Site Plans

Issued for Local Approvals August 2, 2021 Date Issued November 4, 2022 Latest Issue

Proposed Large-Scale Ground-Mounted Solar Photovoltaic Installation

0 Route 25 Wareham, MA

Owner

David Fletcher PO Box 829 Plymouth, MA 02362

Applicant

Wareham PV I, LLC 330 Congress Street 6th Floor Boston, MA 02210

Assessor's Map 115: Lot 1000



Sheet I	ndex	
No.	Drawing Title	Latest Issue
C1.00	Legend and General Notes	August 2, 2021
C2.00	Overall Site Plan	November 4, 2022
C2.01-2.03	Layout, Grading, Drainage, and Erosion Control Plan	November 4, 2022
C3.01-3.02	Site Details	May 25, 2022

Refe	erence Drawings	
No.	Drawing Title	Latest Issue
Sv-1 - S	v-7 Existing Conditions Plan of Land	January 12, 2021



Designer/Developer/Electrical Engineer

Wareham PV I, LLC 330 Congress Street, 6th Floor Boston, MA 02210 617.377.4301

Exist.	Prop.		Exist.	Prop.	
				<u> </u>	
		PROPERTY LINE			CONCRETE
		PROJECT LIMIT LINE			HEAVY DUTY PAVEMENT
		RIGHT-OF-WAY/PROPERTY LINE			BUILDINGS
		EASEMENT			RIPRAP
		BUILDING SETBACK			CONSTRUCTION EXIT
10+00	10+00	PARKING SETBACK	27.35 TC×	27.35 TC×	TOP OF CURB ELEVATION
		BASELINE	26.85 BC×	26.85 BC×	BOTTOM OF CURB ELEVATION
		CONSTRUCTION LAYOUT	132.75 ×	132.75 ×	SPOT ELEVATION
		ZONING LINE	45.0 TW × 38.5 BW	45.0 TW × 38.5 BW	TOP & BOTTOM OF WALL ELEVATION
		TOWN LINE	-	•	BORING LOCATION
		LIMIT OF DISTURBANCE		Ė	TEST PIT LOCATION
·		WETLAND LINE WITH FLAG	○ MW	→ MW	MONITORING WELL
		FLOODPLAIN			
DI CE		BORDERING LAND SUBJECT	———UD——— 12"D	——UD—— 12"D»	UNDERDRAIN
BLSF		TO FLOODING		6"RD»	DRAIN
BZ	_	WETLAND BUFFER ZONE	6"RD	12"S	ROOF DRAIN
NDZ		NO DISTURB ZONE	12"S FM	FM	SEWER
200'RA		200' RIVERFRONT AREA			FORCE MAIN
		CDAVELBOAD	—— OHW ——	——— OHW ———	OVERHEAD WIRE
— — — EOP	 EOP	GRAVEL ROAD	6"W	6"W	WATER
BB	BB	EDGE OF PAVEMENT	4"FP	4"FP	FIRE PROTECTION
		BITUMINOUS BERM		2"DW	DOMESTIC WATER
BC	BC	BITUMINOUS CURB	3"G	———G———	GAS
CC	CC CG	CONCRETE CURB	———E———	——E——	ELECTRIC
		CURB AND GUTTER	STM	——STM——	STEAM
CC	<u>ECC</u>	EXTRUDED CONCRETE CURB	——Т——	——T——	TELEPHONE
CC	MCC	MONOLITHIC CONCRETE CURB	——FA——	——FA——	FIRE ALARM
	PCC	PRECAST CONC. CURB		CATV	CABLE TV
SGE	SGE	SLOPED GRAN. EDGING			CATCH BASIN CONCENTRIC
VGC	VGC	VERT. GRAN. CURB			CATCH BASIN ECCENTRIC
		LIMIT OF CURB TYPE			DOUBLE CATCH BASIN CONCENTRIC
		SAWCUT			DOUBLE CATCH BASIN ECCENTRIC
(///////			==	<u> </u>	GUTTER INLET
		BUILDING	©	•	DRAIN MANHOLE CONCENTRIC
	EN	BUILDING ENTRANCE	(D)	•	DRAIN MANHOLE ECCENTRIC
		LOADING DOCK	=TD=		TRENCH DRAIN
•	•	BOLLARD	ŗ.	<u> </u>	PLUG OR CAP
D	D	DUMPSTER PAD	со	CO	CLEANOUT
	•	SIGN	•	•	FLARED END SECTION
	=	DOUBLE SIGN		<u></u>	HEADWALL
T I		Steel Guardrail	<u> </u>	•	SEWER MANHOLE CONCENTRIC
		WOOD GUARDRAIL	<u> </u>	•	SEWER MANHOLE ECCENTRIC
					SEWER WANTOLE ECCLIVING
	= = = =	PATH	CS ● WV	CS •	CURB STOP & BOX
<u> </u>	\sim	TREE LINE		₩V •	WATER VALVE & BOX
×	-xx-	WIRE FENCE	TSV	TSV →→	TAPPING SLEEVE, VALVE & BOX
·····	•	FENCE	♦♦ HYD	₩ HYD	FIRE DEPARTMENT CONNECTION
		STOCKADE FENCE	© WM	⊗ WM	FIRE HYDRANT
00000	~~~~	STONE WALL	PIV	₽IV	WATER METER
		RETAINING WALL	(a)	•	POST INDICATOR VALVE
		STREAM / POND / WATER COURSE	W	(W)	WATER WELL
		DETENTION BASIN	GG O	GG O	GAS GATE
	•••••	STRAW BALES	GM	GM ⊡	GAS METER
	——×——	SILT FENCE		EMH	
×		STRAW WATTLE	E) EM	EM	ELECTRIC MANHOLE
	· C::::::> ·		-	⊡	ELECTRIC METER
×	4	MINIOR CONTOUR	and the second s	*	LIGHT POLE
	4	MINOR CONTOUR	\$	_	
—×——	4	MINOR CONTOUR MAJOR CONTOUR		● ^{TMH}	TELEPHONE MANHOLE
	4			● ^{TMH}	TELEPHONE MANHOLE TRANSFORMER PAD
×	4	MAJOR CONTOUR	① T	_	TRANSFORMER PAD
×	4	MAJOR CONTOUR PARKING COUNT	① T	_	TRANSFORMER PAD UTILITY POLE
——————————————————————————————————————		MAJOR CONTOUR PARKING COUNT COMPACT PARKING STALLS DOUBLE YELLOW LINE			TRANSFORMER PAD
	4	PARKING COUNT COMPACT PARKING STALLS DOUBLE YELLOW LINE STOP LINE	① T	Ţ←↓	TRANSFORMER PAD UTILITY POLE
——————————————————————————————————————	4	PARKING COUNT COMPACT PARKING STALLS DOUBLE YELLOW LINE STOP LINE CROSSWALK			TRANSFORMER PAD UTILITY POLE GUY POLE
	4	PARKING COUNT COMPACT PARKING STALLS DOUBLE YELLOW LINE STOP LINE	- □ □ · · · · · · · · · · · · · · · · ·		TRANSFORMER PAD UTILITY POLE GUY POLE GUY WIRE & ANCHOR

Abbreviations

General	
ABAN	ABANDON
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
APPROX	APPROXIMATE
BIT	BITUMINOUS
BS	BOTTOM OF SLOPE
BWLL	BROKEN WHITE LANE LINE
CONC	CONCRETE
DYCL	DOUBLE YELLOW CENTER LINE
EL	ELEVATION
ELEV	ELEVATION
EX	EXISTING
FDN	FOUNDATION
FFE	FIRST FLOOR ELEVATION
GRAN	GRANITE
GTD	GRADE TO DRAIN
LA	LANDSCAPE AREA
LOD	LIMIT OF DISTURBANCE
MAX	MAXIMUM
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PERF	PERFORATED
PROP	PROPOSED
REM	REMOVE
RET	RETAIN
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
SWEL	SOLID WHITE EDGE LINE
SWLL	SOLID WHITE LANE LINE
TS	TOP OF SLOPE
TYP	TYPICAL
Utility	
	CATCHIDACINI
CMP	CATCH BASIN CORRUGATED METAL PIPE
CMP	CLEANOUT
DCB	DOUBLE CATCH BASIN
DMH	DRAIN MANHOLE
CIP	CAST IRON PIPE
COND	CONDUIT
DIP	DUCTILE IRON PIPE
	FLARED END SECTION
FM	FORCE MAIN
	FRAME AND GRATE
	FRAME AND COVER
	GUTTER INLET
GT	GREASE TRAP
	HIGH DENSITY POLYETHYLENE PIPE
	HANDHOLE
	HEADWALL
	HYDRANT
	INVERT ELEVATION
I=	INVERT ELEVATION
LP	LIGHT POLE
	METAL END SECTION
	POST INDICATOR VALVE
	PAVED WATER WAY
	POLYVINYLCHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
R=	RIM ELEVATION
	RIM ELEVATION
	SEWER MANHOLE
	TAPPING SLEEVE, VALVE AND BOX
	UNDERGROUND
-	

UTILITY POLE

Notes

General

- 1. CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.
- 2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
- 3. ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).
- 4. AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE 6 INCHES LOAM AND SEED.
- 5. WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS.
- 6. WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
- 7. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE REPMATS
- 8. TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- 9. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S
- 10. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
- 11. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
- 12. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
- 13. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT
- 14. THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND FALLS WITHIN THE NPDES CONSTRUCTION GENERAL PERMIT (CGP) PROGRAM AND EPA JURISDICTION. PRIOR TO THE START OF CONSTRUCTION CONTRACTOR IS TO FILE A CGP NOTICE OF INTENT WITH THE EPA AND PREPARE A STORMWATER POLLUTION PREVENTION PLAN IN ACCORDANCE WITH THE NPDES REGULATIONS. CONTRACTOR SHALL CONFIRM THE OWNER HAS ALSO FILED A NOTICE OF INTENT WITH THE EPA.

