

Site Plans

Issued for	Local Approvals
Date Issued	August 2, 2021
Latest Issue	November 4, 2022

Proposed Large-Scale Ground-Mounted Solar Photovoltaic Installation

0 Route 25
Wareham, MA



101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

Designer/Developer/Electrical Engineer

Wareham PV I, LLC
330 Congress Street, 6th Floor
Boston, MA 02210
617.377.4301

Owner

David Fletcher
PO Box 829
Plymouth, MA 02362

Applicant

Wareham PV I, LLC
330 Congress Street
6th Floor
Boston, MA 02210

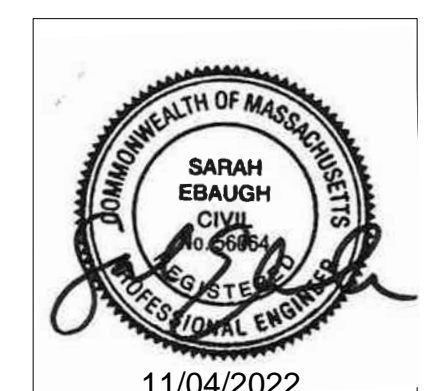
Assessor's Map 115: Lot 1000

Sheet Index

No.	Drawing Title	Latest Issue
C1.00	Legend and General Notes	August 2, 2021
C2.00	Overall Site Plan	November 4, 2022
C2.01-2.03	Layout, Grading, Drainage, and Erosion Control Plan	November 4, 2022
C3.01-3.02	Site Details	May 25, 2022

Reference Drawings

No.	Drawing Title	Latest Issue
Sv-1 - Sv-7	Existing Conditions Plan of Land	January 12, 2021





101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

Legend

Legend table with columns: Exist., Prop., Description, and symbols for various features like property lines, pavements, utilities, and landscaping.

Abbreviations

Abbreviations table with columns: General, Description, and symbols for terms like ABAN (ABANDON), ACJR (ACCESSIBLE CURB RAMP), ADJ (ADJUST), etc.

Notes

- CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.
CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).
AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE 6 INCHES LOAM AND SEED.
WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS.
WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.
TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.
THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND FALLS WITHIN THE NPDES CONSTRUCTION GENERAL PERMIT (CGP) PROGRAM AND EPA JURISDICTION. PRIOR TO THE START OF CONSTRUCTION, CONTRACTOR IS TO FILE A CGP WITH EPA AND PREPARE A STORMWATER POLLUTION PREVENTION PLAN IN ACCORDANCE WITH THE NPDES REGULATIONS. CONTRACTOR SHALL CONFIRM THE OWNER HAS ALSO FILED A NOTICE OF INTENT WITH THE EPA.
UTILITIES

Plant Maintenance Notes

- CONTRACTOR SHALL PROVIDE COMPLETE MAINTENANCE OF THE LAWNS AND PLANTINGS. NO IRRIGATION IS PROPOSED FOR THIS SITE. THE CONTRACTOR SHALL SUPPLY SUPPLEMENTAL WATERING FOR NEW LAWNS AND PLANTINGS DURING THE ONE YEAR PLANT GUARANTEE PERIOD.
CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE LANDSCAPE MAINTENANCE WORK. WATER SHALL BE PROVIDED BY THE CONTRACTOR.
WATERING SHALL BE REQUIRED DURING THE GROWING SEASON, WHEN NATURAL RAINFALL IS BELOW ONE INCH PER WEEK.
WATER SHALL BE APPLIED IN SUFFICIENT QUANTITY TO THOROUGHLY SATURATE THE SOIL IN THE ROOT ZONE OF EACH PLANT.
CONTRACTOR SHALL REPLACE DEAD OR DYING PLANTS AT THE END OF THE ONE YEAR GUARANTEE PERIOD. CONTRACTOR SHALL TURN OVER MAINTENANCE TO THE FACILITY MAINTENANCE STAFF AT THAT TIME.

Layout and Materials

- DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LAND SURVEYOR.
PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.

Demolition

- CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.
EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.
THE DEMOLITION LIMITS DEPICTED IN THE PLANS IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION BEFORE SUBMITTING ITS BID/PROPOSAL TO PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION FOR CHANGED CONDITIONS OR UNFORESEEN OR LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS DISCOVERED DURING EXECUTION OF THE WORK.
UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN THE FUTURE WITH REGARD TO THESE MATTERS. HOWEVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS.

Erosion Control

- PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL SEDIMENT CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION PREVENTION AND SEDIMENT CONTROL MEASURES ON A WEEKLY BASIS (MINIMUM) OR AS REQUIRED PER THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL ADDRESS DEFICIENCIES AND MAINTENANCE ITEMS WITHIN TWENTY-FOUR HOURS OF INSPECTION. CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT SUCH THAT IT DOES NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION. REFER TO PROJECT SWPPP FOR SPECIFIC TIMEFRAMES.
UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF SEDIMENT CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.

Existing Conditions Information

- BASE PLAN: "EXISTING CONDITIONS PLAN OF LAND" DATED JANUARY 12 2021, PREPARED BY VHB.
TOPOGRAPHY: ELEVATIONS ARE BASED ON NAVD 1988.

Document Use

- THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.
CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.

Planting Notes

- ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED AS SHOWN ON THE PLANS FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW GRADE AND ABOVE GROUND UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS.
NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICT.
A 3-INCH DEEP MULCH PER SPECIFICATION SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED ON THE PLANS, OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNER'S REPRESENTATIVE.
FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANT LIST AND PLANT LABELS PRIOR TO BIDDING.
ANY PROPOSED PLANT SUBSTITUTIONS MUST BE REVIEWED BY LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
ALL PLANT MATERIALS INSTALLED SHALL MEET THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND CONTRACT DOCUMENTS.
ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
AREAS DESIGNATED "LOAM & SEED" SHALL RECEIVE MINIMUM 6" OF LOAM AND SPECIFIED SEED MIX. LAWNS OVER 2:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC.
ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE LOAM AND SEEDED OR MULCHED AS DIRECTED BY OWNER'S REPRESENTATIVE.
THIS PLAN IS INTENDED FOR PLANTING PURPOSES. REFER TO SITE / CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.

Proposed Large-Scale Ground-Mounted Solar Photovoltaic Installation

0 Route 25 Wareham, MA

Table with columns: No., Revision, Date, Apprd. (for project approvals)

Table with columns: Designed by (SKE), Checked by (JRG), Issued for, Date

Local Approvals

August 2, 2021

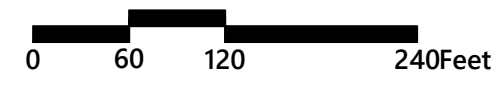
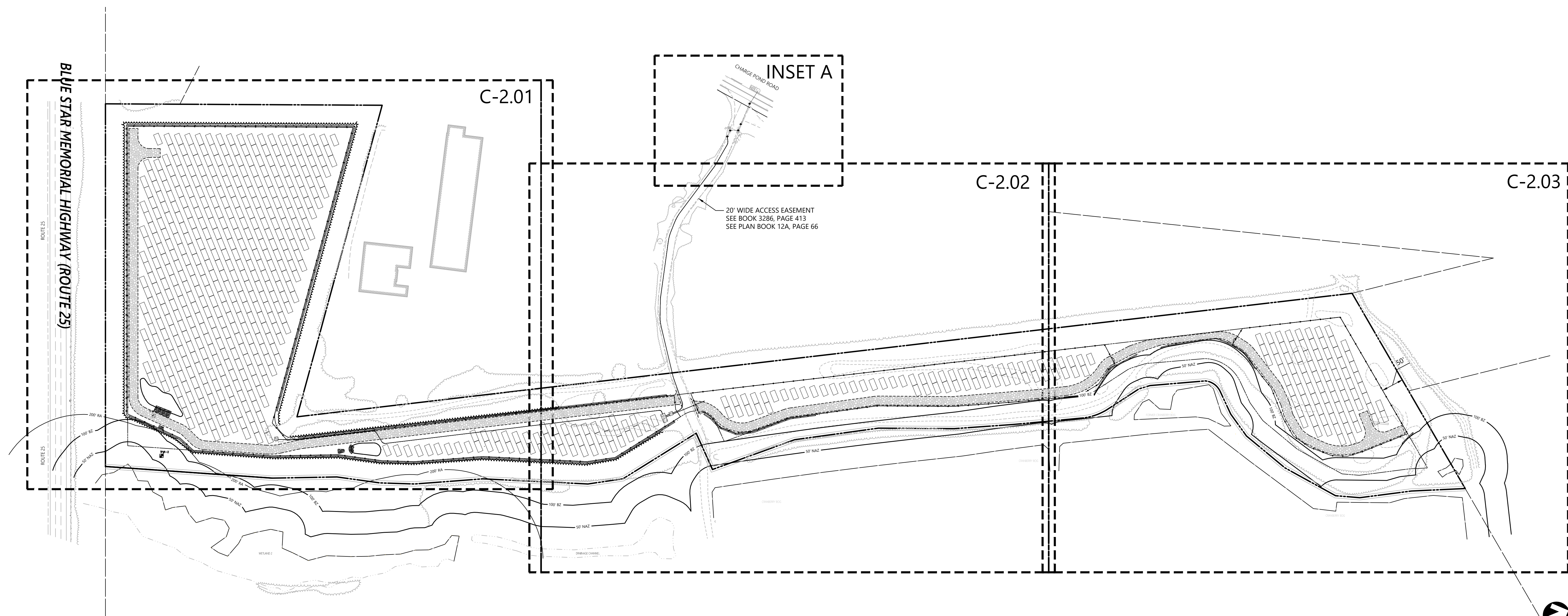
Legend and General Notes

Drawing Number: C1.01, Sheet 1 of 7



11/04/2022

Project Number: 15225.01



Proposed Large-Scale Ground-Mounted Solar Photovoltaic Installation

0 Route 25
Wareham, MA

No.	Revision	Date	Appvd.
1	Response to Comments	05/25/2022	SKE
2	Buffer Zone Adjustments	06/13/2022	SKE
3	Buffer Zone Adjustments	11/04/2022	SKE

Designed by: SKE
Checked by: JRG
Issued for: Local Approvals
Date: August 2, 2021

SOLAR FARM SEED MIX

% SEED	BOTANICAL NAME	COMMON NAME
30%	Festuca rubra	Creeping Red Fescue
30%	Festuca ovina 'Whisper'	Sheep Fescue 'Whisper'
15%	Festuca ovina var. duriuscula (F. longifolia) 'Heron'	Hard Fescue 'Heron'
15%	Festuca brevipila 'Chariot'	Hard Fescue 'Chariot'
10%	Lolium multiflorum (L. perenne var. italicum)	Annual Ryegrass
Total 100%		

NOTE:
SEEDING RATE TO BE 6 LB PER 1,000 SF. SEED MIX TO BE ERNMX-186 "SOLAR FARM SEED MIX" AS MANUFACTURED BY ERNST CONSERVATION SEEDS, 8884 MERCER PIKE, MEADVILLE PA, 16335 (800) 873-3321.

Zoning Summary Chart

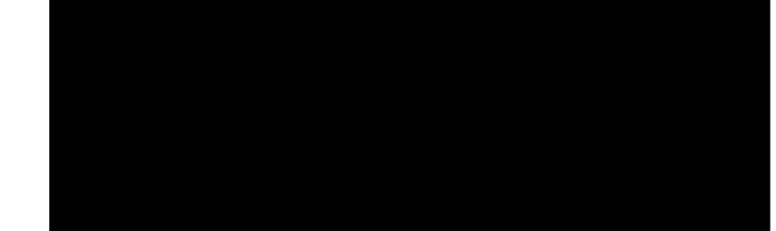
Zoning District(s):	Residential 130 (R-130)	
Zoning Regulation Requirements	Required ¹	Provided
MINIMUM LOT AREA ²	≥3 Acres	22.4 Acres
FRONTAGE ³	Not Applicable	Not Applicable
MINIMUM FRONT YARD SETBACK	50 Feet	Not Applicable
MINIMUM SIDE YARD SETBACK	50 Feet	50 Feet
MINIMUM REAR YARD SETBACK	50 Feet	Not Applicable
MAXIMUM BUILDING HEIGHT ⁴	35 Feet	Not Applicable

(1) Zoning requirements as specified in "Zoning By-Laws Town of Wareham Massachusetts" (revised October 2018) (hereinafter "Zoning By-Laws").
(2) Per Section 594.1.1 of Zoning By-Laws.
(3) Per Section 611 of Zoning By-Laws, R-130 district minimum frontage requirement is not applicable because proposed project is not "principal building" or "accessory building" as those terms are defined in Article 16 of Zoning By-Laws.
(4) Per Section 611 of Zoning By-Laws, R-130 district maximum allowed height requirement is not applicable because proposed project is not "principal building" or "accessory building" as those terms are defined in Article 16 of Zoning By-Laws.

Notes

- 0 Route 25 (Map 115, Lot 1000) (the "Project Parcel") is located outside the 100-year flood plain as noted on the FEMA Flood Insurance Rate Map (FIRM) Panels Number 25023C0487K & 25023C0489L last revised July 6, 2021.
- Access to the Project Parcel is via an existing 20-foot wide access easement from Charge Pond Road taken by MassDOT predecessor Massachusetts Department of Public Works on behalf of certain landowners (including the owner of the Project Parcel) in 1966 in connection with the development of Route 25 as a limited access highway. See Layout 5560 and Order of Taking dated April 14, 1966, recorded at the Plymouth County Registry of Deeds in Book 3286, Page 413 and Plan Book 12A, Page 66.

