

Site Plans

Issued for Local Approvals
 Date Issued August 2, 2021
 Latest Issue August 2, 2021

Proposed Large-Scale Ground-Mounted Solar Photovoltaic Installation

0 Route 25
 Wareham, MA



101 Walnut Street
 PO Box 9151
 Watertown, MA 02471
 617.924.1770

Designer/Developer/Electrical Engineer

Wareham PV I, LLC
 330 Congress Street, 6th Floor
 Boston, MA 02210
 617.377.4301

Sheet Index

No.	Drawing Title	Latest Issue
C1.00	Legend and General Notes	August 2, 2021
C2.00	Overall Site Plan	August 2, 2021
C2.01-2.03	Layout, Grading, Drainage, and Erosion Control Plan	August 2, 2021
C3.01-3.02	Site Details	August 2, 2021

Reference Drawings

No.	Drawing Title	Latest Issue
Sv-1 - Sv-7	Existing Conditions Plan of Land	January 12, 2021

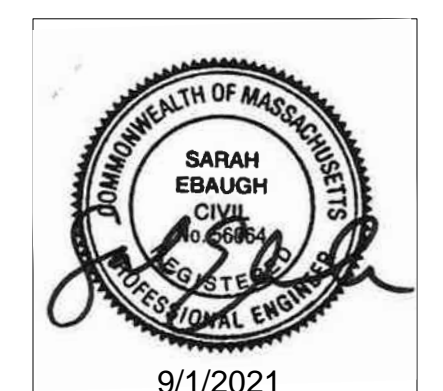
Owner

David Fletcher
 PO Box 829
 Plymouth, MA 02362

Applicant

Wareham PV I, LLC
 330 Congress Street
 6th Floor
 Boston, MA 02210

Assessor's Map 115: Lot 1000





101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

Legend

Legend table with columns for Exist. and Prop. symbols and descriptions. Includes items like PROPERTY LINE, CONCRETE, UNDERDRAIN, BUILDING, etc.

Abbreviations

Abbreviations table with columns for General and Utility symbols and descriptions. Includes items like ABAN ABANDON, CMP CORRUGATED METAL PIPE, CB CATCH BASIN, etc.

Notes

- CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.
CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).

Layout and Materials

- DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LAND SURVEYOR.

Demolition

- CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.
EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.

Erosion Control

- PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL SEDIMENT CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION PREVENTION AND SEDIMENT CONTROL MEASURES ON A WEEKLY BASIS (MINIMUM) OR AS REQUIRED PER THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL ADDRESS DEFICIENCIES AND MAINTENANCE ITEMS WITHIN TWENTY-FOUR HOURS OF INSPECTION. CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT SUCH THAT IT DOES NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.

Existing Conditions Information

- BASE PLAN: "EXISTING CONDITIONS PLAN OF LAND" DATED JANUARY 12 2021, PREPARED BY VHB.
TOPOGRAPHY: ELEVATIONS ARE BASED ON NAVD 1988.

Document Use

- THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.
CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.

Planting Notes

- ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED AS SHOWN ON THE PLANS FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW GRADE AND ABOVE GROUND UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS.
NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICT.
A 3-INCH DEEP MULCH PER SPECIFICATION SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED ON THE PLANS, OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNER'S REPRESENTATIVE.
FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANT LIST AND PLANT LABELS PRIOR TO BIDDING.
ANY PROPOSED PLANT SUBSTITUTIONS MUST BE REVIEWED BY LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
ALL PLANT MATERIALS INSTALLED SHALL MEET THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND CONTRACT DOCUMENTS.
ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
AREAS DESIGNATED "LOAM & SEED" SHALL RECEIVE MINIMUM 6" OF LOAM AND SPECIFIED SEED MIX. LAWNS OVER 2:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC.
ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE LOAM AND SEEDED OR MULCHED AS DIRECTED BY OWNER'S REPRESENTATIVE.
THIS PLAN IS INTENDED FOR PLANTING PURPOSES. REFER TO SITE / CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.

Plant Maintenance Notes

- CONTRACTOR SHALL PROVIDE COMPLETE MAINTENANCE OF THE LAWNS AND PLANTINGS. NO IRRIGATION IS PROPOSED FOR THIS SITE. THE CONTRACTOR SHALL SUPPLY SUPPLEMENTAL WATERING FOR NEW LAWNS AND PLANTINGS DURING THE ONE YEAR PLANT GUARANTEE PERIOD.
CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE LANDSCAPE MAINTENANCE WORK. WATER SHALL BE PROVIDED BY THE CONTRACTOR.
WATERING SHALL BE REQUIRED DURING THE GROWING SEASON, WHEN NATURAL RAINFALL IS BELOW ONE INCH PER WEEK.
WATER SHALL BE APPLIED IN SUFFICIENT QUANTITY TO THOROUGHLY SATURATE THE SOIL IN THE ROOT ZONE OF EACH PLANT.
CONTRACTOR SHALL REPLACE DEAD OR DYING PLANTS AT THE END OF THE ONE YEAR GUARANTEE PERIOD. CONTRACTOR SHALL TURN OVER MAINTENANCE TO THE FACILITY MAINTENANCE STAFF AT THAT TIME.

Proposed Large-Scale Ground-Mounted Solar Photovoltaic Installation

Table with columns: No., Revision, Date, Apprd.

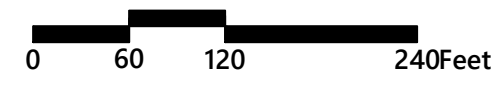
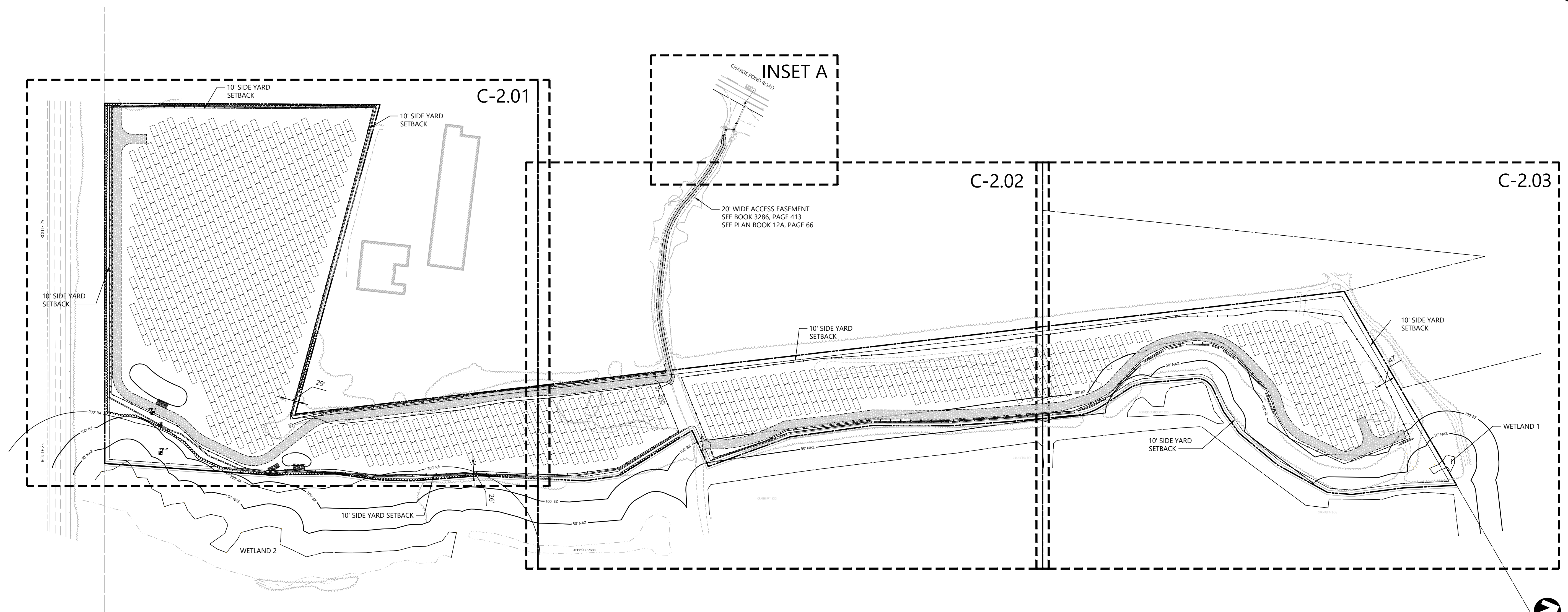
Designed by: SKE Checked by: JRG

Local Approvals

August 2, 2021

Legend and General Notes

Professional seal for SARAH EBAUGH, CIVIL ENGINEER, LICENSE NO. 10426. Includes drawing number C1.01 and sheet number 1 of 7.



SOLAR FARM SEED MIX

% SEED	BOTANICAL NAME	COMMON NAME
30%	<i>Festuca rubra</i>	Creeping Red Fescue
30%	<i>Festuca ovina</i> 'Whisper'	Sheep Fescue 'Whisper'
15%	<i>Festuca ovina</i> var. <i>duriuscula</i> (F. longifolia) 'Heron'	Hard Fescue 'Heron'
15%	<i>Festuca brevipila</i> 'Chariot'	Hard Fescue 'Chariot'
10%	<i>Lolium multiflorum</i> (L. perenne var. <i>italicum</i>)	Annual Ryegrass
Total 100%		

NOTE:
SEEDING RATE TO BE 6 LB PER 1,000 SF. SEED MIX TO BE ERNMX-186 "SOLAR FARM SEED MIX" AS MANUFACTURED BY ERNST CONSERVATION SEEDS, 8884 MERCER PIKE, MEADVILLE PA, 16335 (800) 873-3321.

Zoning Summary Chart

Zoning District(s):	Residential 130 (R-130)	
Zoning Regulation Requirements	Required ¹	Provided
MINIMUM LOT AREA ²	≥3 Acres	22.4 Acres
FRONTAGE ³	Not Applicable	Not Applicable
MINIMUM FRONT YARD SETBACK ⁴	20 Feet	Not Applicable
MINIMUM SIDE YARD SETBACK ⁴	10 Feet	26 Feet
MINIMUM REAR YARD SETBACK ⁴	10 Feet	Not Applicable
MAXIMUM BUILDING HEIGHT ⁴	35 Feet	Not Applicable

(1) Zoning requirements as specified in "Zoning By-Laws Town of Wareham Massachusetts" (revised October 2018) (hereinafter "Zoning By-Laws").
 (2) Per Section 594.1.1 of Zoning By-Laws.
 (3) Per Section 611 of Zoning By-Laws, R-130 district minimum frontage requirement is not applicable because proposed project is not "principal building" or "accessory building" as those terms are defined in Article 16 of Zoning By-Laws.
 (4) Per Section 611 of Zoning By-Laws, R-130 district maximum allowed height requirement is not applicable because proposed project is not "principal building" or "accessory building" as those terms are defined in Article 16 of Zoning By-Laws.
 (5) Parcel on which project is proposed does not abut and is not across the street from any Residential district or residential development (Parcel is only within Residential (i.e., R-130) district).

Notes

- 0 Route 25 (Map 115, Lot 1000) (the "Project Parcel") is located outside the 100-year flood plain as noted on the FEMA Flood Insurance Rate Map (FIRM) Panels Number 25023C0487K & 25023C0489L last revised July 6, 2021.
- Access to the Project Parcel is via an existing 20-foot wide access easement from Charge Pond Road taken by MassDOT predecessor Massachusetts Department of Public Works on behalf of certain landowners (including the owner of the Project Parcel) in 1966 in connection with the development of Route 25 as a limited access highway. See Layout 5560 and Order of Taking dated April 14, 1966, recorded at the Plymouth County Registry of Deeds in Book 3286, Page 413 and Plan Book 12A, Page 66.


Proposed Large-Scale Ground-Mounted Solar Photovoltaic Installation
0 Route 25
Wareham, MA

No.	Revision	Date	Appr.