Utilities

- 1. THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.
- 3. SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.
- 4. RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS:
 - A. PAVEMENTS AND CONCRETE SURFACES: FLUSH
 - B. ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH
 - C. LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.

5. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY

- SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.
- 6. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.
- 7. UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:
- A. STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HDPE)
- B. PIPE INSTALLATION AND MATERIALS SHALL COMPLY WITH THE STATE PLUMBING CODE WHERE APPLICABLE. CONTRACTOR SHALL COORDINATE WITH LOCAL PLUMBING INSPECTOR PRIOR TO BEGINNING WORK.
- 8. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEWORK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASEMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.
- CONTRACTOR SHALL EXCAVATE AND BACKFILL TRENCHES FOR GAS IN ACCORDANCE WITH GAS COMPANY'S REQUIREMENTS.
- 10. ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4' MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE 5 FEET.

Plant Maintenance Notes

- 1. CONTRACTOR SHALL PROVIDE COMPLETE MAINTENANCE OF THE LAWNS AND PLANTINGS. NO IRRIGATION IS PROPOSED FOR THIS SITE. THE CONTRACTOR SHALL SUPPLY SUPPLEMENTAL WATERING FOR NEW LAWNS AND PLANTINGS DURING THE ONE YEAR PLANT GUARANTEE PERIOD.
- CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE LANDSCAPE MAINTENANCE WORK. WATER SHALL BE PROVIDED BY THE CONTRACTOR.
- 3. WATERING SHALL BE REQUIRED DURING THE GROWING SEASON, WHEN NATURAL RAINFALL IS BELOW
- WATER SHALL RE ADDITED IN SLIEFICIENT OLIANITITY TO THOROLIGHLY SATURATE THE SOIL IN THE
- 4. WATER SHALL BE APPLIED IN SUFFICIENT QUANTITY TO THOROUGHLY SATURATE THE SOIL IN THE ROOT ZONE OF EACH PLANT.
- 5. CONTRACTOR SHALL REPLACE DEAD OR DYING PLANTS AT THE END OF THE ONE YEAR GUARANTEE PERIOD. CONTRACTOR SHALL TURN OVER MAINTENANCE TO THE FACILITY MAINTENANCE STAFF AT THAT TIME.

Layout and Materials

- 1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
- 2. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
- 3. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LAND SURVEYOR.
- 4. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.

Demolition

- 1. CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.
- 2. EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
- 3. CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.
- 4 THE DEMOLITION LIMITS DEPICTED IN THE PLANS IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS BID/PROPOSAL TO PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION FOR CHANGED CONDITIONS OR UNFORESEEN OR LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS DISCOVERED DURING EXECUTION OF THE WORK.
- 5. UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS.

Erosion Control

- 1. PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL SEDIMENT CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
- 2. CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION PREVENTION AND SEDIMENT CONTROL MEASURES ON A WEEKLY BASIS (MINIMUM) OR AS REQUIRED PER THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL ADDRESS DEFICIENCIES AND MAINTENANCE ITEMS WITHIN TWENTY-FOUR HOURS OF INSPECTION. CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT SUCH THAT IT DOES NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
- 3. CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
- 4. CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION. REFER TO PROJECT SWPPP FOR SPECIFIC TIMEFRAMES.
- UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF SEDIMENT CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.

Existing Conditions Information

- 1. BASE PLAN: "EXISTING CONDITIONS PLAN OF LAND" DATED JANUARY 12 2021, PREPARED BY VHB.
- 2. TOPOGRAPHY: ELEVATIONS ARE BASED ON NAVD 1988.

Document Use

- 1. THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.
- CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
- 3. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.

Planting Notes

- ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED AS SHOWN ON THE PLANS FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 2. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW GRADE AND ABOVE GROUND UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS.
- NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICT.
- 4. A 3-INCH DEEP MULCH PER SPECIFICATION SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED ON THE PLANS, OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
- 5. ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- 6. FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANT LIST AND PLANT LABELS PRIOR TO BIDDING.
- 7. ANY PROPOSED PLANT SUBSTITUTIONS MUST BE REVIEWED BY LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
- 8. ALL PLANT MATERIALS INSTALLED SHALL MEET THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND CONTRACT DOCUMENTS.
- 9. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL
- 10. AREAS DESIGNATED "LOAM & SEED" SHALL RECEIVE MINIMUM 6" OF LOAM AND SPECIFIED SEED MIX. LAWNS OVER 2:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC.
- 11. ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE LOAM AND SEEDED OR MULCHED AS DIRECTED BY OWNER'S REPRESENTATIVE.
- 12. THIS PLAN IS INTENDED FOR PLANTING PURPOSES. REFER TO SITE / CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.



PO Box 9151 Watertown, MA 02471 617.924.1770

Proposed Large-Scale Ground-Mounted Solar Photovoltaic Installation O Route 25

Wa	areham, MA		
No.	Revision	Date	Арру

Issued for Date	
JKL	
Designed by Checke	JRG

Legend and
General Notes



C1.01

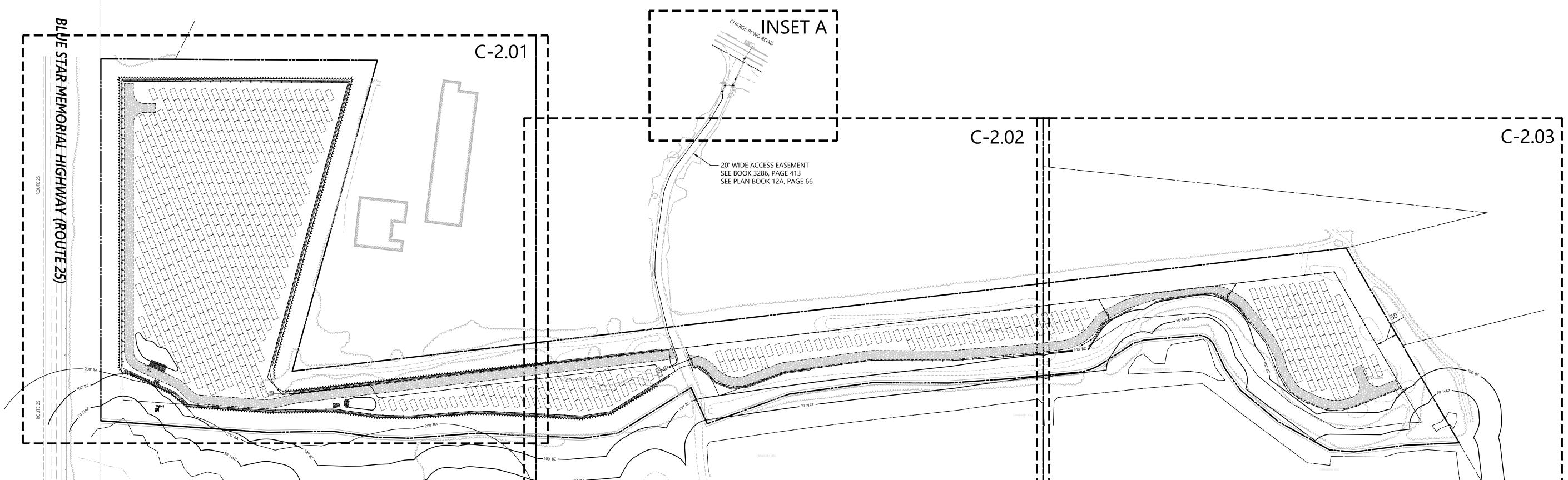
Sheet of 7

101 Walnut Street

Watertown, MA 02471

PO Box 9151

617.924.1770



SOLAR FARM SEED MIX

% SEED
30%
30%
15%
15%
10% Total 100%

COMMON NAME
Creeping Red Fescue
Sheep Fescue 'Whisper'
Hard Fescue 'Heron'
Hard Fescue 'Chariot' **BOTANICAL NAME** Festuca rubra
Festuca ovina 'Whisper'
Festuca ovina var. duriuscula (F. longifolia) 'Heron'
Festuca brevipila 'Chariot'
Lolium multiflorum (L. perenne var. italicum) Annual Ryegrass

SEEDING RATE TO BE 6 LB PER 1,000 SF. SEED MIX TO BE ERNMX-186 "SOLAR FARM SEED MIX" AS MANUFACTURED BY ERNST CONSERVATION SEEDS, 8884 MERCER PIKE, MEADVILLE PA, (800) 873-3321.

Zoning Summary Chart

(2) Per Section 594.1.1 of Zoning By-Laws.

Zoning District(s):	Residential 130 (R-130)	
Zoning Regulation Requirements	Required ¹	Provided
MINIMUM LOT AREA ²	≥3 Acres	22.4 Acres
FRONTAGE ³	Not Applicable	Not Applicable
MINIMUM FRONT YARD SETBACK	50 Feet	Not Applicable
MINIMUM SIDE YARD SETBACK	50 Feet	50 Feet
MINIMUM REAR YARD SETBACK	50 Feet	Not Applicable
MAXIMUM BUILDING HEIGHT ⁴	35 Feet	Not Applicable
(1) Zoning requirements as specified in "Zoning By-Law 2018) (hereinafter "Zoning By-Laws").	rs Town of Wareham Massa	chusetts" (revised October

(3) Per Section 611 of Zoning By-Laws, R-130 district minimum frontage requirement is not applicable because proposed project is not "principal building" or "accessory building" as those terms are defined in Article 16 of Zoning By-Laws.

