

SPECIAL PERMIT APPLICATION

TOWN OF WAREHAM ZONING BOARD OF APPEALS

278 Lake Avenue
E. Wareham, MA 02538

July 22, 2021

PREPARED FOR:

Karen Duke
752 School Street
Stoughton, MA 02072

PREPARED BY:



JC ENGINEERING, Inc.
Civil & Environmental Engineering
2854 Cranberry Highway
East Wareham, Massachusetts 02538
Ph. 508-273-0377 – Fax 508-273-0377

TOWN OF WAREHAM
ZONING BOARD OF APPEALS

APPLICATION FOR A PUBLIC HEARING FOR A VARIANCE/SPECIAL PERMIT

Certain uses are allowed in several zoning districts only by means of a Variance and/or Special Permit from the Zoning Board of Appeals. Those uses are indicated in the Wareham Zoning By-Laws. To apply for a Variance/Special Permit from the Zoning Board of Appeals, please do the following:

- Complete this form.
- Complete information packets. (Directions attached)
- Submit application form and packet to Town Clerk for signature.
- Submit application form and packet to Town Collector for signature.
- Submit completed form, packets, and appropriate fees** to the Zoning Board of Appeals secretary.

Permits may be issued only after a public hearing. There is a filing fee of **\$300.00 per lot, per application for all non-conforming residential lots, whether built upon or not. There is a filing fee of **\$750.00** per lot, per application for all commercial applications. In the case of a multi-family development, the fee is **\$300.00** plus an additional **\$50.00** for every unit over two (2). Please make check payable to the Town of Wareham.

A check to cover two (2) legal advertisements for the public hearing should be made payable to Wareham Week in the amount of **\$100.00.

**The applicant will also be responsible for the costs of sending out abutter notifications by Certified Mail. The cost is \$6.90 per certified letter to each abutter. Please see Zoning Board secretary for cost of mailings. Please make check payable to the Town of Wareham.

I hereby apply for a Variance/Special Permit for a use to be made of the following described place:

607,608,609

STREET & NUMBER: 278 Lake Avenue **LOT:** _____ **MAP:** 124
ZONING DISTRICT: R-130
USE REQUESTED: Single Family Residential
OWNER OF LAND & BUILDING: Donald B. Coe and Nancy G. Coe **TEL.#** _____
ADDRESS OF OWNER: c/o Karen Duke, 752 School Street, Stoughton, MA 02072
PERSON(S) WHO WILL UTILIZE PERMIT: Same
ADDRESS: Same
DATE: 7/15/2021 **SIGNATURE:** 
This application was received on the date stamped here:

Town Clerk: _____	Date: _____
Tax Collector: _____	Date: _____
Planning/Zoning Dept.: _____	Date: _____
Application fee paid: _____	Check #: _____ Receipt: _____
Advertising fee paid: _____	Check # _____ Receipt: _____
Abutters fee paid: _____	Check # _____ Receipt: _____



JC ENGINEERING, Inc.

Civil & Environmental Engineering

2854 Cranberry Highway
East Wareham, Massachusetts 02538
Ph. 508-273-0377 – Fax 508-273-0367

July 22, 2021

Town of Wareham
Zoning Board of Appeals
Memorial Town Hall
54 Marion Road
Wareham, MA 02571

RE: Special Permit Application for 278 Lake Avenue, East Wareham, MA

Dear Board Members,

On behalf of the applicant, Karen Duke, please find enclosed a Special Permit Application accompanied by supporting design drawing entitled “Proposed Site Plan located at 278 Lake Avenue, E. Wareham, MA” revised through July 16, 2021 (Plan) for your review and approval. This property is shown as Lots 607, 608, and 609 on Assessor’s Map 124. The existing property contains a 1.5 story, single-family dwelling built around 1930 according to the Town Assessor’s records. The applicant would like to raze and rebuild the single family dwelling on approximately the same non-conforming footprint, while adding an addition that conforms to setback requirements. Besides adding additional habitable space to the first and second floors, and reconfiguring the location of the bedrooms, the intention of the proposed expansion is to allow for habitable space to be constructed for Ms. Duke’s handicapped child. This additional habitable space is proposed in the basement level walkout area of the proposed addition. In accordance with the determination issued by the Building Commissioner, a Special Permit under Article 13, Section 1355 would be required for this proposed project.

Zoning Requirements

The property is located in the R-130 Zoning District and has street frontage on three separate roadways. The frontage on Lake Avenue is the primary access, therefore, front setback requirements are measured from Lake Avenue. Below is a list of the various zoning requirements that classifies the lot and structure as being pre-existing non-conforming.

- In accordance with Article 6, Table 621, a minimum lot area of 130,000 square feet is required in this district. The current lot contains 10,063 square feet.
- In accordance with Article 6, Table 628, minimum setback requirements for structures on lots 15,000 square feet and under are 20 feet from the front property line and 10 feet from the side and rear lot lines. The existing and proposed side setback of the structure is as close as 6.2 feet on the west side of the structure.

As outlined in Section 1355 of the Wareham Zoning Bylaws, the Board of Appeals shall find that the replacement structure will not be substantially more detrimental to the neighborhood than the existing structure, will not cause undue nuisance or congestion to the neighborhood, nor create any new non-conformities. For the following reasons, we feel that the reconstruction of this single family dwelling will neither substantially increase the nonconforming nature of the structure, nor be substantially more detrimental to the neighborhood.

- The proposed dwelling will be constructed on approximately the same non-conforming footprint, therefore not increasing any non-conformity.
- This project also includes the construction of an addition, but the added floor area to the dwelling will not exceed the maximum allowable Gross Floor Area of 2,500 square feet. A total of 2,435 square feet of Gross Floor Area is proposed.
- The height of the structure will be no greater than the 35 foot maximum height as stated in the Zoning Bylaws, therefore, it will not create a non-conformity. The proposed total height from average ground elevation to the peak of the roof is 25 feet. This represent an increase of 2.5 feet above the height of the existing dwelling.
- There will be no increase in traffic or noise to the neighborhood, as this dwelling is currently a single family dwelling and will remain a single family dwelling. The typical traffic from a single family dwelling will remain the same.

For the reasons stated above, we would appreciate your favorable vote on a Special Permit for the razing and reconstruction of a single family dwelling, which is under the purview of this board.

Respectfully yours,



Bradley M. Bertolo, EIT, CSE
Project Engineer

Cc: Karen Duke



TOWN of WAREHAM

Massachusetts

BUILDING DEPARTMENT

David L Riquinha
Building Commissioner

Karen Duke
C/o Bradley Bertolo, J.C Engineering
2854 Cranberry Highway
Wareham, MA 02538

July 13, 2021

RE: 278 Lake Ave.

Map # 124, Lot # 607

We have reviewed your application to raze your existing dwelling, and reconstruct a new dwelling on the same site. The proposal, as presented, is not in compliance with current zoning regulations and must be denied at this time.

After reviewing the details of your submittal, it appears that you are looking to completely demolish the existing dwelling in order to reconstruct a new dwelling in the same location, with an increase building area, and footprint. The height, and floor area ratio are both compliant; however, the structure does not meet the side yard setback requirement of 10', and cannot be approved for construction. You will need to apply for, and secure a special permit from the Zoning Board of Appeals in order to continue with this request.

Your permit application is being denied under the following sections of the Wareham Zoning By-law:

- **Article 6, Table 621, Residential Districts,** The proposed residential dwelling does not conform to the setback requirements for the R-130 zoning district.
- **Article 13 Section 1355 Non-conforming Structures:** A lawfully preexisting nonconforming single family structure, may be demolished and reconstructed by special permit, provided that construction complies with the criteria listed in items 1-4, in section 1355, of the Wareham zoning by-law. A variance will be required if Board of Appeals finds the expansion to be substantially more detrimental to the neighborhood. (*ZBL §1356*)

The subject dwelling is located in Zoning district R-130.

Respectfully,

David Riquinha
Building Commissioner
Zoning Enforcement Officer

It is the owners' responsibility to check with other departments, i.e. Health, and conservation, etc. to ensure full compliance.

In accordance with the provisions of MGL chapter 40A §§ 15, you may apply to the Zoning Board of Appeals for the above noted relief within thirty (30) days of receipt of this letter.