Designed by: **SKE** Checked by: **JRG**
 Issued for: _____ Date: _____
Local Approvals August 2, 2021

Overall Site Plan

Drawing Number: **C2.00**
 Sheet 2 of 7
 Project Number: 15225.01
 Date: 9/1/2021



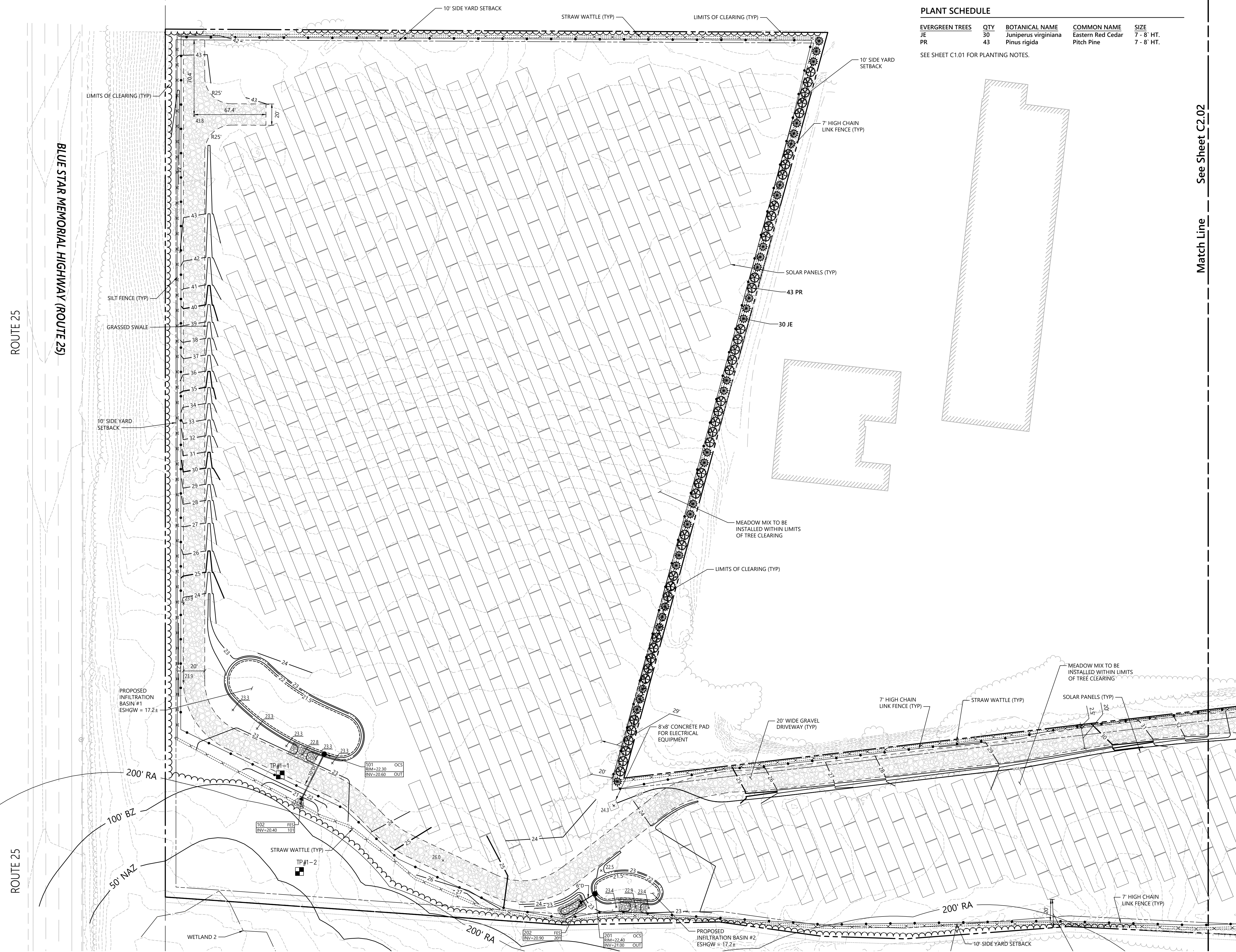


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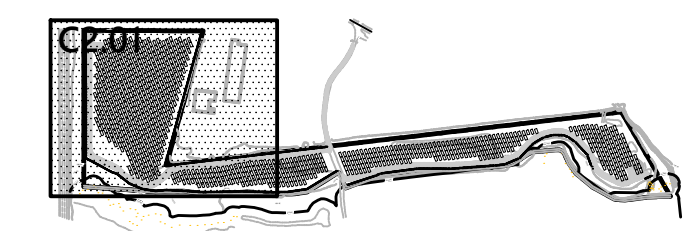
PLANT SCHEDULE

EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
JE	30	Juniperus virginiana	Eastern Red Cedar	7 - 8' HT.
PR	43	Pinus rigida	Pitch Pine	7 - 8' HT.

SEE SHEET C1.01 FOR PLANTING NOTES.



Match Line See Sheet C2.02



Key

Not To Scale



Proposed Large-Scale Ground-Mounted Solar Photovoltaic Installation
0 Route 25
Wareham, MA

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Layout, Grading, Drainage, and Erosion Control Plan



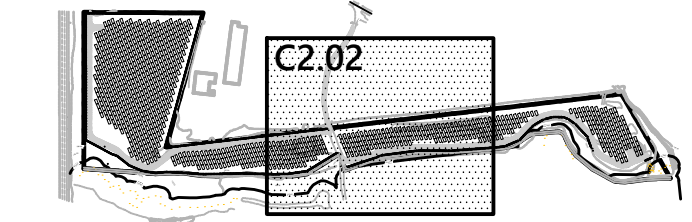
C2.01

Sheet 3 of 7

9/1/2021 Project Number 15225.01

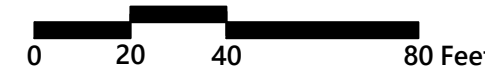


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Key

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**Proposed Large-Scale
Ground-Mounted Solar
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0 Route 25
Wareham, MA

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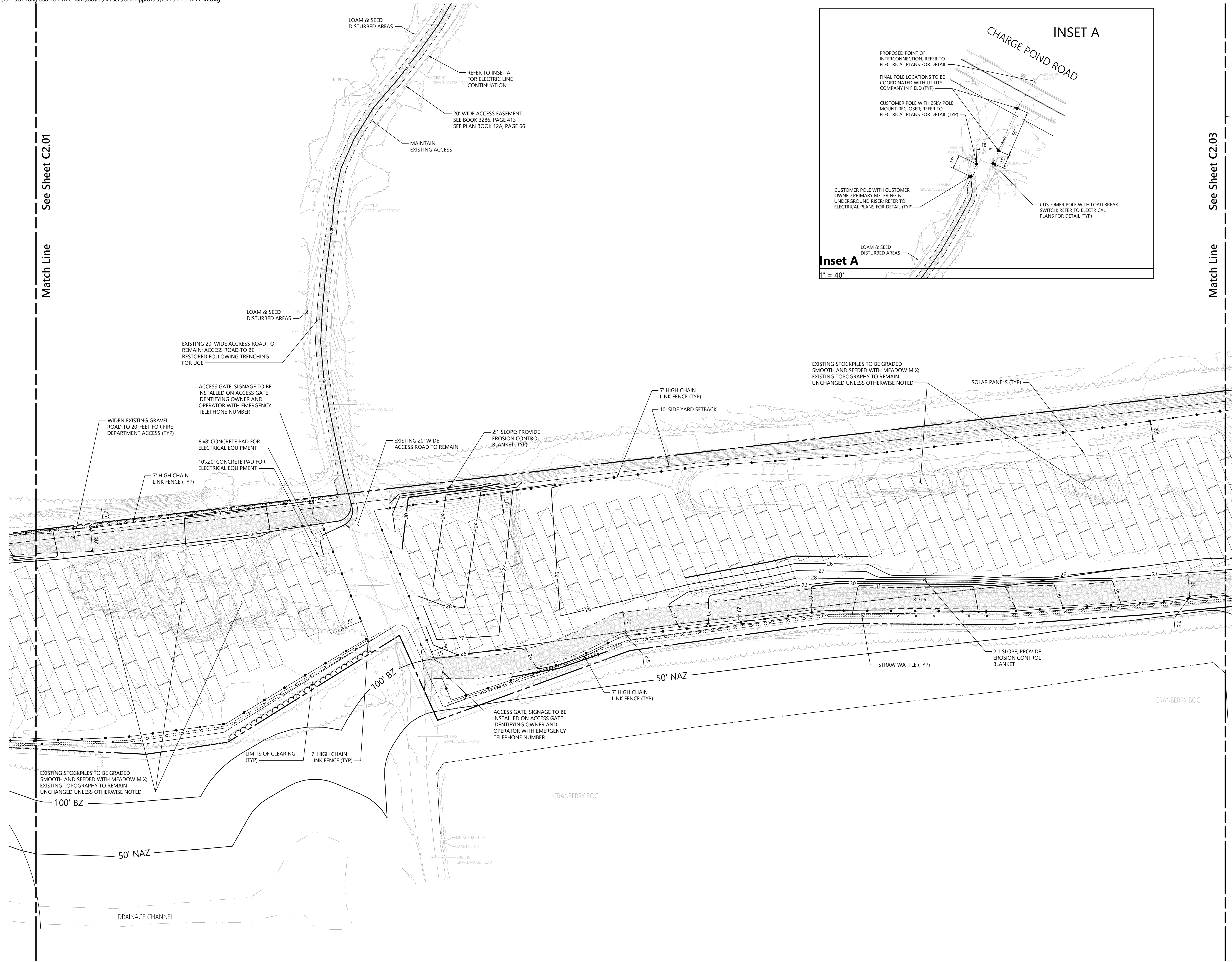
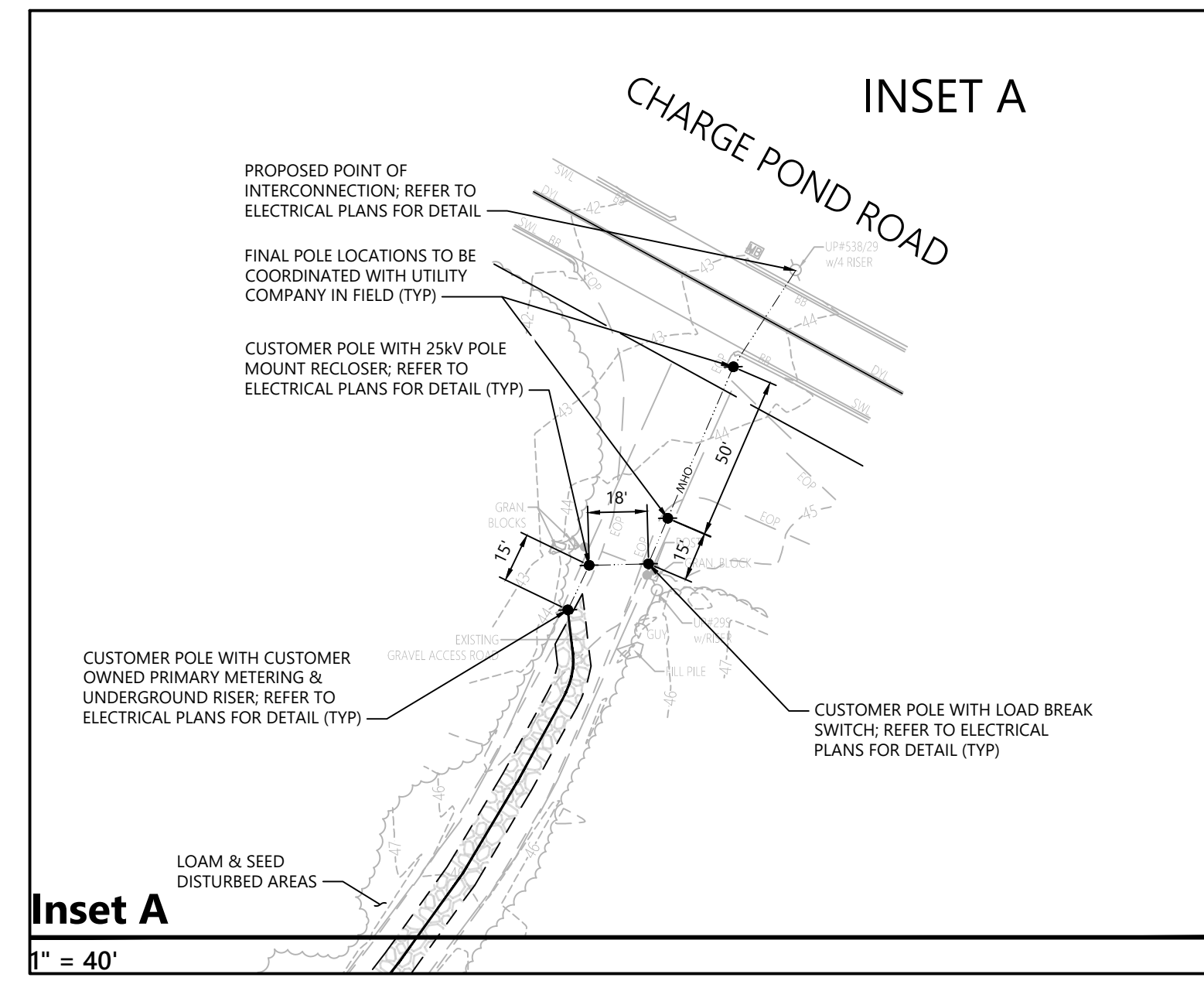
Designed by **SKE** Checked by **JRG**
Issued for _____ Date _____

