

PRELIMINARY SUBDIVISION PLAN OF BARLOW'S WAY

AT
1-13 NORTH CARVER ROAD
MAP 103 LOTS 1037, 1038 & 1039
A FORM B SUBDIVISION

OWNER:

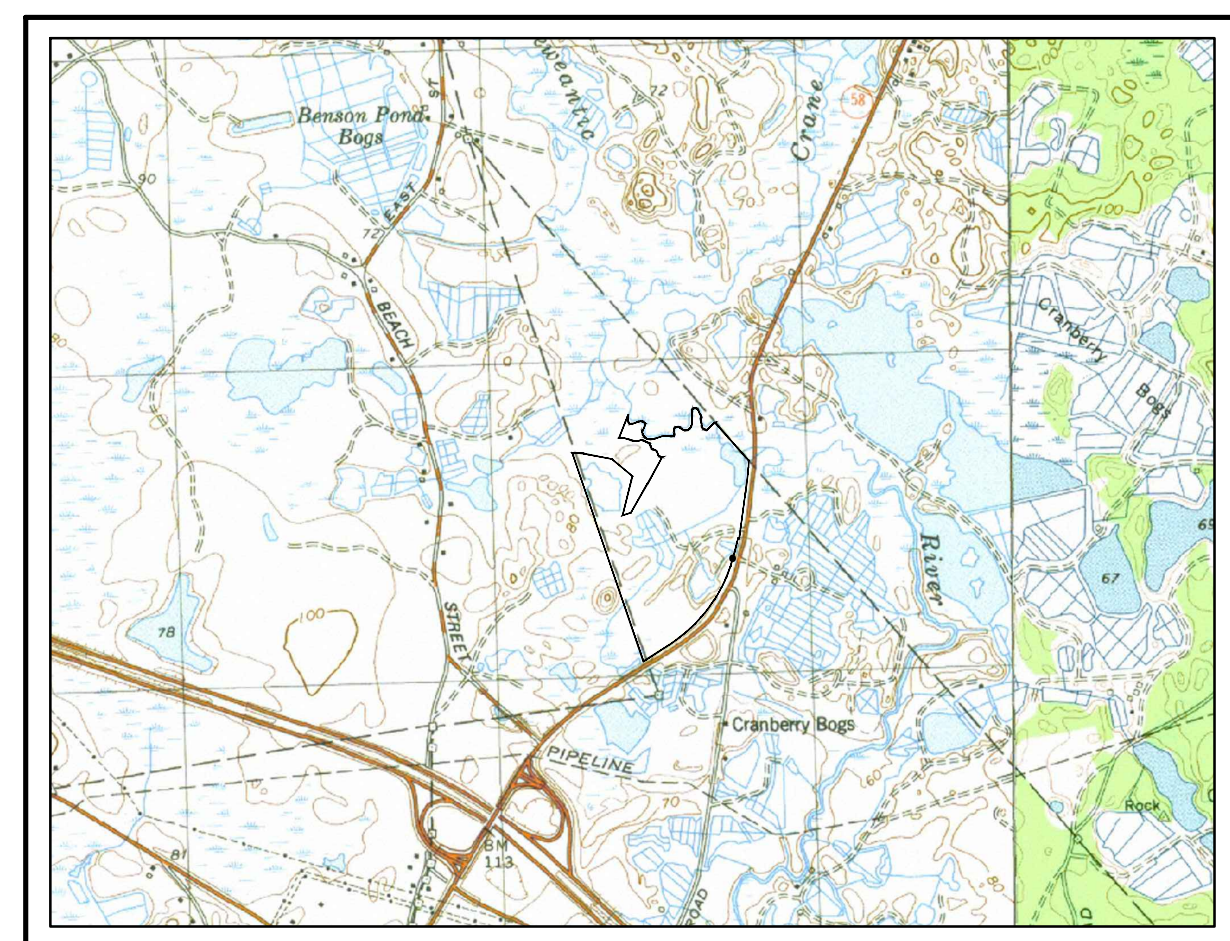
CINDY A BARLOW
19 EAST BAR LE DOC DR
CORPUS CHRISTI, TX 78414
PHONE: 720-641-7283