TOWN OF WAREHAM

APPLICANT/CONTRACTOR/REPRESENTATIVE INFORMATION SHEET

Check Applicable: _____ Variance Special Permit _____ Site Plan _____ Appeal

Date stamped in: _____ Date decision is due _____

Applicant's Name: Karen Duke

Applicant's Address: 752 School Street, Stoughton, MA 02072

Telephone Number: _____

Cell Phone Number: _____

Email Address: kdstealth93@verizon.net

Address of Property/Project: 278 Lake Avenue

Landowner's Name: Donald B. Coe & Nancy G. Coe, c/o Karen Duke

Owner's Address: 752 School Street, Stoughton, MA 02072

Telephone Number: _____

Contact Person: Bradley Bertolo, JC Engineering Inc Telephone Number: 508-273-0377

Map 124 Lot 607, 608, 609 Zone R-130

Date Approved _____ Date Denied _____

Comments: _____

CURRENT OWNER		TOPO.	UTILITIES	STRT./ROAD	LOCATION	CURRENT ASSESSMENT			
COE DONALD B & NANCY G C/O KAREN DUKE 752 SCHOOL ST		4 Rolling	5 Well	3 Unpaved	2 Suburban	Description	Code	Appraised Value	Assessed Value
			6 Septic			RES BLDG	1010	128,600	128,600
STOUGHTON, MA 02072 Additional Owners:		SUPPLEMENTAL DATA				RES LAND	1010	111,300	111,300
		Other ID:		Plan #		Total			
		Total Ac	0.24	Assoc. Parcels		239,900		239,900	
		District	10	ASSOC PID#					
		S.C.E.							
		GIS ID: M_271945_839504							

925
WAREHAM, MA

VISION

RECORD OF OWNERSHIP		BK-VOL/PAGE	SALE DATE	q/u	v/i	SALE PRICE	V.C.	PREVIOUS ASSESSMENTS (HISTORY)								
COE DONALD B & NANCY G HALL EVERETT W		505/ 77 146/ 176	04/12/2002 01/01/1901	U U	I I	0 1		Yr.	Code	Assessed Value	Yr.	Code	Assessed Value	Yr.	Code	Assessed Value
								2019	1010	111,500	2018	1010	97,500	2017	1010	87,500
								2019	1010	107,100	2018	1010	107,100	2017	1010	107,100
								Total:		218,600	Total:		204,600	Total:		194,600

EXEMPTIONS				OTHER ASSESSMENTS				
Year	Type	Description	Amount	Code	Description	Number	Amount	Comm. Int.
Total:								

This signature acknowledges a visit by a Data Collector or Assessor

ASSESSING NEIGHBORHOOD				
NBHD/ SUB	NBHD Name	Street Index Name	Tracing	Batch
0050/A				

APPRAISED VALUE SUMMARY

Appraised Bldg. Value (Card)	128,600
Appraised XF (B) Value (Bldg)	0
Appraised OB (L) Value (Bldg)	0
Appraised Land Value (Bldg)	111,300
Special Land Value	0
Total Appraised Parcel Value	239,900
Valuation Method:	C
Adjustment:	0
Net Total Appraised Parcel Value	239,900

NOTES	
EXT/INT AVG WHT NO DORMERS-LADDER ACCESS TO 2ND STORY-UNF NO HEAT-SEASONAL USE ONLY=FO INCLDS LOTS 608 & 609 124/607	CLEAR VIEW ACROSS FROM BEACH 3 SKYLITES

BUILDING PERMIT RECORD										VISIT/ CHANGE HISTORY					
Permit ID	Issue Date	Type	Description	Amount	Insp. Date	% Comp.	Date Comp.	Comments	Date	Type	IS	ID	Cd.	Purpose/Result	
R11059	07/22/2010	RF	Roofing	75	07/01/2011	100		15SQ	09/03/2019 07/10/2018 06/26/2014 03/29/2005 06/17/1995			PH2 KS WG RB RH	50 01 50 01 00	Vision Review Measured & Notice Vision Review Measured & Notice Measur+Listed	

LAND LINE VALUATION SECTION																				
B #	Use Code	Use Description	Zone	D	Front	Depth	Units	Unit Price	I. Factor	S.A.	C. Factor	ST. Idx	Adj.	Notes- Adj	Special Pricing		S Adj Fact	Adj. Unit Price	Land Value	
															Spec Use	Spec Calc				
1	1010	SINGLE FAMILY	R130	1			10,260 SF	7.61	1.0000	5	0.95	0050	1.00	ROAD COND		L15 L15	1.50		111,300	

CONSTRUCTION DETAIL				CONSTRUCTION DETAIL (CONTINUED)			
Element	Cd.	Ch.	Description	Element	Cd.	Ch.	Description
Style	06		Conventional				
Model	01		Residential				
Grade	04		Ave				
Stories	1.25						
Occupancy	1						
Exterior Wall 1	25		Vinyl Siding				
Exterior Wall 2							
Roof Structure	03		Gable/Hip				
Roof Cover	03		Asphalt Shing				
Interior Wall 1	03		Plastered				
Interior Wall 2	06		Custom Panel				
Interior Flr 1	14		Carpet				
Interior Flr 2	06		Linoleum				
Heat Fuel	01		None				
Heat Type	01		None				
AC Type	01		None				
Total Bedrooms	02		2 Bedrooms				
Total Bthrms	1						
Total Half Baths	0						
Total Xtra Fixtrs							
Total Rooms	5		5 Rooms				
Bath Style	02		Average				
Kitchen Style	02		Average				
# of Fireplaces	1						
Fireplace Type	1						
Finish Bsmt SF							
Fin Bsmt Qual							

FEP	BAS	8		
5	4	5	6	6
4			8	
FAT				30
BAS				
UBM				
24				24
				30
FEP				30
UBM				
8				8
				30

OB-OUTBUILDING & YARD ITEMS(L) / XF-BUILDING EXTRA FEATURES(B)

Code	Description	Sub	Sub Descript	L/B	Units	Unit Price	Yr	Gde	Dp Rt	Cnd	%Cnd	Apr Value

BUILDING SUB-AREA SUMMARY SECTION

Code	Description	Living Area	Gross Area	Eff. Area	Unit Cost	Undeprec. Value
BAS	First Floor	768	768			103,864
FAT	Attic Finish	216	720			29,212
FEP	Enclosed Porch	0	260			24,614
UBM	Basement Unfin	0	960			25,966
Ttl. Gross Liv/Lease Area:		984	2,708			183,655





Transfer Certificate of Title

Cert. No. 101077
Book 505 Page 77
Doc. No. 503888

From Certificate No. 29376
Originally Registered 06 JUN 1960
in Registration Book 146
Page 176
for the Registry District of Plymouth County.

This is to Certify that DONALD B COE and NANCY G COE

of Easton in the County of Bristol and Commonwealth of Massachusetts, married to each other, are the owners in fee simple, as tenants by the entirety, of that certain parcel of land situate in Wareham in the County of Plymouth and said Commonwealth, described as follows:

Being Lots 607, 608 and 609, as determined by the Court to be located upon the ground as shown on sheet 1 of plan #8702B, filed with Certificate of Title No. 2383, the same being a copy of a part of a plan drawn by Frederic O. Smith, Surveyor, dated June 15, 1926, as approved by the Court, filed in the Land Registration Office at Boston.

So much of said lots as is included within the limits of the Roads as shown on said plan is subject to the rights of all persons lawfully entitled thereto in and over the same, and said lots are also subject to the rights of flowage of the Agawam Reservoir Power & Irrigation Co., as established at date of original decree, the flowage area being governed by the right of said Company to hold the water by its Glen Charlie Dam, so called, in the Town of Wareham to a grade of forty-two and six-tenths (42.6) feet above mean sea level.

Said lots are also subject to the reservations set forth in a certain deed from Kate D. Bourne to Joseph M. Read, dated August 22, 1917, filed and registered as document #1073.

And it is further certified that said land is under the operation and provisions of Chapter 185 of the General Laws, and that the title of said DONALD B COE and NANCY G COE to said land is registered under said Chapter, subject, however, to any of the encumbrances mentioned in Section forty-six of said Chapter, which may be subsisting, and subject also as aforesaid.

Witness PETER W. KILBORN, Chief Justice of the Land Court at Plymouth, in said County of Plymouth, the 12th day of APRIL in the year 2002 at 09:25AM

Attest, with the Seal of said Court,

John R. Buckley Jr.
Assistant Recorder.

Land Court Case No. 8702

Address of Owner 109 TURNPIKE STREET EASTON MA 02356
Property Address 278 LAKE AVENUE WAREHAM MA 02571

MAP & LOT	OWNER	CO-OWNER	STREET ADDRESS	TOWN	STATE	ZIP CODE
TOWN OF WAREHAM ABUTTERS						
MAP 124 LOT 607						
OWNER DONALD B & NANCY G COE						
124-281	TOWN OF WAREHAM		54 MARION RD	WAREHAM	MA	02571
124-275	RICE C JOYCE		233 PLYMOUTH AVE	E WAREHAM	MA	02538
124-55	BURROUGHS JOHN C	BURROUGHS JACQUELYN L TRUSTEES	2 PRISCILLA AVE	E WAREHAM	MA	02538
124-603	SHANKS DAVID A		646 PLYMOUTH ST	MIDDLEBORO	MA	02346
124-607	COE DONALD B & NANCY G	C/O KAREN DUKE	752 SCHOOL ST	STOUGHTON	MA	02072
124-94	FERLISI MADELINE LIFE ESTATE		38 SHERMAN PLACE	WOBURN	MA	01801
124-613	CATAUMET REAL ESTATE GROUP LLC		29 WASHINGTON ST	FOXBORO	MA	02035
124-610	TOBIN ANNE M		6 PARK CIR	E WAREHAM	MA	02538
124-612	FOLSOM ROY L & CHERYL A	FOLSOM SEAN M	4 PARK CIRCLE	E WAREHAM	MA	02538
124-1000	WHITE ISLAND SHORES COMMUNITY	ASSOCIATION BY TRUSTEES C/O STEPHANIE KOZAR	243 PARK AVE	E WAREHAM	MA	02538
124-601	SARAFIAN MICHAEL J ET ALS	C/O ROBERT SARAFIAN	4 BALMY LN	MIDDLEBORO	MA	02346
124-614	FIELDS MICHAEL G		36 CORNERSTONE DR	NO EASTON	MA	02536-2740
CERTIFIED ABUTTERS AS THEY						
APPEAR ON OUR TAX ROLLS						
AS OF 7/15/2021						
<i>by Bruce Atkins</i>						
ASSESSORS OFFICE						
REQUESTED BY						
BRADLEY BERTOLO						
JC ENGINEERING						
BBERTOLO@JCENG.ORG						