Local Approvals August 2, 2021

**Layout, Grading,
Drainage, and Erosion
Control Plan**

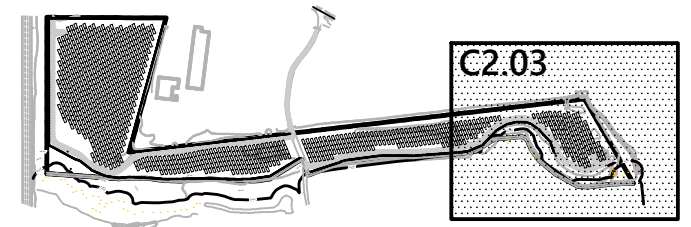
Sheet **C2.02** of 7
4 of 7

9/1/2021 Project Number 15225.01



Match Line See Sheet C2.01

Match Line See Sheet C2.03



Key

Not To Scale



**Proposed Large-Scale
Ground-Mounted Solar
Photovoltaic Installation**

0 Route 25
Wareham, MA

No. Revision Date App'd

No.	Revision	Date	App'd

Designed by SKE Checked by JRG

Issued for Local Approvals Date August 2, 2021

**Layout, Grading,
Drainage, and Erosion
Control Plan**

Drawing Number

C2.03

Sheet 5 of 7

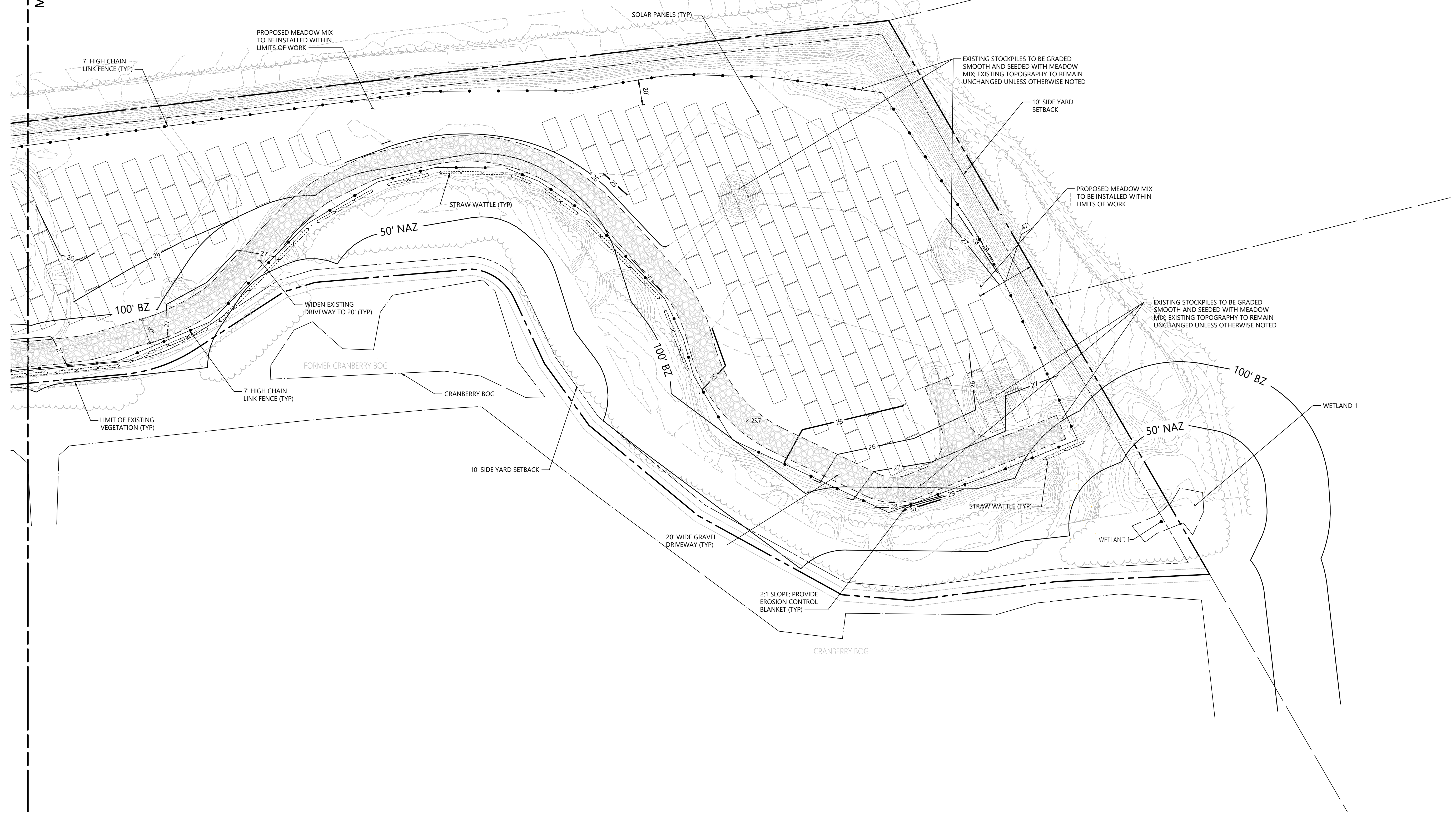


9/1/2021

Project Number
15225.01

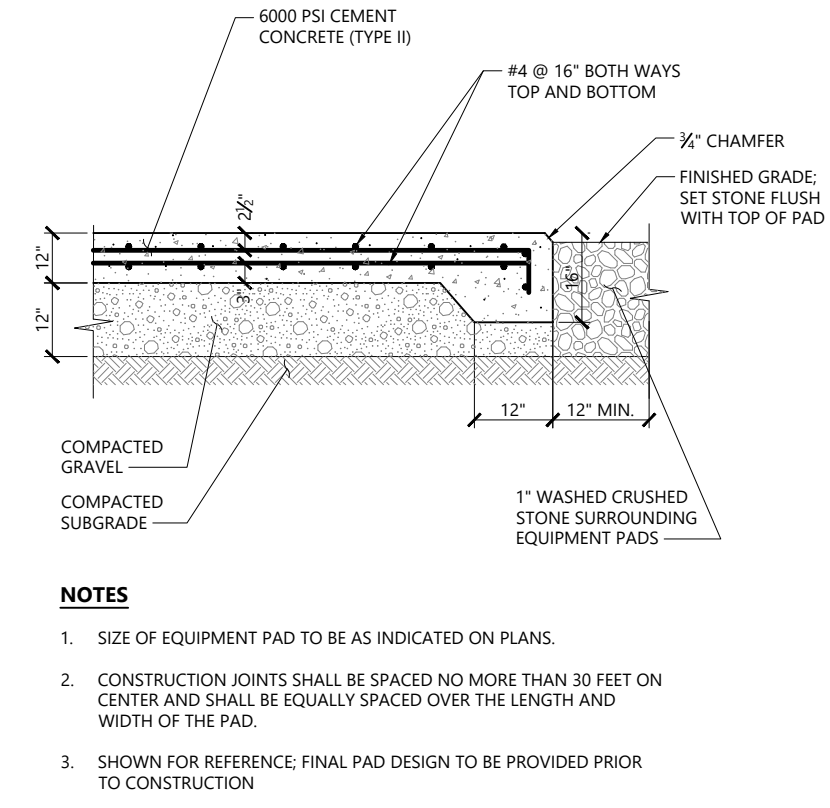
See Sheet C2.02

Match Line

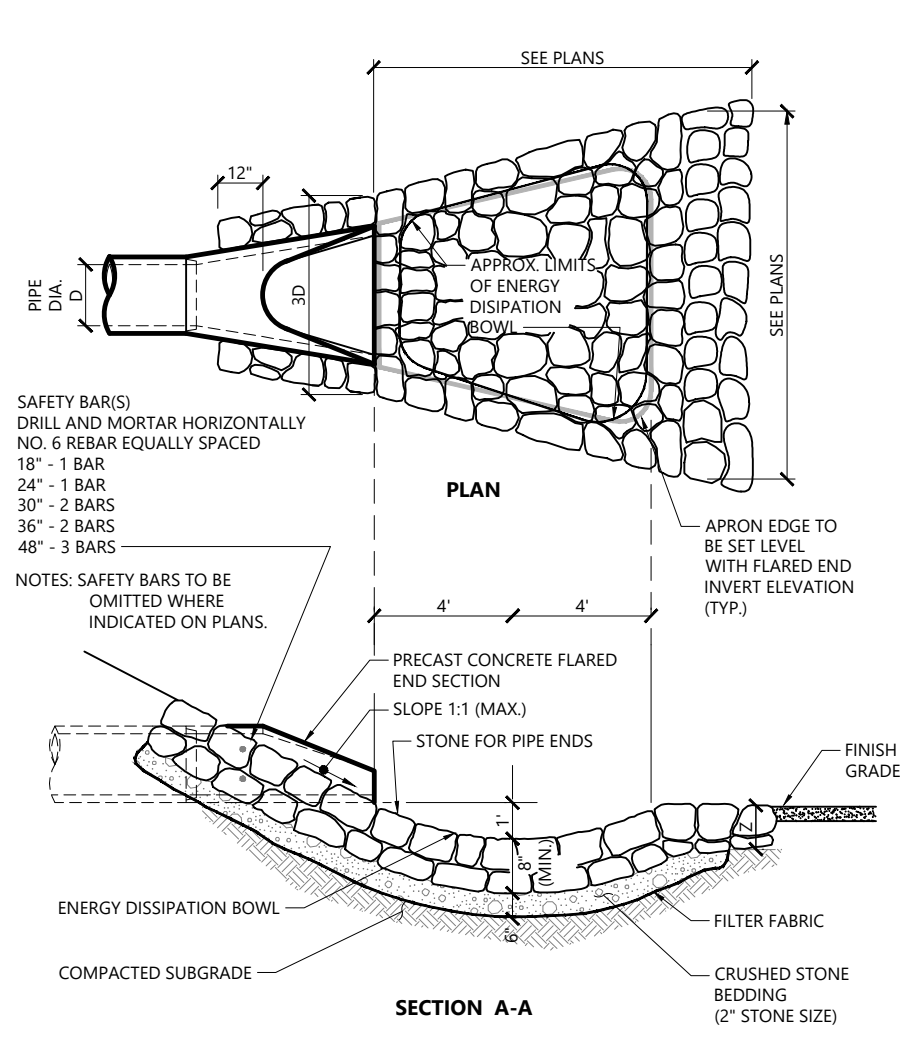




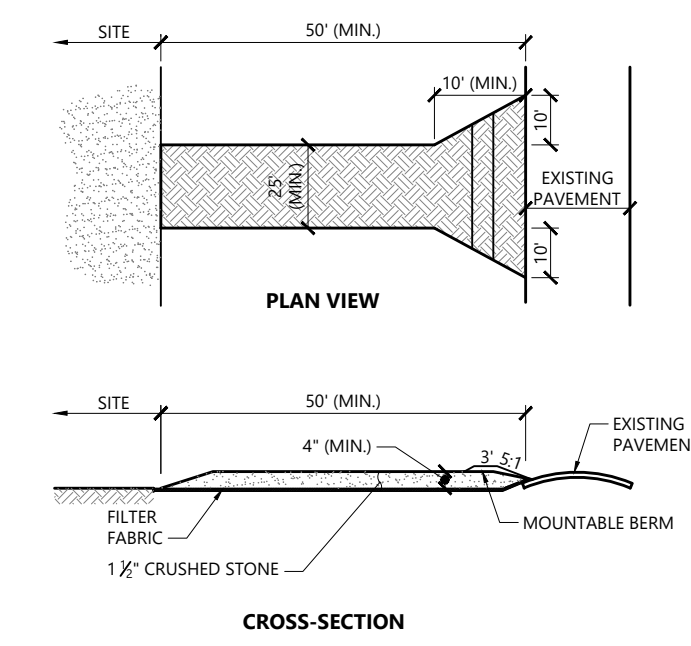
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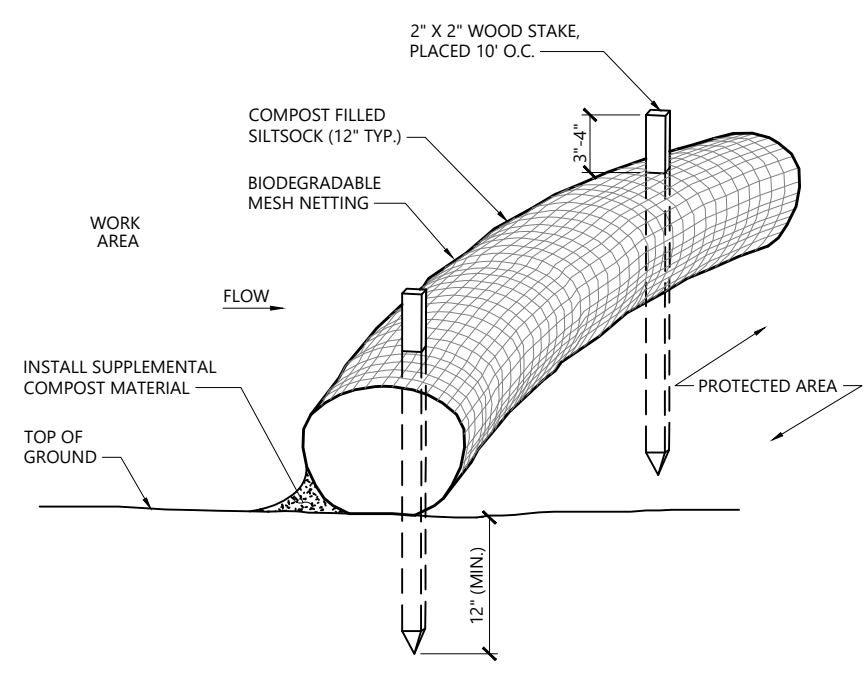
Concrete Pad 1/16
N.T.S. Source: VHB LD_712A



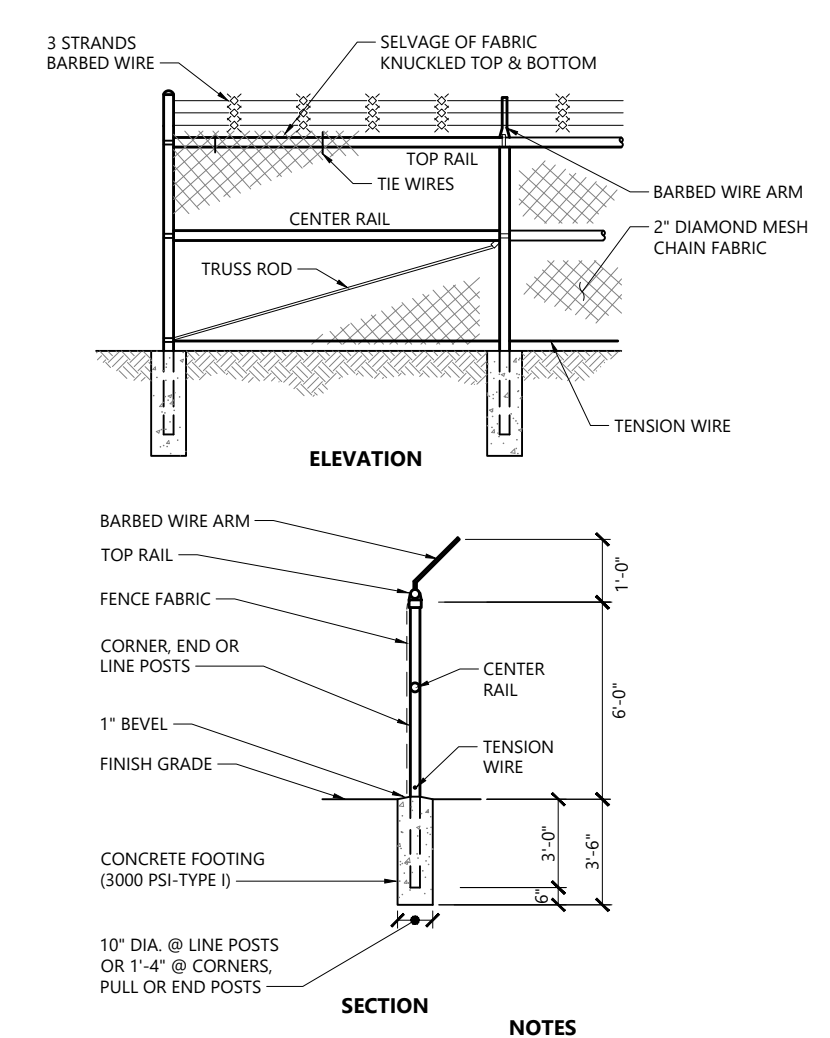
Flared End Section (FES) with Stone Protection 3/19
N.T.S. Source: VHB REV LD_134