(4) Per Section 611 of Zoning By-Laws, R-130 district maximum allowed height requirement is not applicable because proposed project is not "principal building" or "accessory building" as those terms are defined in Article 16 of Zoning By-Laws.

Notes

- 1. 0 Route 25 (Map 115, Lot 1000) (the "Project Parcel") is located outside the
- O Route 25 (Map 115, Lot 1000) (the "Project Parcel") is located outside the 100-year flood plain as noted on the FEMA Flood Insurance Rate Map (FIRM) Panels Number 25023C0487K & 25023C0489L last revised July 6, 2021.
 Access to the Project Parcel is via an existing 20-foot wide access easement from Charge Pond Road taken by MassDOT predecessor Massachusetts Department of Public Works on behalf of certain landowners (including the owner of the Project Parcel) in 1966 in connection with the development of Route 25 as a limited access highway. See Layout 5560 and Order of Taking dated April 14, 1966, recorded at the Plymouth County Registry of Deeds in Book 3286, Page 413 and Plan Book 12A, Page 66.

Proposed Large-Scale Ground-Mounted Solar

Photovoltaic Installation 0 Route 25

reham	_	
Revision		

1	Response to Comments	05/25/2022	SKE
2	Buffer Zone Adjustments	06/13/2022	SKE
3	Buffer Zone Adjustments	11/04/2022	SKE

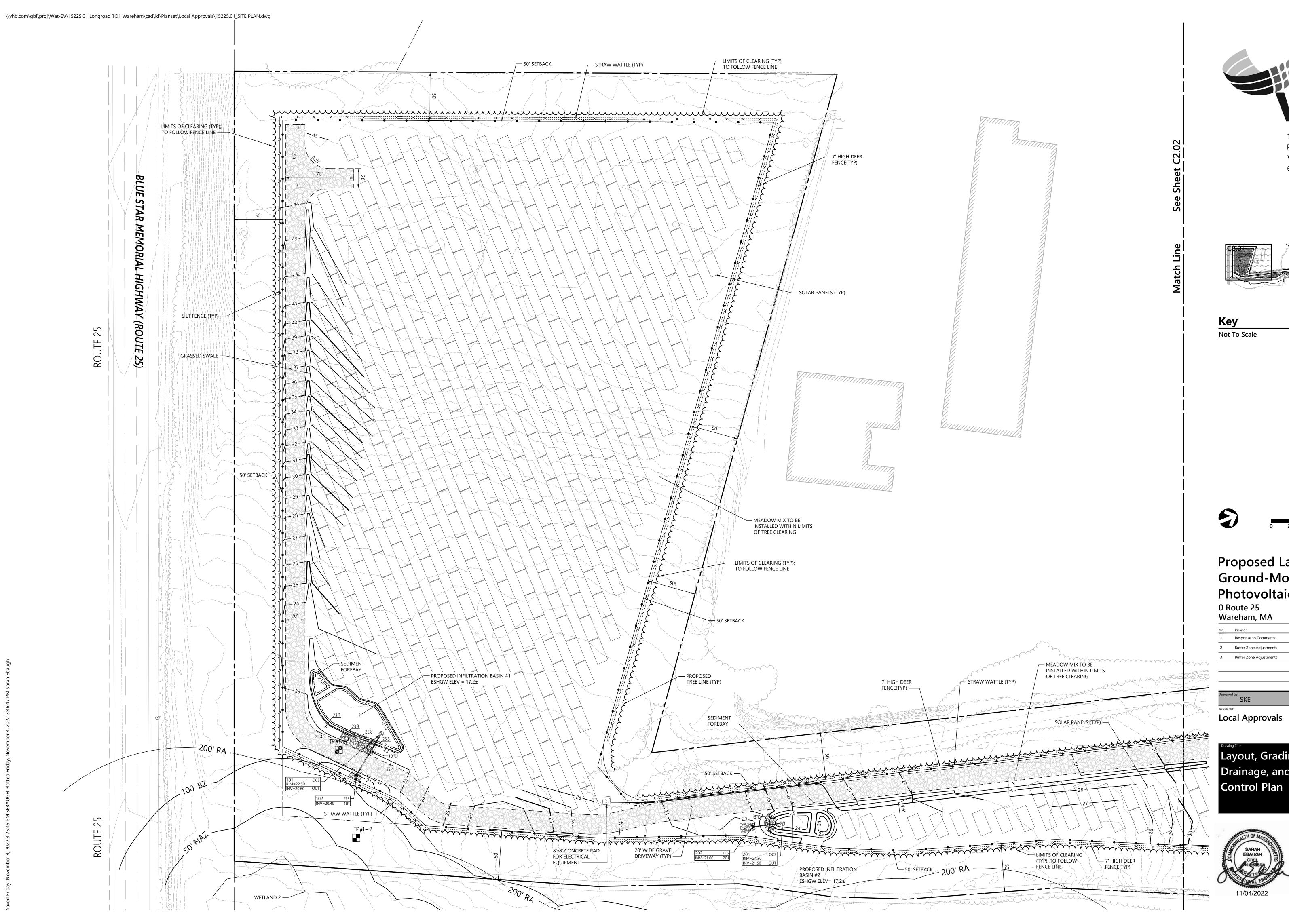
Designed by SKE	Checked by JRG
Issued for	Date
Local Approvals	August 2, 2021

Local Approvals

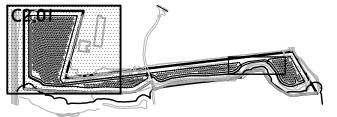


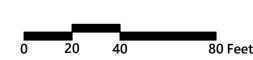


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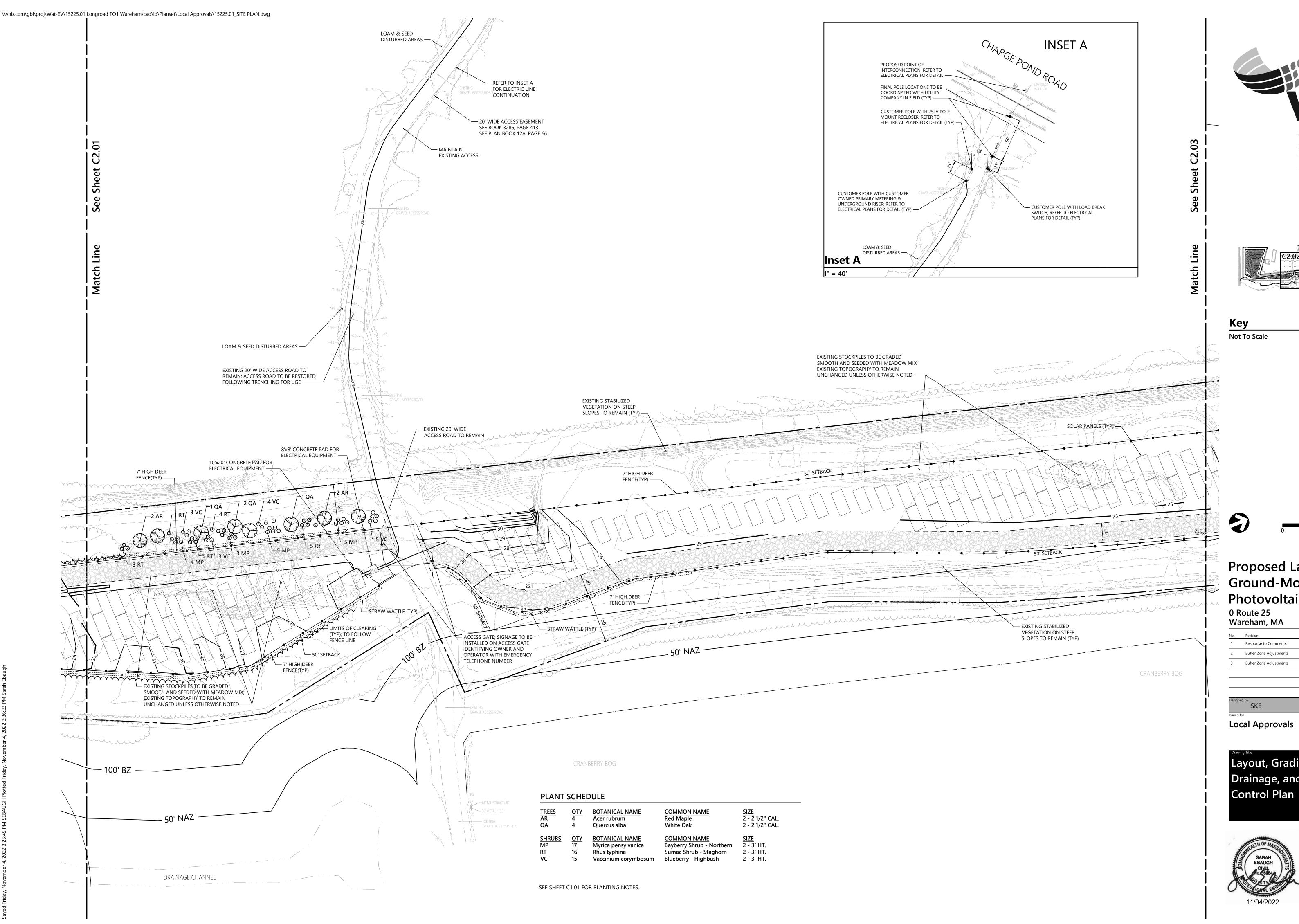
Proposed Large-Scale **Ground-Mounted Solar** Photovoltaic Installation

			rippra.
1	Response to Comments	05/25/2022	SKE
2	Buffer Zone Adjustments	06/13/2022	SKE
3	Buffer Zone Adjustments	11/04/2022	SKE