ac 0.30 ac 0.30 ac

46 ac

0.30 ac

MAYFLOWER LANE

0.33 ac

PLYMOUTH AVENUE

PLYMOUTH AVENUE

PLYMOUTH AVENUE

LAKE AVENUE

LAKE AVENUE

HARDY ROAD

PRISCILLA AVENUE

RASPBERRY ROAD

PARK AVENUE

0.14 ac

PURITAN AVENUE

HUNTER AVENUE

HUNTER AVENUE

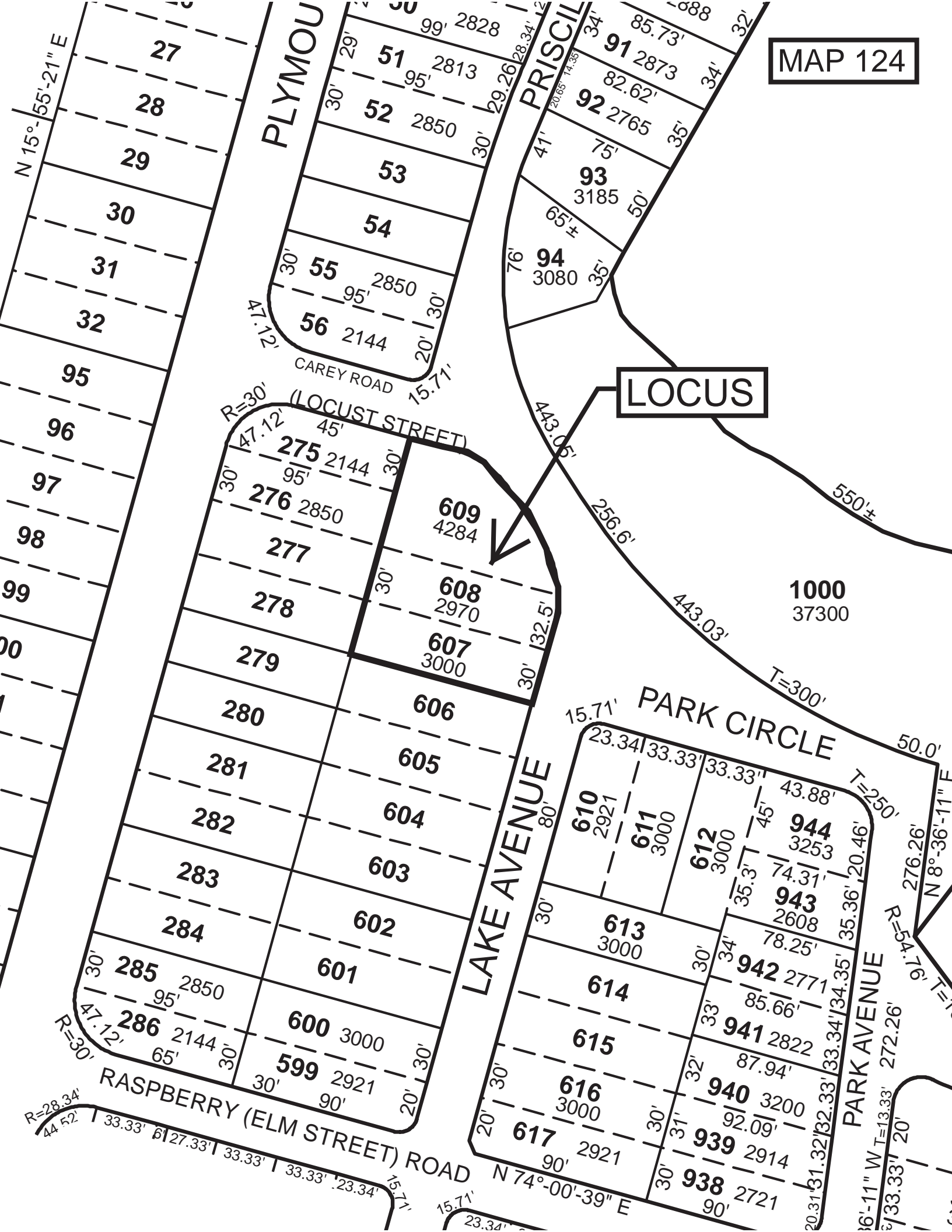
The data shown on this site are provided for informational and planning purposes only. The Town and its consultants are not responsible for the misuse or misrepresentation of the data.

180 360 ft

Printed on 07/19/2021 at 01:13 PM

MassOnline by PeopleGIS

- MA Precincts
- Fire Station
- Police Station
- Town Hall
- Public Library
- School
- Buildings
- Parcels
- Town Boundary
- MA Highbury Interstate
- US Highway
- Numbered Road
- Streets
- Bathymetry
- 0-5 ft
- 5-10 ft
- 10-15 ft
- 15-20 ft
- 20-30 ft
- 30-40 ft
- 40-50 ft
- 50-60 ft
- 60-70 ft
- 70+ ft
- Abutting Town Labels
- Abutting Towns



278 LAKE AVENUE, E. WAREHAM, MA







New Construction

BEACH HOUSE RENOVATION

278 Lake Avenue, Wareham, MA 02538

PROJECT DESCRIPTION

These plans describe an addition and alteration to a single-family conventional-style residence built in 1930. The scope of work includes renovation to the entire existing footprint of approximately 984 SF with addition of two-story 24' x 24' space to with additional bedroom and basement garage.

The drawing set and specifications were developed by 8TFive Studio with support from team members listed in the Project Directory. 3D images for visualization purposes only.



DRAWING INDEX

	Revision	Date
G0.01		Cover Sheet
G0.02		General Notes I
G0.03		General Notes II
G0.04		Specifications I
G0.05		Specifications II
G0.06		Typical Mounting
L1.01		Site Survey & Septic
AD1.0		Existing Basement
AD1.1		Existing 1st Floor
AD1.2		Existing 2nd Floor
AD2.1		Ex. Exterior Elevations
AD2.2		Ex. Exterior Elevations
A1.00		Basement Plan
A1.01		1st Floor Plan
A1.02		2nd Floor Plan
A1.03		Roof Plan & Details
A1.20		Basement MEP Plan
A1.21		1st Fl MEP Plan
A1.22		2nd Fl MEP Plan
A2.01		Exterior Elevations
A2.02		Exterior Elevations
A3.01		Building Sections
A5.01		High Wind Details
A5.02		Deck Framing Details
A5.03		Foundation Details
A5.04		Building Details
A6.01		Door & Window Schedules
Total Drawing Sheets: 27		

PROJECT DIRECTORY

Building Department
54 Marion Road
Wareham, MA 02571
(508) 291-3100

Owner
Karen Duke
752 School Street
Stoughton, MA 02072
(781) 344-8827
kdstealth93@verizon.net

Architect
Neil Silva - **8TFive Studio, LLC**
16 Jordan Lane
East Freetown, MA 02717
(774) 243-2432
nsilva@8tfive.com

Civil Engineer
Bradley M. Bertolo - **JC Engineering, Inc.**
2854 Cranberry Highway
East Wareham, MA 02538
(508) 273-0377
bbertolo@jceengineeringinc.com

General Contractor
Alan Gifford
Natick, MA 01760
(508) 273-2698
bos.cms@gmail.com

Drawing Disclaimer: This Document contains confidential and proprietary information that cannot be reproduced or divulged, in whole or in part, without written authorization from the Architect. Do not scale from a drawing. Work to figured dimensions only. All dimensions to be checked on site prior to the execution of any work. The Copyright of these drawings belong to 8TFive Studio, LLC

PROJECT ZONING DATA

	[Required]	[Provided]
Assessor's Data	Map (124)	Parcel (607)
Zoning Info	Zoning District (R130)	Proposed Use (Same)
Property Info	Lot [130,000 SF]/(10,063 SF)	Frontage [200']/(184')
Bldg Setbacks	Front [20']/(27') Side [30']/(15') Rear [30']/(6.2')	
Bldg Restrictions	Coverage [NR]/(~20%) Height [35']/(~26.5')	
Site Information	Water Supply (Public) Sewage (Septic)	
Flood Zone	Within Area (No) Zone X	
Floor Area	Exist. 1,358 SF Mod. +1,077 SF New 2,435 SF *	

VICINITY MAP



PROJECT CODE SUMMARY

Building Codes	International Residential Code (IRC) 2015
	Massachusetts Building Code Provisions of '780 CMR 51.00' 9th Edition - (Jan. 2018)
Local Jurisdiction	Zoning & General By-Laws Wareham, MA
Occupancy Group	Residential (One/Two Family), R-3
Type of Construction	Type V-B (Wood Construction)

ARCHITECT STAMP



16 Jordan Lane
East Freetown, MA 02717
(774) 243-2432 info@8TFive.com

REVISIONS

ADDRESS
278 Lake Avenue,
Wareham, MA 02538

DRAWN BY
Neil Silva
06/30/2021

CLIENT
Karen Duke

Project #
2020080

SCALE
1/2" = 1'-0"