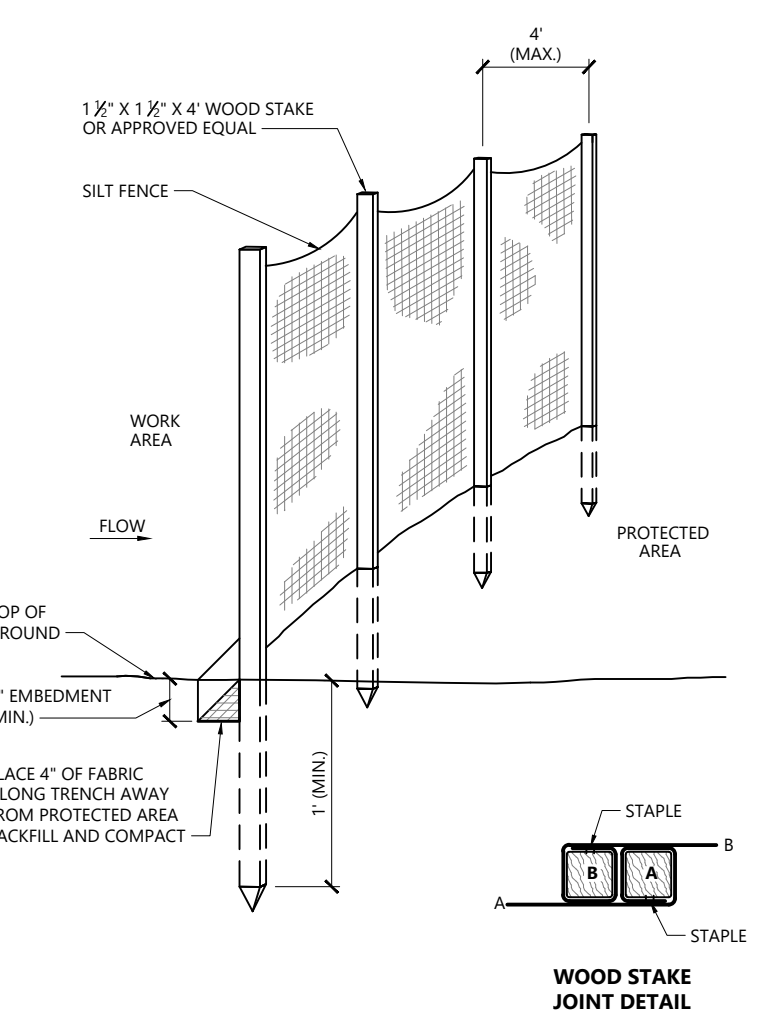
Stabilized Construction Exit 1/16
N.T.S. Source: VHB LD_682



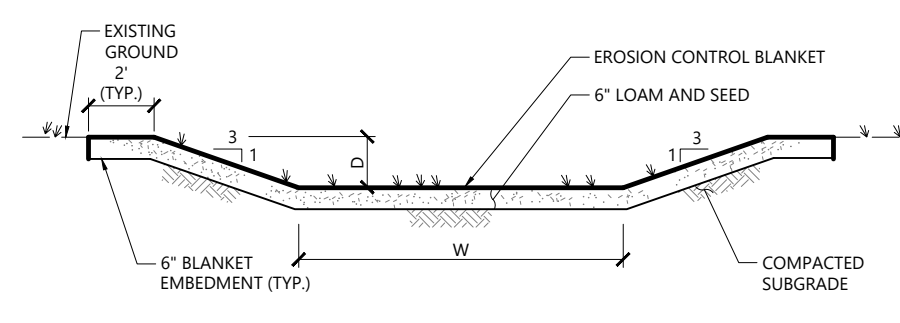
Siltsock - Sediment Control Barrier 1/16
N.T.S. Source: VHB REV LD_658



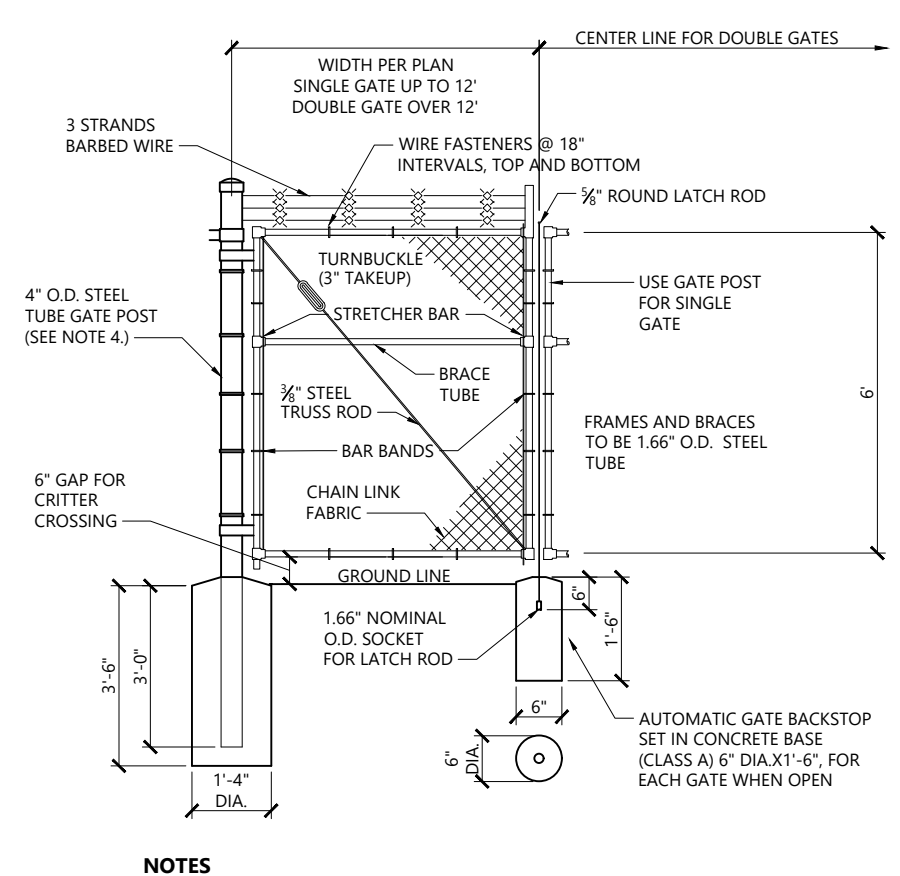
6' to 12' Chain Link Fence with Barbed Wire 1/18
N.T.S. Source: VHB LD_480R



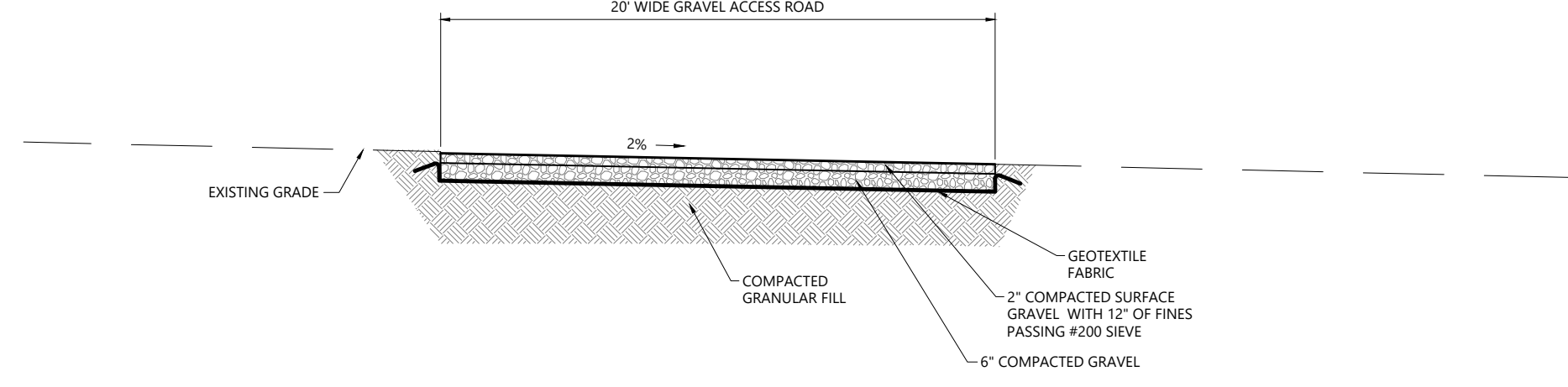
Silt Fence Barrier 1/16
N.T.S. Source: VHB LD_650



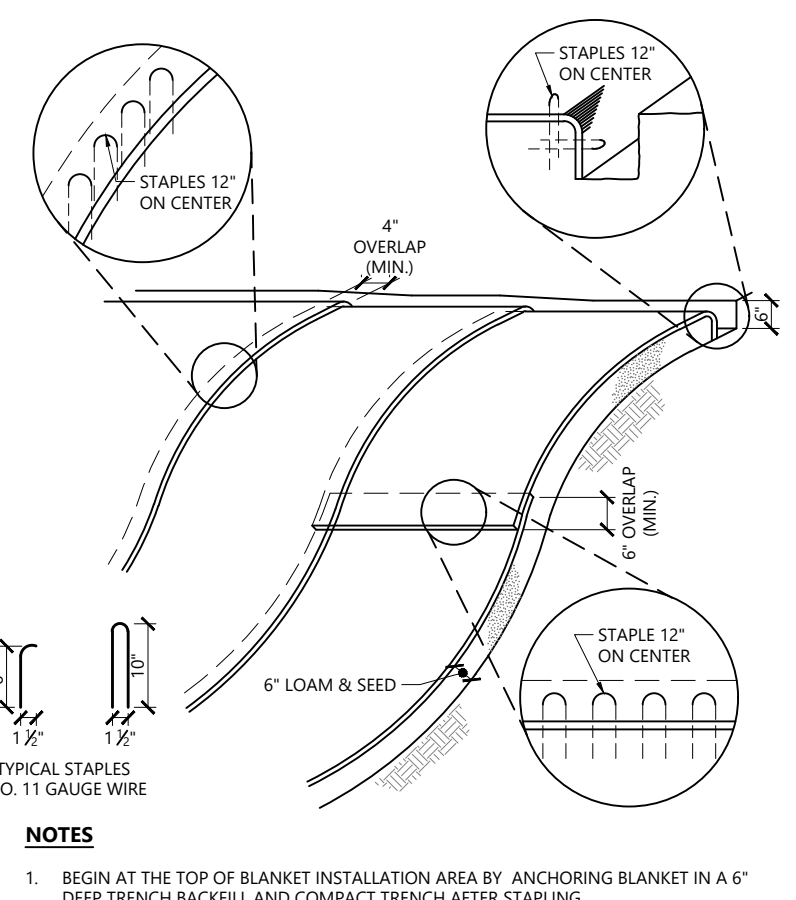
Grassed Swale 1/16
N.T.S. Source: VHB REV LD_171



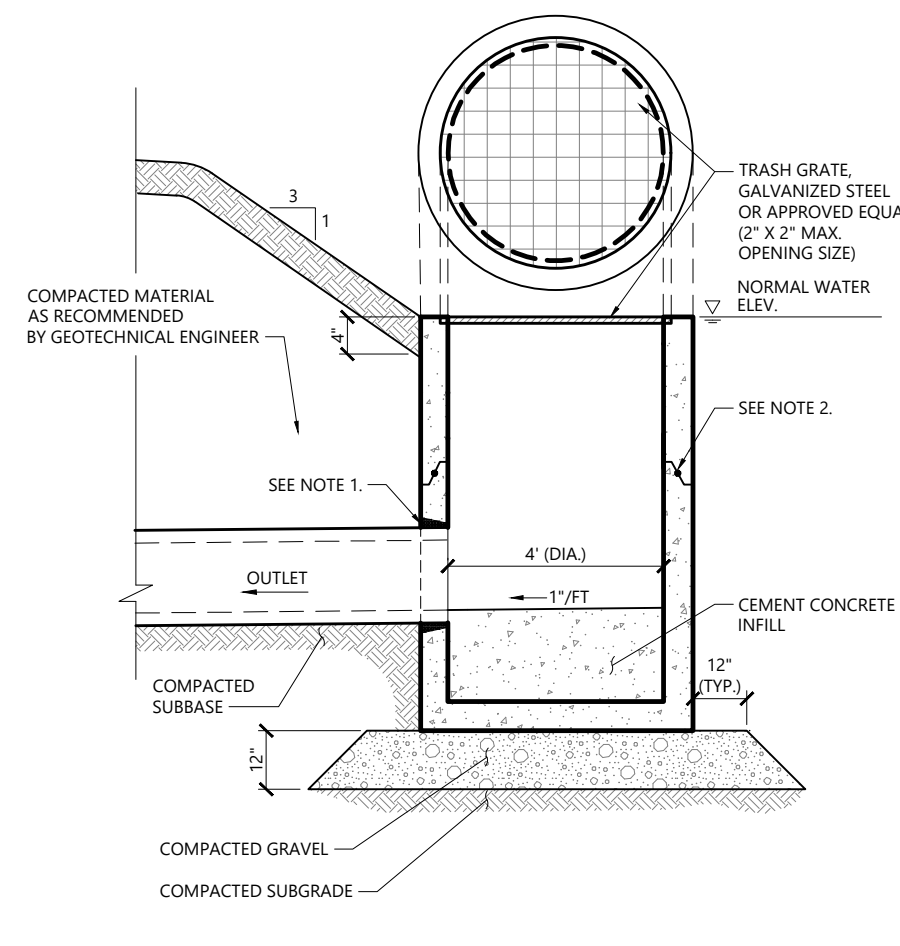
Chain Link Fence Gate 1/16
N.T.S. Source: VHB REV LD_482



