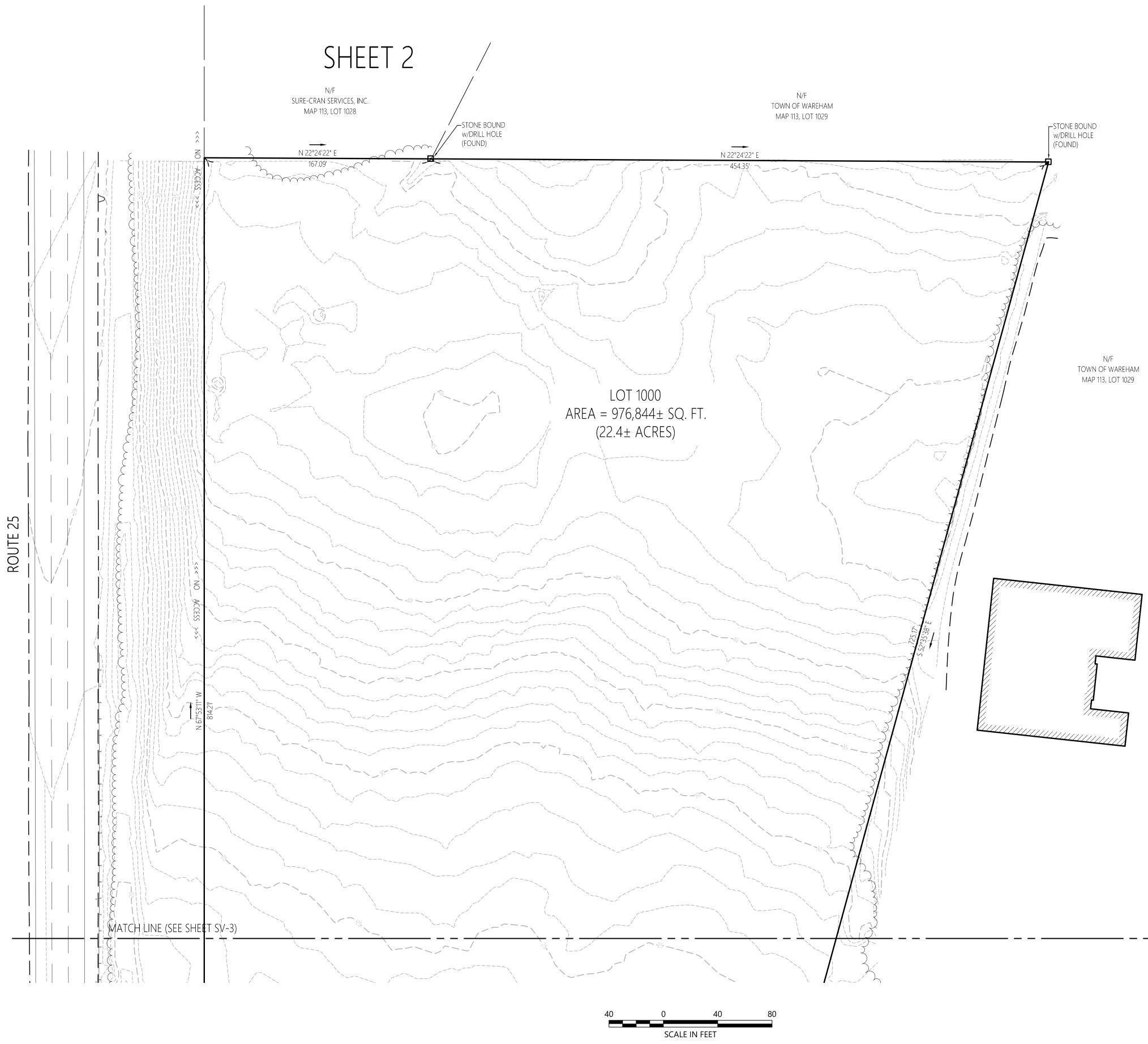
Proposed Solar Array

Route 25

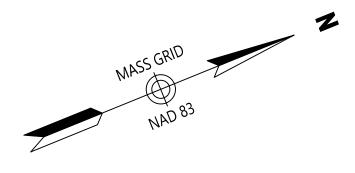
Wareham, Massachusetts







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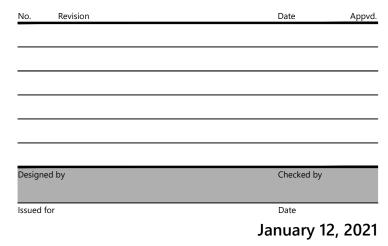
101 Walnut Street PO Box 9151 Watertown, MA 02471 617.924.1770