Cover Sheet

PROJECT STATUS
Permit Set

G0.01

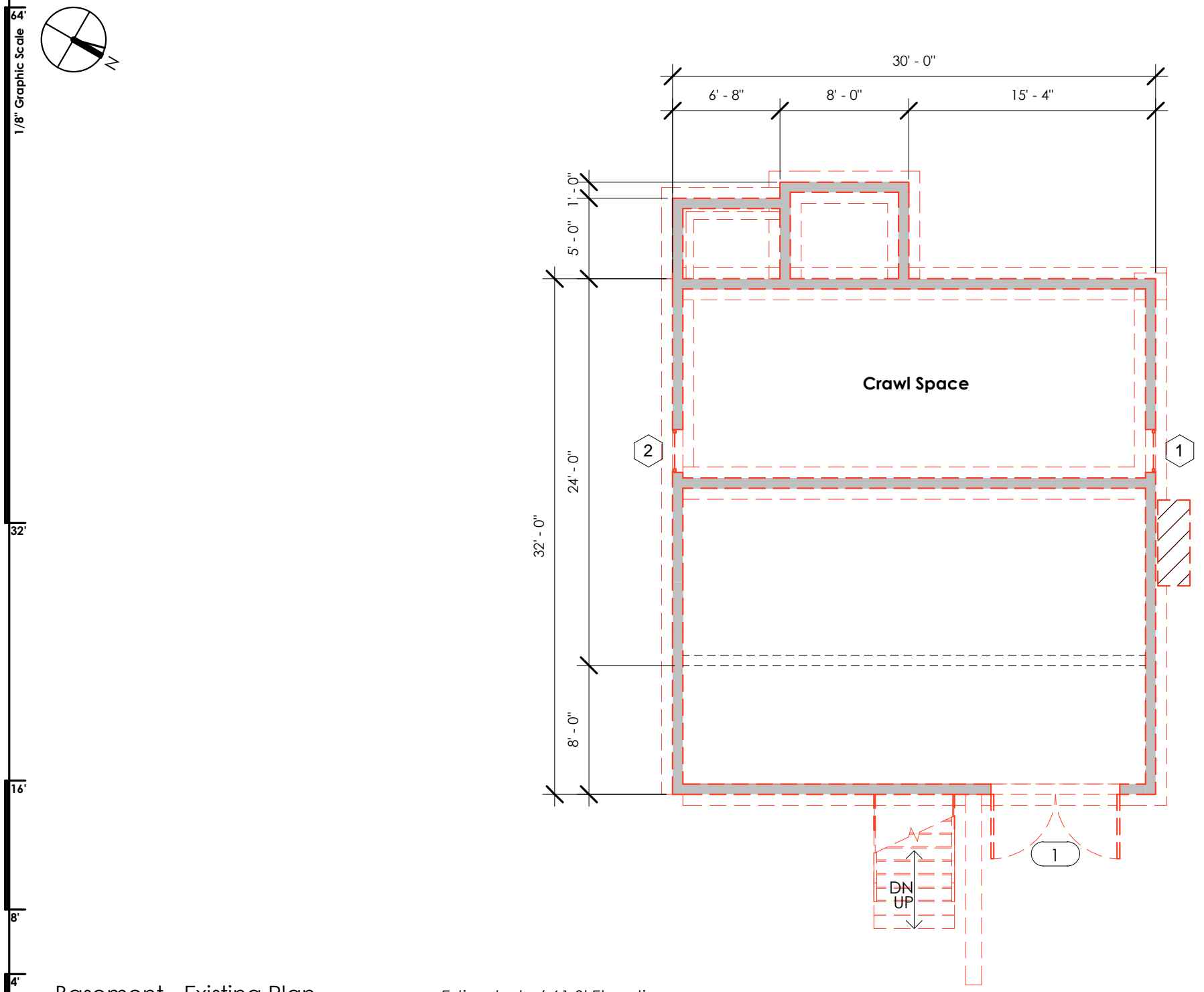
WINDOW SCHEDULE - EXISTING				
Refer to Door & Window Schedule Sheet				
Mark	Type	Size	Room	Comments
1	Basement-Awning	32" x 15"		
2	Basement-Awning	32" x 15"		

DOOR SCHEDULE - EXISTING				
Refer to Door & Window Schedule Sheet				
Mark	Type	Size	Room	Comments
1	Double-Flush	8-0 x 5-8		

MEASURED DRAWING DISCLAIMER

This measured drawing has been prepared, in part, based upon information furnished by others as well as with on-site field measurement, photography, and documentation. While this information is believed to be reliable, the Architect assumes no responsibility for the accuracy of this measured drawing or for any errors or omissions that may have been incorporated into it as a result of incorrect information provided to the Architect. Those relying on this measured document are advised to obtain verification of its accuracy on-site prior to construction.

- DEMOLITION NOTES**
- Demolition indicated is for general reference purposes only and is not intended to identify all of the demolition, removal of finishes, etc. General Contractor shall be responsible for all demolition and legal disposal of waste necessary to accommodate new work in whether indicated or not.
 - The Contractor must adhere to the scope of work shown on the drawings. No work is authorized if it expands the original scope of work unless it is approved in writing by the owner. Any work undertaken by the Contractor and any additional required documentation or cost to the project without prior written approval is the sole responsibility of the Contractor.
 - Coordinate removal of existing floor finishes to accommodate new proposed flooring. Adjust under-layments as necessary to ensure smooth/level transitions between different materials and new and existing work.
 - Remove vents, jacks, wiring, etc. where abandoned.
 - Notify Owner of any scheduled shut-off of utilities which serve currently occupied spaces.
 - Items to be salvaged for reinstallation are indicated as such on the Architectural drawings.
 - Perform demo Work to prevent dust and pollutant hazards. Do not endanger adjacent spaces, structures, or the public.



1 Basement - Existing Plan
Scale: 1/8" = 1'-0"
Estimated +/-61.0' Elevation

EXISTING CONDITIONS PHOTOS



Exterior Photo of House from Street



Exterior Photo of House from Sideyard

Note: Imagery is from Assessor's Office, Google Street View and/or Personal Photos taken at or around (11/15/2020).

ARCHITECT STAMP

8TFIVE STUDIO
architectural design

16 Jordan Lane
East FreeTown, MA 02717
(774) 243-2432 info@8TFive.com

REVISIONS

ADDRESS
278 Lake Avenue,
Wareham, MA 02538

DRAWN BY
Neil Silva
06/30/2021

PROJECT STATUS
Permit Set

Existing Basement

CLIENT
Karen Duke

Project #
2020080

SCALE
As indicated

AD1.0

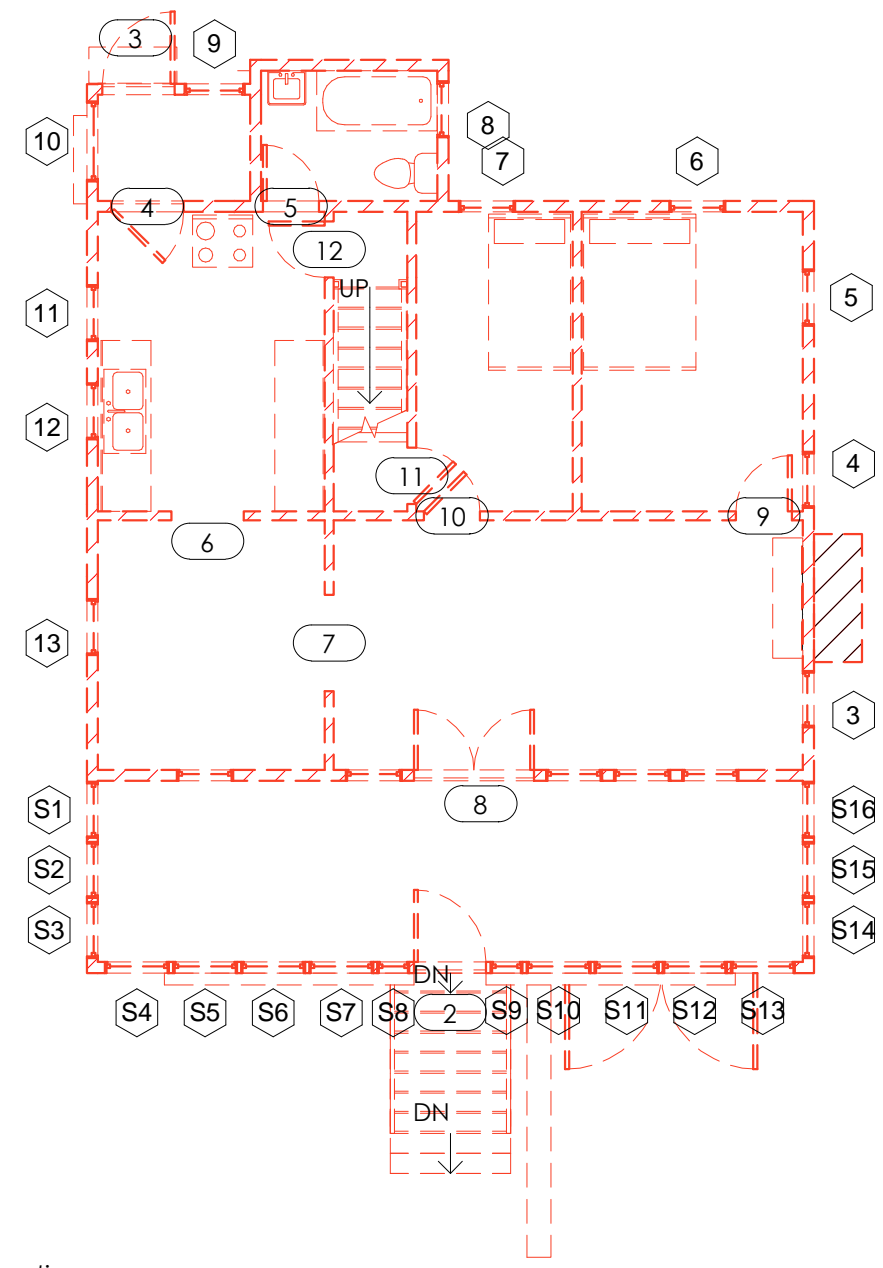
WINDOW SCHEDULE - EXISTING				
Refer to Door & Window Schedule Sheet				
Mark	Type	Size	Room	Comments
3	Double Hung 1x	2-4 x 4-6		
4	Double Hung 1x	2-4 x 4-6		Shutters,
5	Double Hung 1x	2-4 x 4-6		Shutters,
6	Double Hung 1x	2-4 x 4-6		Shutters,
7	Double Hung 1x	2-4 x 4-6		
8	Double Hung 1x	2-4 x 3-6		Reuse and Relocate in Bath,
9	Double Hung 1x	2-6 x 3-6		
10	Double Hung 1x	3-4 x 3-6		
11	Double Hung 1x	2-4 x 4-6		Shutters,
12	Double Hung 1x	2-4 x 3-6		Shutters,
13	Double Hung 1x	2-4 x 4-6		Shutters,