Overall Site Plan



C2.00

Sheet 2 of 7

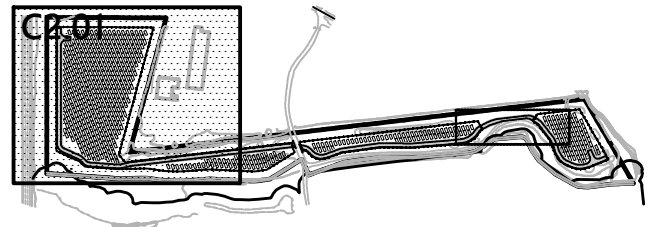
11/04/2022

Project Number 15225.01



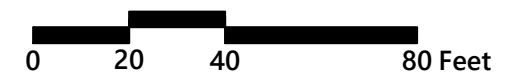
101 Walnut Street
PO Box 9151
Wareham, MA 02471
617.924.1770

Match Line See Sheet C2.02



Key

Not To Scale



**Proposed Large-Scale
Ground-Mounted Solar
Photovoltaic Installation**
0 Route 25
Wareham, MA

No.	Revision	Date	Appvd.
1	Response to Comments	05/25/2022	SKE
2	Buffer Zone Adjustments	06/13/2022	SKE
3	Buffer Zone Adjustments	11/04/2022	SKE

Designed by: SKE
Checked by: JRG
Issued for: Local Approvals
Date: August 2, 2021

**Layout, Grading,
Drainage, and Erosion
Control Plan**

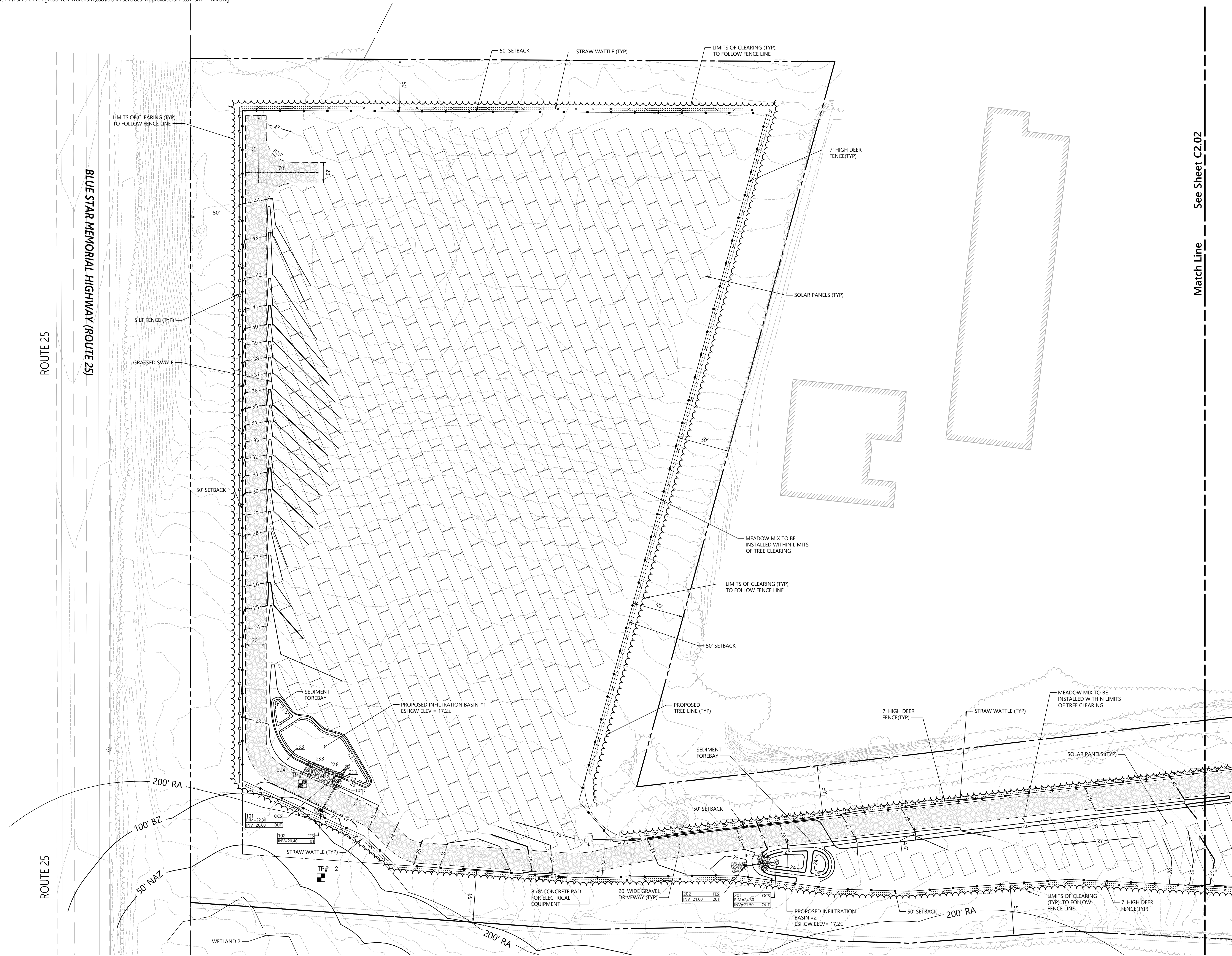


C2.01

Sheet 3 of 7

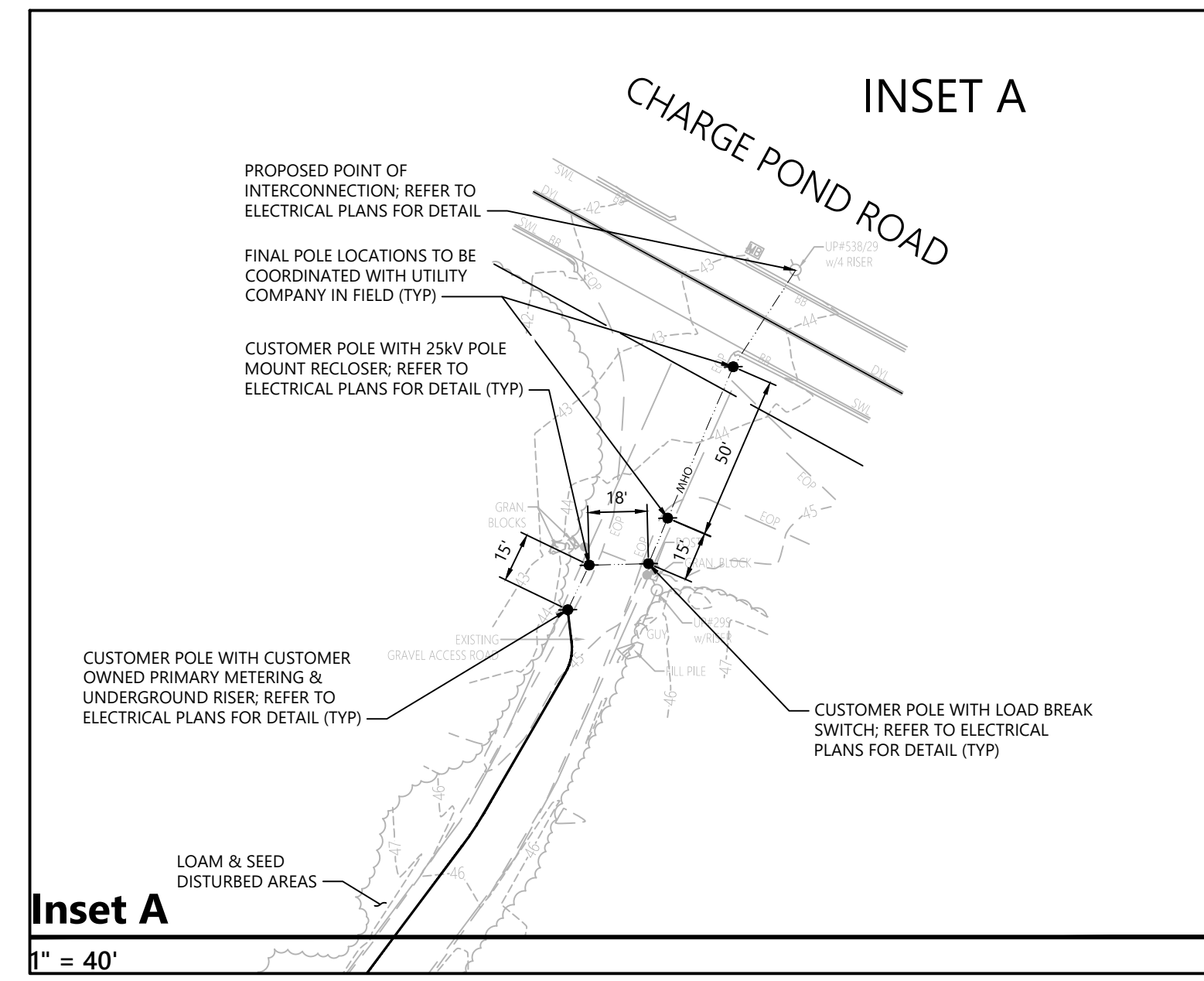
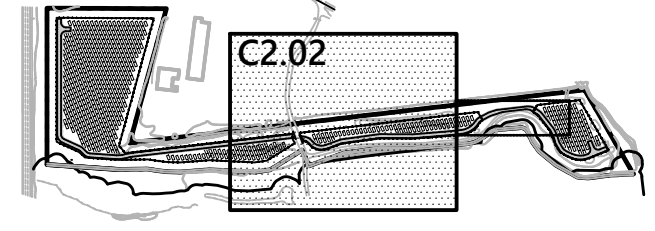
11/04/2022

Project Number
15225.01





101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770



Inset A
1" = 40'

See Sheet C2.03

Match Line

Key

Not To Scale



Proposed Large-Scale Ground-Mounted Solar Photovoltaic Installation
0 Route 25
Wareham, MA

No.	Revision	Date	Appvd.
1	Response to Comments	05/25/2022	SKE
2	Buffer Zone Adjustments	06/13/2022	SKE
3	Buffer Zone Adjustments	11/04/2022	SKE

Designed by: SKE
Checked by: JRG
Issued for: Local Approvals
Date: August 2, 2021

Layout, Grading, Drainage, and Erosion Control Plan



C2.02

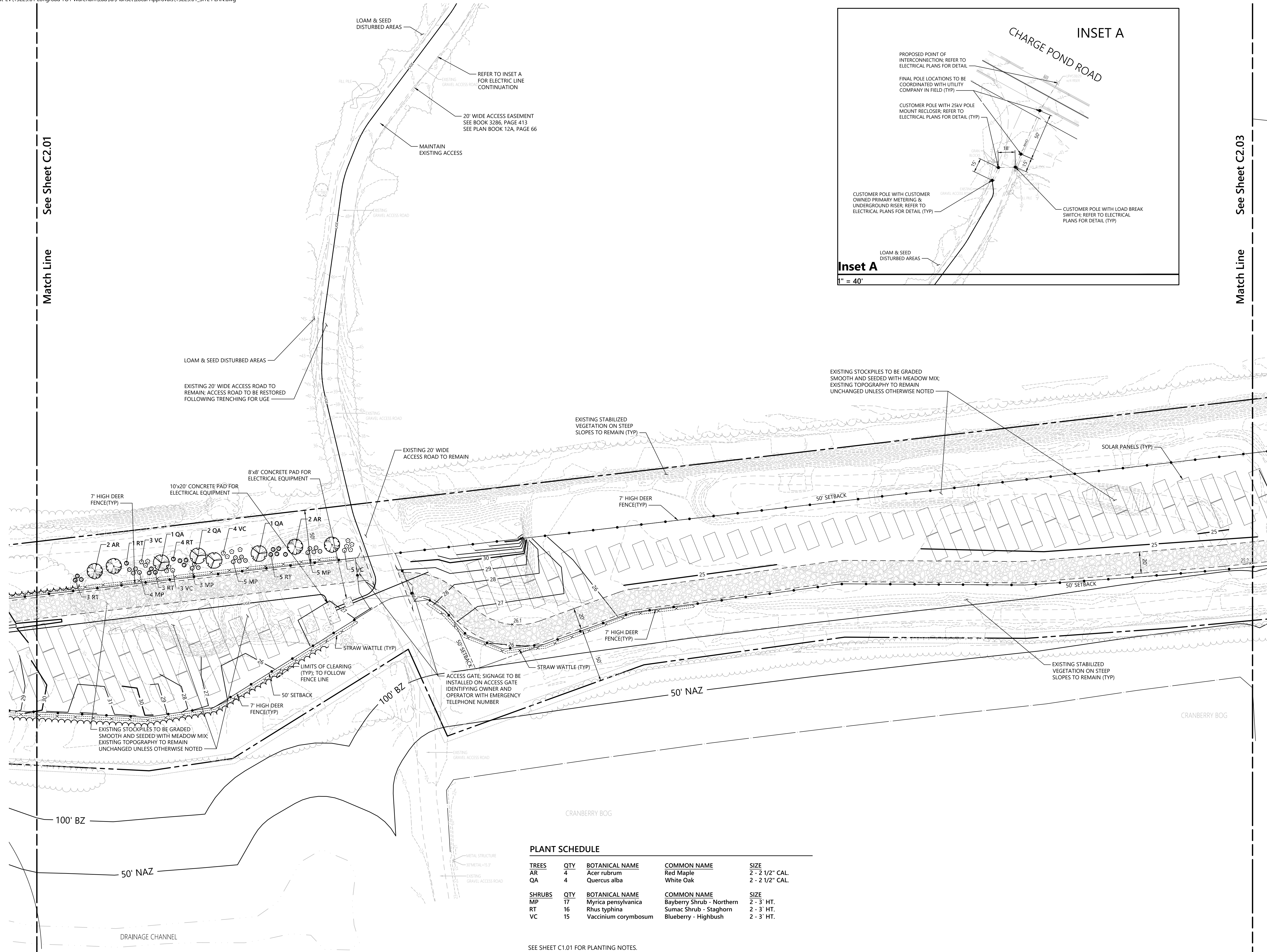
Sheet 4 of 7

11/04/2022

Project Number: 15225.01

See Sheet C2.01

Match Line



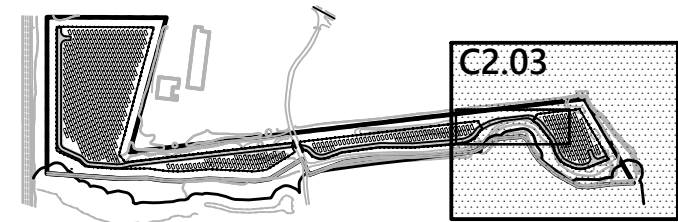
PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
AR	4	Acer rubrum	Red Maple	2 - 2 1/2" CAL.
QA	4	Quercus alba	White Oak	2 - 2 1/2" CAL.
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
MP	17	Myrica pensylvanica	Bayberry Shrub - Northern	2 - 3' HT.
RT	16	Rhus typhina	Sumac Shrub - Staghorn	2 - 3' HT.
VC	15	Vaccinium corymbosum	Blueberry - Highbush	2 - 3' HT.

SEE SHEET C1.01 FOR PLANTING NOTES.

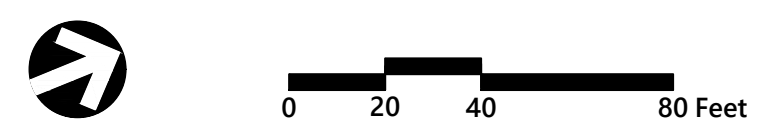


101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770



Key

Not To Scale



**Proposed Large-Scale
Ground-Mounted Solar
Photovoltaic Installation**

0 Route 25
Wareham, MA

No.	Revision	Date	Appr'd
1	Response to Comments	05/25/2022	SKE
2	Buffer Zone Adjustments	06/13/2022	SKE
3	Buffer Zone Adjustments	11/04/2022	SKE

Designed by: SKE
Checked by: JRG
Issued for: Local Approvals
Date: August 2, 2021

