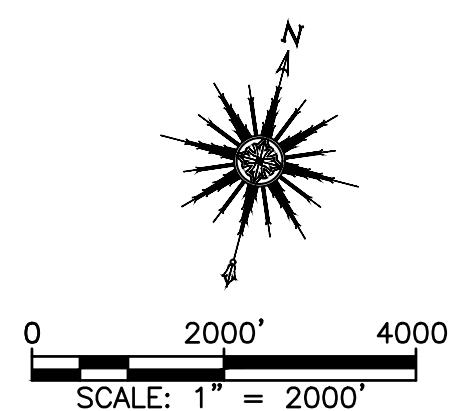
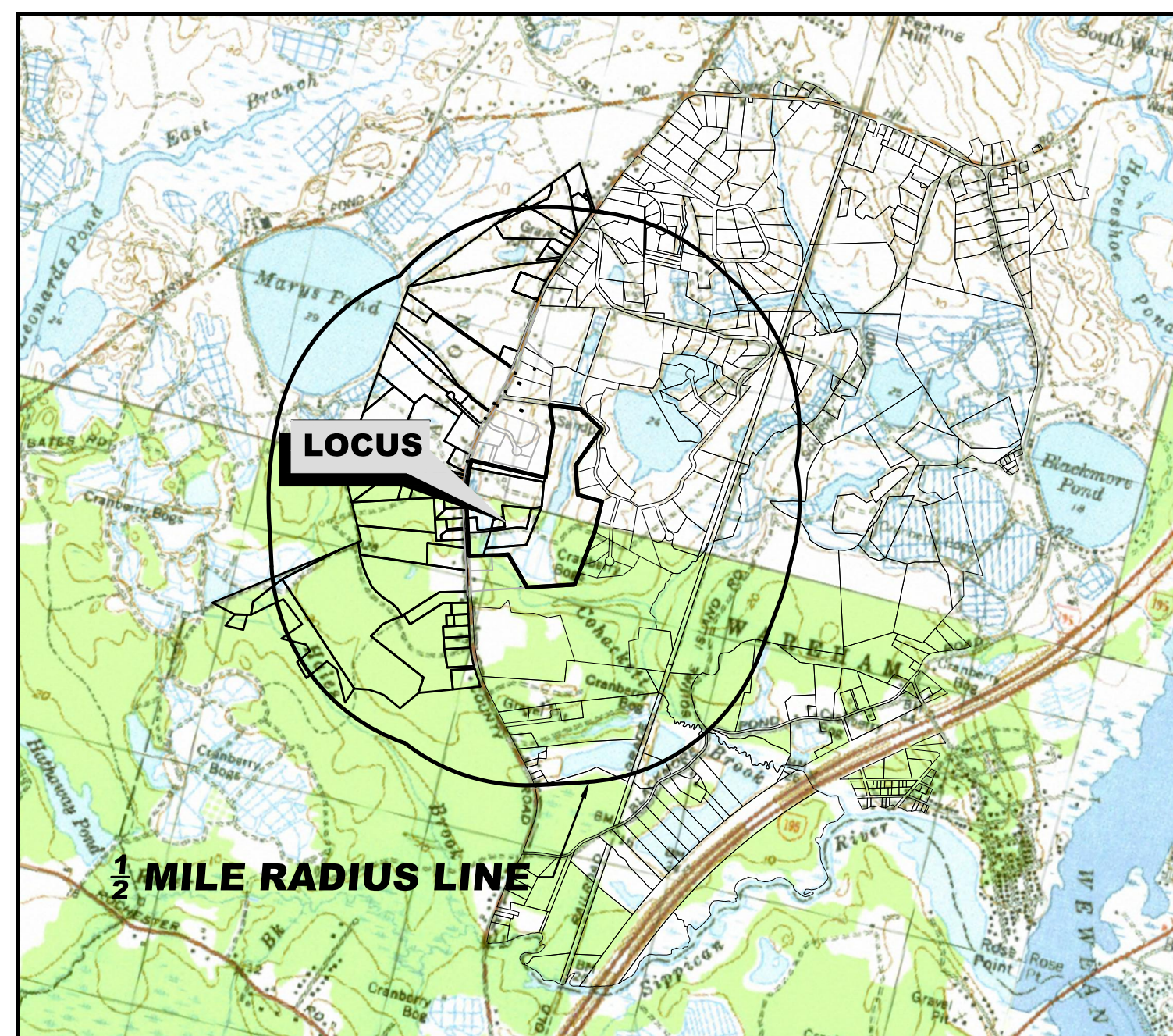
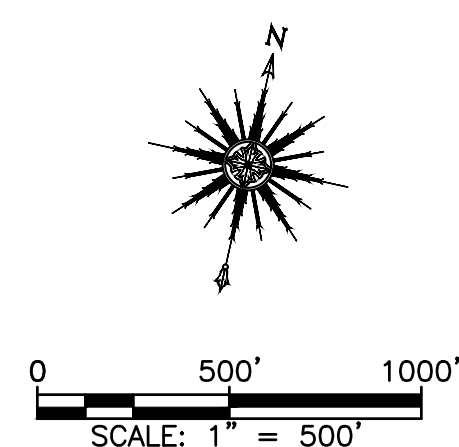