Local Approvals	August 2, 2021
Issued for	Date
SKE	Checked by JRG

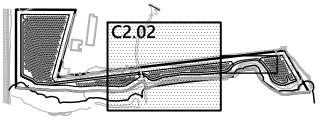
Layout, Grading, Drainage, and Erosion

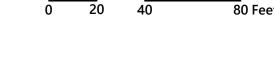






PO Box 9151 Watertown, MA 02471 617.924.1770





Proposed Large-Scale **Ground-Mounted Solar Photovoltaic Installation**

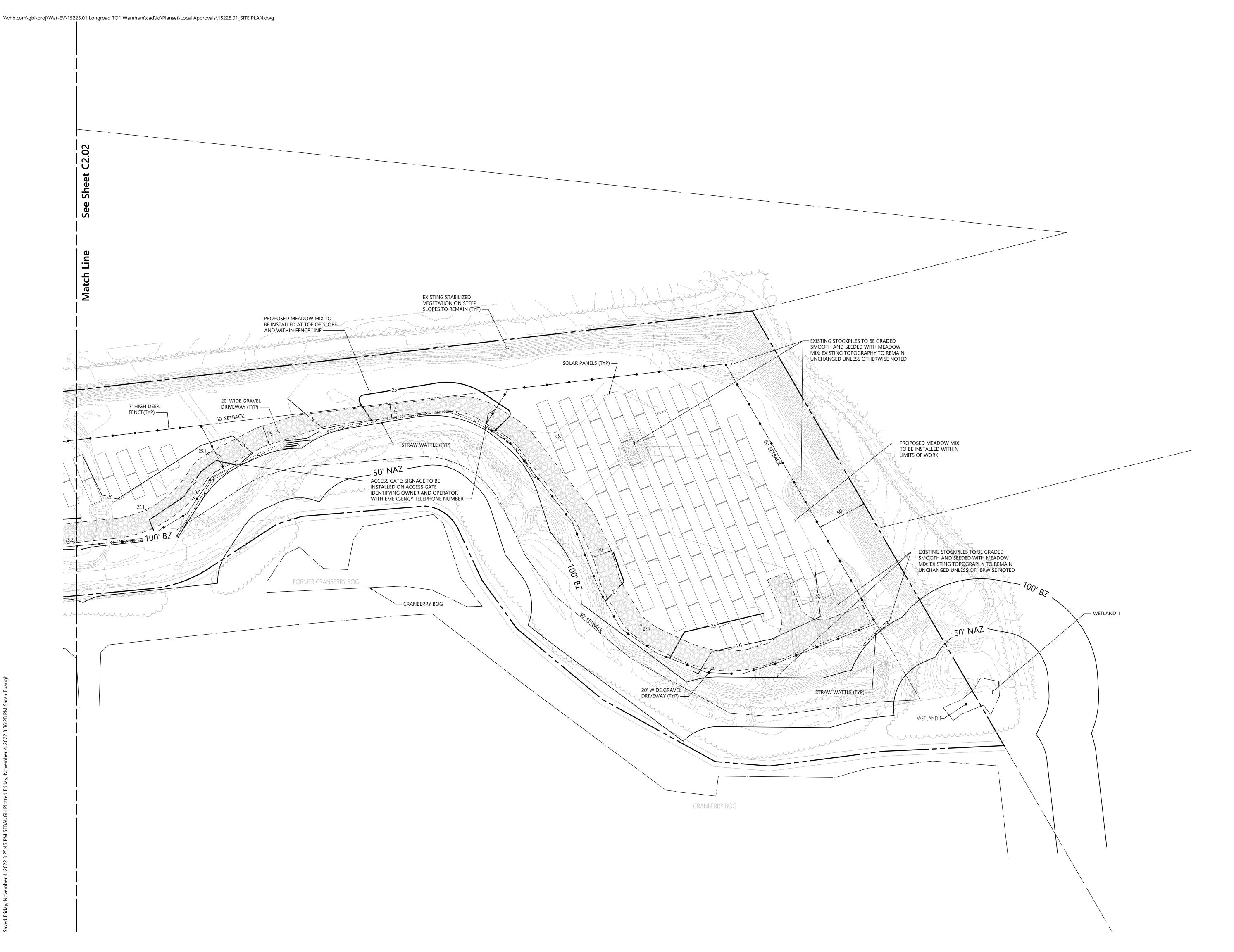
2	Buffer Zone Adjustments	06/13/2022
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Local Approvals	August 2, 2021
Issued for	Date
SKE	Checked by JRG

Local Approvais

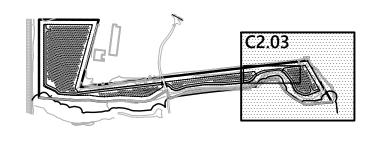
Layout, Grading, Drainage, and Erosion







617.924.1770







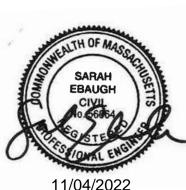
Photovoltaic Installation 0 Route 25 Wareham, MA

No.	Revision	Date	Appvd.
1	Response to Comments	05/25/2022	SKE
2	Buffer Zone Adjustments	06/13/2022	SKE
3	Buffer Zone Adjustments	11/04/2022	SKE

Designed by SKE	Checked by JRG	
Issued for	Date	
Local Approvals	August 2, 202	

Local Approvals

Layout, Grading, Drainage, and Erosion **Control Plan**



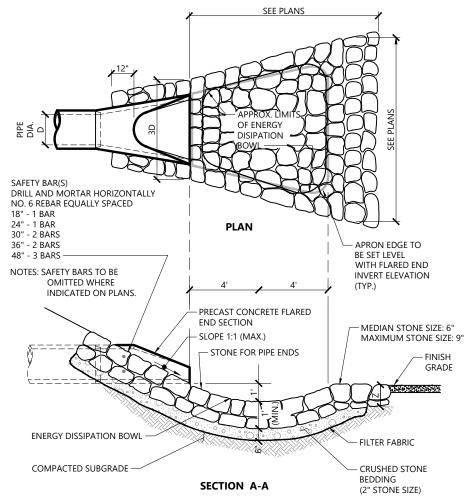
- SIZE OF EQUIPMENT PAD TO BE AS INDICATED ON PLANS.
- CONSTRUCTION JOINTS SHALL BE SPACED NO MORE THAN 30 FEET ON CENTER AND SHALL BE EQUALLY SPACED OVER THE LENGTH AND WIDTH OF THE PAD.

3. SHOWN FOR REFERENCE; FINAL PAD DESIGN TO BE PROVIDED PRIOR TO CONSTRUCTION

1. GRAVEL SHALL CONSIST OF INERT MATERIAL THAT IS HARD, DURABLE STONE AND COARSE SAND, FREE FROM LOAM, CLAY, SURFACE COATINGS AND DELETERIOUS MATERIALS, AND SHALL CONFORM TO THE FOLLOWING GRADATION:

* Three (3) inches when placed as subgrade within four (4) feet below pavements and slabs (MassDOT Specifications M1.03.0 Type b); one and one-half inches (1-1/2") where placed as pavement base and pipe

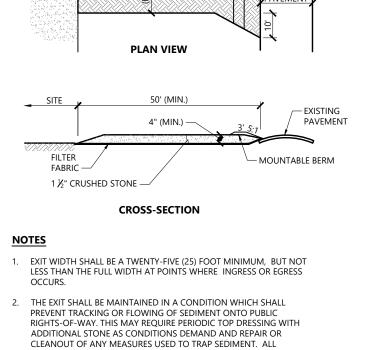
Concrete Pad LD_712A



Flared End Section (FES) with Stone Protection

N.T.S.

SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE

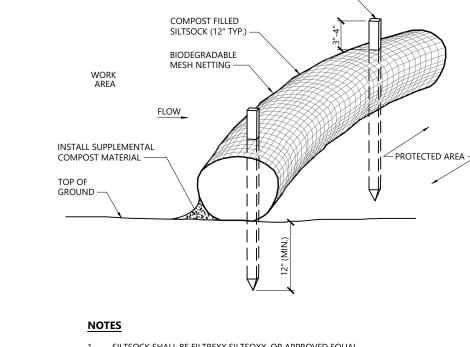


3. STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL

PROVIDED AS NEEDED.

Stabilized Construction Exit

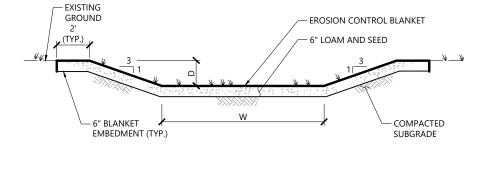
FINISH MATERIALS BEING INSTALLED.



2" X 2" WOOD STAKE, PLACED 10' O.C.