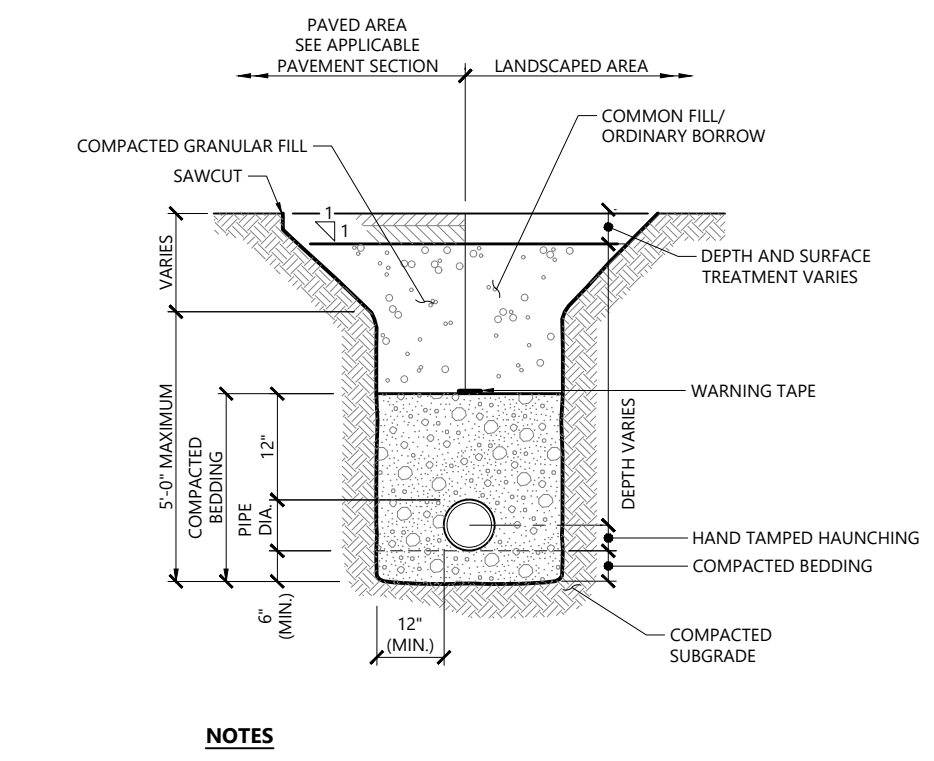
Gravel Access Road - Typical Section 1/16
N.T.S. Source: VHB



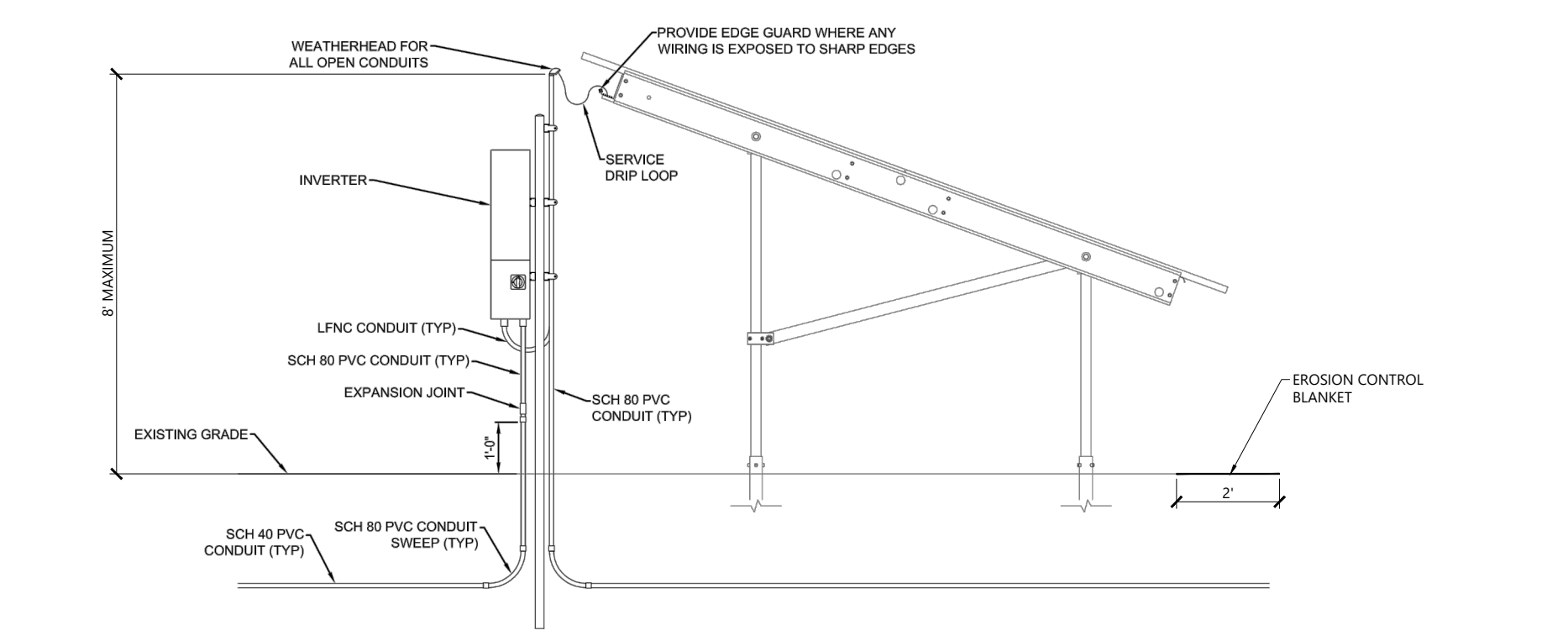
Erosion Control Blanket Slope Installation 1/16
N.T.S. Source: VHB LD_680



Outlet Control Structure 1/16
N.T.S. Source: VHB LD_163



Utility Trench 1/16
N.T.S. Source: VHB LD_300



Inverter and Array Detail (Side) 1/16
N.T.S. Source: Ameresco Inc.

Proposed Large-Scale Ground-Mounted Solar Photovoltaic Installation
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Site Details

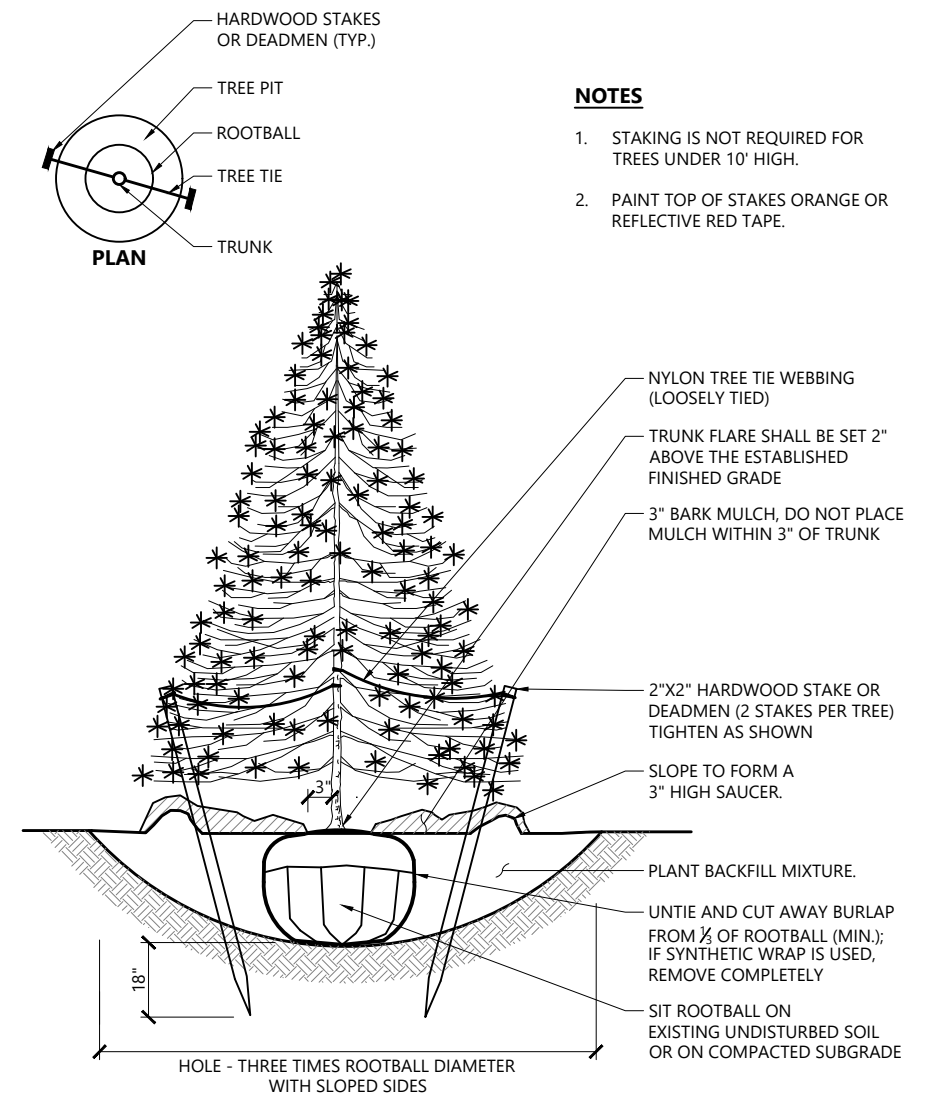


C3.01

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9/1/2021

Project Number **15225.01**



Evergreen Tree Planting 1/16
 N.T.S. Source: VHB LD.604



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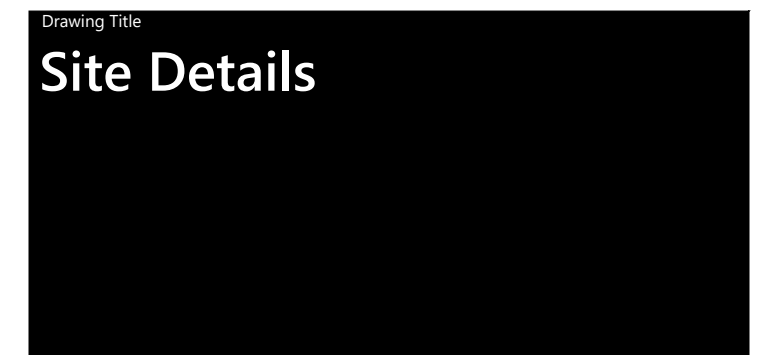
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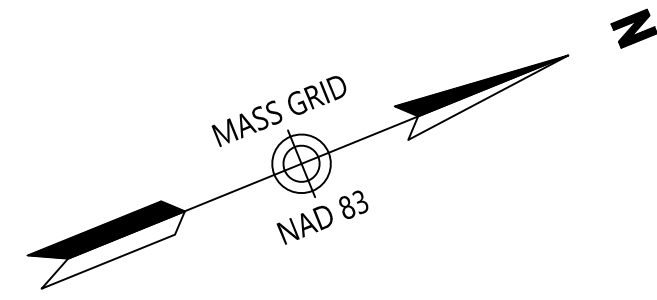