**PRELIMINARY SUBDIVISION PLAN
OF ZIMMER ESTATES
AT
MAP 64 LOTS 1006, 1008, 1009, & 1010,
MAP 65 LOTS 1000A, 1000B, & 1001
A FORM B SUBDIVISION**



**LOCUS PLAN
SCALE: 1"=2000'**



**VICINITY PLAN
SCALE: 1"=500'
OCTOBER 6, 2023**

SCHEDULE OF DRAWINGS

<i>SHEET NUMBER</i>	<i>PLAN TITLE</i>
-	TITLE SHEET
EX-1	EXISTING CONDITIONS
PR-1	LAYOUT PLAN
PR-2	LAYOUT PLAN

OWNERS:

OWNERS PER REGISTRY OF DEEDS:

STOLEN TREE FARM TRUST, PATRICIA H. ZIMMER AND
KATHERINE I ZIMMER, TRUSTEES
370 COUNTY ROAD
WAREHAM, MA 02576
PHONE: 508-758-2403

PATRICIA H ZIMMER
370 COUNTY ROAD
WAREHAM, MA 02576
PHONE: 508-758-2403

**OWNERS PER TOWN OF WAREHAM
ASSESSOR'S DATABASE:**

MAP 64 LOT 1006, 1008
MAP 65 LOT 1000A, 1000B, 1001
ELLEN HARIJU
370 COUNTY ROAD
WAREHAM, MA 02576
PHONE: 508-758-2403

MAP 64 LOT 1009 & 1010
ZIMMER PATRICIA H LIFE ESTATE
370 COUNTY ROAD
WAREHAM, MA 02576
PHONE: 508-758-2403

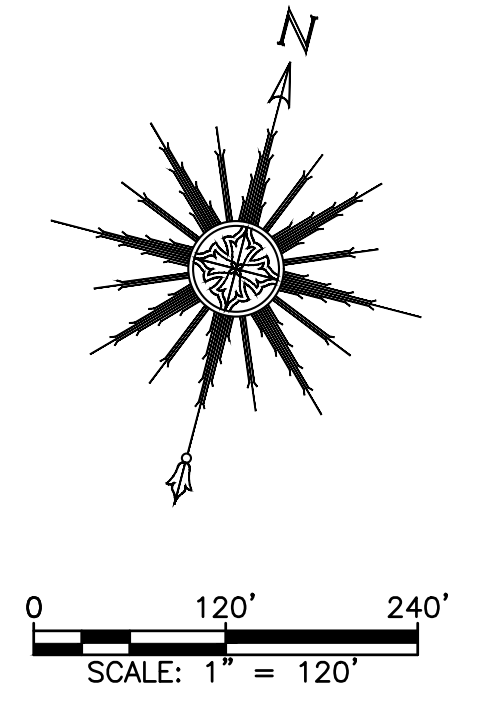
APPLICANT:

370 COUNTY ROAD LLC
C/O ERIC CRISLER
1508 W 30TH
AUSTIN, TX 78703
PHONE: 512-736-2038

PREPARED BY:



CIVIL ENGINEERING—LAND SURVEYING—ENVIRONMENTAL ASSESSMENT
P.O. BOX 1088, 350 BEDFORD STREET, LAKEVILLE, MA 02347
TEL: 508.947.0050 FAX: 508.947.2004



GENERAL NOTES:

1. THE SITE IS LOCATED IN THE TOWN OF WAREHAM ON ASSESSORS MAP 64 LOTS 1006, 1008, 1009, & 1010 AND MAP 65 LOTS 1000A, 1000B, & 1001.
2. FOR SITE OWNERS REFER TO COVER SHEET. ALL PARCEL OWNERS ON SHEETS NUMBERED EX-1 AND PR-1 ARE BASED ON THE MOST UP-TO-DATE ASSESSOR'S DATABASE.
3. THE SITE IS APPROXIMATELY 60.46± ACRES AND IS ZONED R60.
4. THE THE SITE IS LOCATED IN FEMA ZONE X, AE, FLOODWAY AE (25023C049J EFFECTIVE DATE 7/17/2012).
5. WETLANDS SHOWN ON THIS PLAN NEAR THE PROPOSED ROAD, DETENTION BASIN AND PROPOSED HOMES WERE DELINEATED IN THE FIELD BY A WETLAND SCIENTIST AND LOCATED BY SURVEY CREW. THE WETLANDS IN THE REMOTE AREAS OF THE SITE THAT ARE NOT BEING DEVELOPED ARE APPROXIMATE AND FROM OLIVER MASSGIS ONLINE MAPPING TOOL.
6. EXCEPT FOR THE AREAS NEAR THE ROAD, DETENTION BASIN AND PROPOSED DWELLING WHICH WERE TOPOGRAPHICALLY MAPPED BY AN ON THE GROUND SURVEY, THE TOPOGRAPHY SHOWN THIS PLAN IS APPROXIMATE LIDAR DATA ACQUIRED FROM NOAA LIDAR DATA BASE (NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION).
7. REMOTE TOPOGRAPHY IS SHOWN IN 2'-FT CONTOUR INTERVAL.
8. THE PROPERTY LINE SHOWN ON PLANS IS FROM AN ON THE GROUND SURVEY.
9. THE SITE IS TO BE SERVICED BY PRIVATE WATER AND PRIVATE SEWER.
10. THE PROPOSED RIGHT OF WAY IS TO BE 40' WIDE AND CONTAIN A 20' WIDE PAVED ROADWAY.
11. THE DRAINAGE SYSTEM IS DESIGNED TO MEET ALL LOCAL, TOWN, AND FEDERAL REGULATIONS.