APPLICANT:

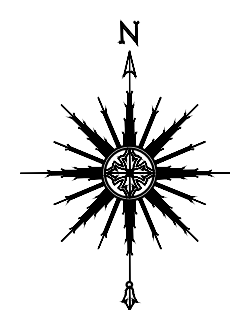
CHRISTI LLC
C/O ERIC CRISLER
1508 W 30TH
AUSTIN, TX 78703
PHONE: 512-736-2038

SCHEDULE OF DRAWINGS

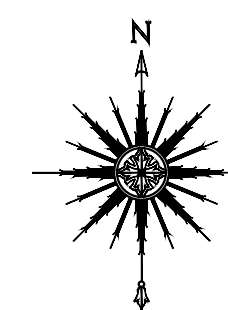
SHEET NUMBER	PLAN TITLE
-	TITLE SHEET
EX-1	EXISTING CONDITIONS PLAN
PR-1	OVERALL PROPOSED CONDITIONS
PR-2	PROPOSED CONDITIONS - INDEX



**USGS LOCUS MAP
(SCALE 1"=2000')**



**AERIAL MAP
(SCALE 1"=2000')**



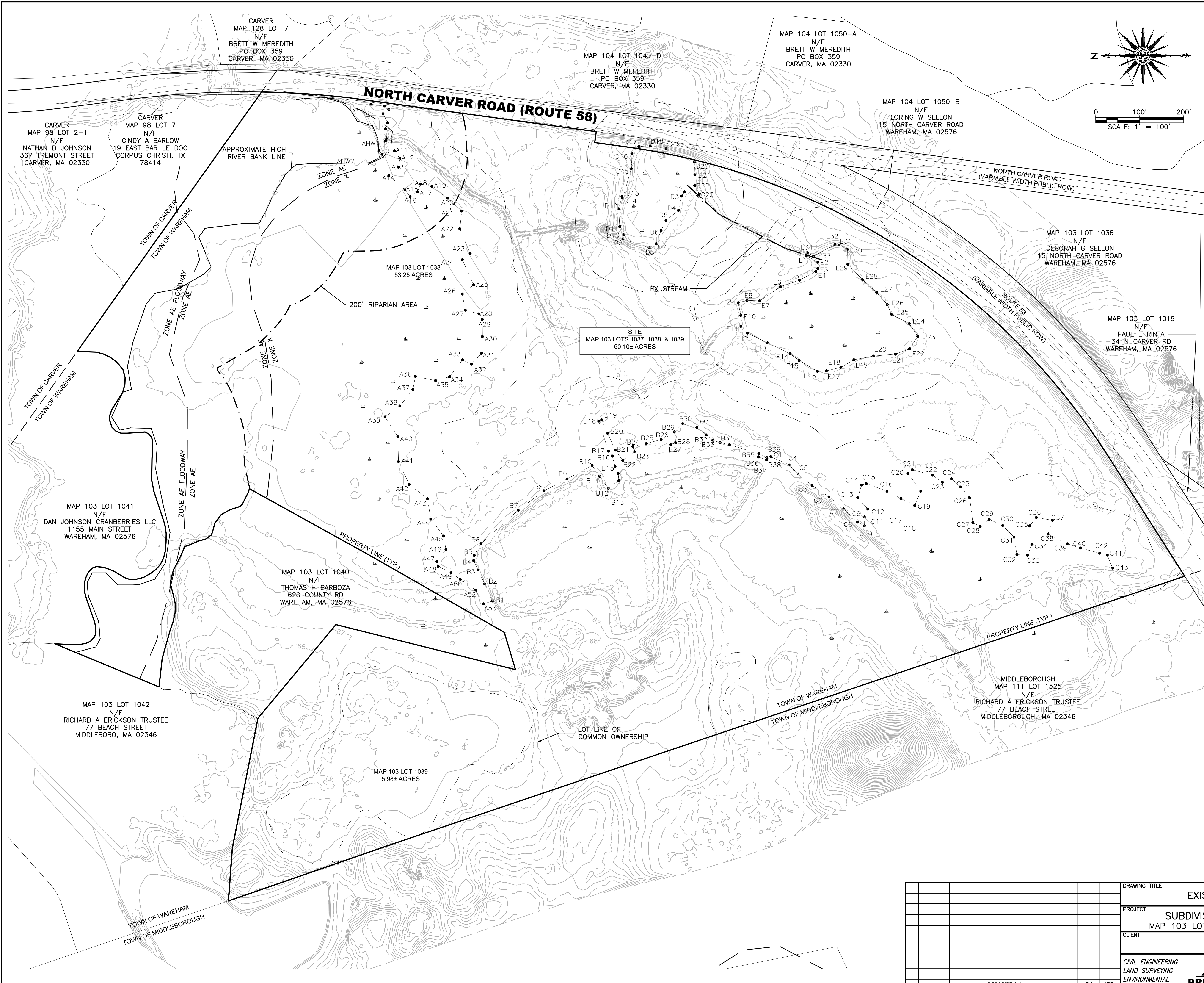
OCTOBER 6, 2023



PREPARED BY:



CIVIL ENGINEERING—LAND SURVEYING—ENVIRONMENTAL ASSESSMENT
P.O. BOX 1088, 350 BEDFORD STREET, LAKEVILLE, MA 02347
TEL: 508.947.0050 FAX: 508.947.2004



GENERAL NOTES:

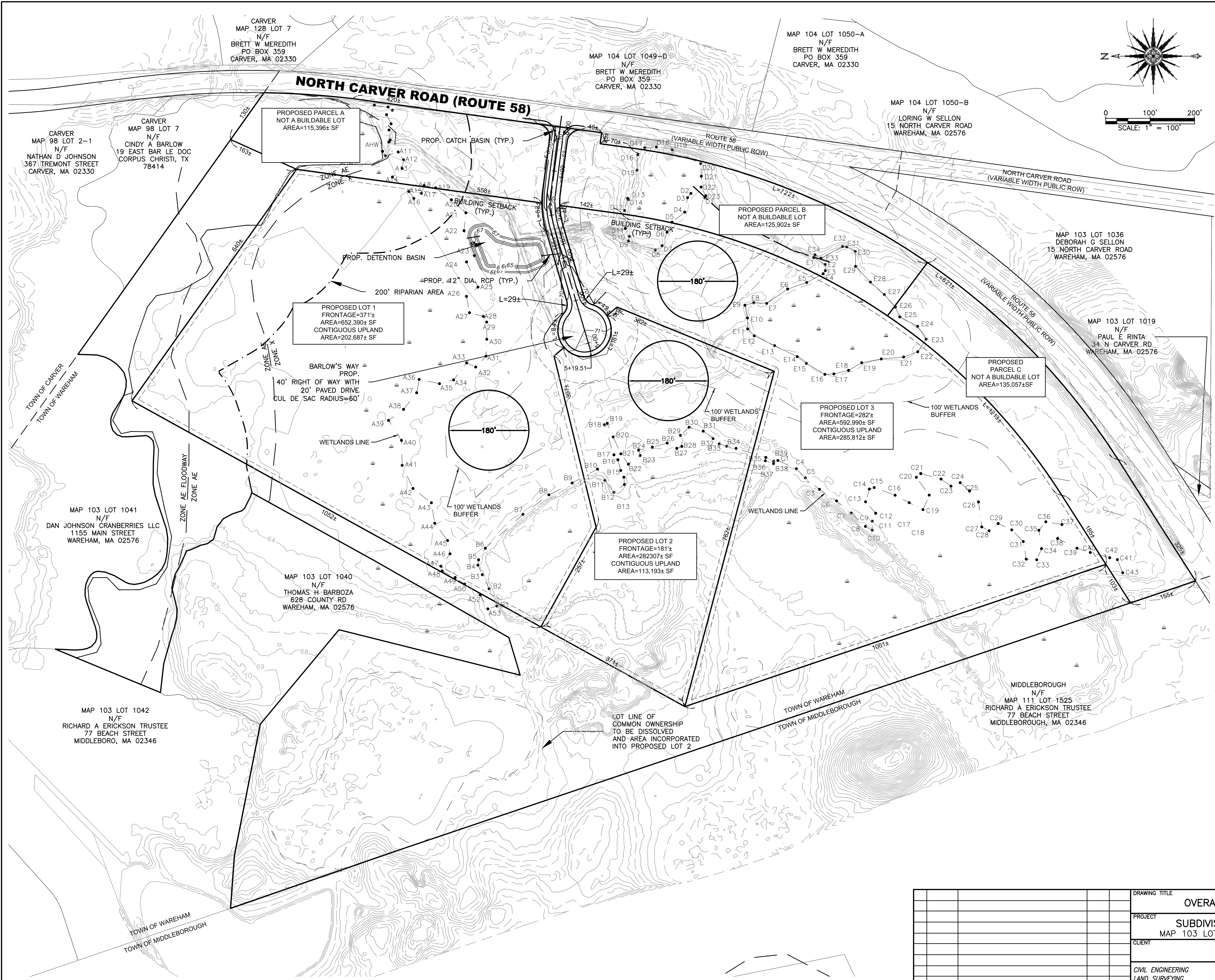
1. THE SITE IS LOCATED IN THE TOWN OF WAREHAM ON ASSESSORS MAP 103 LOT 1037, 1038, & 1039.
2. THE SITE IS APPROXIMATELY 60.1± ACRES AND IS ZONED R60.
3. THE OWNER OF THESE LOTS IS: CINDY A BARLOW
19 EAST BAR LE DOC DR
CORPUS CHRISTI, TX
78414
4. THE THE SITE IS LOCATED IN FEMA ZONE X, AE, FLOODWAY AE (25023C049J EFFECTIVE DATE 7/17/2012).
5. WETLANDS SHOWN ON THIS PLAN ARE APPROXIMATE AND FROM OLIVER: MASSGIS ONLINE MAPPING TOOL.
6. THE TOPOGRAPHY SHOWN THIS PLAN IS APPROXIMATE LIDAR DATA ACQUIRED FROM NOAA LIDAR DATA BASE (NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION).
7. TOPOGRAPHY IS SHOWN IN 2-FT CONTOUR INTERVAL.
8. THE PROPERTY LINE SHOWN ON PLANS IS A COMPILATION OF BEST AVAILABLE SOURCES INCLUDING ASSESSOR MAPS AND MASSGIS ONLINE MAPPING TOOL.