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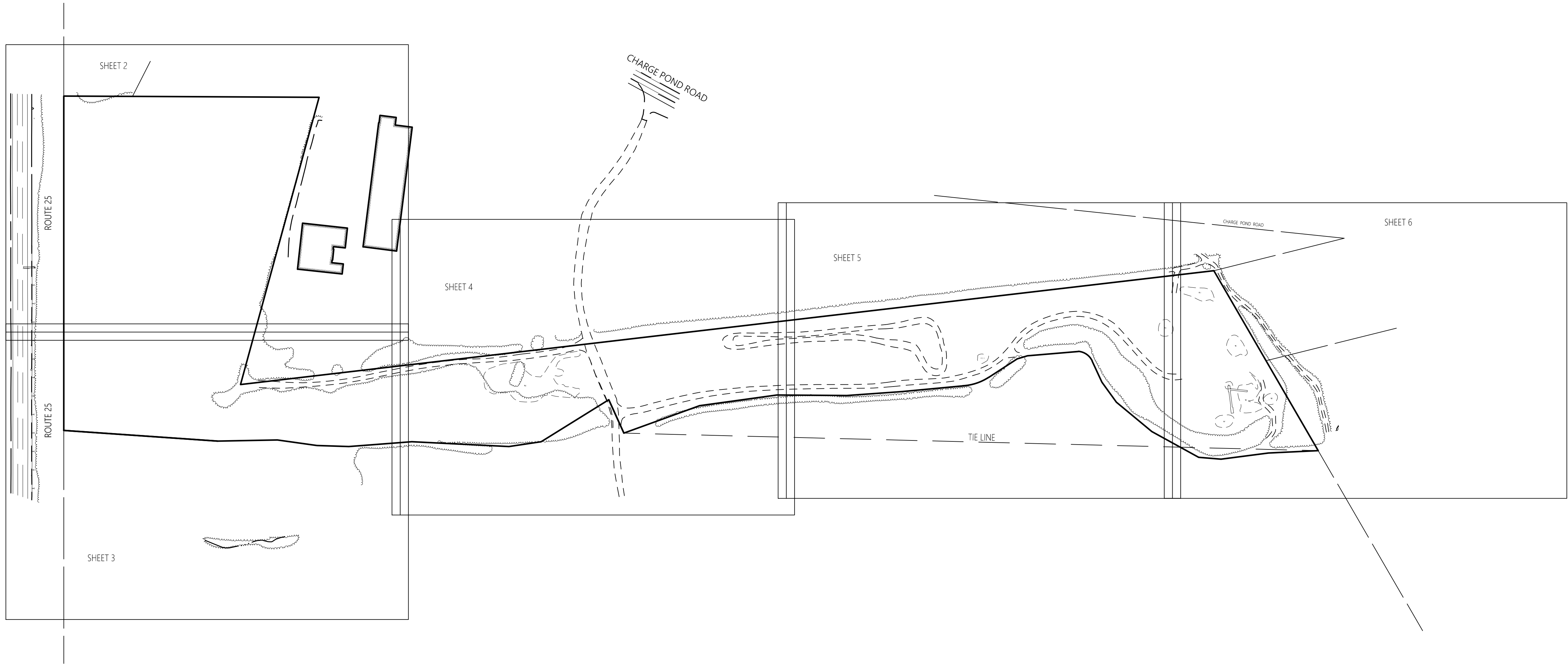
C3.02

Sheet **7** of **7**

9/1/2021 Project Number **15225.01**



101 Walnut Street
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- Legend**
- ⊙ DRAIN MANHOLE
 - ⊞ CATCH BASIN
 - ⊙ SEWER MANHOLE
 - ⊙ ELECTRIC MANHOLE
 - ⊙ TELEPHONE MANHOLE
 - ⊙ MANHOLE
 - HH □ HAND HOLE
 - ⊙ WATER GATE
 - ⊙ FIRE HYDRANT
 - ⊙ GAS GATE
 - BOLLARD w/LIGHT
 - ⊙ STREET SIGN
 - ⊙ LIGHT POLE
 - ⊙ UTILITY POLE
 - ⊙ GUY WIRE
 - ⊙ GUY WIRE
 - ⊙ MONITORING WELL
 - ⊙ FLOOD LIGHT
 - ⊙ WELL
 - ⊙ MARSH
 - ↑ F.F.E.=45.2'
 - FINISHED FLOOR ELEVATION
 - CNO COULD NOT OPEN
 - NPV NO PIPES VISIBLE
 - DYL DOUBLE YELLOW LINE
 - DWL DASHED WHITE LINE
 - SYL SINGLE YELLOW LINE
 - LSA LANDSCAPED AREA
 - EOP EDGE OF PAVEMENT
 - CC CONCRETE CURB
 - VSG VERTICAL GRANITE CURB
 - SGE SLOPED GRANITE EDGE
 - BB BITUMINOUS BERM
 - BC BITUMINOUS CURB
 - GR GUARD RAIL
 - CLF CHAIN LINK FENCE
 - DL DRAINAGE LINE
 - SL SEWER LINE
 - OHW OVERHEAD WIRE
 - E UNDERGROUND ELECTRIC
 - G GAS LINE
 - W WATER LINE
 - STW STONE WALL
 - TL TREE LINE
 - 100RZ 100-FT BUFFER ZONE
 - 100RA 100-FT RIVER FRONT AREA
 - 200RA 200-FT RIVER FRONT AREA
 - LMAHW LIMIT MEAN ANNUAL HIGH WATER
 - LB LIMIT OF BANK
 - WFB100 VEGETATED WETLAND BOUNDARY

Proposed Solar Array

**Route 25
Wareham, Massachusetts**

No.	Revision	Date	Appvd.

Designed by	Checked by
Issued for	Date
	January 12, 2021

General Notes

- 1) THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VHB, INC. IN DECEMBER, 2020 AND FROM DEEDS AND PLANS OF RECORD.
- 2) THE EXISTING CONDITIONS SHOWN ON THIS PLAN WERE DEVELOPED FROM A COMBINED EFFORT OF AERIAL PHOTOGRAMMETRIC AND LIDAR METHOD MAPPING BY EASTERN TOPOGRAPHICS, INC., BASED ON AERIAL PHOTOGRAPHS TAKEN ON NOVEMBER 29, 2020 AND FROM AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VHB, INC. IN MAY, 2021.
- 3) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- 4) HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.
- 5) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND MAY BE SUBJECT TO ADDITIONAL INFORMATION DISCLOSED IN SUCH.
- 6) THE WETLANDS SHOWN ON THIS PLAN WERE FLAGGED AND LOCATED (USING GPS) BY VHB ENVIRONMENTAL DEPARTMENT IN FEBRUARY, 2020.

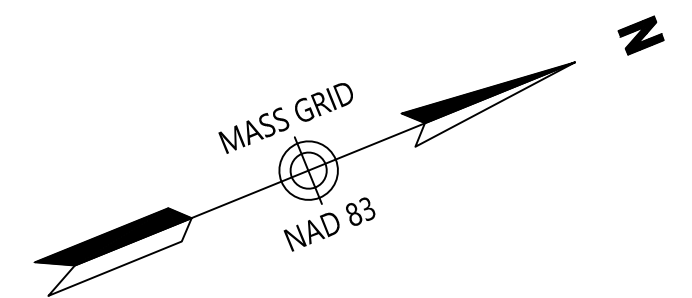
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DAVID FLETCHER
MAP 115 LOT 1000
BOOK 34514, PAGE 232

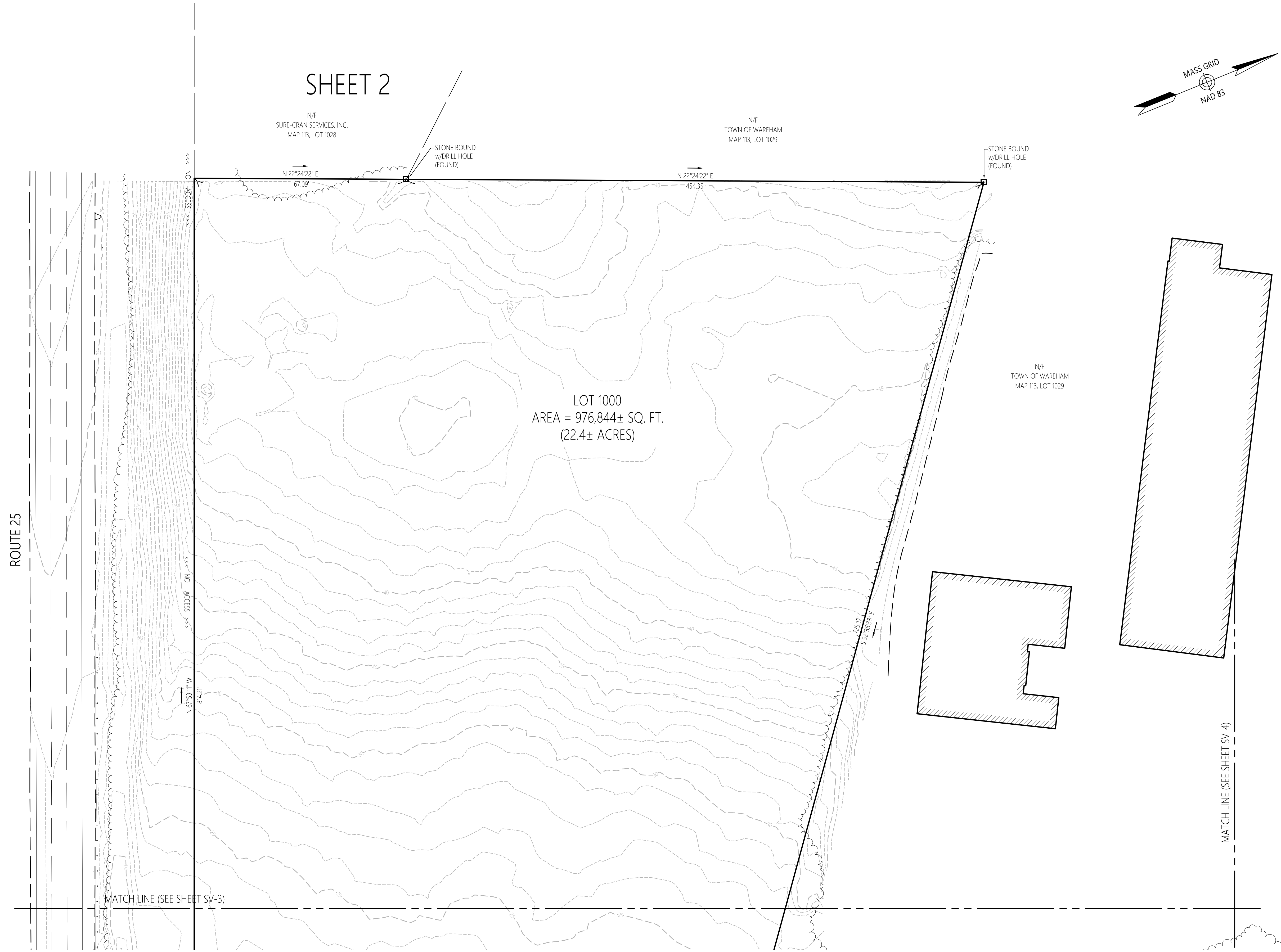




101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770



SHEET 2



LOT 1000
AREA = 976,844± SQ. FT.
(22.4± ACRES)

ROUTE 25

MATCH LINE (SEE SHEET SV-4)

MATCH LINE (SEE SHEET SV-3)



Legend

- ⊙ DRAIN MANHOLE
- ⊕ CATCH BASIN
- ⊗ SEWER MANHOLE
- ⊕ ELECTRIC MANHOLE
- ⊙ TELEPHONE MANHOLE
- ⊙ MANHOLE
- ⊕ HAND HOLE
- ⊕ WATER GATE
- ⊕ FIRE HYDRANT
- ⊕ GAS GATE
- ⊕ BOLLARD w/LIGHT
- ⊕ STREET SIGN
- ⊕ LIGHT POLE
- ⊕ UTILITY POLE
- ⊕ GUY POLE
- ⊕ GUY WIRE
- ⊕ MONITORING WELL
- ⊕ FLOOD LIGHT
- ⊕ WELL
- ⊕ MARSH
- ⊕ F.F.E. = 45.27'
- ⊕ FINISHED FLOOR ELEVATION
- ⊕ COULD NOT OPEN
- ⊕ NO PIPES VISIBLE
- ⊕ DYL DOUBLE YELLOW LINE
- ⊕ DWL DASHED WHITE LINE
- ⊕ SYL SINGLE YELLOW LINE
- ⊕ LSA LANDSCAPED AREA
- ⊕ EOP EDGE OF PAVEMENT
- ⊕ CC CONCRETE CURB
- ⊕ VSGC VERTICAL GRANITE CURB
- ⊕ SGE SLOPED GRANITE EDGE
- ⊕ BB BITUMINOUS BERM
- ⊕ BC BITUMINOUS CURB
- ⊕ GR GUARD RAIL
- ⊕ CLF CHAIN LINK FENCE
- ⊕ DL DRAINAGE LINE
- ⊕ SL SEWER LINE
- ⊕ OHW OVERHEAD WIRE
- ⊕ E UNDERGROUND ELECTRIC
- ⊕ T TELEPHONE LINE
- ⊕ G GAS LINE
- ⊕ W WATER LINE
- ⊕ SW STONE WALL
- ⊕ TL TREE LINE
- ⊕ 100'RZ 100-FT BUFFER ZONE
- ⊕ 100'RA 100-FT RIVER FRONT AREA
- ⊕ 200'RA 200-FT RIVER FRONT AREA
- ⊕ LMAH LIMIT MEAN ANNUAL HIGH WATER
- ⊕ LB LIMIT OF BANK
- ⊕ WFB-100 VEGETATED WETLAND BOUNDARY

Proposed Solar Array

Route 25
Wareham, Massachusetts

No.	Revision	Date	Appr.