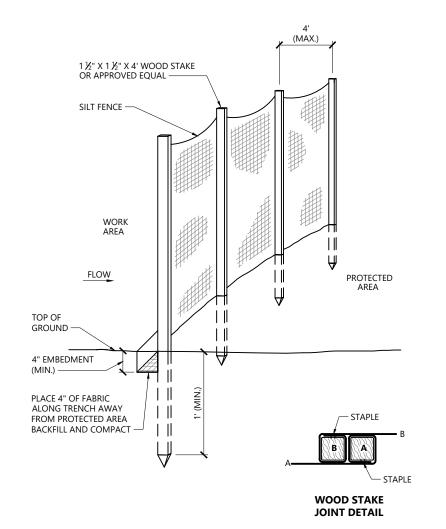
- 1. SILTSOCK SHALL BE FILTREXX SILTSOXX, OR APPROVED EQUAL.
- 2. SILTSOCKS SHALL OVERLAP A MINIMUM OF 12 INCHES.
- 3. SILTSOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY
- 4. COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE
- 5. IF NON BIODEGRADABLE NETTING IS USED THE NETTING SHALL BE COLLECTED AND DISPOSED OF OFFSITE.

Siltsock - Sediment Control Barrier

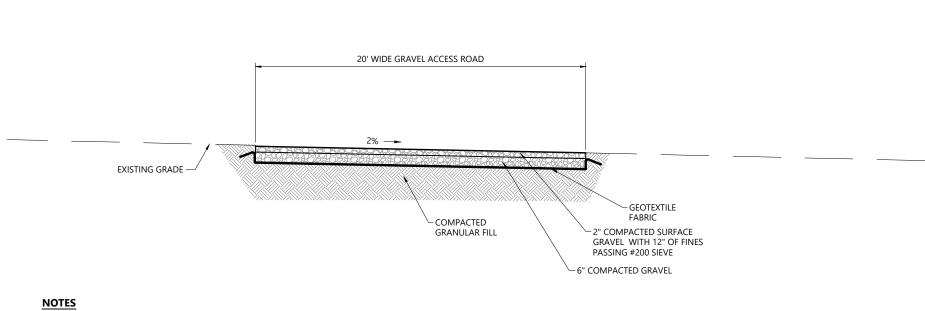


LD_682

Grassed Swale



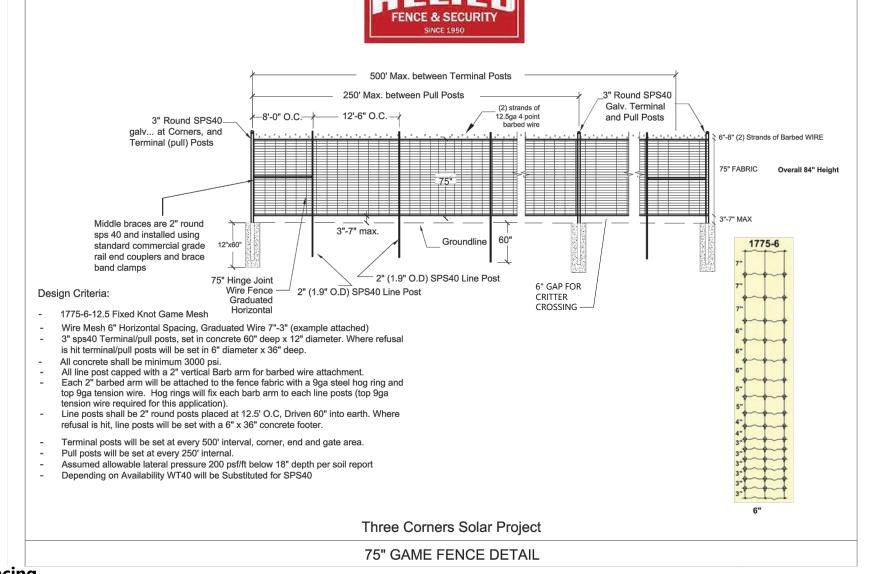




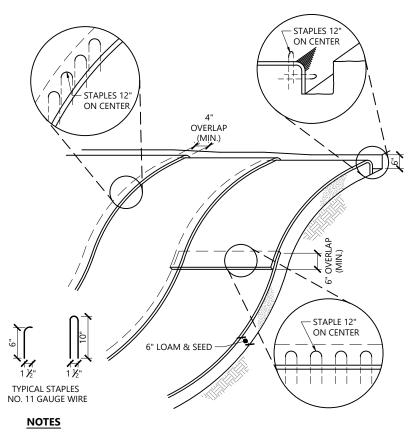
- GRAVEL ACCESS ROAD SHALL HAVE A SURFACE BEARING
 CAPACITY OF 20,000 LBS (MIN).
 STONE MATTRESS TO BE INSTALLED AS NEEDED TO PROVIDE FOR
 ADEQUATE DRAINAGE OF SURFACE RUNOFF AND PREVENT
 FORCION.
- GRAVEL DRIVE TO CHARGE POND ROAD TO MATCH EXISTING CROSS SECTION AND BE CONSTRUCTED TO MEET CURRENT

Gravel Access Road - Typical Section Source: VHB

LD_163



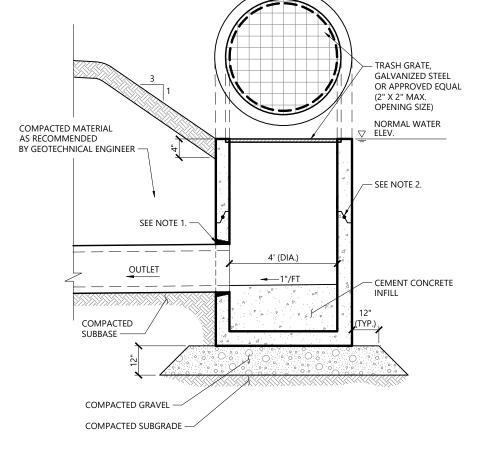
Deer Fencing
N.T.S.



1. BEGIN AT THE TOP OF BLANKET INSTALLATION AREA BY ANCHORING BLANKET IN A 6"

- 2. ROLL THE BLANKET DOWN THE SWALE IN THE DIRECTION OF THE WATER FLOW.
- 3. THE EDGES OF BLANKETS MUST BE STAPLED WITH APPROX. 4 INCH OVERLAP WHERE 2
- WHEN BLANKETS MUST BE SPLICED DOWN THE SWALE, PLACE UPPER BLANKET END OVER LOWER END WITH 6 INCH (MIN.) OVERLAP AND STAPLE BOTH TOGETHER.
- 5. METHOD OF INSTALLATION SHALL BE AS PER MANUFACTURER'S RECOMMENDATIONS.
- 6. EROSION CONTROL BLANKETS SHALL BE USED IN ALL AREAS WHERE SLOPES EXCEED 3:1.

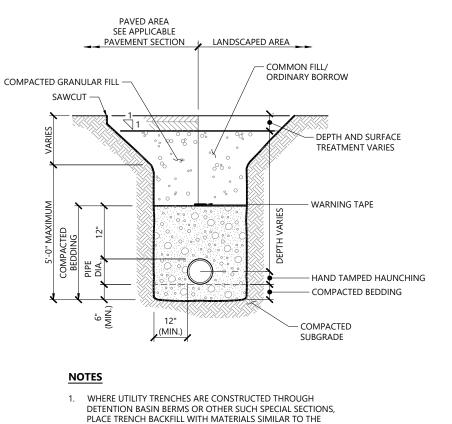
Erosion Control Blanket Slope Installation LD_680



 PROVIDE OPENINGS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS. 2. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.

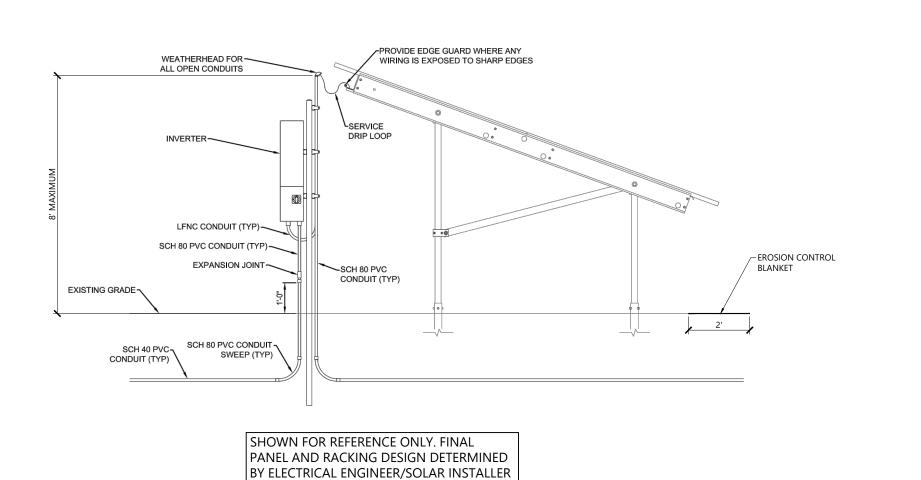
Outlet Control Structure

N.T.S.



DETENTION BASIN BERMS OR OTHER SUCH SPECIAL SECTIONS, PLACE TRENCH BACKFILL WITH MATERIALS SIMILAR TO THE SPECIAL SECTION REQUIREMENTS. 2. USE METALLIC TRACING/WARNING TAPE OVER ALL PIPES.

Utility Trench LD_300



Inverter and Array Detail (Side)

N.T.S.

Source: Ameresco Inc.