**Layout, Grading,
Drainage, and Erosion
Control Plan**



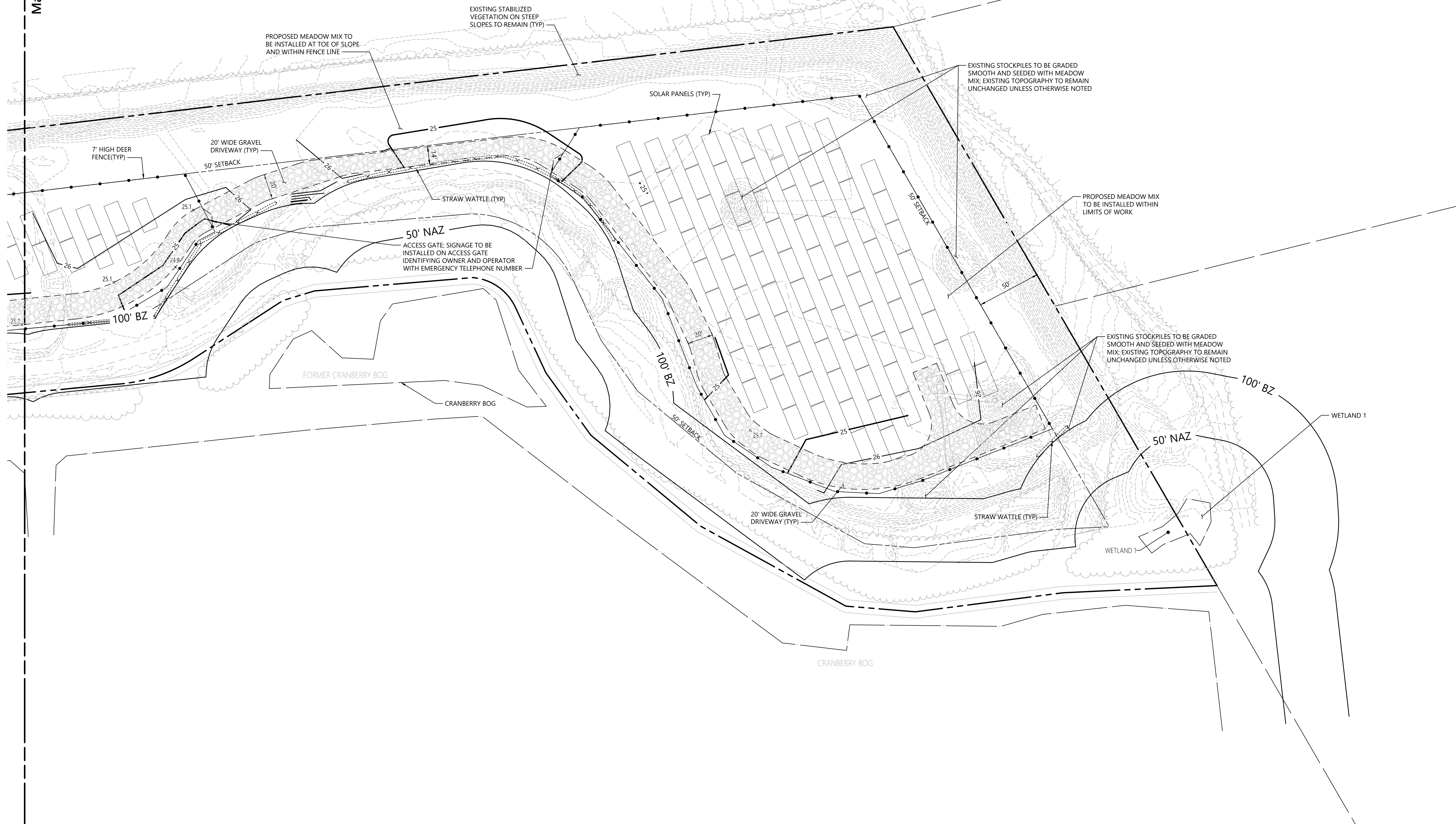
11/04/2022

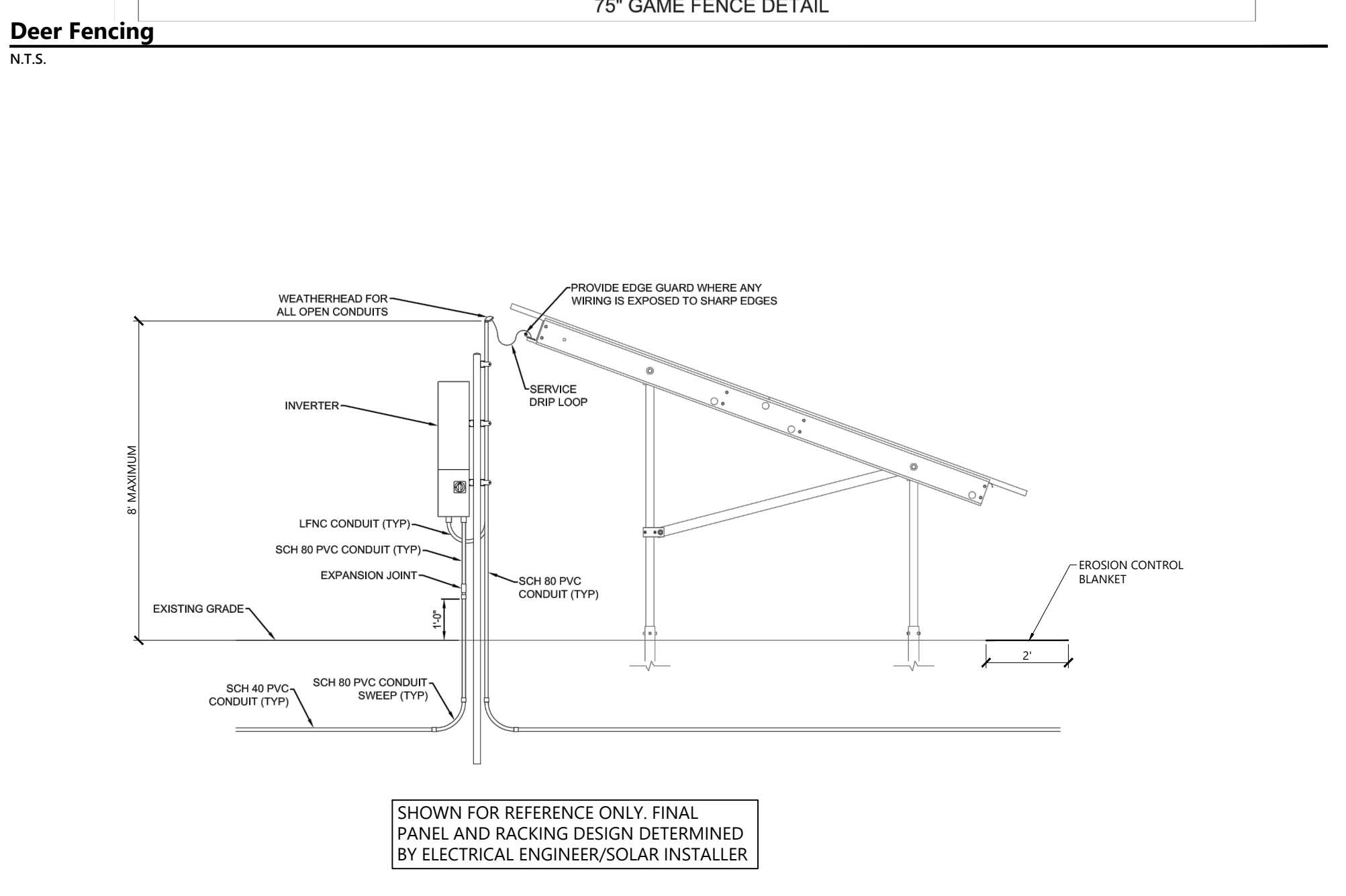
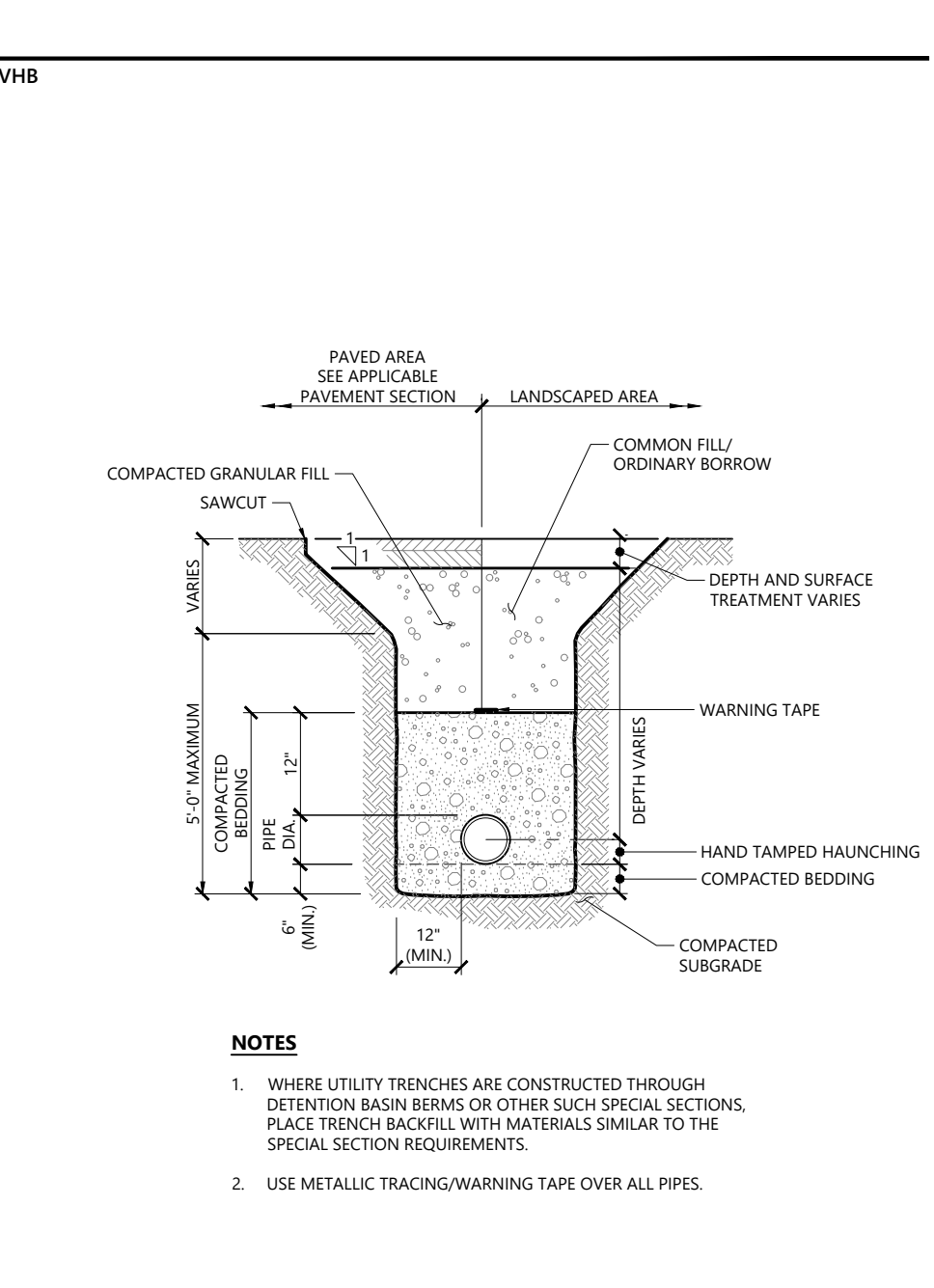
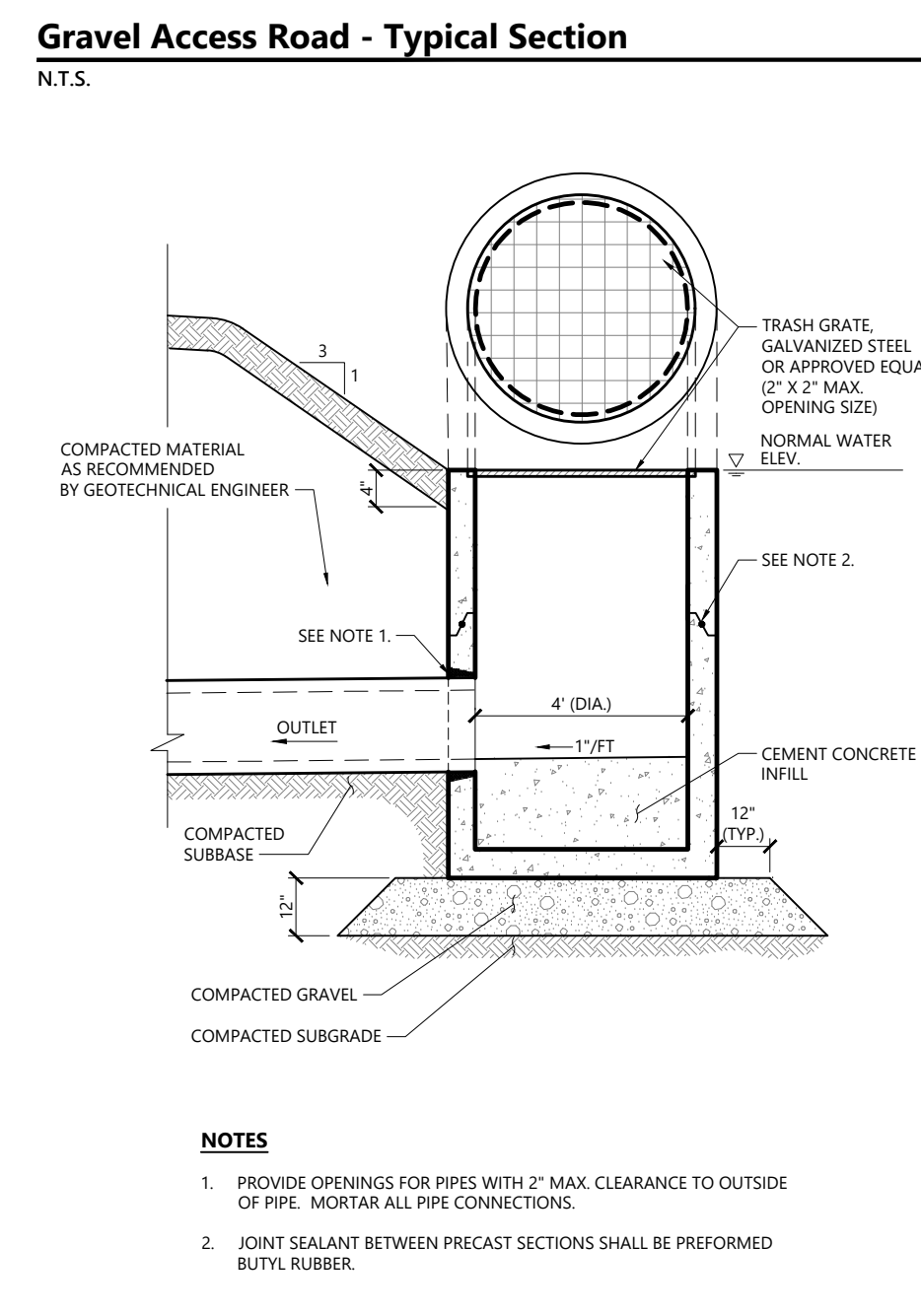
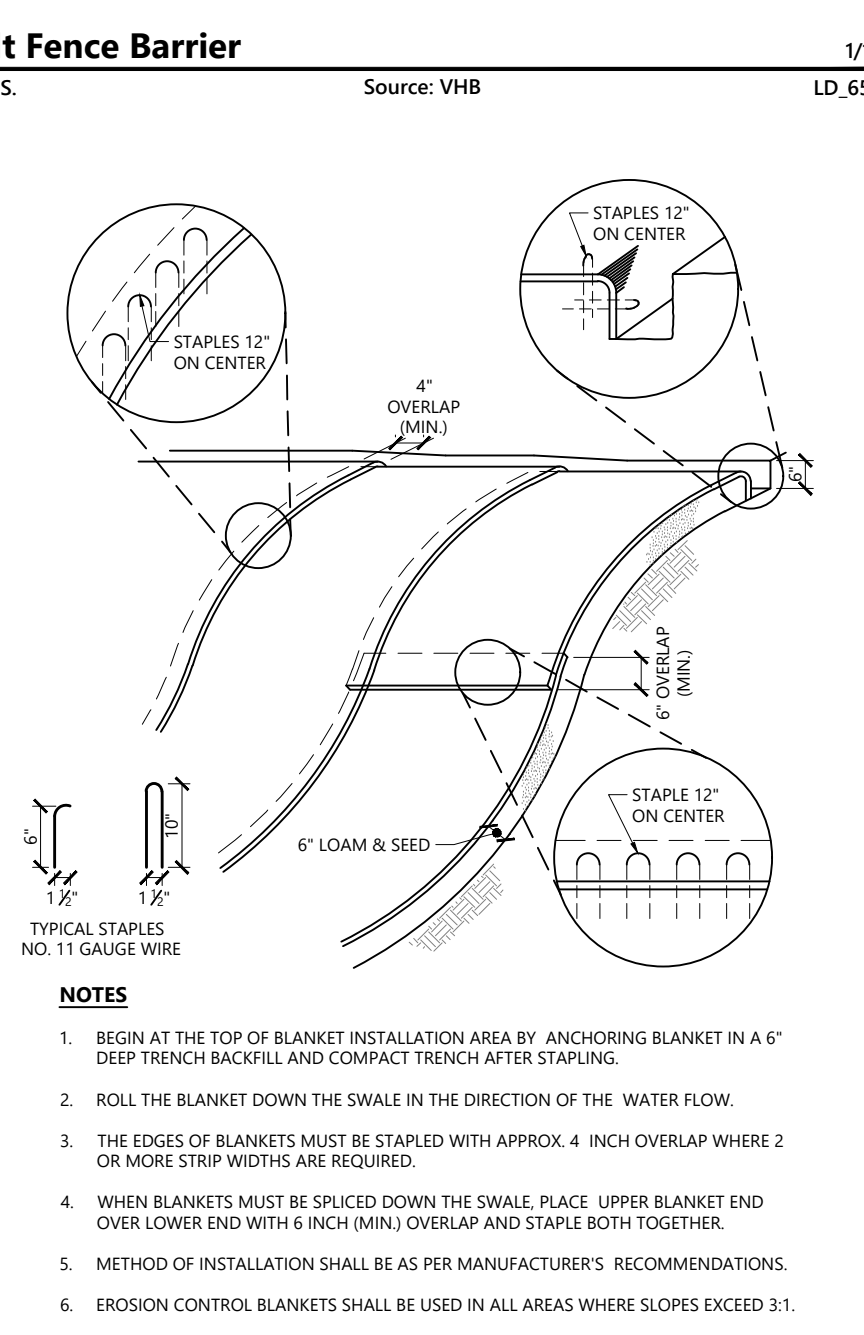
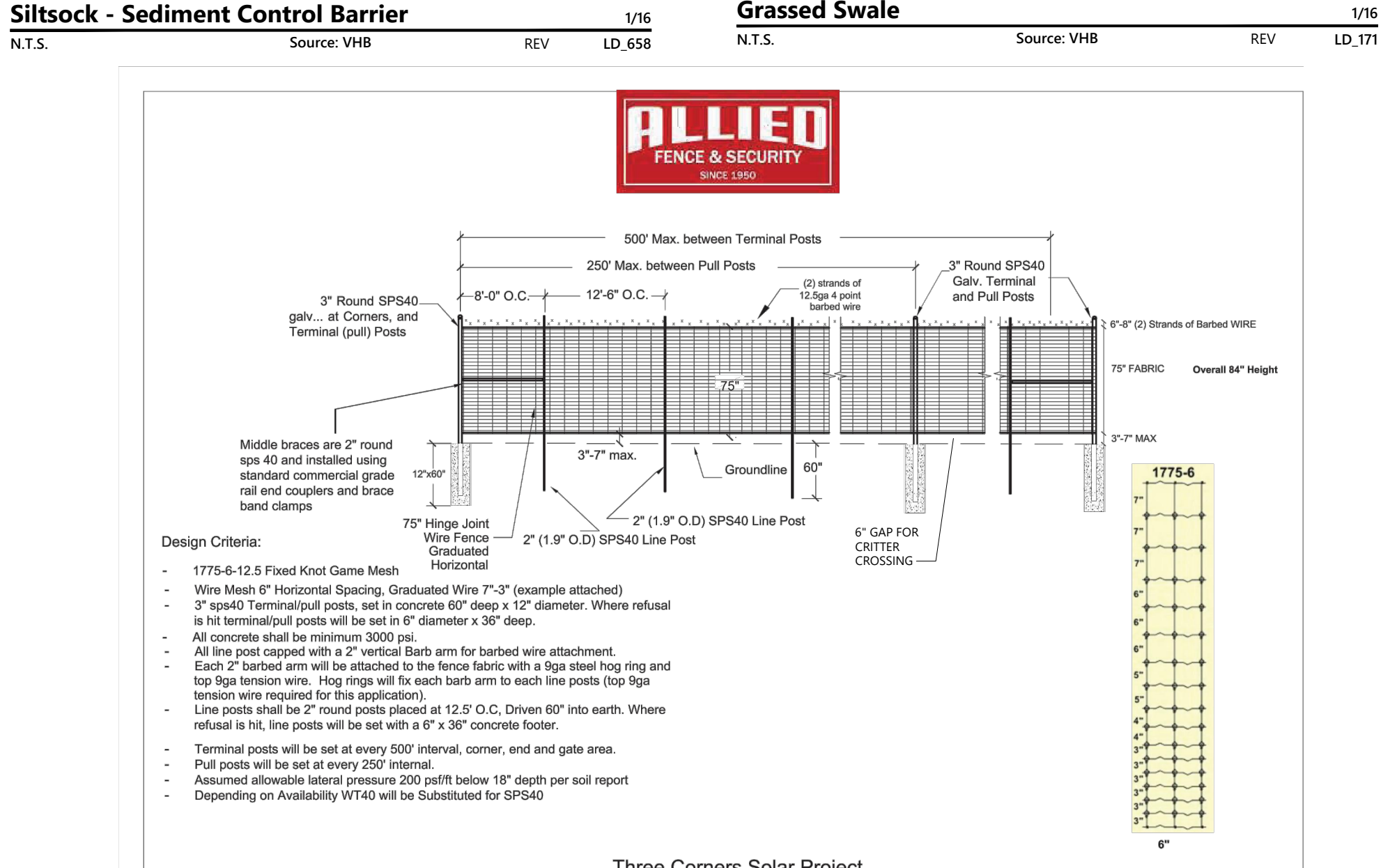