DOOR SCHEDULE - EXISTING				
Refer to Door & Window Schedule Sheet				
Mark	Type	Size	Room	Comments
2	Single-Flush	3-0 x 6-8		
3	Single-Flush	3-0 x 6-8		
4	Single-Entry	3-0 x 6-8		
5	Single-Flush	2-4 x 6-8		
6	Opening-Cased	3-0 x 6-8		
7	Opening-Cased	4-0 x 6-8		
8	Double-Flush	5-0 x 6-8		Ex. French Door to be Reused
9	Single-Flush	2-4 x 6-8		
10	Single-Flush	2-4 x 6-8		
11	Single-Flush	2-4 x 6-8		
12	Single-Flush	2-4 x 6-8		

MEASURED DRAWING DISCLAIMER

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 - Coordinate removal of existing floor finishes to accommodate new proposed flooring. Adjust under-layments as necessary to ensure smooth/level transitions between different materials and new and existing work.
 - Remove vents, jacks, wiring, etc. where abandoned.
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EXISTING CONDITIONS PHOTOS



Exterior Photo of House from Street



Exterior Photo of House from Sideyard

Note: Imagery is from Assessor's Office, Google Street View and/or Personal Photos taken at or around (11/15/2020).

1 Existing First Floor Plan Refer to Civil Engineer: 68.0' Elevation
Scale: 1/8" = 1'-0" 1,042 SF

ARCHITECT STAMP

8TFIVE STUDIO
architectural design

16 Jordan Lane
East FreeTown, MA 02717
(774) 243-2432 info@8TFive.com

REVISIONS

ADDRESS 278 Lake Avenue, Wareham, MA 02538
CLIENT Karen Duke
DRAWN BY Neil Silva 06/30/2021
Project # 2020080

Existing 1st Floor
PROJECT STATUS Permit Set
SCALE As indicated

AD1.1

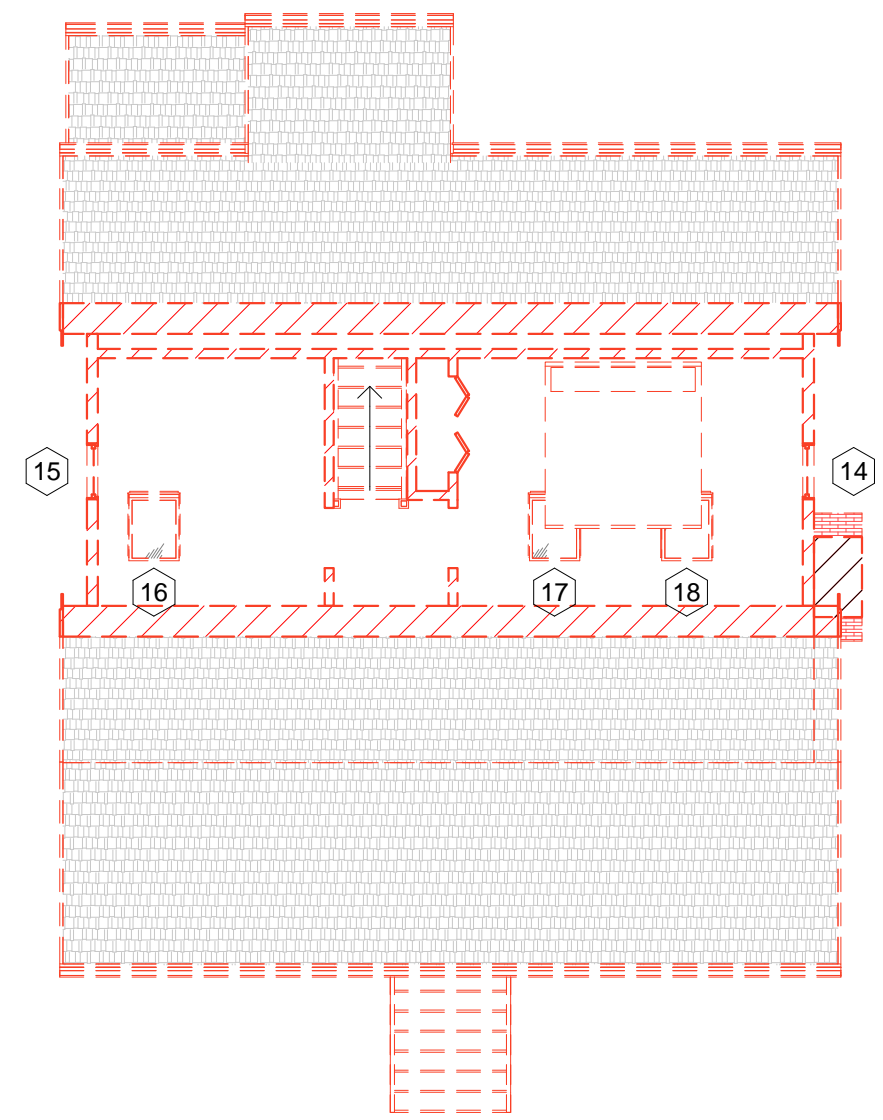
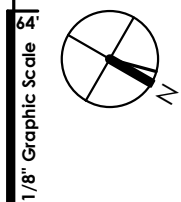
WINDOW SCHEDULE - EXISTING				
Refer to Door & Window Schedule Sheet				
Mark	Type	Size	Room	Comments
14	Double Hung 1x	2-4 x 4-0		Shutters,
15	Double Hung 1x	2-4 x 4-0		Shutters,
16	Skylight	2-0 x 3-0		
17	Skylight	2-0 x 3-0		
18	Skylight	2-0 x 3-0		

DOOR SCHEDULE - EXISTING				
Refer to Door & Window Schedule Sheet				
Mark	Type	Size	Room	Comments
13	Opening-Cased	2-6 x 6-8		
14	Opening-Cased	2-6 x 6-8		
15	Bifold-4 Panel	4-0 x 6-8		

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EXISTING CONDITIONS PHOTOS



Exterior Photo of House from Street



Exterior Photo of House from Sideyard

Note: Imagery is from Assessor's Office, Google Street View and/or Personal Photos taken at or around (11/15/2020).

1 Existing Second Floor Plan
Scale: 1/8" = 1'-0"
~ 76.0' Elevation
316 SF

ARCHITECT STAMP

8TFIVE STUDIO
architectural design

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East FreeTown, MA 02717
(774) 243-2432 info@8TFive.com