Proposed Large-Scale Ground-Mounted Solar Photovoltaic Installation 0 Route 25

101 Walnut Street

Watertown, MA 02471

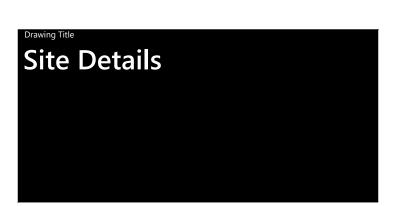
PO Box 9151

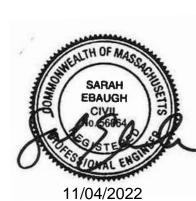
617.924.1770

Wareham, MA Response to Comments

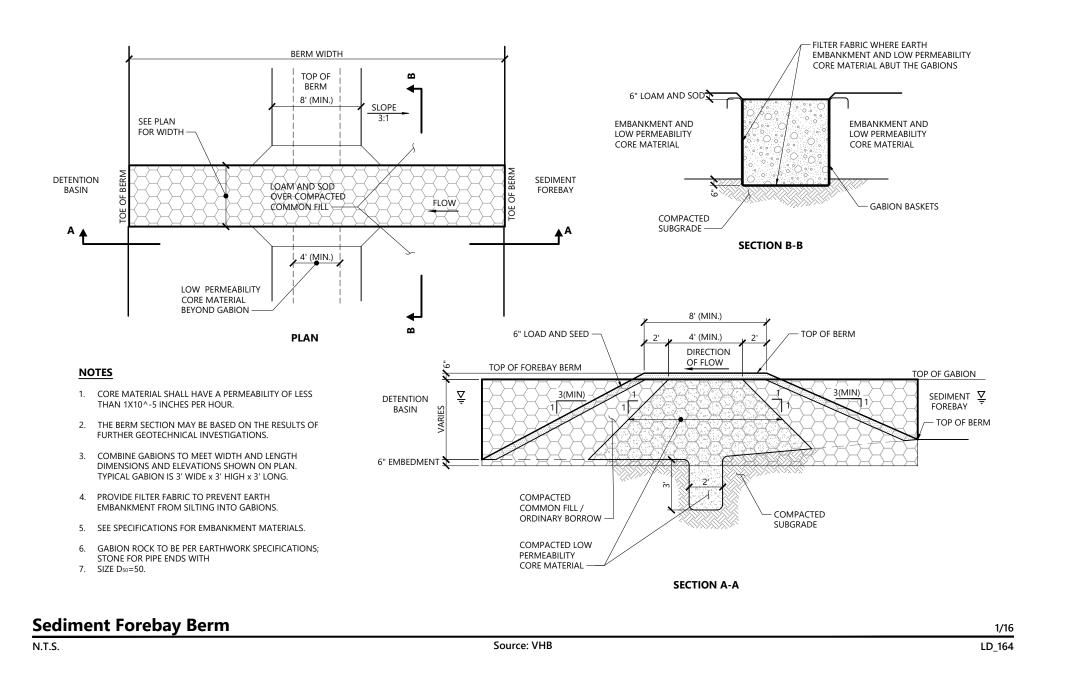
1	Response to Comments	05/25/2022	SKE
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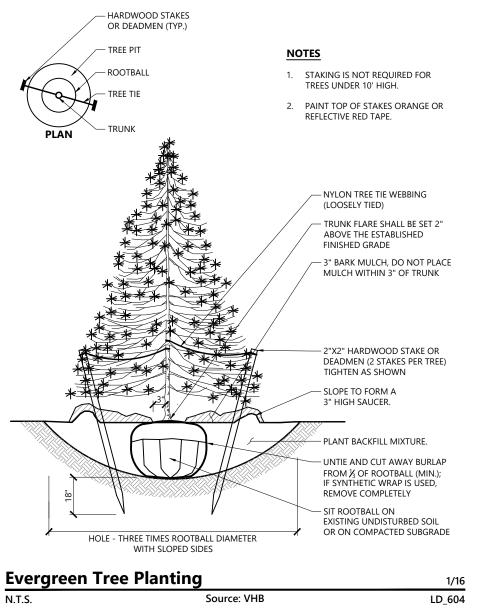
SKE August 2, 2021 **Local Approvals**





15225.01







Proposed Large-Scale Ground-Mounted Solar Photovoltaic Installation

0 Route 25 Wareham, MA

INO.	REVISION	Date	Appvu.
1	Response to Comments	05/25/2022	SKE

Local Annrovals	August 2, 202
Issued for	Date
Designed by SKE	Checked by JRG

Local Approval







ect Number 225.01



General Notes

- 1) THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VHB, INC. IN DECEMBER, 2020 AND FROM DEEDS AND PLANS OF RECORD.
- 2) THE EXISTING CONDITIONS SHOWN ON THIS PLAN WERE DEVELOPED FROM A COMBINED EFFORT OF AERIAL PHOTOGRAMMETRIC AND LIDAR METHOD MAPPING BY EASTERN TOPOGRAPHICS, INC., BASED ON AERIAL PHOTOGRAPHS TAKEN ON NOVEMBER 29, 2020 AND FROM AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VHB, INC. IN MAY, 2021.
- 3) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- 4) HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.
- 5) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND MAY BE SUBJECT TO ADDITIONAL INFORMATION DISCLOSED IN SUCH.
- 6) THE WETLANDS SHOWN ON THIS PLAN WERE FLAGGED AND LOCATED (USING GPS) BY VHB ENVIRONMENTAL DEPARTMENT IN FEBRUARY, 2020.

Record Owner

DAVID FLETCHER MAP 115 LOT 1000 BOOK 34514, PAGE 232



101 Walnut Street PO Box 9151 Watertown, MA 02471 617.924.1770

Legend

D DRAIN MANHOLE ■ CATCH BASIN S SEWER MANHOLE © ELECTRIC MANHOLE TELEPHONE MANHOLE MANHOLE HH□ HAND HOLE WATER GATE FIRE HYDRANT

GAS GATE ■ BOLLARD w/LIGHT → STREET SIGN □ LIGHT POLE → UTILITY POLE

GUY POLE GUY WIRE MONITORING WELL FLOOD LIGHT

WELL WELL سلا MARSH F.F.E.=45.27'
FINISHED FLOOR ELEVATION

CNO COULD NOT OPEN NPV NO PIPES VISIBLE DYL DOUBLE YELLOW LINE DWL DASHED WHITE LINE

SYL SINGLE YELLOW LINE LSA LANDSCAPED AREA EDGE OF PAVEMENT CONCRETE CURB VERTICAL GRANITE CURB SLOPED GRANITE EDGE BITUMINOUS BERM

BITUMINOUS CURB T GUARD RAIL ---- DRAINAGE LINE — — — — SEWER LINE

----- E ----- UNDERGROUND ELECTRIC — G — GAS LINE OOOOOO STONE WALL TREE LINE

—— 100'BZ ———— 100-FT BUFFER ZONE ----- 100'RA ------ 100-FT RIVER FRONT AREA ———— 200'ra ——— 200-ft RIVER FRONT AREA AF1-100 · · LIMIT MEAN ANNUAL HIGH WATER
LIMIT OF BANK
WE1-100 VEGETATED WETLAND BOUNDARY

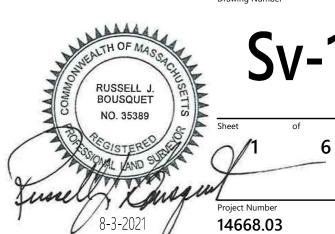
Proposed Solar Array

Route 25

Wareham, Massachusetts

January 12, 2021







Legend

DRAIN MANHOLE

CATCH BASIN

SEWER MANHOLE

ELECTRIC MANHOLE

TELEPHONE MANHOLE

MANHOLE HH HAND HOLE

WATER GATE

FIRE HYDRANT GAS GATE ■ BOLLARD w/LIGHT → STREET SIGN □ LIGHT POLE

→ UTILITY POLE GUY POLE GUY WIRE MONITORING WELL

FLOOD LIGHT WELL WELL <u>₩</u> MARSH

F.F.E.=45.27'
FINISHED FLOOR ELEVATION CNO COULD NOT OPEN NPV NO PIPES VISIBLE DYL DOUBLE YELLOW LINE DWL DASHED WHITE LINE

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BITUMINOUS BERM BITUMINOUS CURB GUARD RAIL
GHAIN LINK FENCE
DRAINAGE LINE — — — — SEWER LINE