9. THE SITE IS TO BE SERVICED BY PRIVATE WATER AND PRIVATE SEWER.
10. THE PROPOSED RIGHT OF WAY IS TO BE 40' WIDE AND CONTAIN A 20' WIDE PAVED ROADWAY
11. THE DRAINAGE SYSTEM IS DESIGNED TO MEET ALL LOCAL, TOWN, AND FEDERAL REGULATIONS.

LEGEND

(NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS)

- EXISTING EDGE OF PAVE
- EXISTING EDGE OF PAVEMENT
- EXISTING BUILDING
- EXISTING STRIPING
- - - 2 - - - EXISTING MINOR CONTOUR
- - - 10 - - - EXISTING MAJOR CONTOUR
- - - - - 100' WETLAND BUFFER LINE
- - - - - 25' WETLAND BUFFER LINE
- WETLAND LINE AND HATCH
- EXISTING SEWER LINE
- EXISTING DRAINAGE LINE
- EXISTING WATER LINE
- SS EXISTING SEWER MANHOLE
- EXISTING CATCH BASIN
- ☀ EXISTING LIGHT POLE
- SW EXISTING DRAINAGE MANHOLE
- ☀ EXISTING TREE OR SHRUB
- EXISTING TREELINE
- EXISTING STONE WALL
- EXISTING RETAINING WALL
- OVERALL SITE LINE
- EXISTING LOT LINE