REVISIONS

ADDRESS
278 Lake Avenue,
Wareham, MA 02538

DRAWN BY
Neil Silva
06/30/2021

CLIENT
Karen Duke

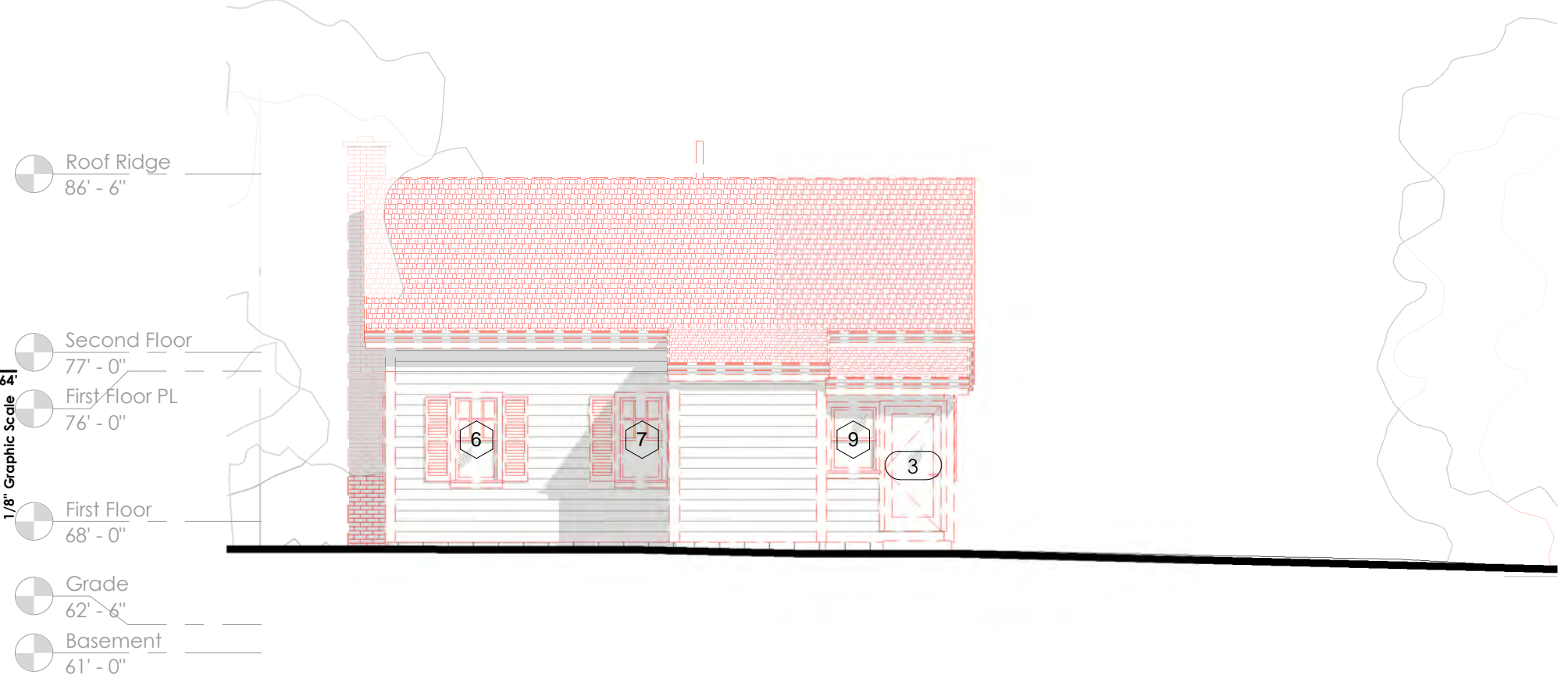
Project #
2020080

SCALE
As indicated

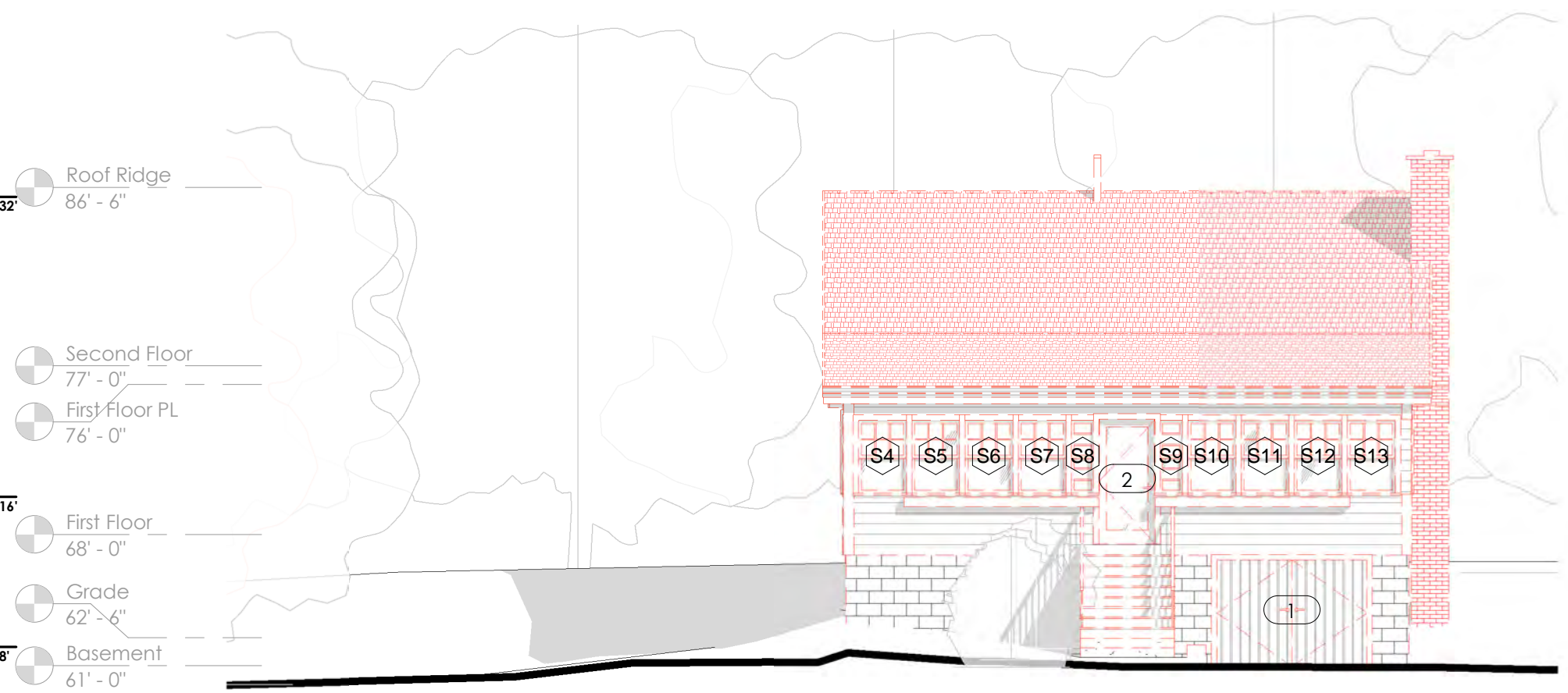
PROJECT STATUS
Permit Set

Existing 2nd Floor

AD1.2



1 West - Existing
Scale: 1/8" = 1'-0"



2 East - Existing
Scale: 1/8" = 1'-0"

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7. Perform demo Work to prevent dust and pollutant hazards. Do not endanger adjacent spaces, structures, or the public.

ARCHITECT STAMP



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CLIENT
Karen Duke

DRAWN BY
Neil Silva
06/30/2021

Project #
2020080

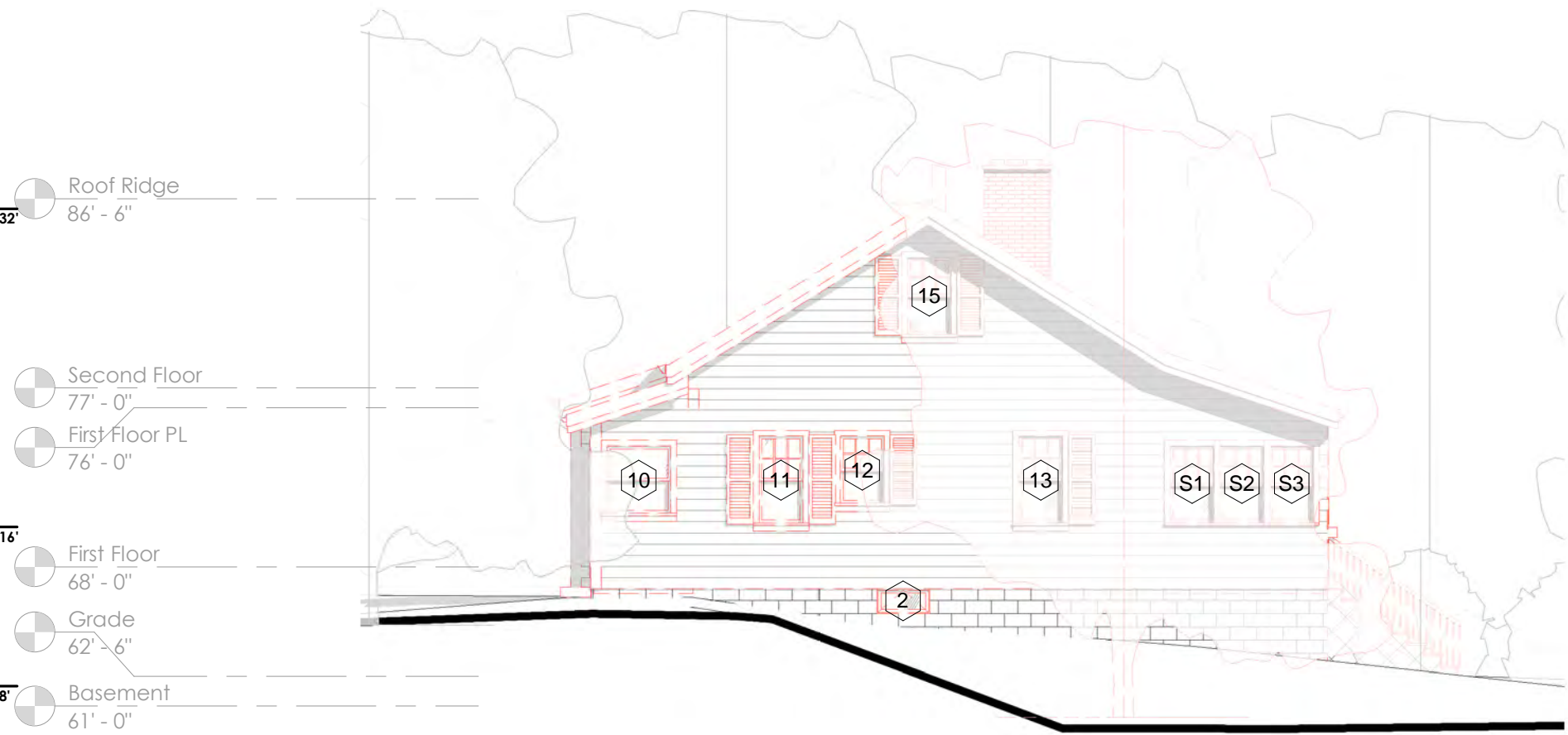
Ex. Exterior Elevations

SCALE
As indicated

PROJECT STATUS
Permit Set



1 North - Existing
Scale: 1/8" = 1'-0"



2 South - Existing
Scale: 1/8" = 1'-0"

MEASURED DRAWING DISCLAIMER

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REVISIONS

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CLIENT
Karen Duke

DRAWN BY
Neil Silva
06/30/2021

Project #
2020080

Ex. Exterior Elevations

PROJECT STATUS
Permit Set

SCALE
As indicated

WINDOW SCHEDULE				
Refer to Door & Window Schedule Sheet for All Windows				
Mark	Type	Size	Room	Comments
19	Double Hung 1x	3-0 x 4-0	Living Area	
20	Double Hung 1x	3-0 x 4-0	Living Area	
21	Double Hung 1x	3-0 x 4-0	Bedroom	
22	Basement-Awning	32" x 15"		
23	Basement-Awning	32" x 15"		