UNDERGROUND ELECTRIC
T TELEPHONE LINE

---- 100'BZ ------ 100-FT BUFFER ZONE ----- 100'RA ----- 100-FT RIVER FRONT AREA 200-FT RIVER FRONT AREA

200-FT RIVER FRONT AREA

200-FT RIVER FRONT AREA

LIMIT MEAN ANNUAL HIGH WATER

LIMIT OF BANK

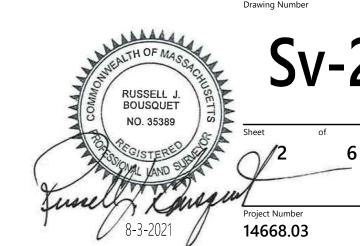
WEGETATED WETLAND BOUNDARY

Proposed Solar Array

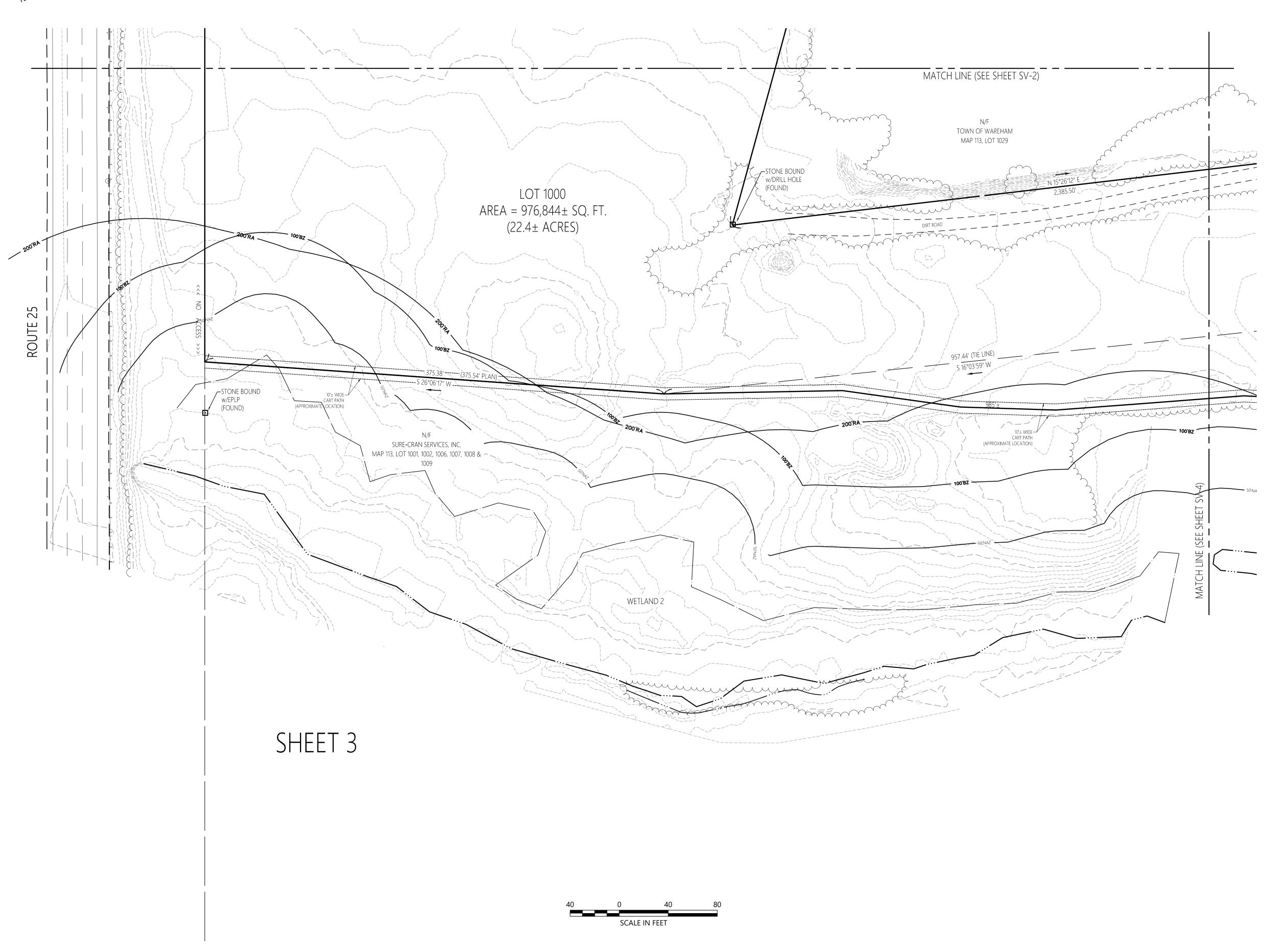
Route 25 Wareham, Massachusetts

January 12, 2021

Existing Conditions Plan of Land









Legend

DRAIN MANHOLE

■ CATCH BASIN

SEWER MANHOLE

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GUY POLE

GUY WIRE

MONITORING WELL
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WELL
MARSH

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EOP EDGE OF PAVEMENT

CONCRETE CURB

VERTICAL GRANITE CURB

SGE SLOPED GRANITE EDGE

BB BITUMINOUS BERM

BC BITUMINOUS CURB

GUARD RAIL

O O CHAIN LINK FENCE

DRAINAGE LINE

DRAINAGE LINE

DRAINAGE LINE

SEWER LINE

OVERHEAD WIRE

UNDERGROUND ELECTRIC

T TELEPHONE LINE

G GAS LINE

GAS LINE

WATER LINE

WATER LINE

STONE WALL

TREE LINE

100'BZ 100-FT BUFFER ZONE

100-FT RIVER FRONT AREA

200-FT RIVER FRONT AREA

200-FT RIVER FRONT AREA

200-FT RIVER FRONT AREA

LIMIT MEAN ANNUAL HIGH WATER

LIMIT OF BANK

WF1-100

WF1-100

VEGETATED WETLAND BOUNDARY

Proposed Solar Array

Route 25 Wareham, Massachusetts

No. Revision Date Appro

Designed by

Checked by

Issued for

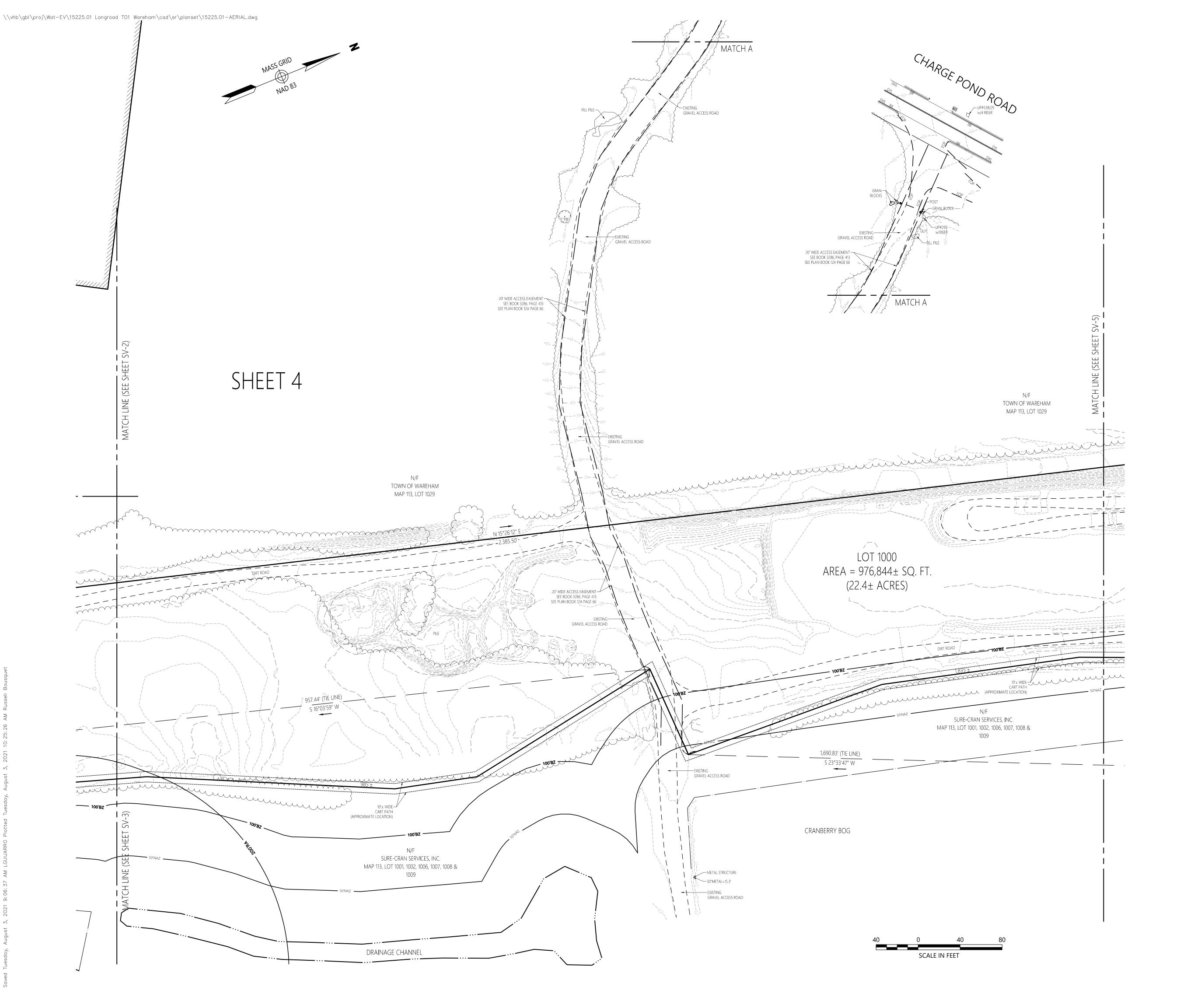
Date

January 12, 2021

January 12, 20

Existing Conditions
Plan of Land







Legend D DRAIN MANHOLE

■ CATCH BASIN

S SEWER MANHOLE © ELECTRIC MANHOLE TELEPHONE MANHOLE MANHOLE HH□ HAND HOLE WATER GATE FIRE HYDRANT GAS GATE ■ BOLLARD w/LIGHT → STREET SIGN □ LIGHT POLE -O- UTILITY POLE ○— GUY POLE GUY WIRE MONITORING WELL FLOOD LIGHT WELL WELL <u>₩</u> MARSH F.F.E.=45.27'
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T TELEPHONE LINE