DRAWING TITLE EXISTING CONDITIONS PLAN				SCALE: SEE SCALE BAR	
PROJECT SUBDIVISION PLAN OF BARLOW'S WAY MAP 103 LOTS 1037, 1038, & 1039 WAREHAM, MA				DATE: 10/6/2023	
CLIENT LSE TUCANA LLC				DRAWN BY: AJR	
DESIGNED BY: RJR				CHECKED BY: RJR	
CIVIL ENGINEERING LAND SURVEYING ENVIRONMENTAL ASSESSMENT					P.O. BOX 1088 350 BEDFORD ST. LAKEVILLE, MA 02347 TEL: 508.947.0050
REV.	DATE	DESCRIPTION	BY	APP.	CHECKED BY: RJR
					APPROVED BY: RJR
					SHEET NO. EX-1
					PROJECT NO. 17970301



CRITERIA ZONE R60	REQUIRED
MIN. FRONTAGE	180'
MIN. LOT AREA	60,000 SF*
MIN. FRONT YARD SETBACK	60'
MIN. REAR YARD SETBACK	20'
MIN. SIDE YARD SETBACK	20'
MAXIMUM HEIGHT	35'
MAXIMUM BUILDING COVERAGE	NR
MAXIMUM IMPERVIOUS SURFACE	NR

*ARTICLE 6
612
In all zoning districts, no principal building shall be erected on any lot created after the effective date of this By-Law which has less than eighty percent (80%) of the minimum required lot area as contiguous upland, not including Riverfront areas as defined in the Massachusetts Wetlands Protection Act, for the zoning district in which it is located, (added October 25, 2004)

615 LOT SHAPE FACTOR
All lots created for building purposes after the effective date of this By-Law shall be shaped so that they can contain within the buildable upland area a circle of a diameter, not less than the frontage requirements of the zoning district within which the lot is located. In addition, any portion of a lot, which is narrower in width than thirty feet, shall not be counted toward the required lot area. In cases where the Planning Board believes that proposed lots do not meet the Lot Shape Factor criteria and will not be detrimental to the intent of this regulation, the Planning Board has the authority to waive this requirement, (added October 25, 2004)