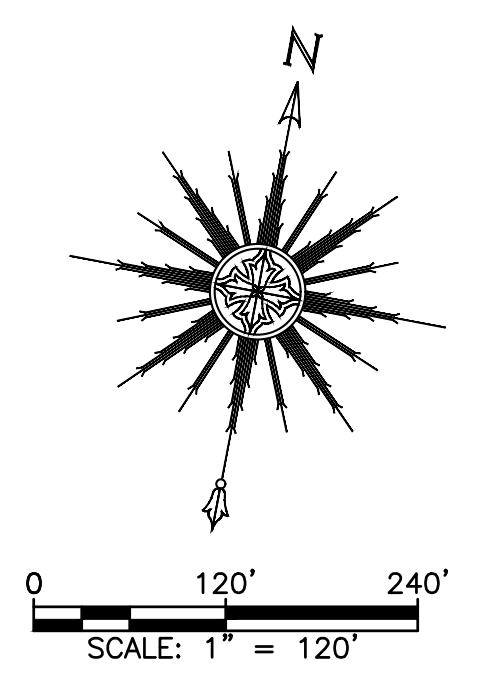
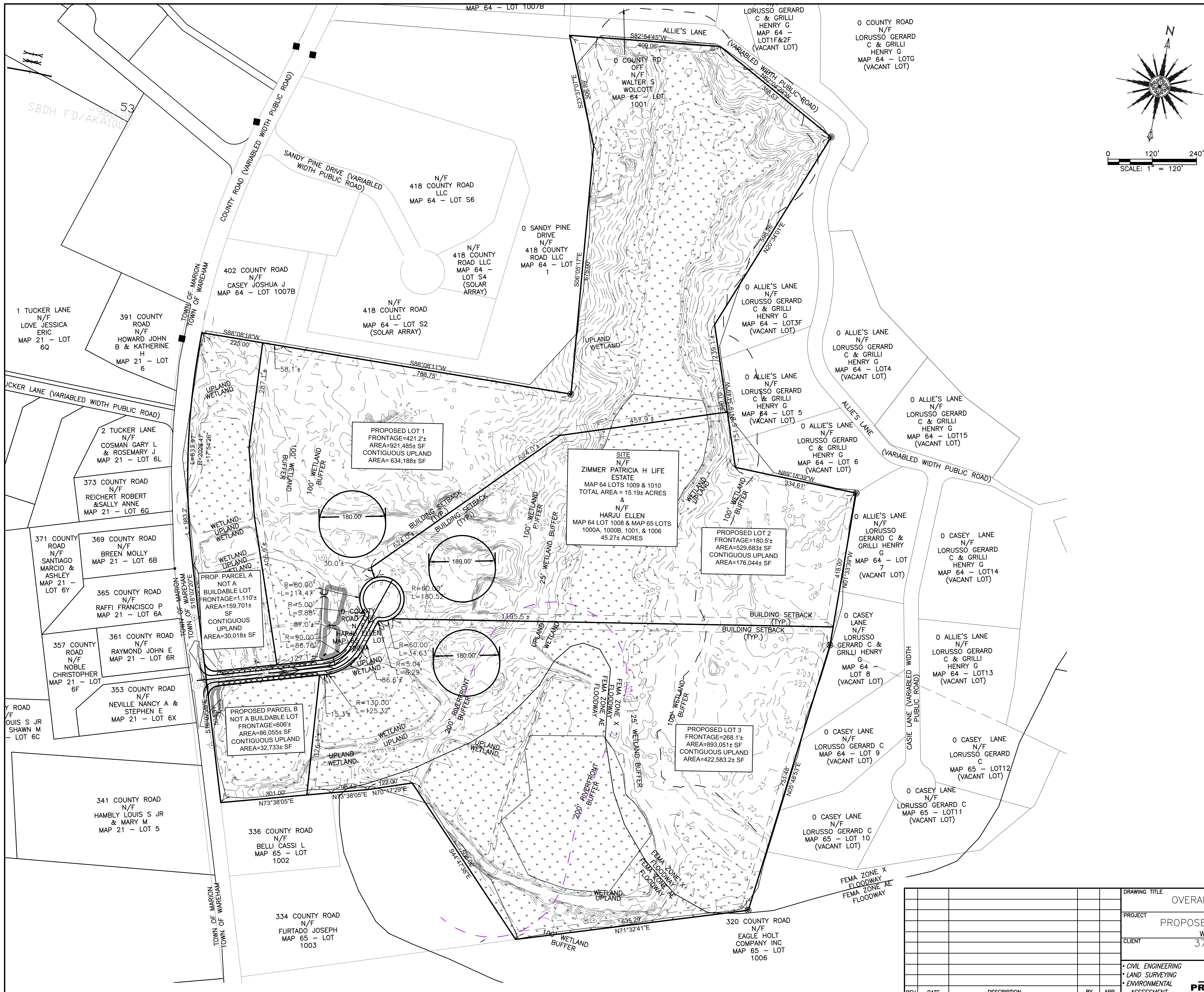
EXISTING LEGEND

(NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS)

- EXISTING EDGE OF PAVE
- EXISTING EDGE OF PAVEMENT
- EXISTING BUILDING
- EXISTING STRIPING
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- 100' WETLAND BUFFER LINE
- 25' WETLAND BUFFER LINE
- WETLAND LINE AND HATCH
- EXISTING SEWER LINE
- EXISTING DRAINAGE LINE
- EXISTING WATER LINE
- EXISTING SEWER MANHOLE
- EXISTING CATCH BASIN
- EXISTING LIGHT POLE
- EXISTING DRAINAGE MANHOLE
- EXISTING TREE OR SHRUB
- EXISTING TREELINE
- EXISTING STONE WALL
- EXISTING RETAINING WALL
- OVERALL SITE LINE
- EXISTING LOT LINE

DRAWING TITLE EXISTING CONDITIONS				SCALE: AS SHOWN
PROJECT PROPOSED PRELIMINARY SUBDIVISION WAREHAM, MASSACHUSETTS				DATE: 10/6/23
CLIENT 370 COUNTY ROAD LLC AUSTIN, TEXAS				DRAWN BY: AJR
DESIGNED BY: AJR				CHECKED BY: RJR
<ul style="list-style-type: none"> • CIVIL ENGINEERING • LAND SURVEYING • ENVIRONMENTAL ASSESSMENT 				 P.O. BOX 1088 350 BEDFORD ST. LAKEVILLE, MA 02347 TEL: 508.947.0050 FAX: 508.947.2004
REV.	DATE	DESCRIPTION	BY	APP.

SHEET NO. **EX-1**
PROJECT NO. 17970201:1



CRITERIA ZONE R60	REQUIRED
MIN. FRONTAGE	180'
MIN. LOT AREA	60,000 SF*
MIN. FRONT YARD SETBACK	60'
MIN. REAR YARD SETBACK	20'
MIN. SIDE YARD SETBACK	20'
MAXIMUM HEIGHT	35'
MAXIMUM BUILDING COVERAGE	NR
MAXIMUM IMPERVIOUS SURFACE	NR

***ARTICLE 6 612**
 In all zoning districts, no principal building shall be erected on any lot created after the effective date of this By-Law which has less than eighty percent (80%) of the minimum required lot area as contiguous upland, not including Riverfront areas as defined in the Massachusetts Wetlands Protection Act, for the zoning district in which it is located, (added October 25, 2004)

615 LOT SHAPE FACTOR
 All lots created for building purposes after the effective date of this By-Law shall be shaped so that they can contain within the buildable upland area a circle of a diameter, not less than the frontage requirements of the zoning district within which the lot is located. In addition, any portion of a lot, which is narrower in width than thirty feet, shall not be counted toward the required lot area. In cases where the Planning Board believes that proposed lots do not meet the Lot Shape Factor criteria and will not be detrimental to the intent of this regulation, the Planning Board has the authority to waive this requirement, (added October 25, 2004)

REFER TO THE DEFINITIVE BOUNDARY PLAN FOR LOT DIMENSIONS.