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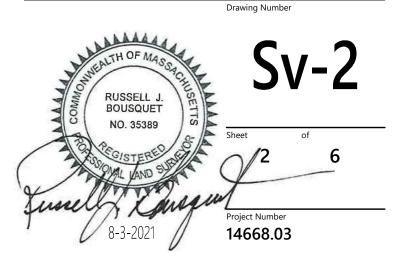
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Proposed Solar Array

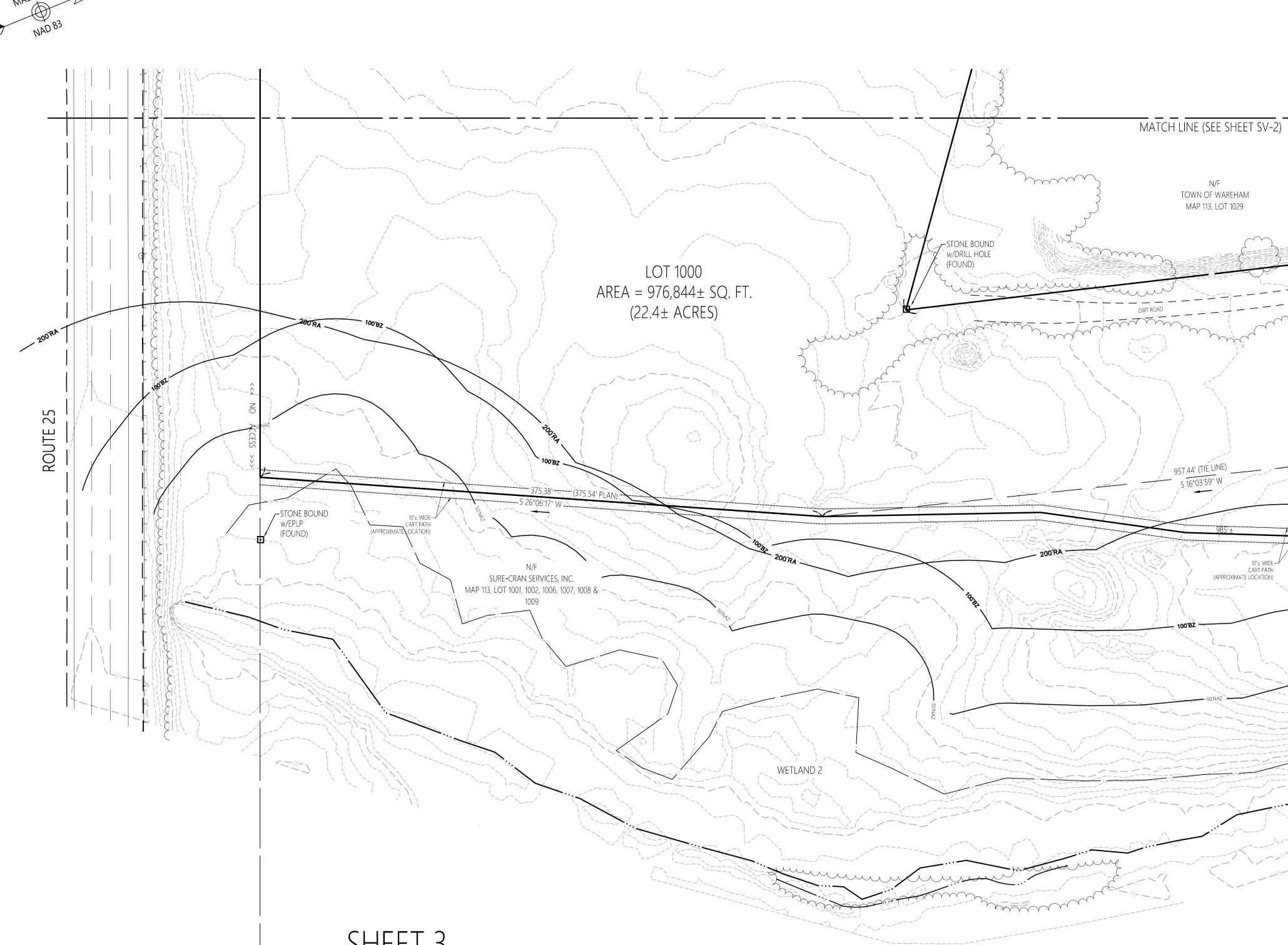
Route 25 Wareham, Massachusetts











SHEET 3



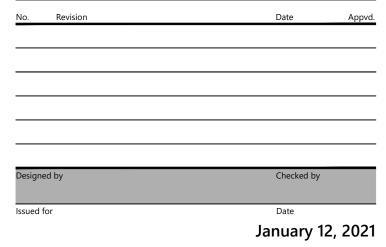
101 Walnut Street PO Box 9151 Watertown, MA 02471 617.924.1770