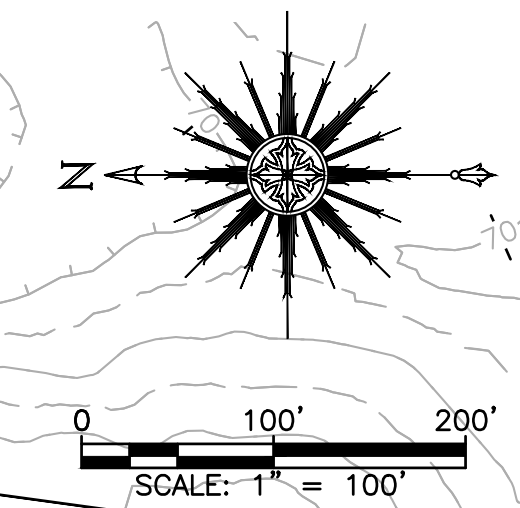
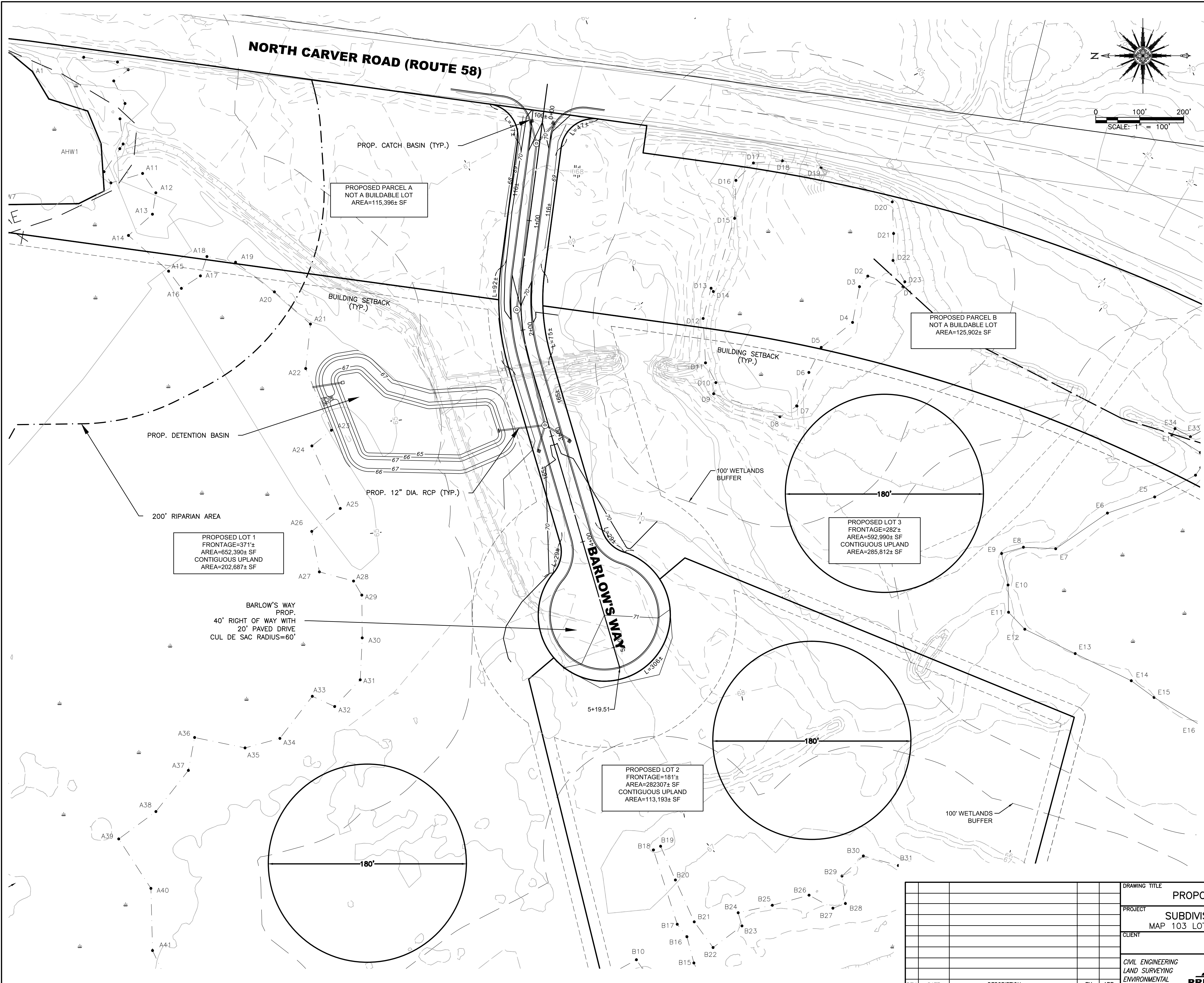
REFER TO THE DEFINITIVE BOUNDARY PLAN FOR LOT DIMENSIONS.

LEGEND

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 - PROPOSED LOT LINE

DRAWING TITLE		OVERALL PROPOSED CONDITIONS		SCALE:	SEE SCALE BAR
PROJECT		SUBDIVISION PLAN OF BARLOW'S WAY MAP 103 LOTS 1037, 1038, & 1039 WAREHAM, MA		DATE:	10/6/2023
CLIENT		LSE TUCANA LLC		DRAWN BY:	AJR
DESIGNED BY:		RJR		CHECKED BY:	RJR
APPROVED BY:		RJR		PROJECT NO.:	17970301
CIVIL ENGINEERING LAND SURVEYING ENVIRONMENTAL ASSESSMENT				P.O. BOX 1088 350 BEDFORD ST. LAKEVILLE, MA 02347 TEL: 508.947.0050	





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CIVIL ENGINEERING LAND SURVEYING ENVIRONMENTAL ASSESSMENT		 P.O. BOX 1088 350 BEDFORD ST. LAKEVILLE, MA 02347 TEL: 508.947.0050			
REV.	DATE	DESCRIPTION	BY	APP.	SHEET NO. PR-2
					PROJECT NO. 17970301