DOOR SCHEDULE				
Refer to Door & Window Schedule Sheet for All Doors				
Mark	Type	Size	Room	Comments
16	Single-Entry	3-0 x 6-8		
17	Double-Flush	8-0 x 6-8		
18	Single-Pocket	3-0 x 6-8	Living Area	
19	Single-Pocket	3-0 x 6-8	Bedroom	
20	Bifold-4 Panel	4-0 x 6-8	Bedroom	
21	Single-Pocket	3-0 x 6-8	Train Room	
22	Single-Flush	3-0 x 6-8		
23	Single-Flush	3-0 x 6-8		

FOUNDATION & CONCRETE NOTES

Soil Conditions & Structural Fill:

- The foundation design is based on an allowable bearing capacity of 2000 psf. All excavations for footings shall extend down to suitable bearing subgrade as determined by a geotechnical engineer. If questionable bearing is detected it is to be removed & replaced with structural fill.
- Structural fill shall be well graded bank run, screened or crushed gravel, and shall be placed in 8" maximum lifts and compacted to 95% maximum density at optimum moisture content as determine by ASTM D1557, modified proctor.
- Exterior footings that will be exposed to freeze thaw cycles shall extend a minimum of 4'-0" below finished grade.
- Unless directed otherwise by the geotechnical engineer, all footings excavations shall be finished by hand. Foundations shall not be placed on frozen ground or in puddled water.

Concrete:

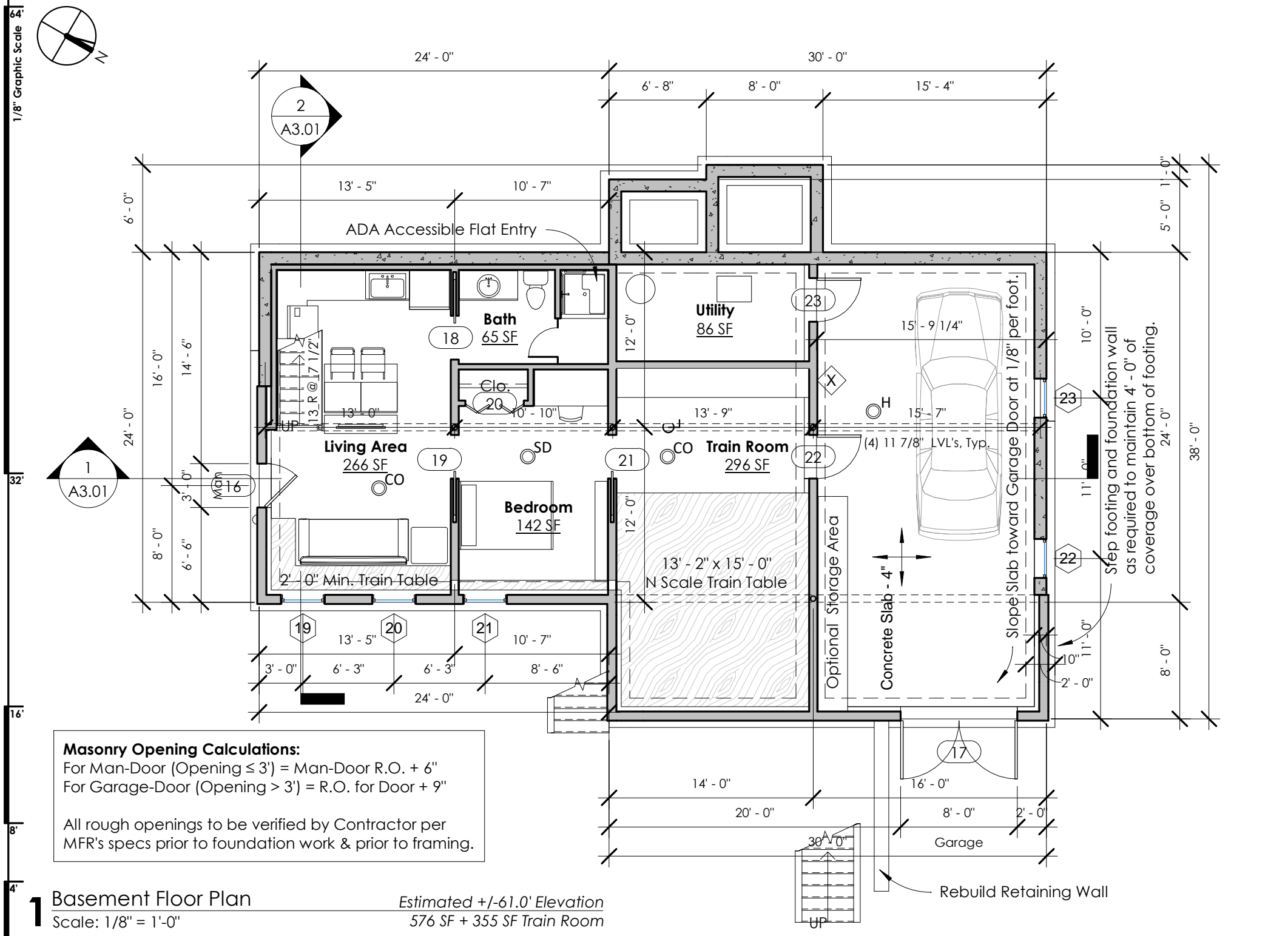
- All concrete work shall conform to the 2008 edition of the ACI building code requirements for reinforced concrete (ACI 318) and specifications for building structural concrete (ACI 301) referenced by the governing State Building Code.
- Concrete shall be normal weight concrete unless otherwise noted with sand and gravel aggregate, type I or type II portland cement and minimum compressive strength (f'c) in 28 days as specified below - maximum slump 4 1/2".
 - Footings f'c = 4000 psi
 - Piers f'c = 4000 psi
 - Interior slabs = 3000 psi
 - Garage slab = 4000 psi
 - Walls f'c = 4000 psi
 - Fill concrete = 3000 psi
 - Mud mats = 2000 psi
- Concrete exposed to the weather or possible freeze/thaw action shall be air entrained. Total air content (percent by concrete volume) shall not be less than 5% or more than 7%.
- Grout under column base plates and under other bearing plates shall be non-shrink, nonmetallic grout with a minimum compressive strength of 5000 psi at 3 days.
- All exposed edges of concrete members shall be chamfered 3/4" U.N.O. on architectural drawings.
- Refer to architectural drawings for door and window openings, drips, washes, reglets, concrete finishes, and miscellaneous embedded plates, bolts, anchors, angles, etc
- Cast in place concrete construction or control joints in slab on grade to be as shown on plans. Where not shown, limit control joint spacing to no greater than 15 feet on any side for 5 inch slabs and 12 feet for 4 inch slabs on grade. The sections bounded by control or construction joints shall be approx. square, with the length to width ratio less than 1.5.
- Concrete clear cover on steel reinforcing shall be per ACI:
 - A. Surfaces cast against earth = 3"
 - B. Formed surfaces exposed to earth or weather
 - a. #6 to #18 bar = 2"
 - b. #5 and less = 1 1/2"
 - C. Formed surfaces not exposed to earth or weather
 - a. Slabs and walls = 3/4"
 - b. Beams and columns = 1 1/2"
 - D. Slabs-on-grade = 1 1/2" (from top of slab)
 - E. Slabs-on-deck
 - a. Top = 3/4"
 - b. Bottom = 3/4"

Steel Reinforcing:

- All reinforcing steel shall be deformed bars conforming to ASTM A615, Grade 60. WWF shall conform to astm A496 and A497 Grade 60, for deformed and plain wire respectively.
- All continuous reinforcement shall have Class B lap splices, u.n.o. All hooks shown shall be standard hooks, u.n.o.
- At no time is the reinforcing steel to be welded.
- Where reinforcing steel is bent it is to be done so the end result is a gradual arc with a minimum of a three inch radius.
- Anchor bolts to be installed within 12" of all joints and corners. Do not install anchor bolt within 12" of anchor rod for hold-down.