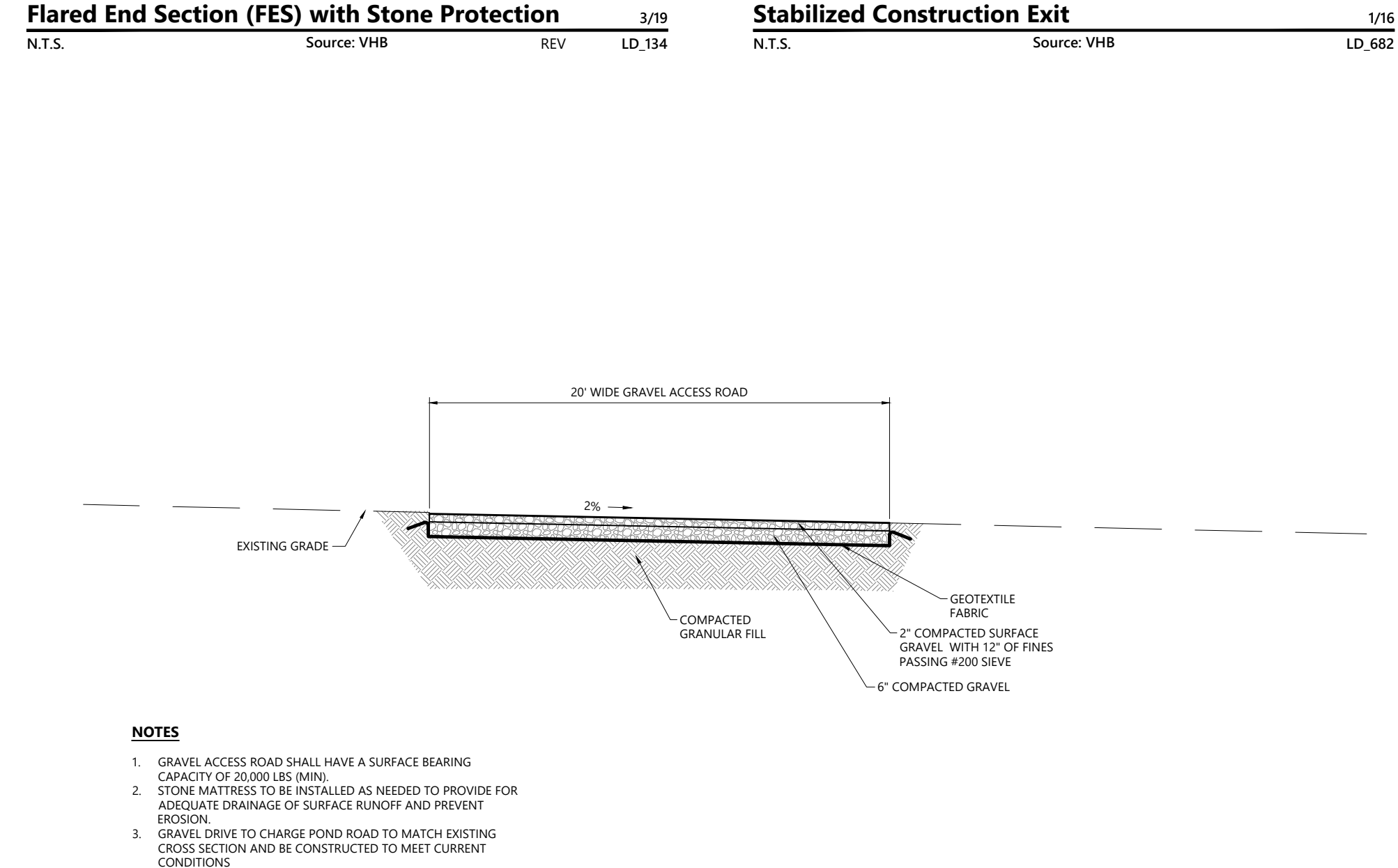
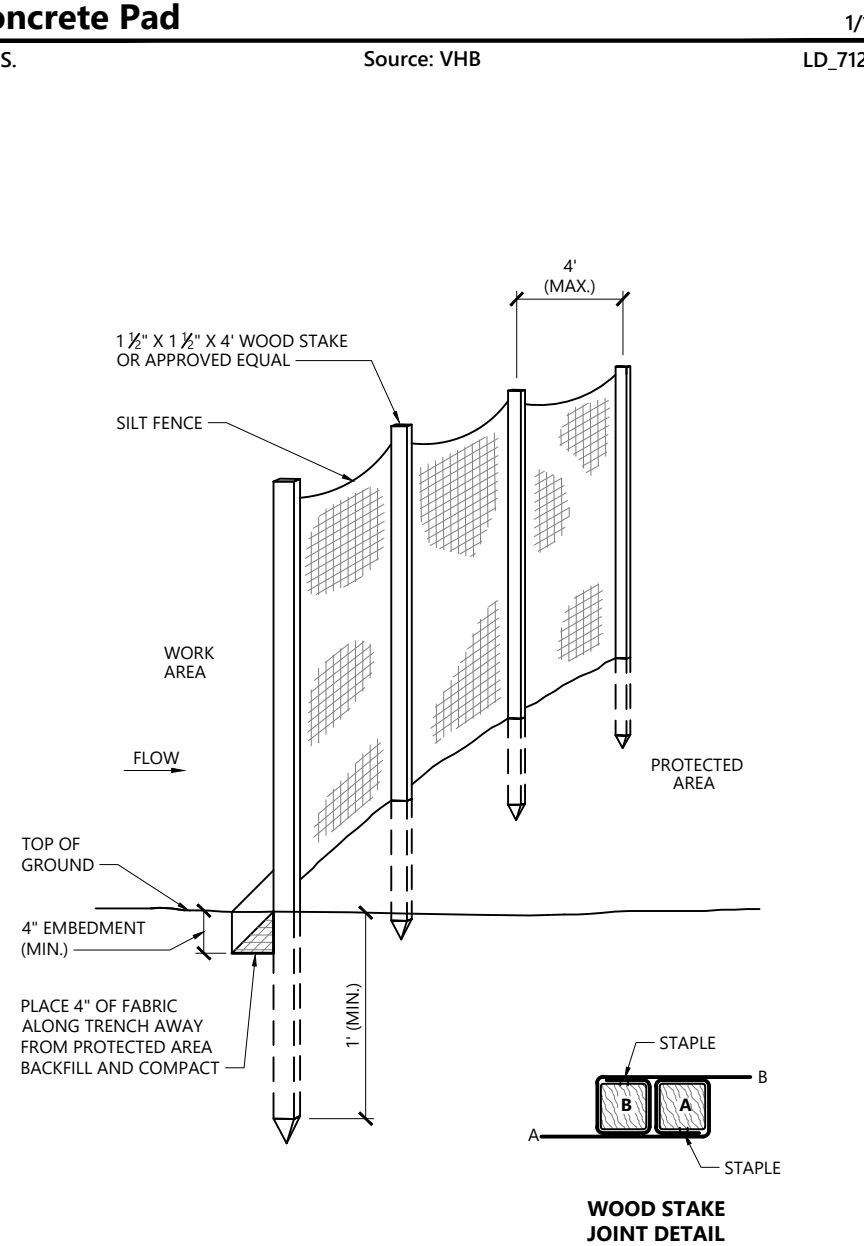
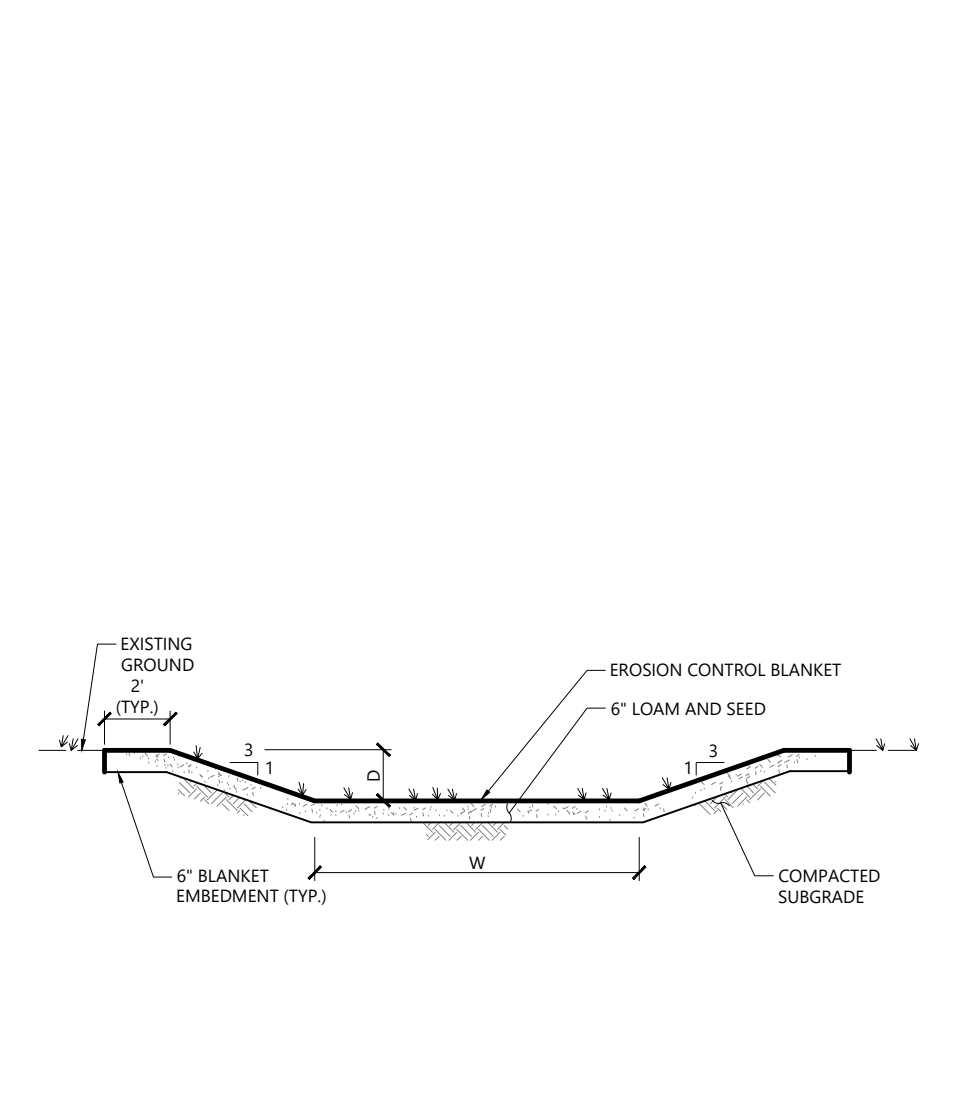
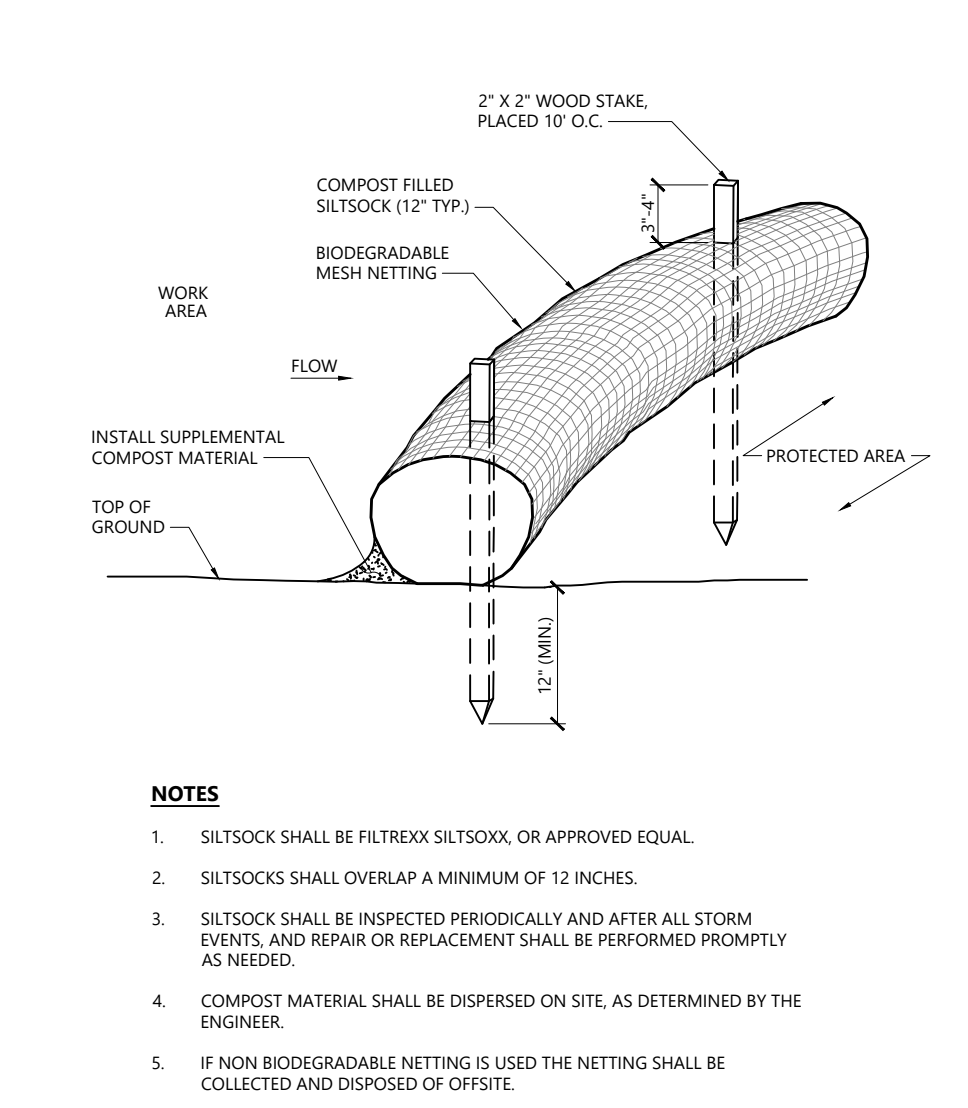
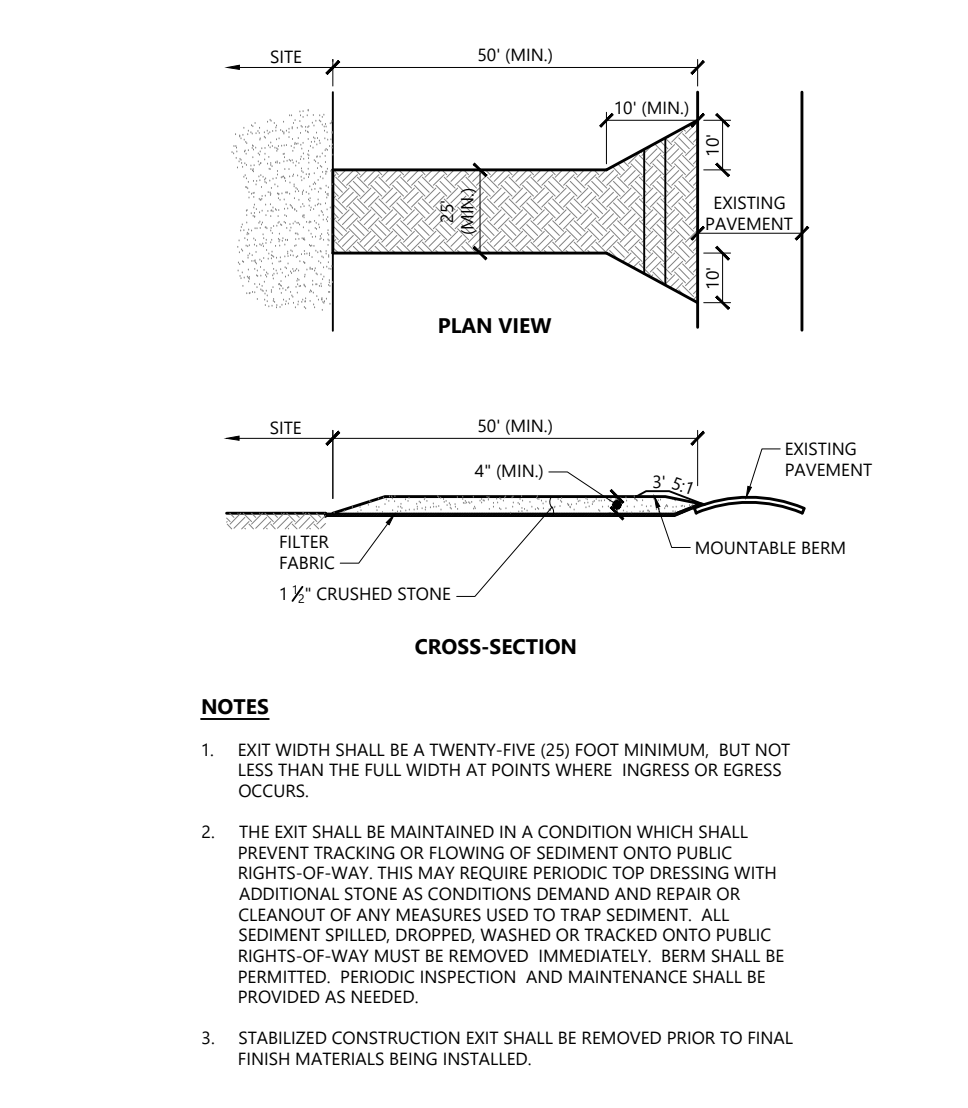
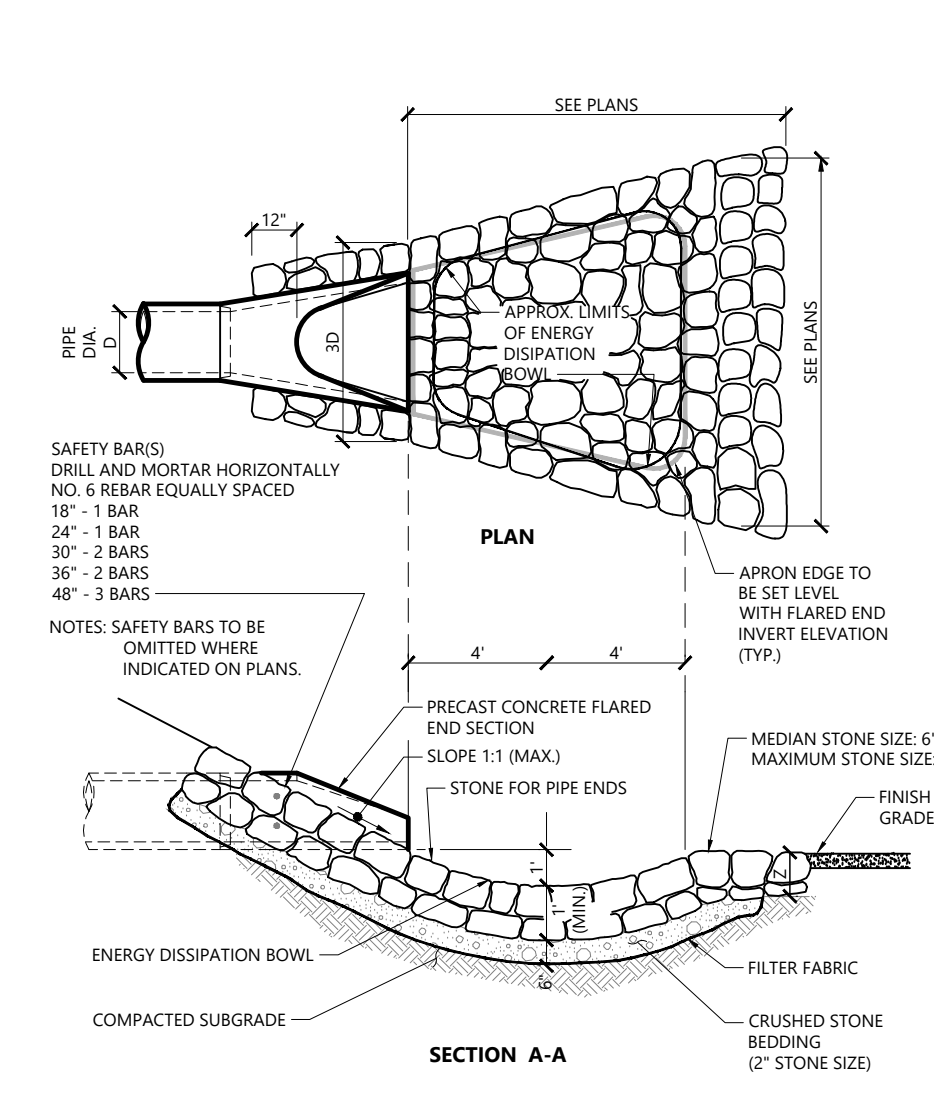
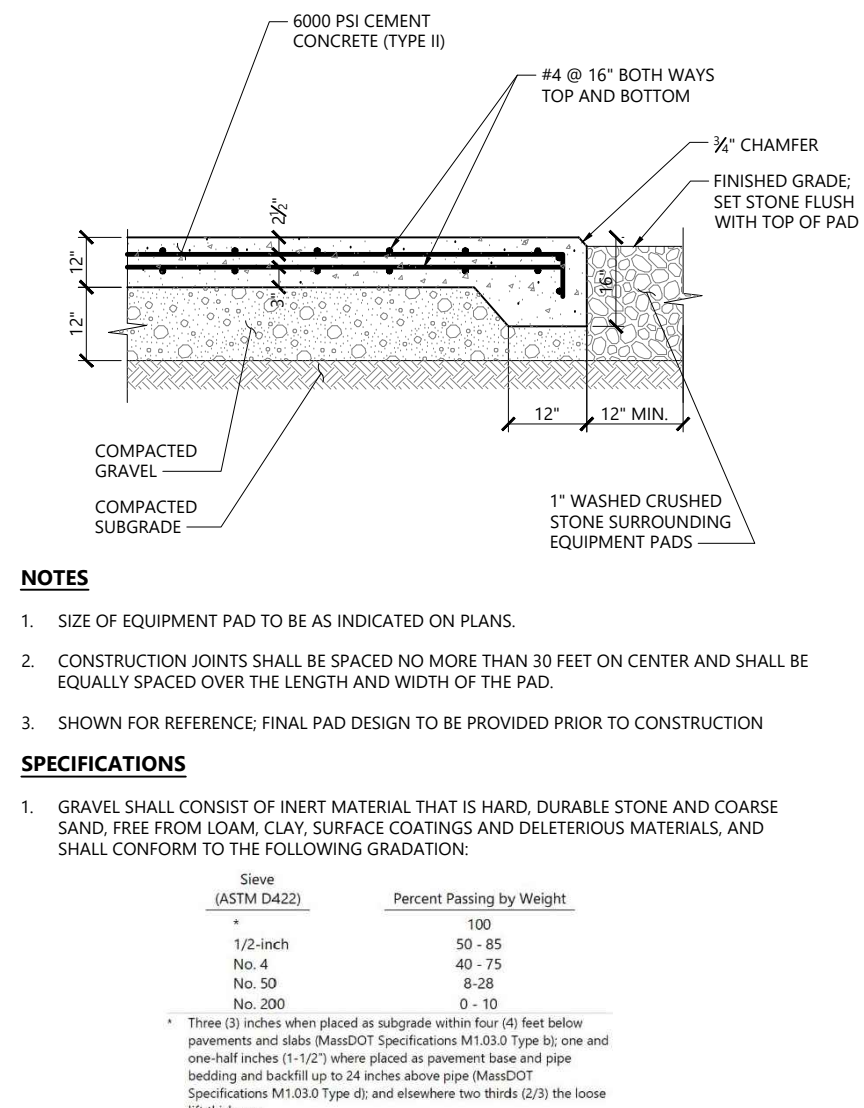
C2.03