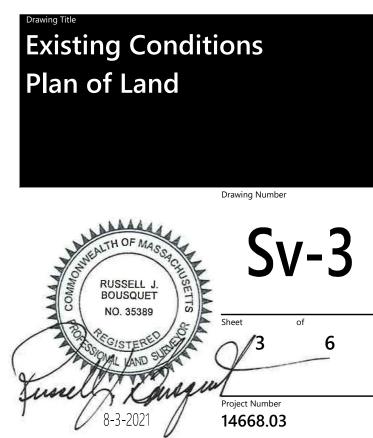
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Proposed Solar Array

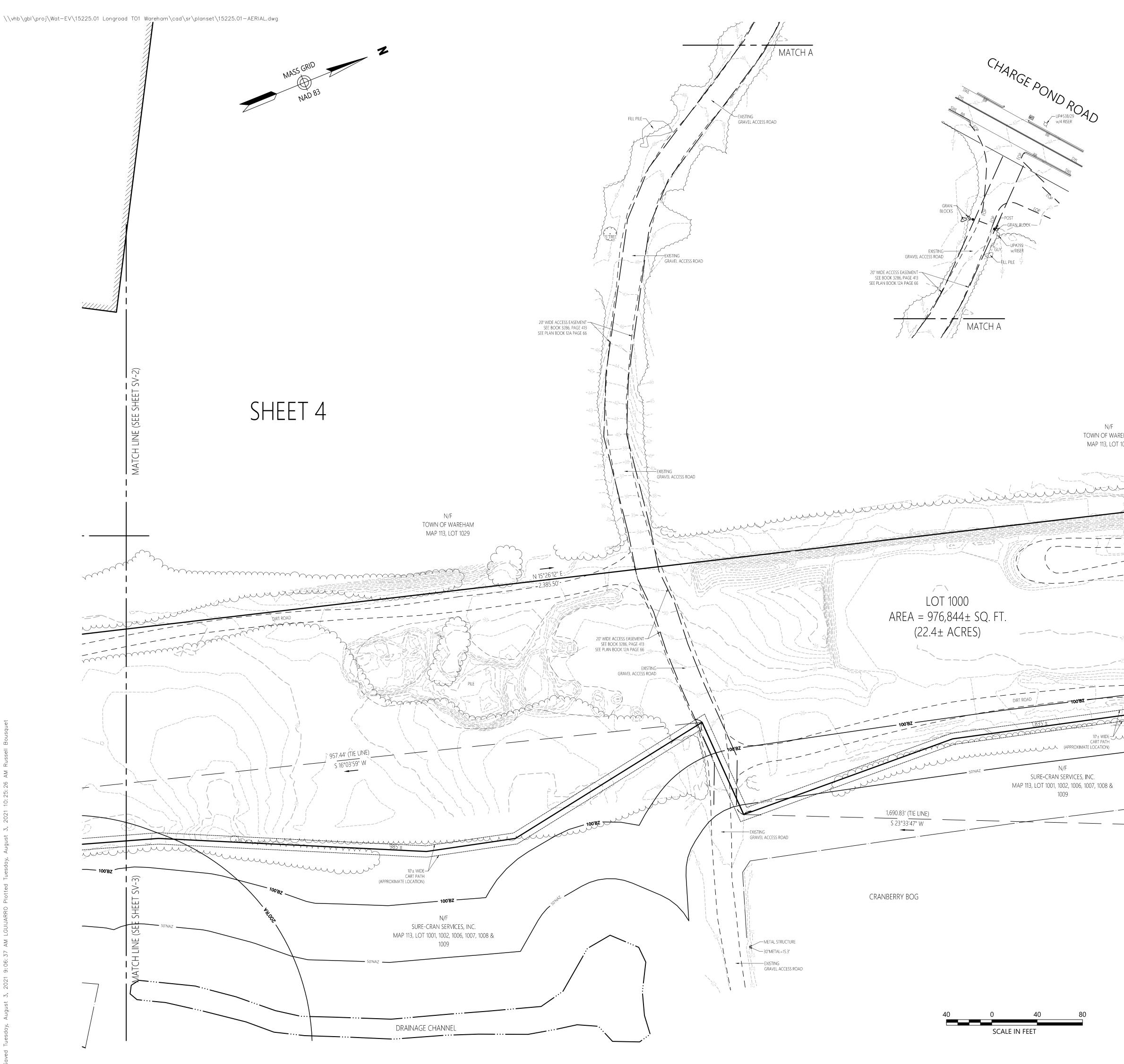
Route 25 Wareham, Massachusetts





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Project Number **14668.03**



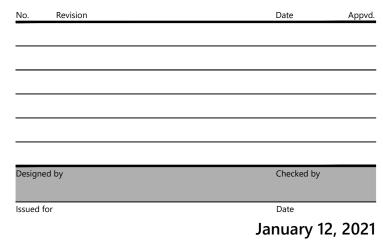


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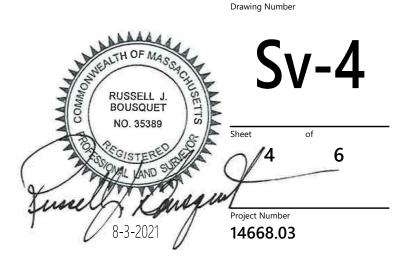
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Proposed Solar Array