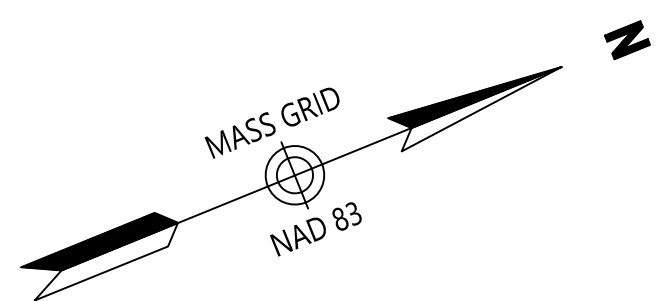
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Issued for: _____ Date: January 12, 2021

Existing Conditions
Plan of Land

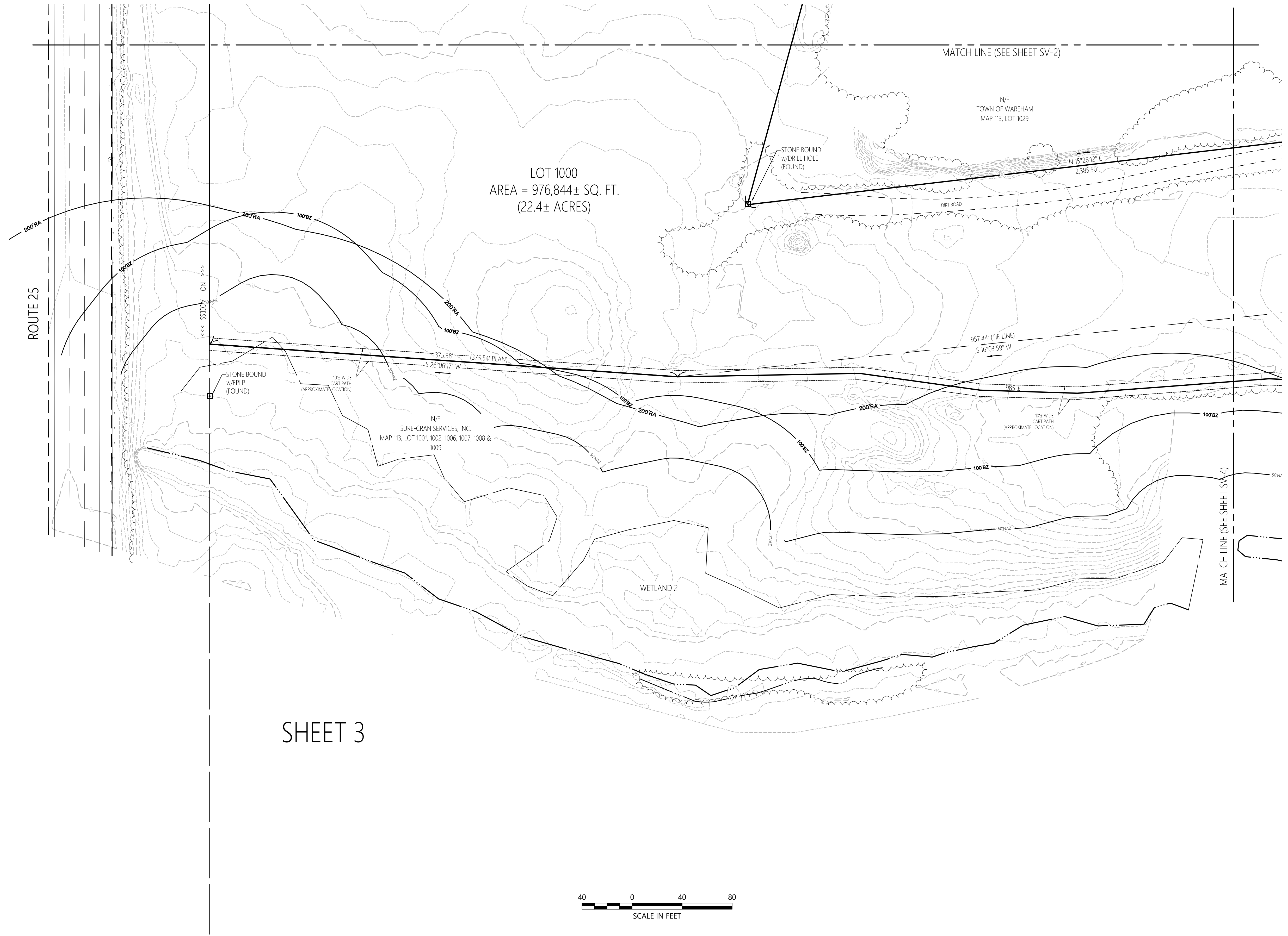
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Drawing Number

COMMONWEALTH OF MASSACHUSETTS
REGISTERED PROFESSIONAL LAND SURVEYOR
RUSSELL J. BOUSQUET
NO. 35388

Sv-2
Sheet 2 of 6
Project Number 14668.03
8-3-2021



101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770



Legend

- ⊙ DRAIN MANHOLE
- ⊙ CATCH BASIN
- ⊙ SEWER MANHOLE
- ⊙ ELECTRIC MANHOLE
- ⊙ TELEPHONE MANHOLE
- ⊙ MANHOLE
- ⊙ HAND HOLE
- ⊙ WATER GATE
- ⊙ FIRE HYDRANT
- ⊙ GAS GATE
- ⊙ BOLLARD w/LIGHT
- ⊙ STREET SIGN
- ⊙ LIGHT POLE
- ⊙ UTILITY POLE
- ⊙ GUY POLE
- ⊙ GUY WIRE
- ⊙ MONITORING WELL
- ⊙ FLOOD LIGHT
- ⊙ WELL
- ⊙ MARSH
- ⊙ F.F.E. = 45.27'
- ⊙ FINISHED FLOOR ELEVATION
- ⊙ CNO COULD NOT OPEN
- ⊙ NPV NO PIPES VISIBLE
- ⊙ DYL DOUBLE YELLOW LINE
- ⊙ DWL DASHED WHITE LINE
- ⊙ SYL SINGLE YELLOW LINE
- ⊙ LSA LANDSCAPED AREA
- ⊙ EOP EDGE OF PAVEMENT
- ⊙ CC CONCRETE CURB
- ⊙ VSG VERTICAL GRANITE CURB
- ⊙ SGE SLOPED GRANITE CURB
- ⊙ BB BITUMINOUS BERM
- ⊙ BC BITUMINOUS CURB
- ⊙ GR GUARD RAIL
- ⊙ CLF CHAIN LINK FENCE
- ⊙ DL DRAINAGE LINE
- ⊙ SL SEWER LINE
- ⊙ OHW OVERHEAD WIRE
- ⊙ E UNDERGROUND ELECTRIC
- ⊙ T TELEPHONE LINE
- ⊙ G GAS LINE
- ⊙ W WATER LINE
- ⊙ SW STONE WALL
- ⊙ TL TREE LINE
- ⊙ 100' BZ 100-FT BUFFER ZONE
- ⊙ 100' RA 100-FT RIVER FRONT AREA
- ⊙ 200' RA 200-FT RIVER FRONT AREA
- ⊙ LMAHW LIMIT MEAN ANNUAL HIGH WATER
- ⊙ LBW LIMIT OF BANK
- ⊙ WFBV100 VEGETATED WETLAND BOUNDARY

SHEET 3



Proposed Solar Array
Route 25
Wareham, Massachusetts

No.	Revision	Date	App'd.

Designed by _____ Checked by _____
Issued for _____ Date _____

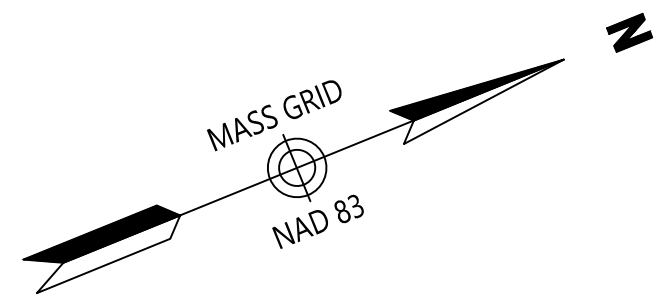
January 12, 2021

Existing Conditions
Plan of Land

Commonwealth of Massachusetts
RUSSELL J. BOUSQUET
NO. 35388
REGISTERED PROFESSIONAL LAND SURVEYOR

Sv-3

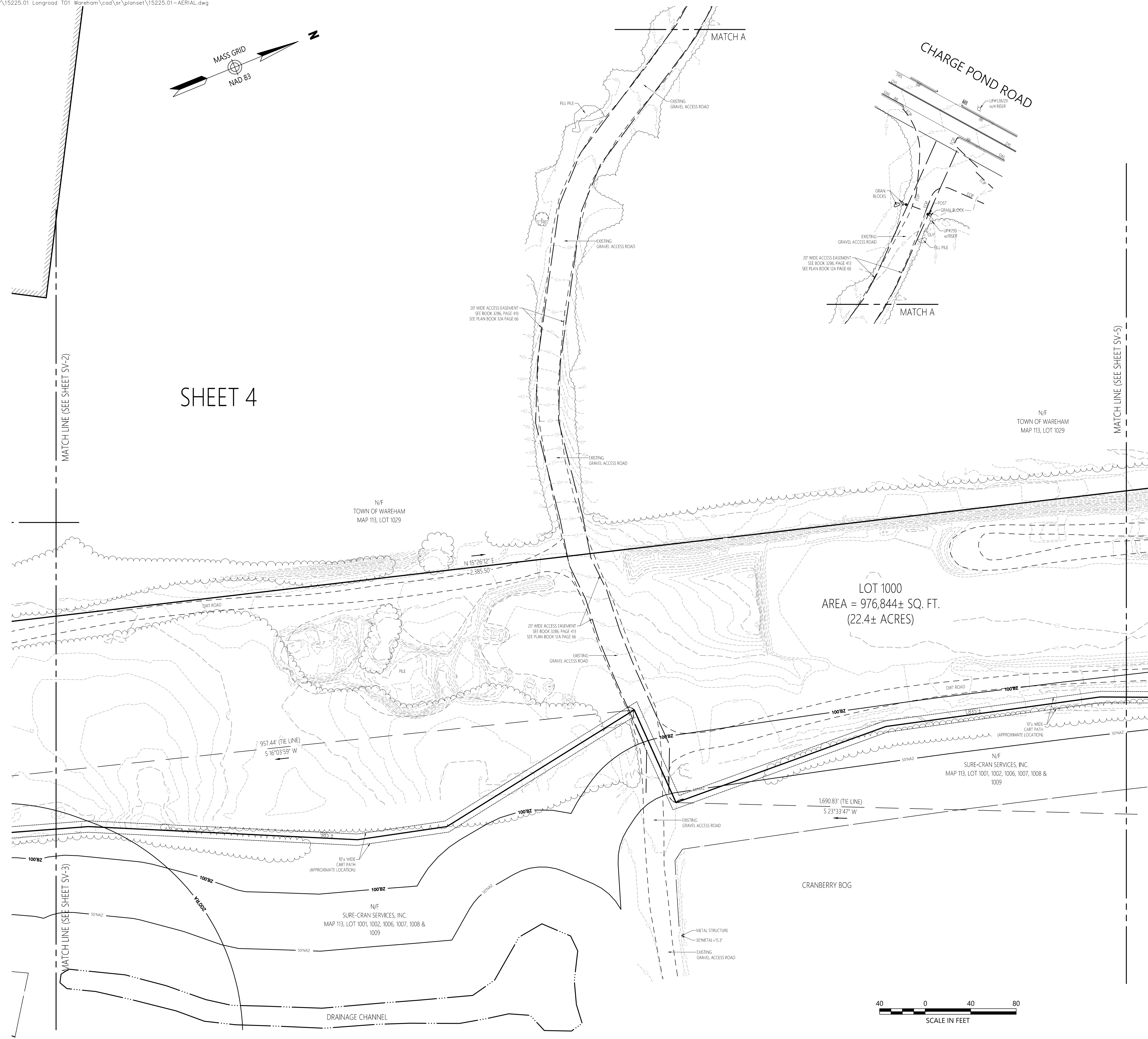
Sheet 3 of 6
Project Number 14668.03



101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

Legend

- ⊙ DRAIN MANHOLE
- ⊞ CATCH BASIN
- ⊙ SEWER MANHOLE
- ⊙ ELECTRIC MANHOLE
- ⊙ TELEPHONE MANHOLE
- ⊙ MANHOLE
- HH □ HAND HOLE
- ⊙ WATER GATE
- ⊙ FIRE HYDRANT
- ⊙ GAS GATE
- ⊙ BOLLARD w/LIGHT
- ⊙ STREET SIGN
- ⊙ LIGHT POLE
- ⊙ UTILITY POLE
- ⊙ GUY POLE
- ⊙ GUY WIRE
- ⊙ MONITORING WELL
- ⊙ FLOOD LIGHT
- ⊙ WELL
- ⊙ MARSH
- ⊙ F.F.E. = 45.27'
- ⊙ FINISHED FLOOR ELEVATION
- ⊙ CULD NOT OPEN
- ⊙ NPV NO PIPES VISIBLE
- ⊙ DYL DOUBLE YELLOW LINE
- ⊙ DWL DASHED WHITE LINE
- ⊙ SYL SINGLE YELLOW LINE
- ⊙ LSA LANDSCAPED AREA
- ⊙ EOP EDGE OF PAVEMENT
- ⊙ CC CONCRETE CURB
- ⊙ VSG VERTICAL GRANITE CURB
- ⊙ SGE SLOPED GRANITE EDGE
- ⊙ BB BITUMINOUS BERM
- ⊙ BC BITUMINOUS CURB
- ⊙ GR GUARD RAIL
- ⊙ CLF CHAIN LINK FENCE
- ⊙ DL DRAINAGE LINE
- ⊙ SL SEWER LINE
- ⊙ OHW OVERHEAD WIRE
- ⊙ E UNDERGROUND ELECTRIC
- ⊙ T TELEPHONE LINE
- ⊙ G GAS LINE
- ⊙ W WATER LINE
- ⊙ STW STONE WALL
- ⊙ TL TREE LINE
- ⊙ 100' BZ 100-FT BUFFER ZONE
- ⊙ 100'RA 100-FT RIVER FRONT AREA
- ⊙ 200'RA 200-FT RIVER FRONT AREA
- ⊙ LMAH LIMIT MEAN ANNUAL HIGH WATER
- ⊙ LB LIMIT OF BANK
- ⊙ WFB-100 VEGETATED WETLAND BOUNDARY



SHEET 4

LOT 1000
AREA = 976,844± SQ. FT.
(22.4± ACRES)

N/F
SURE-CRAN SERVICES, INC.
MAP 113, LOT 1001, 1002, 1006, 1007, 1008 & 1009



Proposed Solar Array

Route 25
Wareham, Massachusetts

No.	Revision	Date	App'd.