Sheet 5 of 7

Project Number
15225.01

Match Line
See Sheet C2.02





Proposed Large-Scale Ground-Mounted Solar Photovoltaic Installation

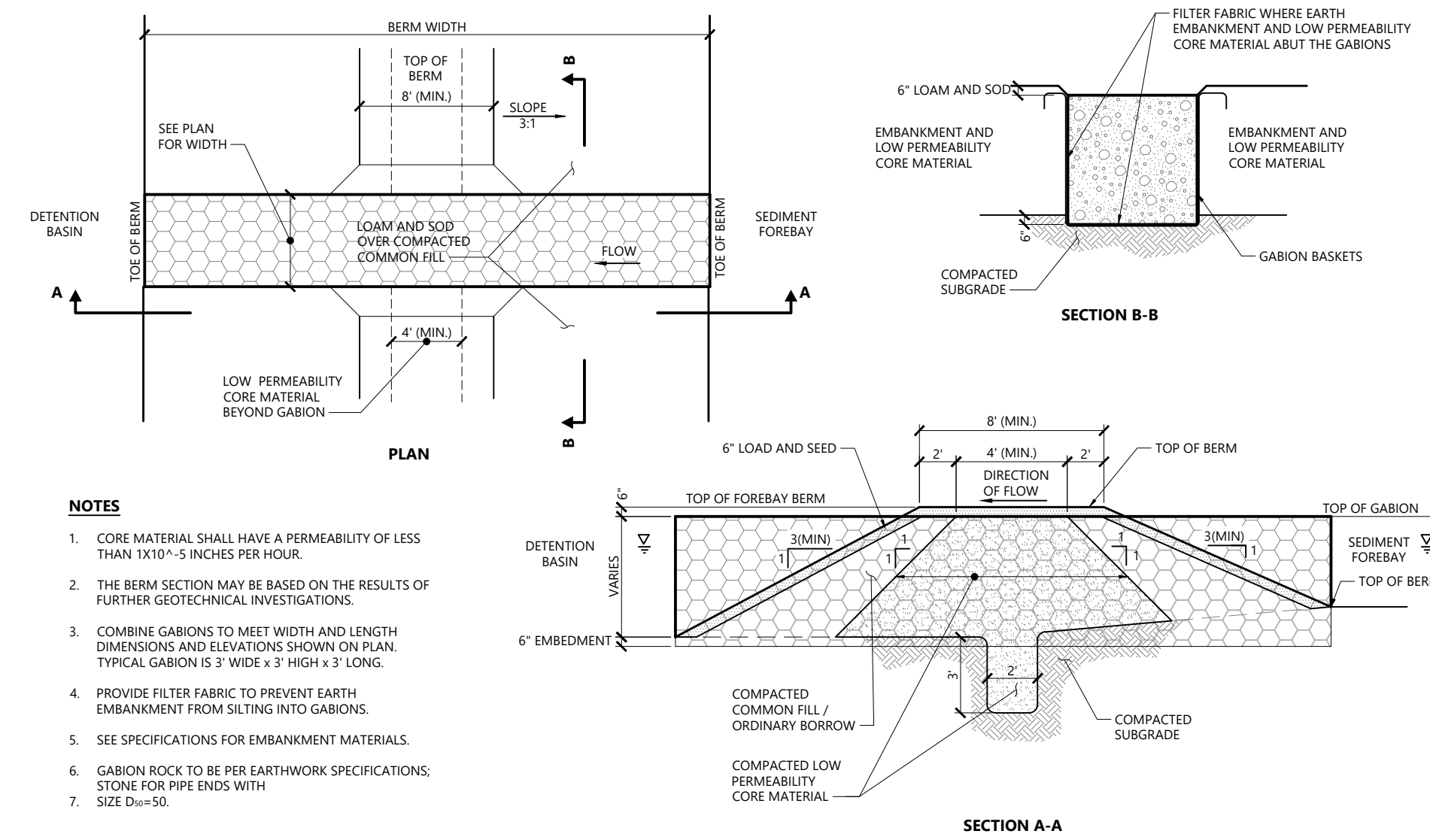
0 Route 25
Wareham, MA

No.	Revision	Date	Appr'd
1	Response to Comments	05/25/2022	SKE
2	Buffer Zone Adjustments	11/04/2022	SKE