EXISTING LEGEND
 (NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS)

- EXISTING EDGE OF PAVE
- EXISTING EDGE OF PAVEMENT
- EXISTING BUILDING
- EXISTING STRIPING
- EXISTING MINOR CONTOUR
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- 25' WETLAND BUFFER LINE
- WETLAND LINE AND HATCH AND FLAG
- EXISTING SEWER LINE
- EXISTING DRAINAGE LINE
- EXISTING WATER LINE
- EXISTING SEWER MANHOLE
- EXISTING CATCH BASIN
- EXISTING LIGHT POLE
- EXISTING DRAINAGE MANHOLE
- EXISTING TREE OR SHRUB
- EXISTING TREELINE
- EXISTING STONE WALL
- EXISTING RETAINING WALL
- OVERALL SITE LINE
- EXISTING LOT LINE
- PROPOSED LOT LINE

DRAWING TITLE		OVERALL PROPOSED CONDITIONS		SCALE:	AS SHOWN
PROJECT		PROPOSED PRELIMINARY SUBDIVISION WAREHAM, MASSACHUSETTS 370 COUNTY ROAD LLC AUSTIN, TEXAS		DATE:	10/6/23
CLIENT		WAREHAM, MASSACHUSETTS 370 COUNTY ROAD LLC AUSTIN, TEXAS		DRAWN BY:	AJR
DESIGNED BY:		AJR		CHECKED BY:	RJR
APPROVED BY:		RJR		PROJECT NO.:	17970201:1
SHEET NO.:		PR-1			



CRITERIA	ZONE R60	REQUIRED
MIN. FRONTAGE		180'
MIN. LOT AREA		60,000 SF*
MIN. FRONT YARD SETBACK		60'
MIN. REAR YARD SETBACK		20'
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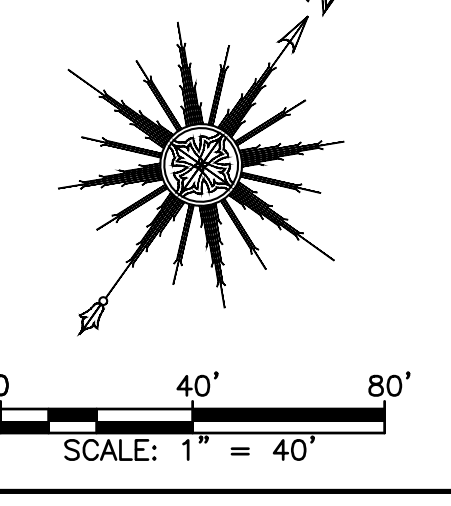
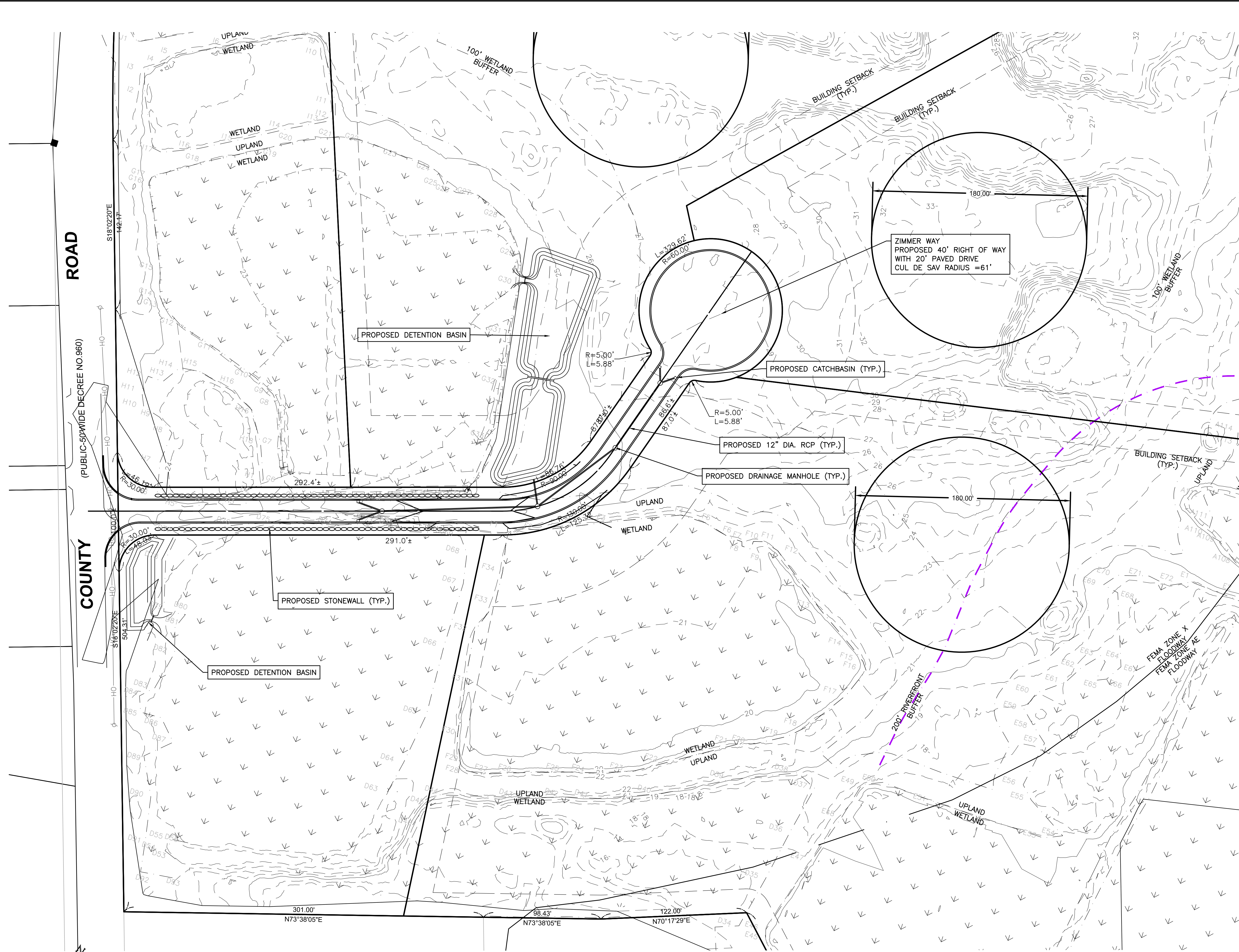
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THE DWELLINGS SHOWN ARE CONCEPTUAL ONLY.