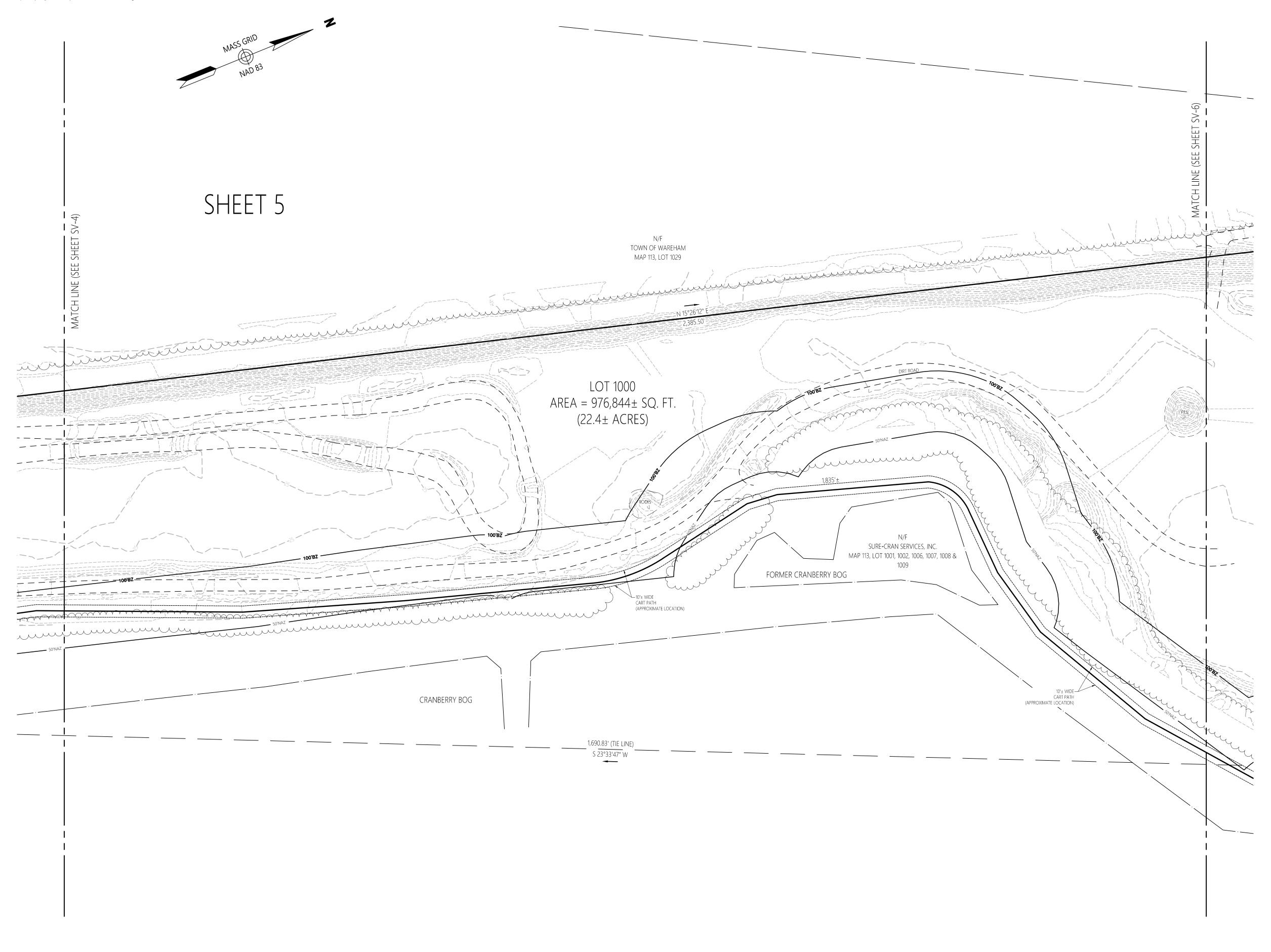
Route 25 Wareham, Massachusetts



Existing Conditions Plan of Land



RЕНАМ Г 1029	MATCH LINE (SEE SHEET SV-5)





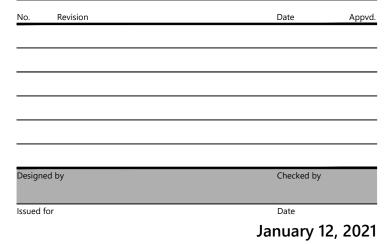


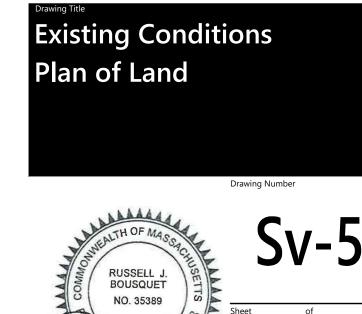
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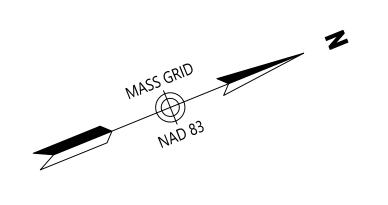
Proposed Solar Array