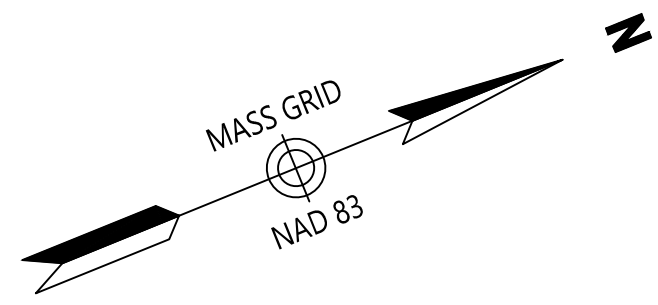
Designed by: _____ Checked by: _____
Issued for: _____ Date: **January 12, 2021**

**Existing Conditions
Plan of Land**

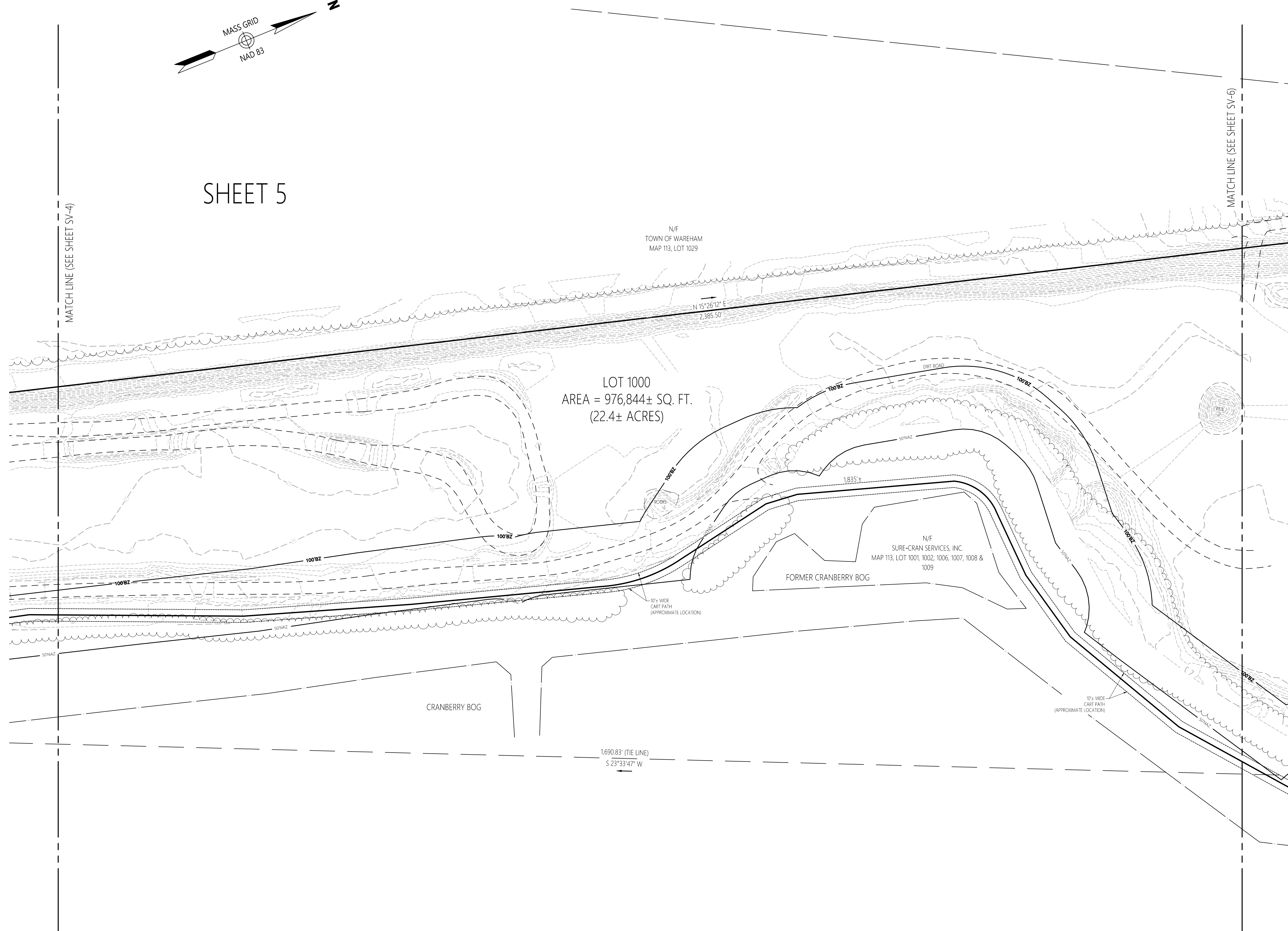
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Drawing Number: _____

COMMONWEALTH OF MASSACHUSETTS
REGISTERED PROFESSIONAL LAND SURVEYOR
RUSSELL J. BOUSQUET
NO. 35388

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Sheet 4 of 6
Project Number: 14668.03
8-3-2021



SHEET 5



101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

Legend

- ⊙ DRAIN MANHOLE
- ⊞ CATCH BASIN
- ⊕ SEWER MANHOLE
- ⊕ ELECTRIC MANHOLE
- ⊕ TELEPHONE MANHOLE
- ⊕ MANHOLE
- ⊕ HAND HOLE
- ⊕ WATER GATE
- ⊕ FIRE HYDRANT
- ⊕ GAS GATE
- ⊕ BOLLARD w/LIGHT
- ⊕ STREET SIGN
- ⊕ LIGHT POLE
- ⊕ UTILITY POLE
- ⊕ GUY POLE
- ⊕ GUY WIRE
- ⊕ MONITORING WELL
- ⊕ FLOOD LIGHT
- ⊕ WELL
- ⊕ MARSH
- ⊕ F.F.E. = 45.27'
- ⊕ FINISHED FLOOR ELEVATION
- ⊕ COULD NOT OPEN
- ⊕ NO PIPES VISIBLE
- ⊕ DOUBLE YELLOW LINE
- ⊕ DASHED WHITE LINE
- ⊕ SINGLE YELLOW LINE
- ⊕ LANDSCAPED AREA
- ⊕ EDGE OF PAVEMENT
- ⊕ CONCRETE CURB
- ⊕ VERTICAL GRANITE CURB
- ⊕ SLOPED GRANITE CURB
- ⊕ BITUMINOUS CURB
- ⊕ BITUMINOUS BERM
- ⊕ GUARD RAIL
- ⊕ CHAIN LINK FENCE
- ⊕ DRAINAGE LINE
- ⊕ SEWER LINE
- ⊕ OVERHEAD WIRE
- ⊕ UNDERGROUND ELECTRIC
- ⊕ TELEPHONE LINE
- ⊕ GAS LINE
- ⊕ WATER LINE
- ⊕ STONE WALL
- ⊕ TREE LINE
- ⊕ 100' BUFFER ZONE
- ⊕ 100-FT RIVER FRONT AREA
- ⊕ 200-FT RIVER FRONT AREA
- ⊕ LIMIT MEAN ANNUAL HIGH WATER
- ⊕ LIMIT OF BANK
- ⊕ VEGETATED WETLAND BOUNDARY

Proposed Solar Array

Route 25
Wareham, Massachusetts

No.	Revision	Date	Appvd.

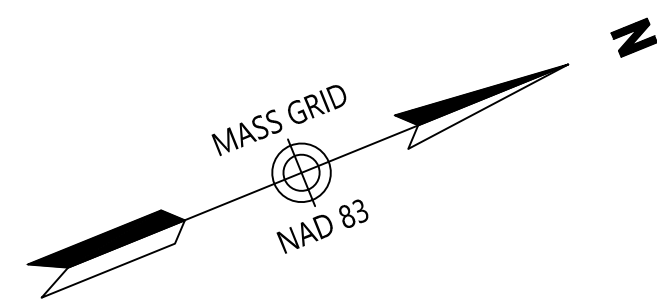
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Issued for _____ Date _____

January 12, 2021

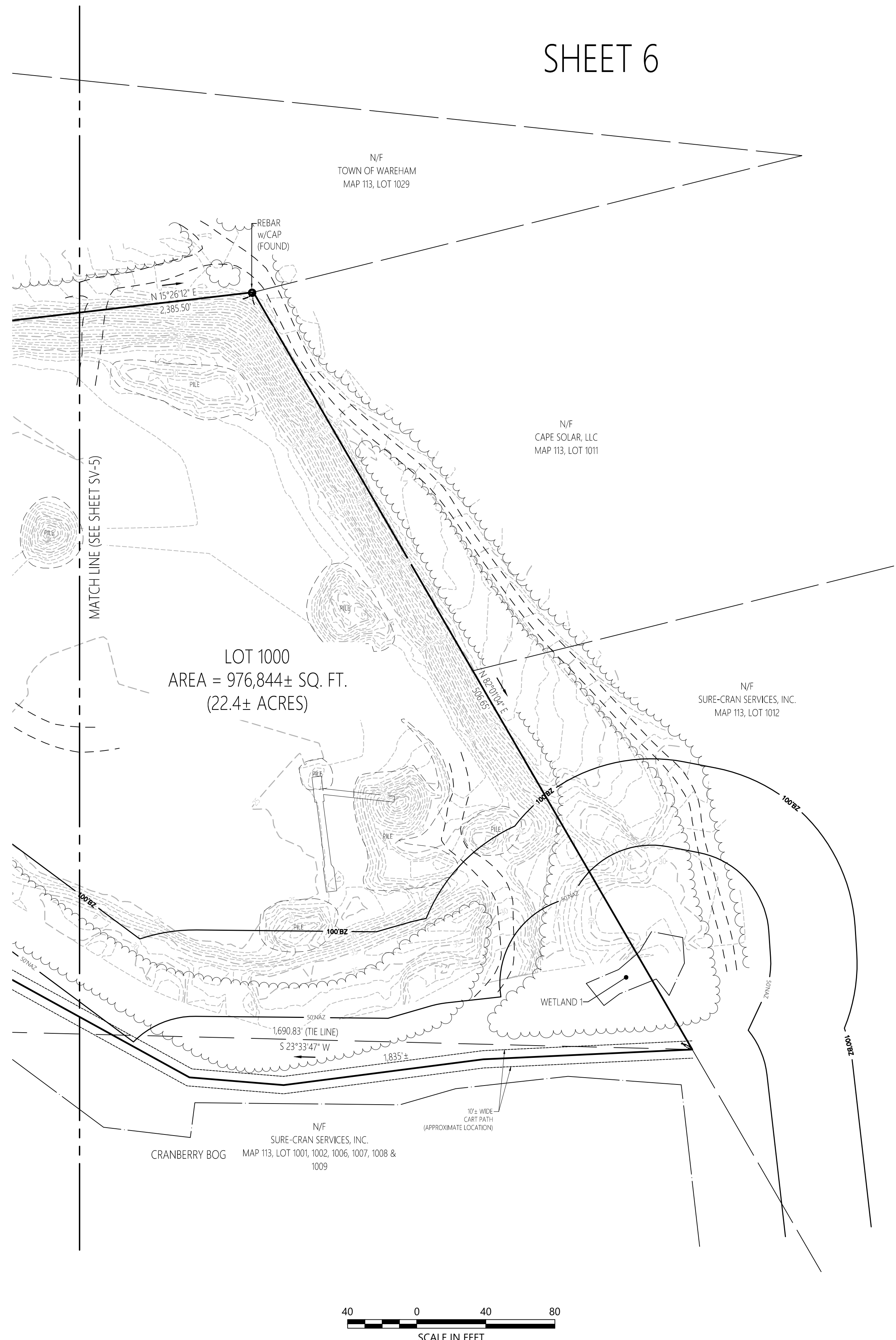
**Existing Conditions
Plan of Land**

Commonwealth of Massachusetts
REGISTERED PROFESSIONAL LAND SURVEYOR
RUSSELL J. BOUSQUET
NO. 35388

Sv-5
Sheet 5 of 6
Project Number 14668.03



SHEET 6



101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

Legend

- ⊕ DRAIN MANHOLE
- ⊞ CATCH BASIN
- ⊙ SEWER MANHOLE
- ⊕ ELECTRIC MANHOLE
- ⊙ TELEPHONE MANHOLE
- ⊙ MANHOLE
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- ⊕ FIRE HYDRANT
- ⊙ GAS GATE
- BOLLARD w/LIGHT
- ⊕ STREET SIGN
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- ⊕ GUY POLE
- ⊕ GUY WIRE
- ⊕ MONITORING WELL
- ⊕ FLOOD LIGHT
- ⊕ WELL
- ⊕ MARSH
- ⊕ F.F.E. = 45.2'
- ⊕ FINISHED FLOOR ELEVATION
- ⊕ COULD NOT OPEN
- ⊕ NO PIPES VISIBLE
- ⊕ DYL DOUBLE YELLOW LINE
- ⊕ DWL DASHED WHITE LINE
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- ⊕ BC BITUMINOUS CURB
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- ⊕ G GAS LINE
- ⊕ W WATER LINE
- ⊕ STL STONE WALL
- ⊕ TL TREE LINE
- ⊕ 100BZ 100-FT BUFFER ZONE
- ⊕ 100RA 100-FT RIVER FRONT AREA
- ⊕ 200RA 200-FT RIVER FRONT AREA
- ⊕ LMAW LIMIT MEAN ANNUAL HIGH WATER
- ⊕ LB LIMIT OF BANK
- ⊕ WFB100 VEGETATED WETLAND BOUNDARY

Proposed Solar Array

Route 25
Wareham, Massachusetts

No.	Revision	Date	App'd.

Designed by _____ Checked by _____
Issued for _____ Date _____

January 12, 2021



COMMONWEALTH OF MASSACHUSETTS
REGISTERED PROFESSIONAL LAND SURVEYOR
RUSSELL J. BOUSQUET
NO. 35388

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Sheet 6 of 6
Project Number 14668.03
8-3-2021