Designed by **SKE** Checked by **JRG**
Issued for **Local Approvals** Date **August 2, 2021**

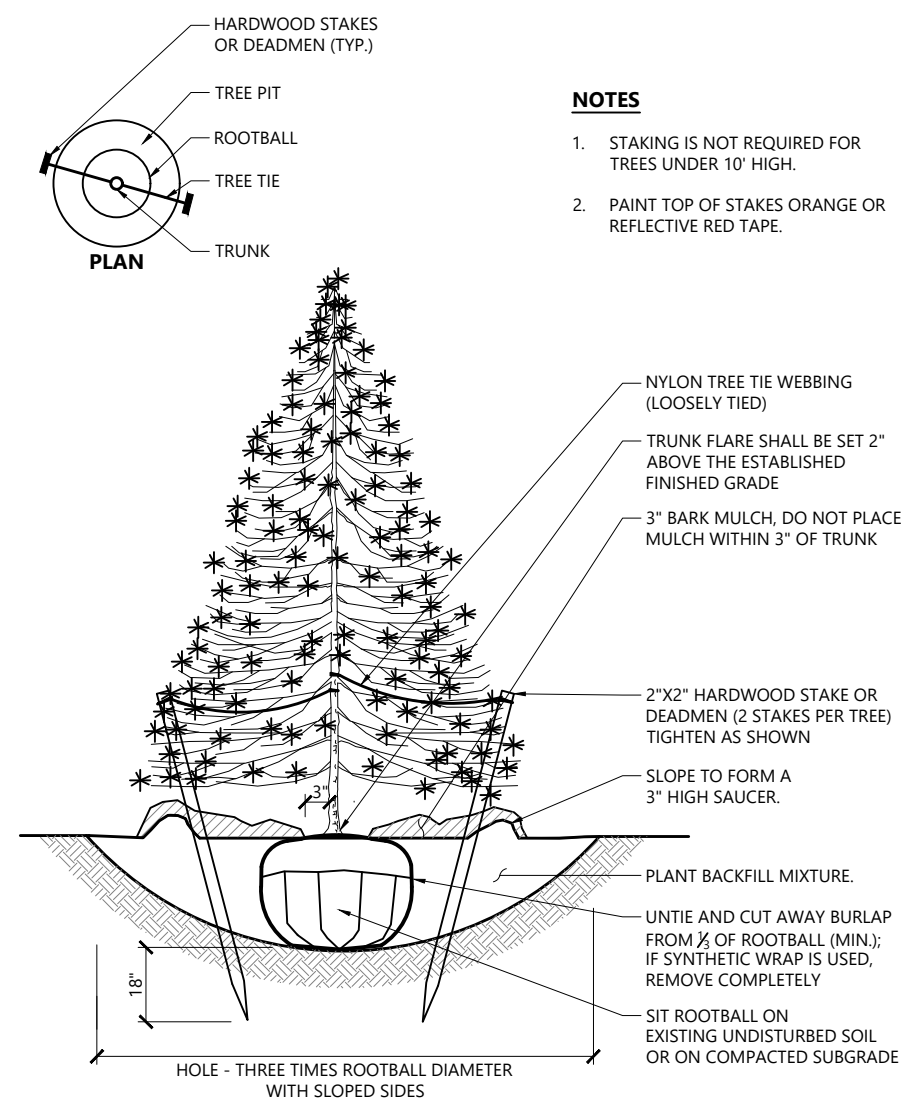
Site Details

Saved Friday, November 4, 2022, 4:16:23 PM. SEBAUGH Plotted Monday, November 7, 2022, 11:00:35 AM. Sarah Ebaugh



- NOTES**
1. CORE MATERIAL SHALL HAVE A PERMEABILITY OF LESS THAN 10⁻¹⁰ - 5 INCHES PER HOUR.
 2. THE BERM SECTION MAY BE BASED ON THE RESULTS OF FURTHER GEOTECHNICAL INVESTIGATIONS.
 3. COMBINE GABIONS TO MEET WIDTH AND LENGTH DIMENSIONS AND ELEVATIONS SHOWN ON PLAN. TYPICAL GABION IS 3' WIDE x 3' HIGH x 2' LONG.
 4. PROVIDE FILTER FABRIC TO PREVENT EARTH EMBANKMENT FROM SILTING INTO GABIONS.
 5. SEE SPECIFICATIONS FOR EMBANKMENT MATERIALS.
 6. GABION ROCK TO BE PER EARTHWORK SPECIFICATIONS; STONE FOR PIPE ENDS WITH SIZE D₁₅=50.

Sediment Forebay Berm 1/16
N.T.S. Source: VHB LD_164



- NOTES**
1. STAKING IS NOT REQUIRED FOR TREES UNDER 10' HIGH.
 2. PAINT TOP OF STAKES ORANGE OR REFLECTIVE RED TAPE.

Evergreen Tree Planting 1/16
N.T.S. Source: VHB LD_604

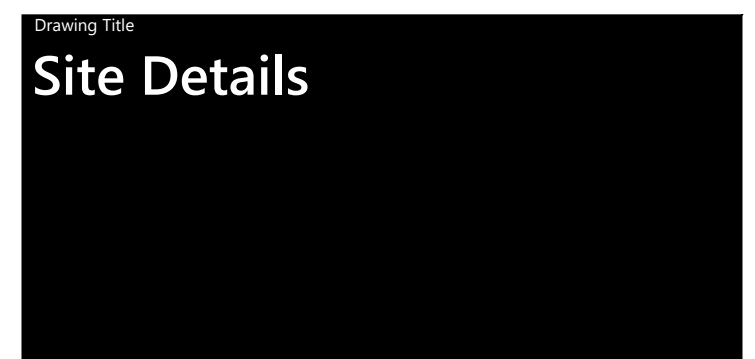
Proposed Large-Scale Ground-Mounted Solar Photovoltaic Installation

0 Route 25
Wareham, MA

No.	Revision	Date	Appvd.
1	Response to Comments	05/25/2022	SKE

Designed by	SKE	Checked by	JRG
-------------	-----	------------	-----

Issued for **Local Approvals** Date **August 2, 2021**

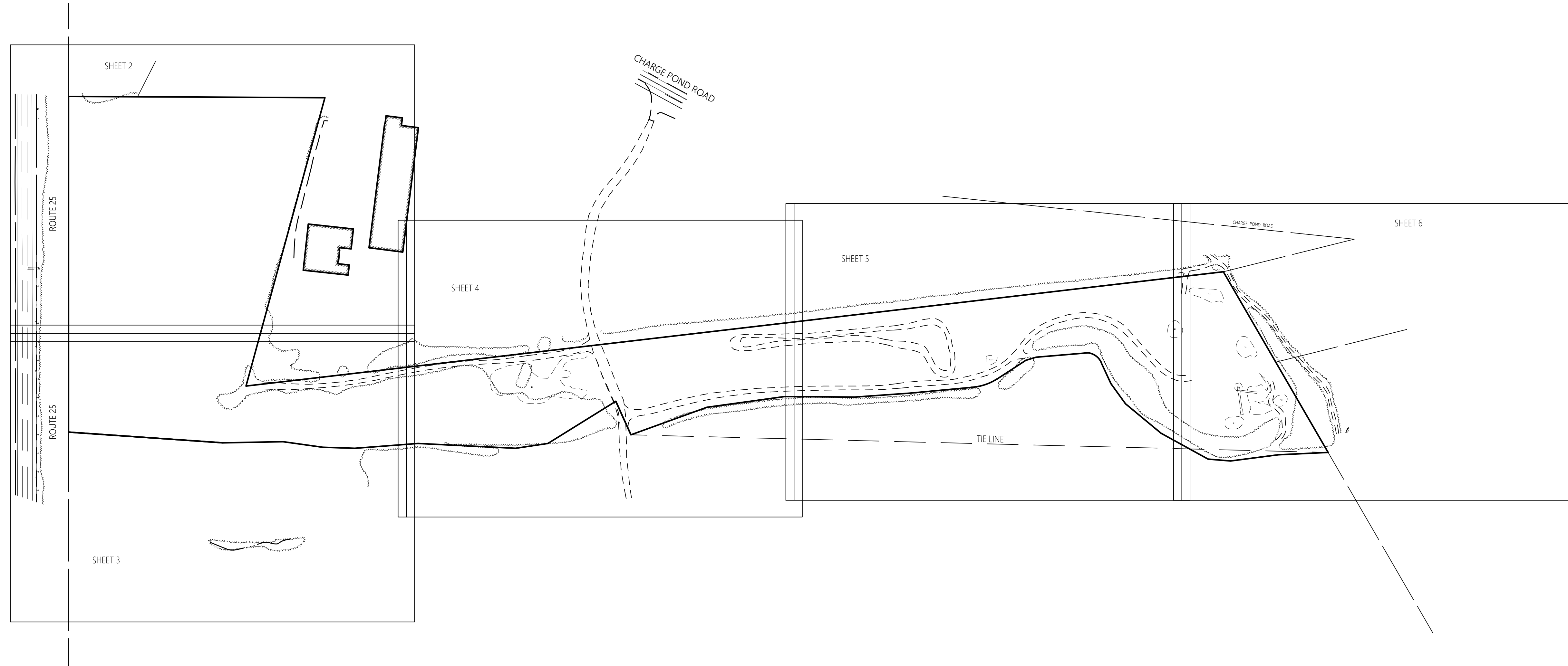
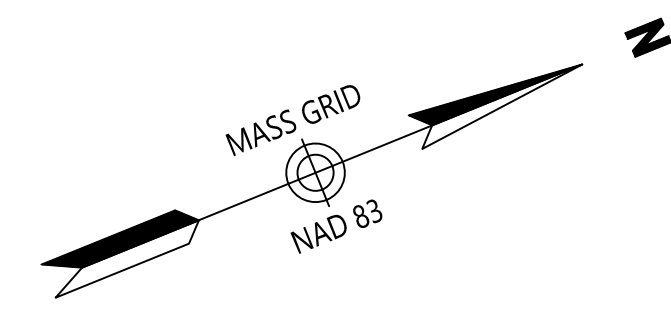


11/04/2022

C3.02

Sheet 7 of 7

Project Number 15225.01



Legend

⊙	DRAIN MANHOLE
⊚	CATCH BASIN
⊙	SEWER MANHOLE
⊙	ELECTRIC MANHOLE
⊙	TELEPHONE MANHOLE
⊙	MANHOLE
HH	HAND HOLE
⊙	WATER GATE
⊙	FIRE HYDRANT
⊙	GAS GATE
⊙	BOLLARD w/LIGHT
+	STREET SIGN
⊙	LIGHT POLE
⊙	UTILITY POLE
⊙	GUY WIRE
⊙	GUY WIRE
⊙	MONITORING WELL
⊙	FLOOD LIGHT
⊙	WELL
⊙	MARSH
⊙	F.F.E.=45.2'
⊙	FINISHED FLOOR ELEVATION
CNO	COULD NOT OPEN
NPV	NO PIPES VISIBLE
DYL	DOUBLE YELLOW LINE
DWL	DASHED WHITE LINE
SYL	SINGLE YELLOW LINE
LSA	LANDSCAPED AREA
CC	EDGE OF PAVEMENT
VSG	CONCRETE CURB
SGE	VERTICAL GRANITE CURB
BB	SLOPED GRANITE EDGE
BC	BITUMINOUS CURB
+	GUARD RAIL
⊙	CHAIN LINK FENCE
⊙	DRAINAGE LINE
---	SEWER LINE
-OHW	OVERHEAD WIRE
-E	UNDERGROUND ELECTRIC
-G	TELEPHONE LINE
-T	GAS LINE
-W	WATER LINE
⊙	STONE WALL
⊙	TREE LINE
---	100'RA 100-FT BUFFER ZONE
---	100'RA 100-FT RIVER FRONT AREA
---	200'RA 200-FT RIVER FRONT AREA
---	200'RA 200-FT RIVER FRONT AREA
---	LMH 100 LIMIT MEAN ANNUAL HIGH WATER
---	LMH 200 LIMIT MEAN ANNUAL HIGH WATER
---	LOB LIMIT OF BANK
---	WFB100 VEGETATED WETLAND BOUNDARY

Proposed Solar Array

Route 25
Wareham, Massachusetts

No.	Revision	Date	App'd.

Designed by	Checked by
Issued for	Date
	January 12, 2021

General Notes

- THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VHB, INC. IN DECEMBER, 2020 AND FROM DEEDS AND PLANS OF RECORD.
- THE EXISTING CONDITIONS SHOWN ON THIS PLAN WERE DEVELOPED FROM A COMBINED EFFORT OF AERIAL PHOTOGRAMMETRIC AND LIDAR METHOD MAPPING BY EASTERN TOPOGRAPHICS, INC., BASED ON AERIAL PHOTOGRAPHS TAKEN ON NOVEMBER 29, 2020 AND FROM AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VHB, INC. IN MAY, 2021.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND MAY BE SUBJECT TO ADDITIONAL INFORMATION DISCLOSED IN SUCH.
- THE WETLANDS SHOWN ON THIS PLAN WERE FLAGGED AND LOCATED (USING GPS) BY VHB ENVIRONMENTAL DEPARTMENT IN FEBRUARY, 2020.