Route 25 Wareham, Massachusetts



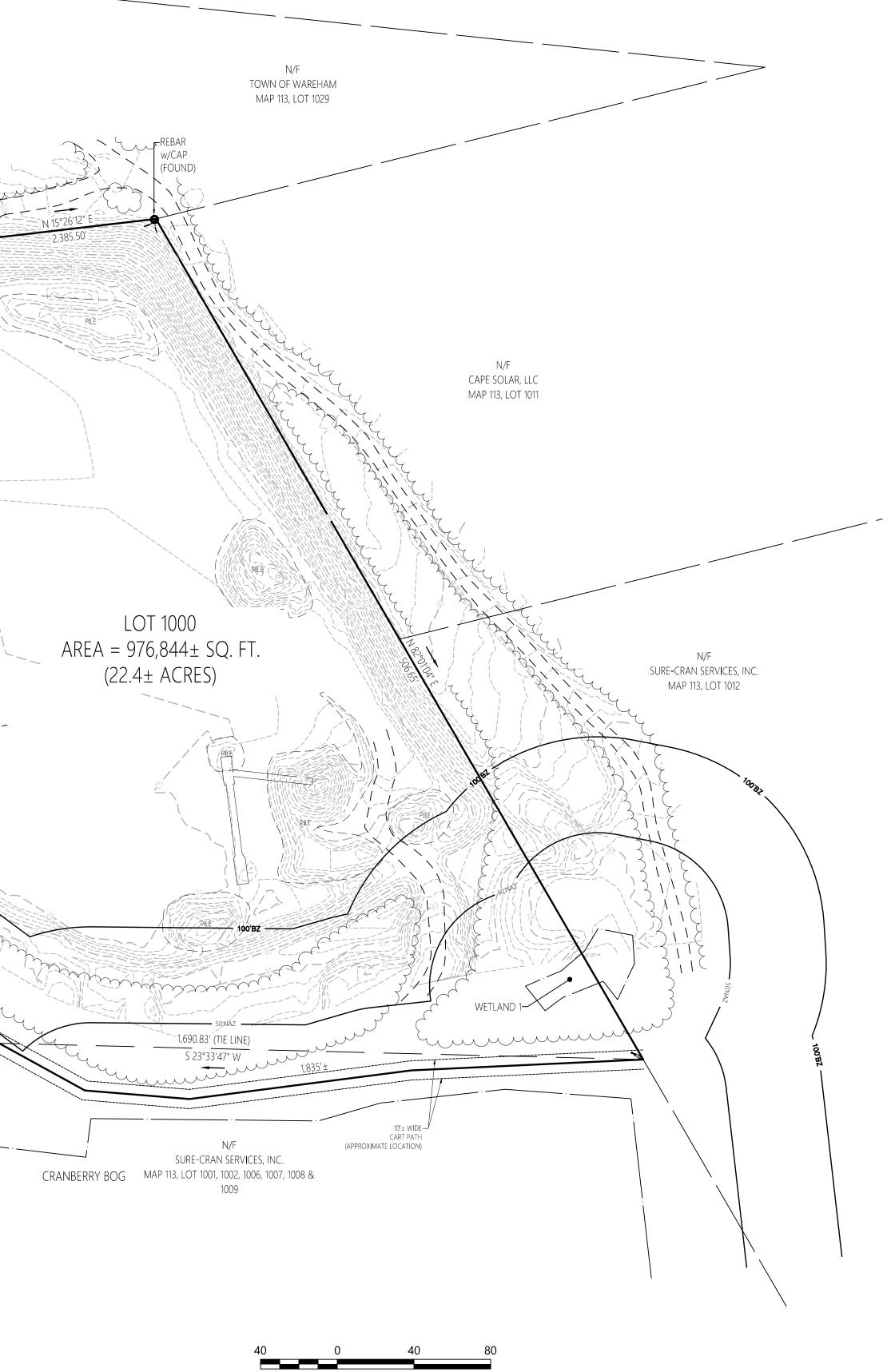


Project Number **14668.03**



Juli

SHEET 6







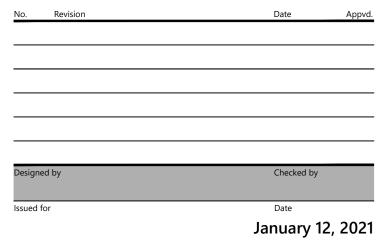
101 Walnut Street PO Box 9151 Watertown, MA 02471 617.924.1770

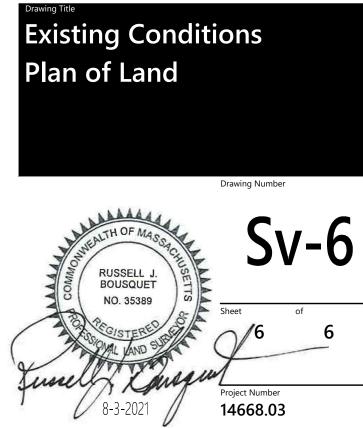
Legend

	egena
\square	DRAIN MANHOLE
Ē	CATCH BASIN
S	SEWER MANHOLE
-	
E	ELECTRIC MANHOLE
\bigcirc	TELEPHONE MANHOLE
\odot	MANHOLE
HH	
	WATER GATE
Ō	
	FIRE HYDRANT
0	
*	BOLLARD w/LIGHT
_ 	STREET SIGN
ά	LIGHT POLE
	UTILITY POLE
	GUY POLE
\smile	GUY WIRE
\bigcirc	MONITORING WELL
. –	FLOOD LIGHT
(WELL
<u>al1</u>	MARSH
•	F.F.E.=45.27
	FINISHED FLOOR ELEVATION
	COULD NOT OPEN
	NO PIPES VISIBLE
	DOUBLE YELLOW LINE
DWL	DASHED WHITE LINE
	SINGLE YELLOW LINE
LSA	LANDSCAPED AREA
EOP	
CC	EDGE OF PAVEMENT
VGC	CONCRETE CURB
SGE	VERTICAL GRANITE CURB
	SLOPED GRANITE EDGE
BB	BITUMINOUS BERM
BC	BITUMINOUS CURB
<u> </u>	GUARD RAIL
-00-	CHAIN LINK FENCE
	DRAINAGE LINE
	SEWER LINE
- OHW	OVERHEAD WIRE
	UNDERGROUND ELECTRIC
	TELEPHONE LINE
— G ———	
W	WATER LINE
0000000	STONE WALL
·····	TREE LINE
100'BZ	100-FT BUFFER ZONE
100'RA	100-FT RIVER FRONT AREA
200'RA	200-FT RIVER FRONT AREA
	LIMIT MEAN ANNUAL HIGH WATER
ALL IVU	LIMIT OF BANK
A	VEGETATED WETLAND BOUNDARY
WF1-100	VEGETATED WETCAMD DOUNDANT

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