Proposed Solar Array

----- 100'RA ------ 100-FT RIVER FRONT AREA

———— 200'RA —— 200-FT RIVER FRONT AREA

LIMIT MEAN ANNUAL HIGH WATER

LIMIT OF BANK

WF1-100

WF1-100

LIMIT OF BANK

VEGETATED WETLAND BOUNDARY

Route 25 Wareham, Massachusetts

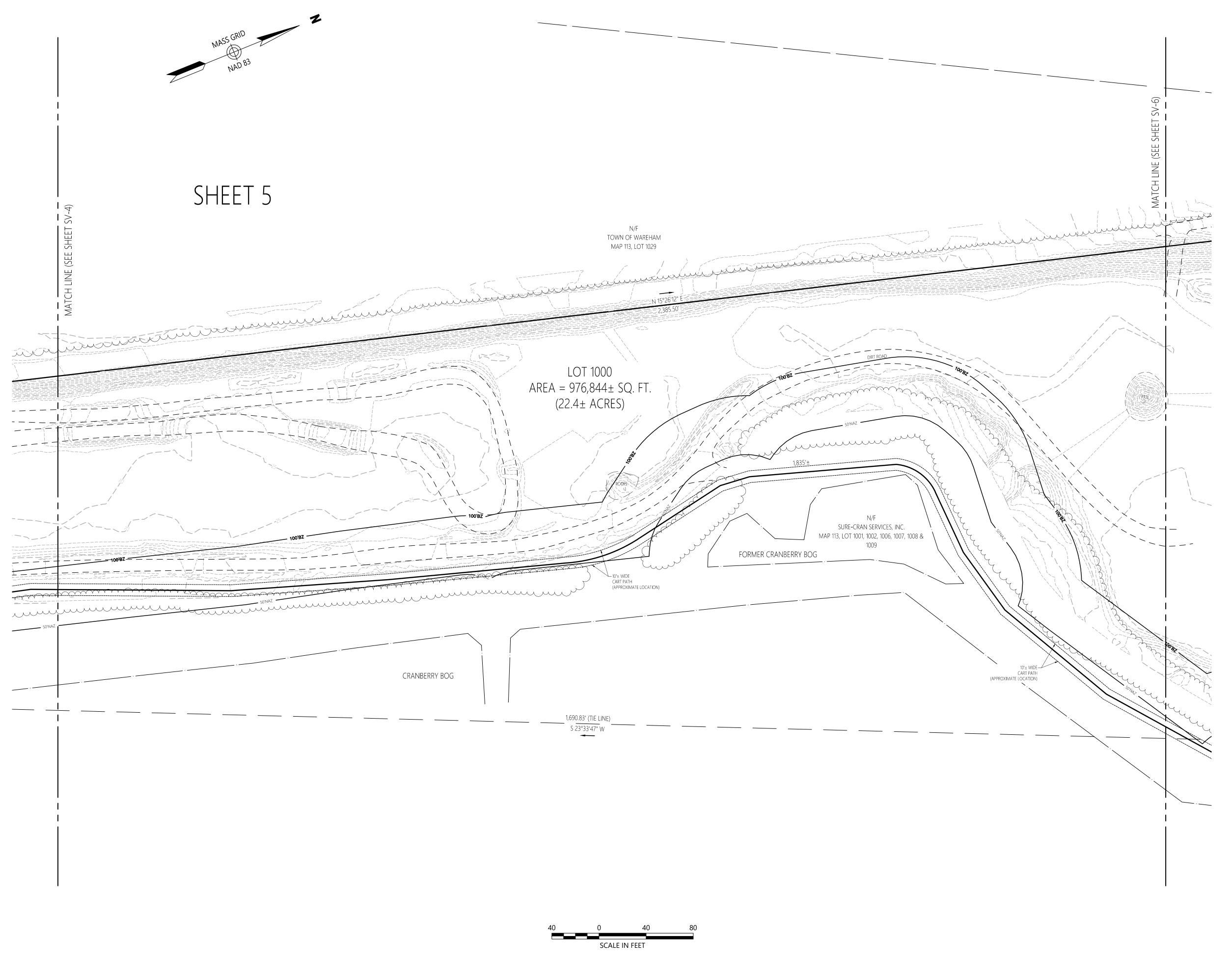
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January 12, 2021





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101 Walnut Street PO Box 9151 Watertown, MA 02471 617.924.1770

Legend

D DRAIN MANHOLE

CATCH BASIN
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E ELECTRIC MANHOLE
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HH□ HAND HOLE
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MONITORING WELL

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EDGE OF PAVEMENT
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GUARD RAIL

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DRAINAGE LINE

OHW

UNDERGROUND ELECTRIC

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LIMIT OF BANK
VEGETATED WETLAND BOUNDARY

Proposed Solar Array

Route 25 Wareham, Massachusetts

Revision Date Appvd.

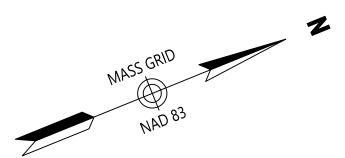
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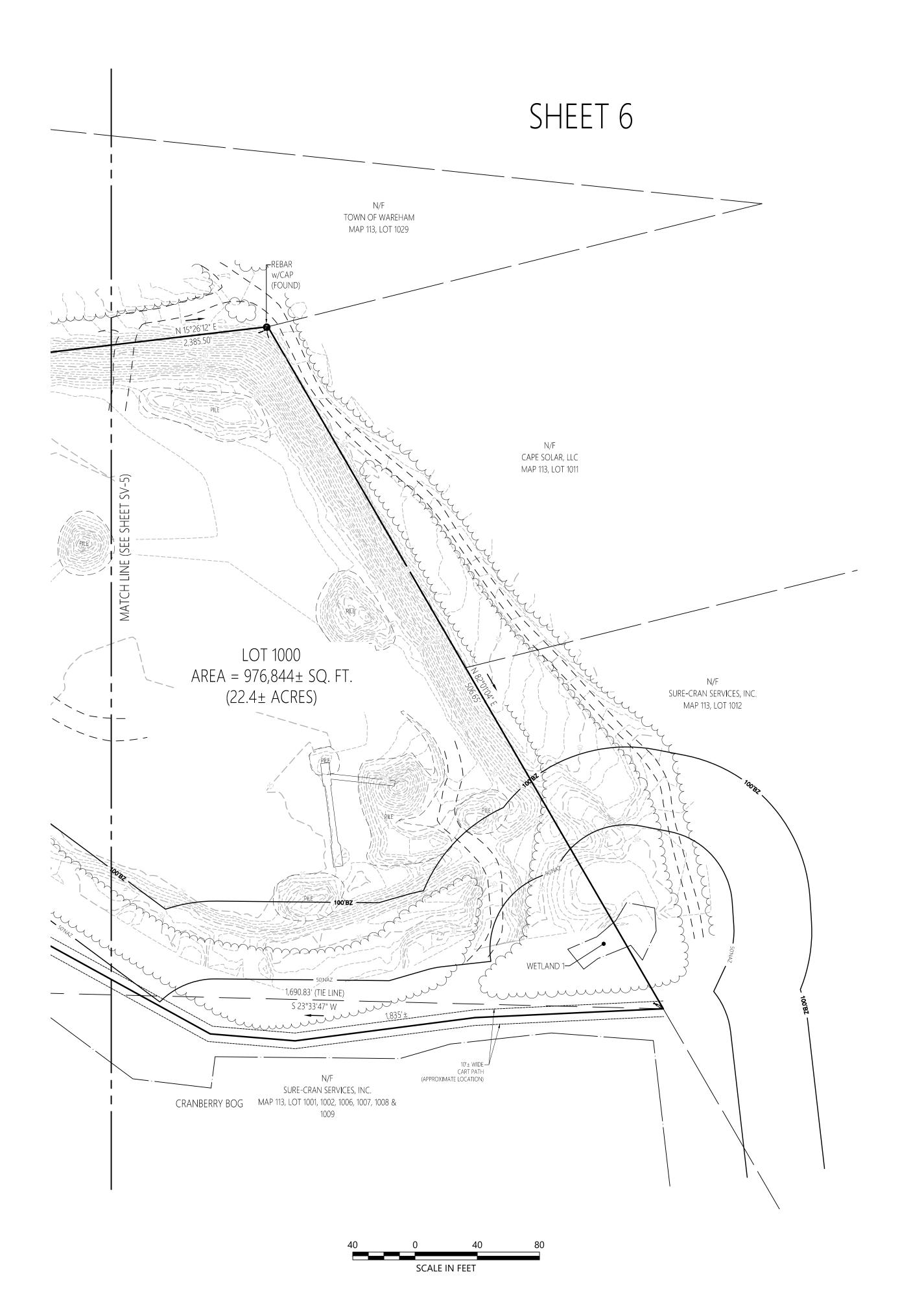
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January 12, 20

Existing Conditions
Plan of Land









Legend

 D DRAIN MANHOLE
 ■ CATCH BASIN
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BB BITUMINOUS BERM
BITUMINOUS CURB GUARD RAIL

CHAIN LINK FENCE

DRAINAGE LINE — — — — SEWER LINE GAS LINE
WATER LINE
STONE WALL
TREE LINE — 100'BZ — 100-FT BUFFER ZONE ----- 100'RA ----- 100-FT RIVER FRONT AREA ------ 200'ra --- 200-FT RIVER FRONT AREA → AF1-100 · · · — LIMIT MEAN ANNUAL HIGH WATER

-- □ · · · · · · LIMIT OF BANK

-- WF1-100 · VEGETATED WETLAND BOUNDARY

Proposed Solar Array

Route 25 Wareham, Massachusetts

January 12, 2021