Record Owner

DAVID FLETCHER
MAP 115 LOT 1000
BOOK 34514, PAGE 232

Drawing Title
**Existing Conditions
Plan of Land**

Drawing Number

Sv-1

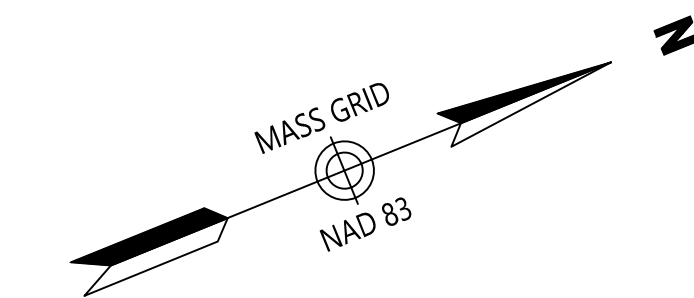
Sheet 1 of 6

Project Number
14668.03

8-3-2021



101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770



SHEET 2



Legend

- ⊙ DRAIN MANHOLE
- ⊕ CATCH BASIN
- ⊙ SEWER MANHOLE
- ⊙ ELECTRIC MANHOLE
- ⊙ TELEPHONE MANHOLE
- ⊙ MANHOLE
- HH □ HAND HOLE
- ⊙ WATER GATE
- ⊙ FIRE HYDRANT
- ⊙ GAS GATE
- ⊙ BOLLARD w/LIGHT
- ⊙ STREET SIGN
- ⊙ LIGHT POLE
- ⊙ UTILITY POLE
- ⊙ GUY POLE
- ⊙ GUY WIRE
- ⊙ MONITORING WELL
- ⊙ FLOOD LIGHT
- ⊙ WELL
- ⊙ MARSH
- ↑ F.F.E. = 45.27'
- ⊙ FINISHED FLOOR ELEVATION
- ⊙ COULD NOT OPEN
- NPV NO PIPES VISIBLE
- DYL DOUBLE YELLOW LINE
- DWL DASHED WHITE LINE
- SYL SINGLE YELLOW LINE
- LSA LANDSCAPED AREA
- CC EDGE OF PAVEMENT
- VSG CONCRETE CURB
- SGE VERTICAL GRANITE CURB
- BB BITUMINOUS BERM
- BC BITUMINOUS CURB
- GR GUARD RAIL
- CL CHAIN LINK FENCE
- DL DRAINAGE LINE
- SL SEWER LINE
- OHW OVERHEAD WIRE
- UW UNDERGROUND WIRE
- TELEPHONE LINE
- G GAS LINE
- W WATER LINE
- SW STONE WALL
- TREE LINE
- 100'RZ 100-FT BUFFER ZONE
- 100'RA 100-FT RIVER FRONT AREA
- 200'RA 200-FT RIVER FRONT AREA
- LMAH LIMIT MEAN ANNUAL HIGH WATER
- LB LIMIT OF BANK
- WFB-100 VEGETATED WETLAND BOUNDARY

Proposed Solar Array

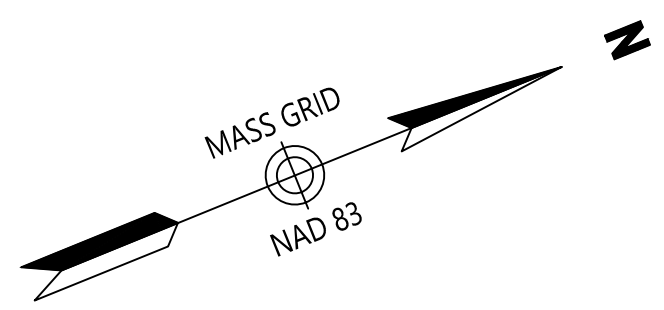
Route 25
Wareham, Massachusetts

No.	Revision	Date	Appr.

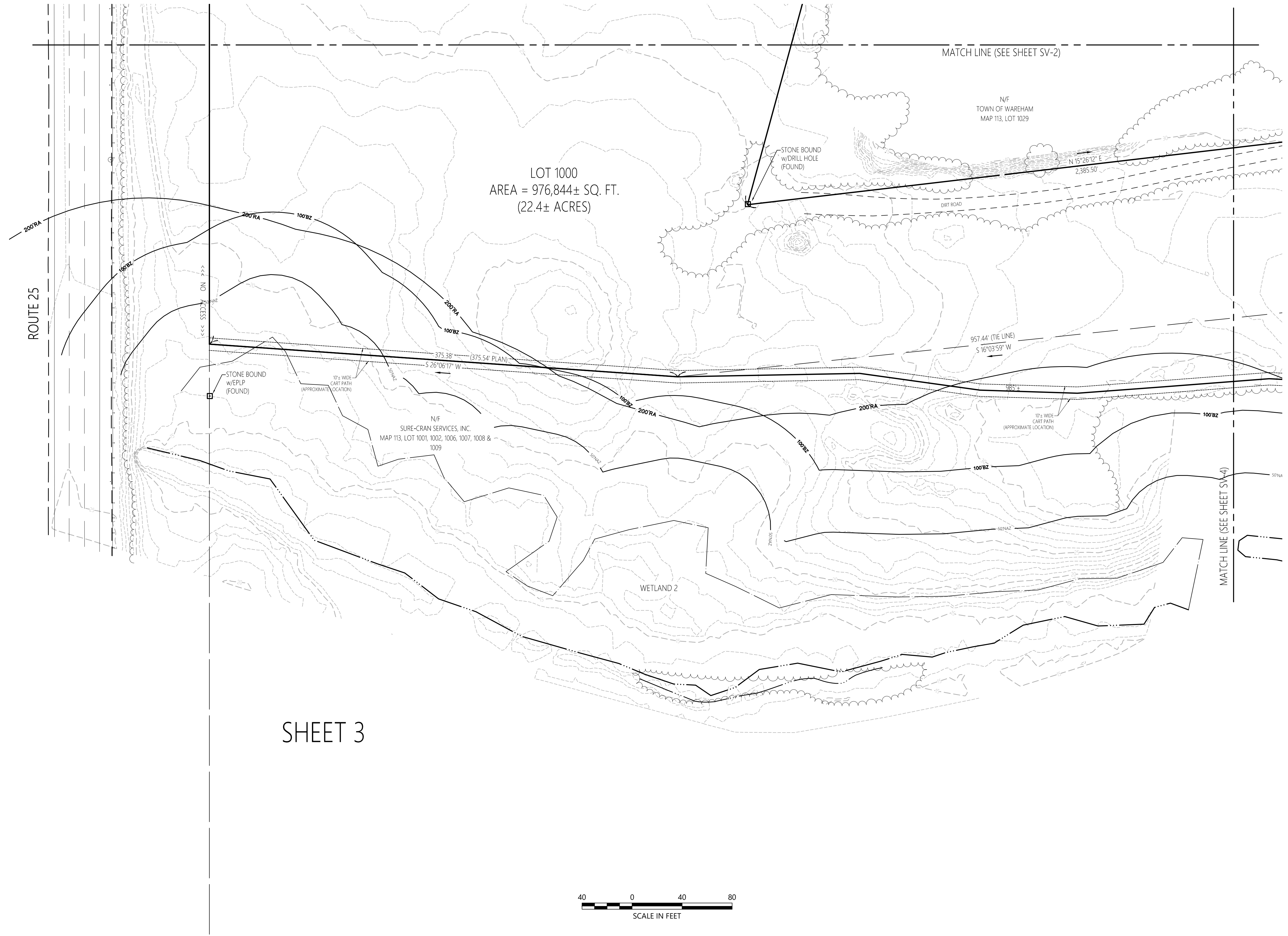
Designed by _____ Checked by _____
Issued for _____ Date _____
January 12, 2021

Drawing Title
**Existing Conditions
Plan of Land**
Drawing Number

COMMONWEALTH OF MASSACHUSETTS
REGISTERED PROFESSIONAL LAND SURVEYOR
RUSSELL J. BOUSQUET
NO. 35388
Project Number
14668.03
8-3-2021
Sheet 2 of 6
Sv-2



101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770



Legend

- ⊙ DRAIN MANHOLE
- ⊙ CATCH BASIN
- ⊙ SEWER MANHOLE
- ⊙ ELECTRIC MANHOLE
- ⊙ TELEPHONE MANHOLE
- ⊙ MANHOLE
- ⊙ HAND HOLE
- ⊙ WATER GATE
- ⊙ FIRE HYDRANT
- ⊙ GAS GATE
- ⊙ BOLLARD w/LIGHT
- ⊙ STREET SIGN
- ⊙ LIGHT POLE
- ⊙ UTILITY POLE
- ⊙ GUY POLE
- ⊙ GUY WIRE
- ⊙ MONITORING WELL
- ⊙ FLOOD LIGHT
- ⊙ WELL
- ⊙ MARSH
- ⊙ F.F.E. = 45.27'
- ⊙ FINISHED FLOOR ELEVATION
- ⊙ CNO COULD NOT OPEN
- ⊙ NPV NO PIPES VISIBLE
- ⊙ DYL DOUBLE YELLOW LINE
- ⊙ DWL DASHED WHITE LINE
- ⊙ SYL SINGLE YELLOW LINE
- ⊙ LSA LANDSCAPED AREA
- ⊙ EOP EDGE OF PAVEMENT
- ⊙ CC CONCRETE CURB
- ⊙ VSG VERTICAL GRANITE CURB
- ⊙ SGE SLOPED GRANITE EDGE
- ⊙ BB BITUMINOUS BERM
- ⊙ BC BITUMINOUS CURB
- ⊙ GR GUARD RAIL
- ⊙ CLF CHAIN LINK FENCE
- ⊙ DL DRAINAGE LINE
- ⊙ SL SEWER LINE
- ⊙ OHW OVERHEAD WIRE
- ⊙ E UNDERGROUND ELECTRIC
- ⊙ T TELEPHONE LINE
- ⊙ G GAS LINE
- ⊙ W WATER LINE
- ⊙ SW STONE WALL
- ⊙ TL TREE LINE
- ⊙ 100' BZ 100-FT BUFFER ZONE
- ⊙ 100' RA 100-FT RIVER FRONT AREA
- ⊙ 200' RA 200-FT RIVER FRONT AREA
- ⊙ LMAH LIMIT MEAN ANNUAL HIGH WATER
- ⊙ LB LIMIT OF BANK
- ⊙ WFBV VEGETATED WETLAND BOUNDARY

SHEET 3



Proposed Solar Array
Route 25
Wareham, Massachusetts

No.	Revision	Date	App'd.

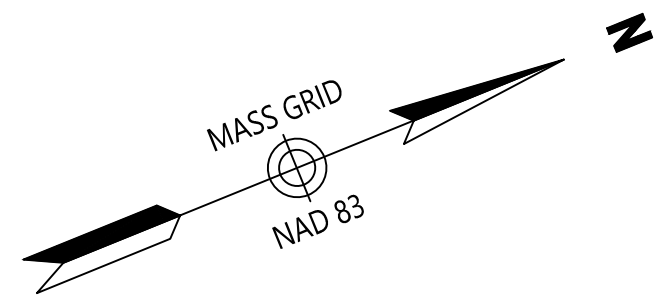
Designed by _____ Checked by _____
Issued for _____ Date _____

Existing Conditions
Plan of Land

Commonwealth of Massachusetts
RUSSELL J. BOUSQUET
NO. 35388
REGISTERED PROFESSIONAL LAND SURVEYOR

Sv-3

Sheet 3 of 6
Project Number 14668.03
8-3-2021



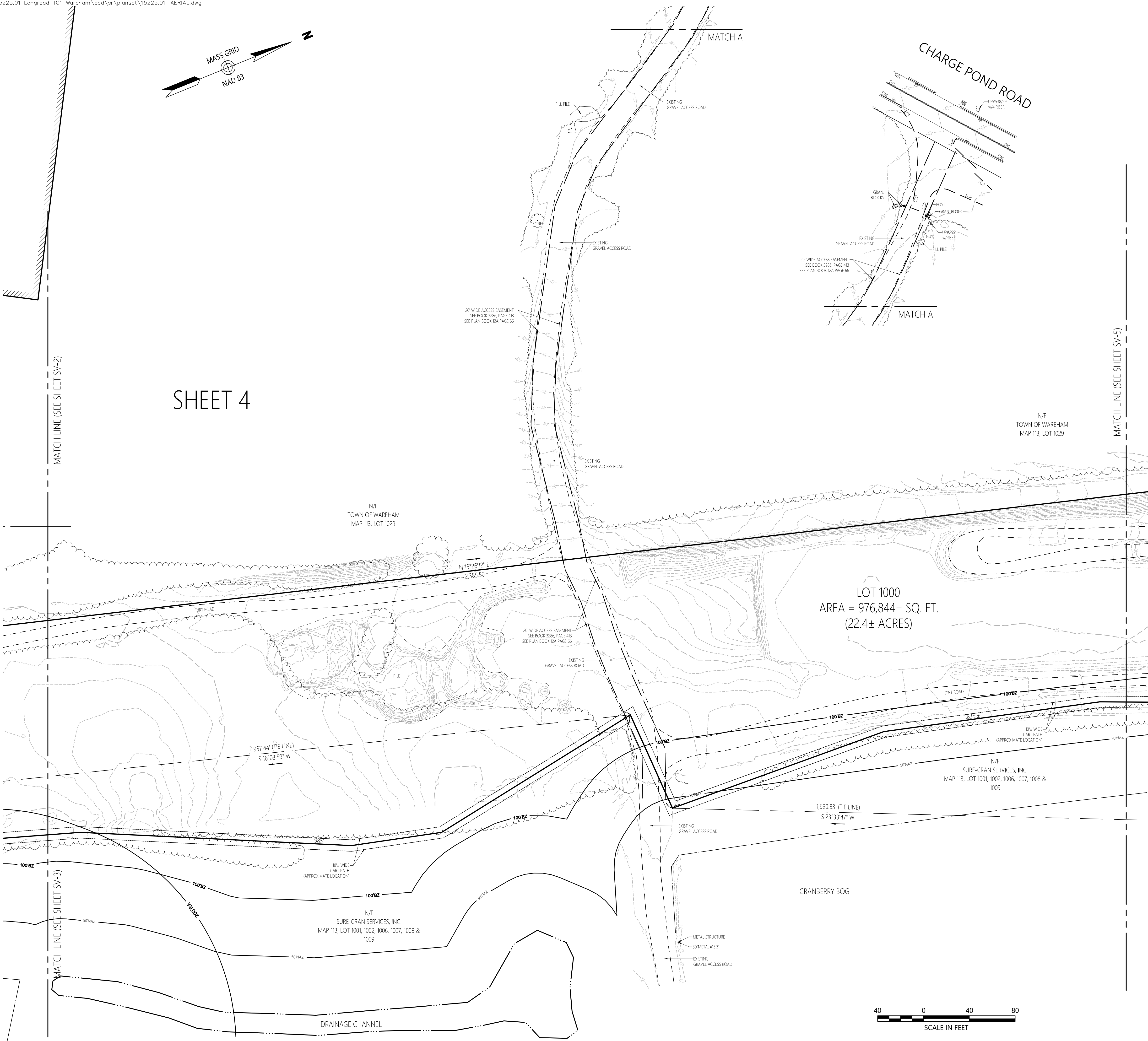
101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

Legend

- ⊙ DRAIN MANHOLE
- ⊞ CATCH BASIN
- ⊙ SEWER MANHOLE
- ⊙ ELECTRIC MANHOLE
- ⊙ TELEPHONE MANHOLE
- ⊙ MANHOLE
- HH □ HAND HOLE
- ⊙ WATER GATE
- ⊙ FIRE HYDRANT
- ⊙ GAS GATE
- ⊙ BOLLARD w/LIGHT
- ⊙ STREET SIGN
- ⊙ LIGHT POLE
- ⊙ UTILITY POLE
- ⊙ GUY POLE
- ⊙ GUY WIRE
- ⊙ MONITORING WELL
- ⊙ FLOOD LIGHT
- ⊙ WELL
- ⊙ MARSH
- ⊙ F.F.E. = 45.27'
- ⊙ FINISHED FLOOR ELEVATION
- ⊙ CULD NOT OPEN
- ⊙ NPV NO PIPES VISIBLE
- ⊙ DYL DOUBLE YELLOW LINE
- ⊙ DWL DASHED WHITE LINE
- ⊙ SYL SINGLE YELLOW LINE
- ⊙ LSA LANDSCAPED AREA
- ⊙ EOP EDGE OF PAVEMENT
- ⊙ CC CONCRETE CURB
- ⊙ VSG VERTICAL GRANITE CURB
- ⊙ SGE SLOPED GRANITE EDGE
- ⊙ BB BITUMINOUS BERM
- ⊙ BC BITUMINOUS CURB
- ⊙ GR GUARD RAIL
- ⊙ CLF CHAIN LINK FENCE
- ⊙ DL DRAINAGE LINE
- ⊙ SL SEWER LINE
- ⊙ OHW OVERHEAD WIRE
- ⊙ E UNDERGROUND ELECTRIC
- ⊙ T TELEPHONE LINE
- ⊙ G GAS LINE
- ⊙ W WATER LINE
- ⊙ SW STONE WALL
- ⊙ TL TREE LINE
- ⊙ 100' BZ 100-FT BUFFER ZONE
- ⊙ 100'RA 100-FT RIVER FRONT AREA
- ⊙ 200'RA 200-FT RIVER FRONT AREA
- ⊙ LMAH LIMIT MEAN ANNUAL HIGH WATER
- ⊙ LB LIMIT OF BANK
- ⊙ WFB100 VEGETATED WETLAND BOUNDARY

SHEET 4

LOT 1000
AREA = 976,844± SQ. FT.
(22.4± ACRES)



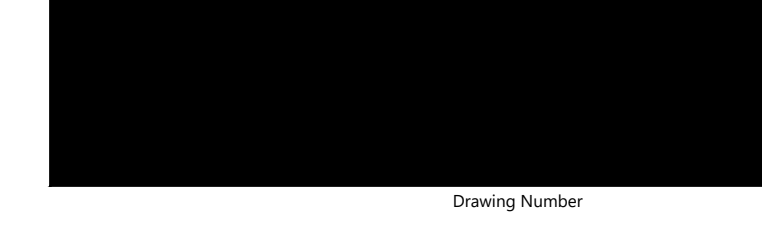
Proposed Solar Array

Route 25
Wareham, Massachusetts

No.	Revision	Date	App'd.