EXISTING LEGEND

(NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS)

- EXISTING EDGE OF PAVE
- EXISTING EDGE OF PAVEMENT
- EXISTING BUILDING
- EXISTING STRIPING
- 2 — EXISTING MINOR CONTOUR
- 10 — EXISTING MAJOR CONTOUR
- - - 100' WETLAND BUFFER LINE
- - - 25' WETLAND BUFFER LINE
- WETLAND LINE AND HATCH AND FLAG
- S S EXISTING SEWER LINE
- D D EXISTING DRAINAGE LINE
- w EXISTING WATER LINE
- SS EXISTING SEWER MANHOLE
- EXISTING CATCH BASIN
- ☀ EXISTING LIGHT POLE
- SW EXISTING DRAINAGE MANHOLE
- ☀ EXISTING TREE OR SHRUB
- EXISTING TREELINE
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- EXISTING RETAINING WALL
- OVERALL SITE LINE
- EXISTING LOT LINE
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DRAWING TITLE				PROPOSED CONDITIONS - INDEX		SCALE: AS SHOWN	
PROJECT				PROPOSED PRELIMINARY SUBDIVISION		DATE: 10/6/23	
CLIENT				WAREHAM, MASSACHUSETTS		DRAWN BY: AJR	
				370 COUNTY ROAD LLC		DESIGNED BY: AJR	
				AUSTIN, TEXAS		CHECKED BY: RJR	
				• CIVIL ENGINEERING		SHEET NO. PR-2	
				• LAND SURVEYING		APPROVED BY: RJR	
				• ENVIRONMENTAL ASSESSMENT		PROJECT NO. 17970201:1	
REV.	DATE	DESCRIPTION	BY	APP.			