Designed by: _____ Checked by: _____
Issued for: _____ Date: **January 12, 2021**

**Existing Conditions
Plan of Land**



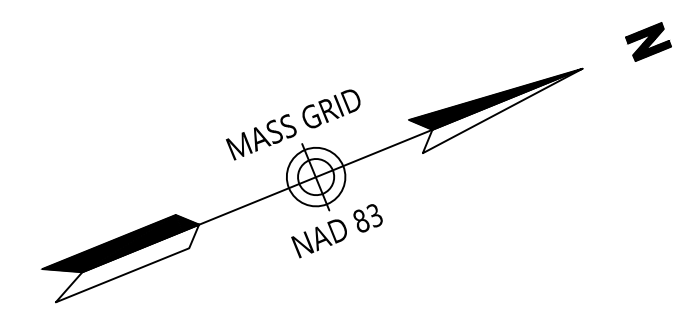
Drawing Title: **Existing Conditions Plan of Land**
Drawing Number: _____

Sv-4
Sheet 4 of 6
Project Number: **14668.03**
Date: **8-3-2021**

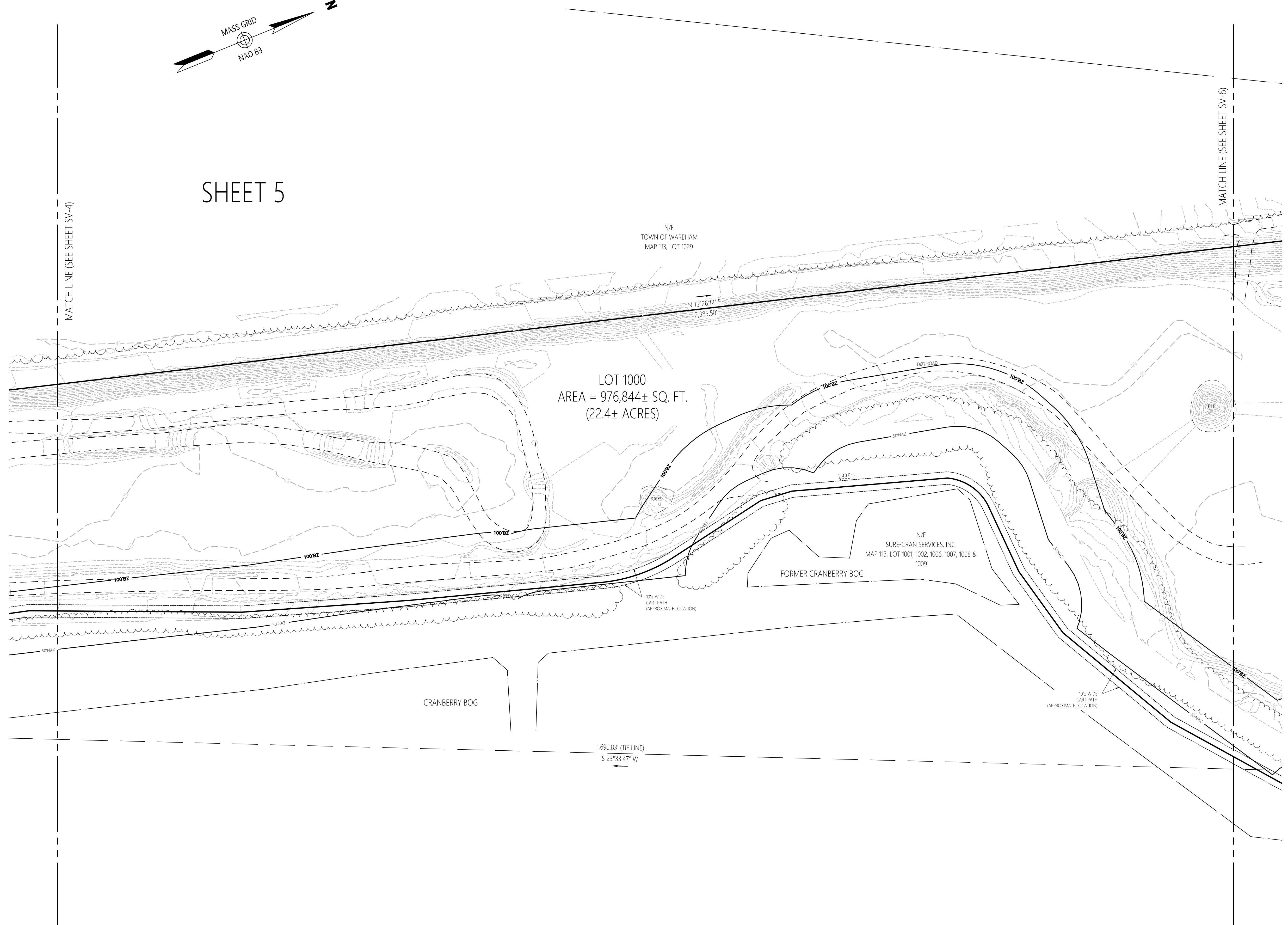




101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770



SHEET 5



Legend

- ⊙ DRAIN MANHOLE
- ⊕ CATCH BASIN
- ⊙ SEWER MANHOLE
- ⊙ ELECTRIC MANHOLE
- ⊙ TELEPHONE MANHOLE
- ⊙ MANHOLE
- ⊙ HAND HOLE
- ⊙ WATER GATE
- ⊙ FIRE HYDRANT
- ⊙ GAS GATE
- ⊙ BOLLARD w/LIGHT
- ⊙ STREET SIGN
- ⊙ LIGHT POLE
- ⊙ UTILITY POLE
- ⊙ GUY POLE
- ⊙ GUY WIRE
- ⊙ MONITORING WELL
- ⊙ FLOOD LIGHT
- ⊙ WELL
- ⊙ MARSH
- ↑ F.F.E. = 45.27'
- ⊙ FINISHED FLOOR ELEVATION
- ⊙ COULD NOT OPEN
- ⊙ NO PIPES VISIBLE
- ⊙ DOUBLE YELLOW LINE
- ⊙ DASHED WHITE LINE
- ⊙ SINGLE YELLOW LINE
- ⊙ LANDSCAPED AREA
- ⊙ EDGE OF PAVEMENT
- ⊙ CONCRETE CURB
- ⊙ VERTICAL GRANITE CURB
- ⊙ SLOPED GRANITE CURB
- ⊙ BITUMINOUS CURB
- ⊙ BITUMINOUS BERM
- ⊙ GUARD RAIL
- ⊙ CHAIN LINK FENCE
- ⊙ DRAINAGE LINE
- ⊙ SEWER LINE
- ⊙ OVERHEAD WIRE
- ⊙ UNDERGROUND ELECTRIC
- ⊙ TELEPHONE LINE
- ⊙ GAS LINE
- ⊙ WATER LINE
- ⊙ STONE WALL
- ⊙ TREE LINE
- ⊙ 100' BUFFER ZONE
- ⊙ 100-FT RIVER FRONT AREA
- ⊙ 200-FT RIVER FRONT AREA
- ⊙ LIMIT MEAN ANNUAL HIGH WATER
- ⊙ LIMIT OF BANK
- ⊙ VEGETATED WETLAND BOUNDARY

Proposed Solar Array

Route 25
Wareham, Massachusetts

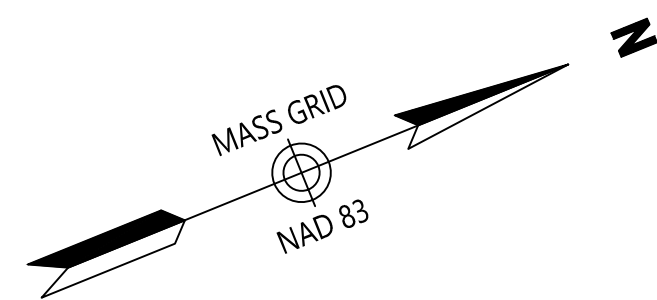
No.	Revision	Date	Appvd.

Designed by _____ Checked by _____
Issued for _____ Date _____
January 12, 2021

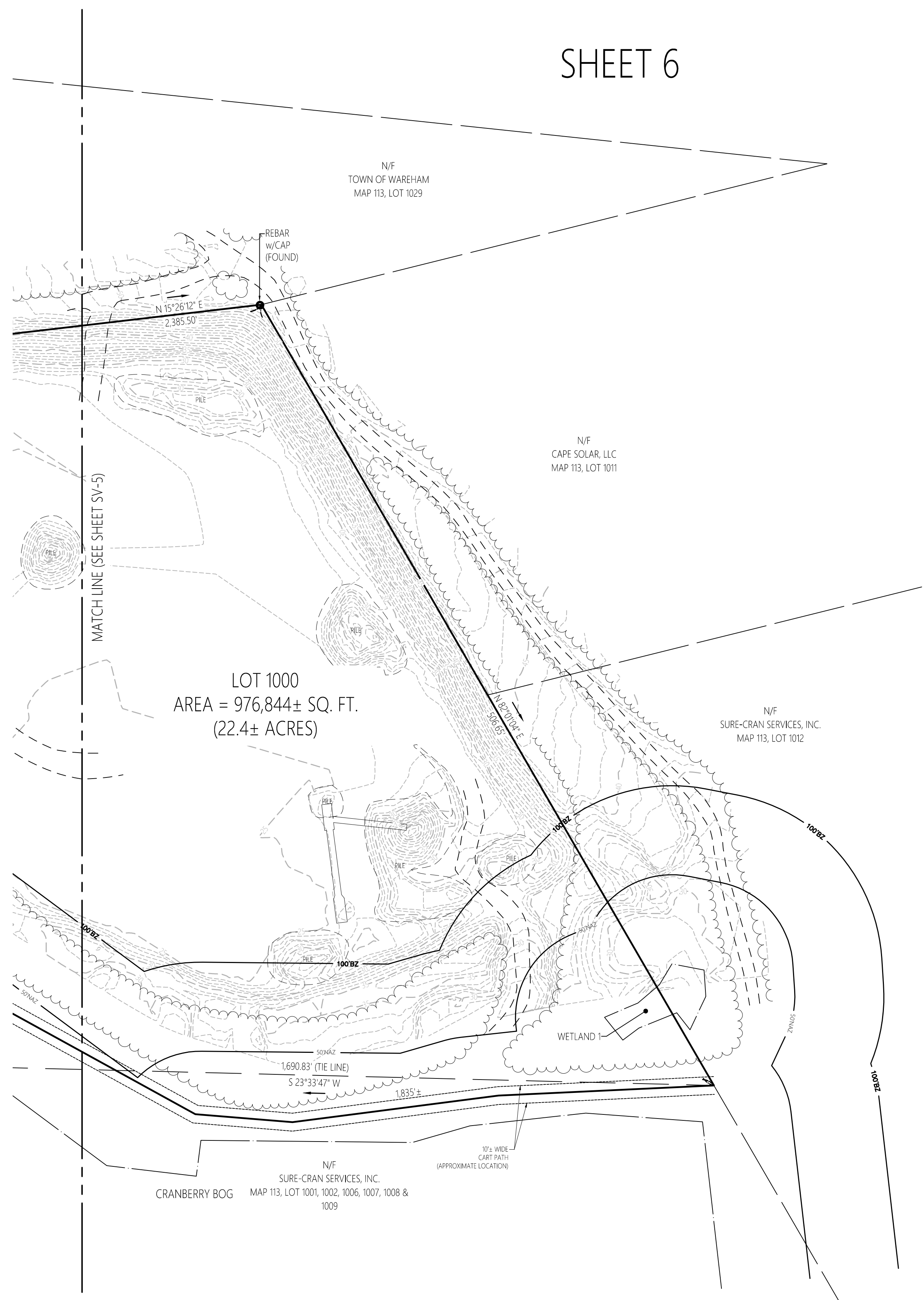
Drawing Title
**Existing Conditions
Plan of Land**
Drawing Number



COMMONWEALTH OF MASSACHUSETTS
REGISTERED PROFESSIONAL LAND SURVEYOR
RUSSELL J. BOUSQUET
NO. 35388
Project Number
14668.03
8-3-2021
Sheet 5 of 6
Sv-5



SHEET 6



LOT 1000
AREA = 976,844± SQ. FT.
(22.4± ACRES)



101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

Legend

- ⊕ DRAIN MANHOLE
- ⊞ CATCH BASIN
- ⊙ SEWER MANHOLE
- ⊕ ELECTRIC MANHOLE
- ⊙ TELEPHONE MANHOLE
- ⊙ MANHOLE
- HH □ HAND HOLE
- ⊙ WATER GATE
- ⊙ FIRE HYDRANT
- ⊙ GAS GATE
- BOLLARD w/LIGHT
- ⊙ STREET SIGN
- ⊙ LIGHT POLE
- ⊙ UTILITY POLE
- ⊙ GUY POLE
- ⊙ GUY WIRE
- ⊙ MONITORING WELL
- ⊙ FLOOD LIGHT
- ⊙ WELL
- ⊙ MARSH
- ↑ F.F.E. = 45.27'
- ⊙ FINISHED FLOOR ELEVATION
- CNO COULD NOT OPEN
- NPV NO PIPES VISIBLE
- DYL DOUBLE YELLOW LINE
- DWL DASHED WHITE LINE
- SYL SINGLE YELLOW LINE
- LSA LANDSCAPED AREA
- ⊙ EOP EDGE OF PAVEMENT
- CC CONCRETE CURB
- VSG VERTICAL GRANITE CURB
- SGE SLOPED GRANITE EDGE
- BB BITUMINOUS BERM
- BC BITUMINOUS CURB
- ⊙ GUARD RAIL
- ⊙ CHAIN LINK FENCE
- ⊙ DRAINAGE LINE
- ⊙ SEWER LINE
- OHW OVERHEAD WIRE
- ⊙ UNDERGROUND ELECTRIC
- ⊙ TELEPHONE LINE
- ⊙ GAS LINE
- ⊙ WATER LINE
- ⊙ STONE WALL
- ⊙ TREE LINE
- ⊙ 100BZ 100-FT BUFFER ZONE
- ⊙ 100RA 100-FT RIVER FRONT AREA
- ⊙ 200RA 200-FT RIVER FRONT AREA
- ⊙ 15F100 LIMIT MEAN ANNUAL HIGH WATER
- ⊙ 8F1100 LIMIT OF BANK
- ⊙ WF1100 VEGETATED WETLAND BOUNDARY

Proposed Solar Array

Route 25
Wareham, Massachusetts

No.	Revision	Date	App'd.

Drawing Title

**Existing Conditions
Plan of Land**

Drawing Number

COMMONWEALTH OF MASSACHUSETTS

RUSSELL J. BOUSQUET
NO. 35388

REGISTERED
PROFESSIONAL LAND SURVEYOR

Sv-6

Sheet 6 of 6

Project Number
14668.03

8-3-2021