Anchor Bolts:

- Anchor Bolts = 5/8" Dia. x 12" Long J-Bolts @ 36" o.c. (Typical)



ARCHITECT STAMP

8TFIVE STUDIO
architectural design

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(774) 243-2432 info@8TFive.com

REVISIONS

DRAWN BY
Neil Silva
06/30/2021

ADDRESS
278 Lake Avenue,
Wareham, MA 02538

CLIENT
Karen Duke

SCALE
As indicated

PROJECT STATUS
Permit Set

A1.00

WINDOW SCHEDULE				
Refer to Door & Window Schedule Sheet for All Windows				
Mark	Type	Size	Room	Comments
24	Double Hung 1x	3-0 x 3-8	Kitchen	Shutters,
25	Double Hung 1x	3-0 x 3-8	Dining Room	Shutters,
26	Casement 1x	3-0 x 4-6	Dining Room	Casement,
27	Casement 1x	3-0 x 4-6	Dining Room	Casement,
28	Casement 1x	3-0 x 4-6	Dining Room	Casement,
29	Double Hung 1x	2-8 x 4-0	Living Room	Shutters,
30	Double Hung 1x	2-8 x 4-0	Living Room	Shutters,
31	Double Hung 1x	2-8 x 4-0	Living Room	Shutters,
32	Double Hung 1x	2-8 x 4-0	Sunroom	Shutters,
33	Double Hung 1x	2-8 x 4-0	Sunroom	Shutters,
34	Double Hung 1x	2-8 x 4-0	Sunroom	Shutters,

DOOR SCHEDULE				
Refer to Door & Window Schedule Sheet for All Doors				
Mark	Type	Size	Room	Comments
24	Single-Entry	3-0 x 6-8		
25	Single-Flush	3-0 x 6-8		
26	Single-Flush	3-0 x 6-8	Living Room	
27	Single-Flush	2-4 x 6-8	Office	
28	Single-Flush	2-4 x 6-8	Living Room	
29	Opening-Cased	3-0 x 6-8	Living Room	
30	Barn Door	3-0 x 6-8		
31	Double-Flush	5-0 x 6-8	Kitchen	* Reuse Ex. French Doors, if possible
32	Single-Flush	2-4 x 6-8	Bathroom	

FLOOR PLAN NOTES

Dimensions:
All dimensions are to face of stud for new construction and finish face for existing conditions, unless otherwise noted.

Wall Construction:
1. All exterior walls to be framed with 2x6. Interior walls to be 2x4, unless noted otherwise. Refer to Floor Plan.
2. All exterior walls to be sheathed whether shear or not.

Wall Insulation:
1. All thermal or acoustical walls to be insulated full depth.
2. Refer to Building Section sheet for Energy Requirements.

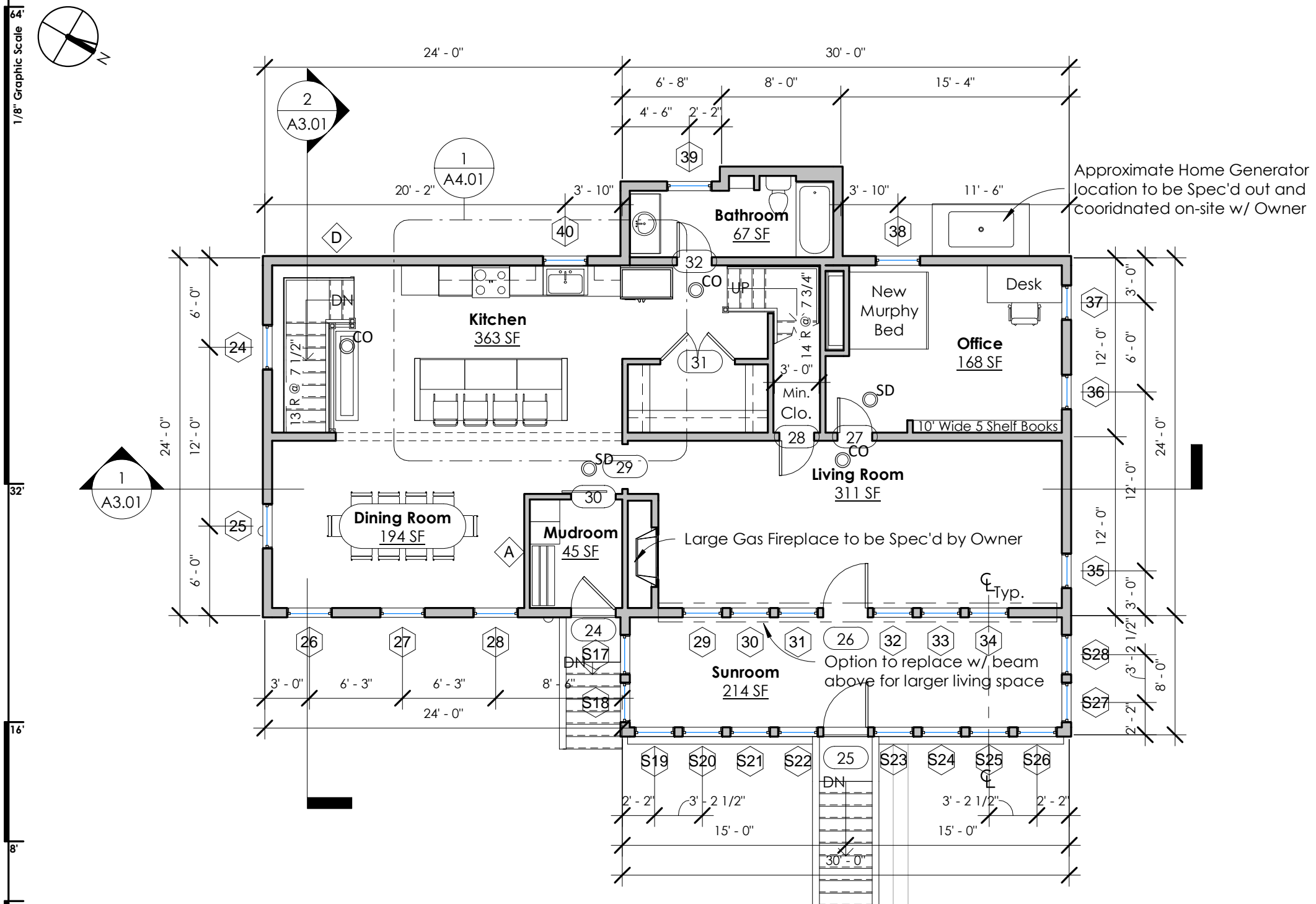
Bathrooms:
1. Bath walls to be provided with 2x6 wall blocking for towel bars, shower rods, etc. Coordinate accessories with Owner.
2. Shower: To be smooth, hard, non-absorbent surface over a moisture resistant underlayment 70" min. above drain inlet.
3. Shower enclosures: If applicable to be tempered glass, 24" min door. Actual size to be reviewed with Owner.
4. Shower size: Stall showers to be min 1024 sq in and capable of encompassing 30" dia. See Plan for sizing & placement.
5. Refer to MEP plans for fixture flow rates, notes, etc.

Exhaust Vents:
1. Exterior vents to be min 3 ft away from doors, windows, operable skylights and roof vents.

Handrails & Guardrails:
Railing systems and posts to be wood with handrail 34" - 38" above stair treads. Guardrails to be 42" min above finish floor. Provide no more than 4" space between balustrades. Complete railing system to conform to Building Code per resistant loading.

Detectors:
Smoke detectors and CO detectors to be 110V with battery backup, all interconnected. All smoke alarms shall either be dual sensor (photo/ion) or may be photoelectric when more than 20 feet from a kitchen, wood burning stove or fireplace.

Garage:
The living space-garage fire separation shall be as required per R302.6 where not less than 1/2" GWB or equivalent shall be applied to the garage side separating the residence and/or attic. If habitable rooms are above the garage then not less than 5/8" Type X GWB or equivalent shall be used.



1 First Floor Plan
Scale: 1/8" = 1'-0"
Refer to Civil Engineer: 69.0' Elevation
1,376 SF + 240 SF Sunroom

ARCHITECT STAMP

8TFIVE STUDIO
architectural design

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REVISIONS

ADDRESS
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Wareham, MA 02538

DRAWN BY
Neil Silva
06/30/2021

CLIENT
Karen Duke

Project #
2020080

SCALE
As indicated

1st Floor Plan

PROJECT STATUS
Permit Set

A1.01

WINDOW SCHEDULE				
Refer to Door & Window Schedule Sheet for All Windows				
Mark	Type	Size	Room	Comments
41	Double Hung 1x	2-4 x 4-0	Master Bath	Shutters,
42	Casement 3x	3x 2-6 x 4-6		3x Casement,
43	Casement 3x	3x 2-6 x 4-6		3x Casement,
44	Casement 3x	3x 2-6 x 4-6		3x Casement,
45	Casement 3x	3x 2-6 x 4-6		3x Casement,
46	Casement 3x	3x 2-6 x 4-6		3x Casement,
47	Double Hung 1x	2-4 x 4-0	Master Bed	Shutters,

DOOR SCHEDULE				
Refer to Door & Window Schedule Sheet for All Doors				
Mark	Type	Size	Room	Comments
33	Opening-Cased	2-6 x 6-8	Walk-In Clo.	
34	Barn Door	2-6 x 6-8	Master Bath	
35	Bifold-4 Panel	5-0 x 6-8	Master Bath	

FLOOR PLAN NOTES

Dimensions:
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Wall Construction:
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2. All exterior walls to be sheathed whether shear or not.

Wall Insulation:
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2. Refer to Building Section sheet for Energy Requirements.

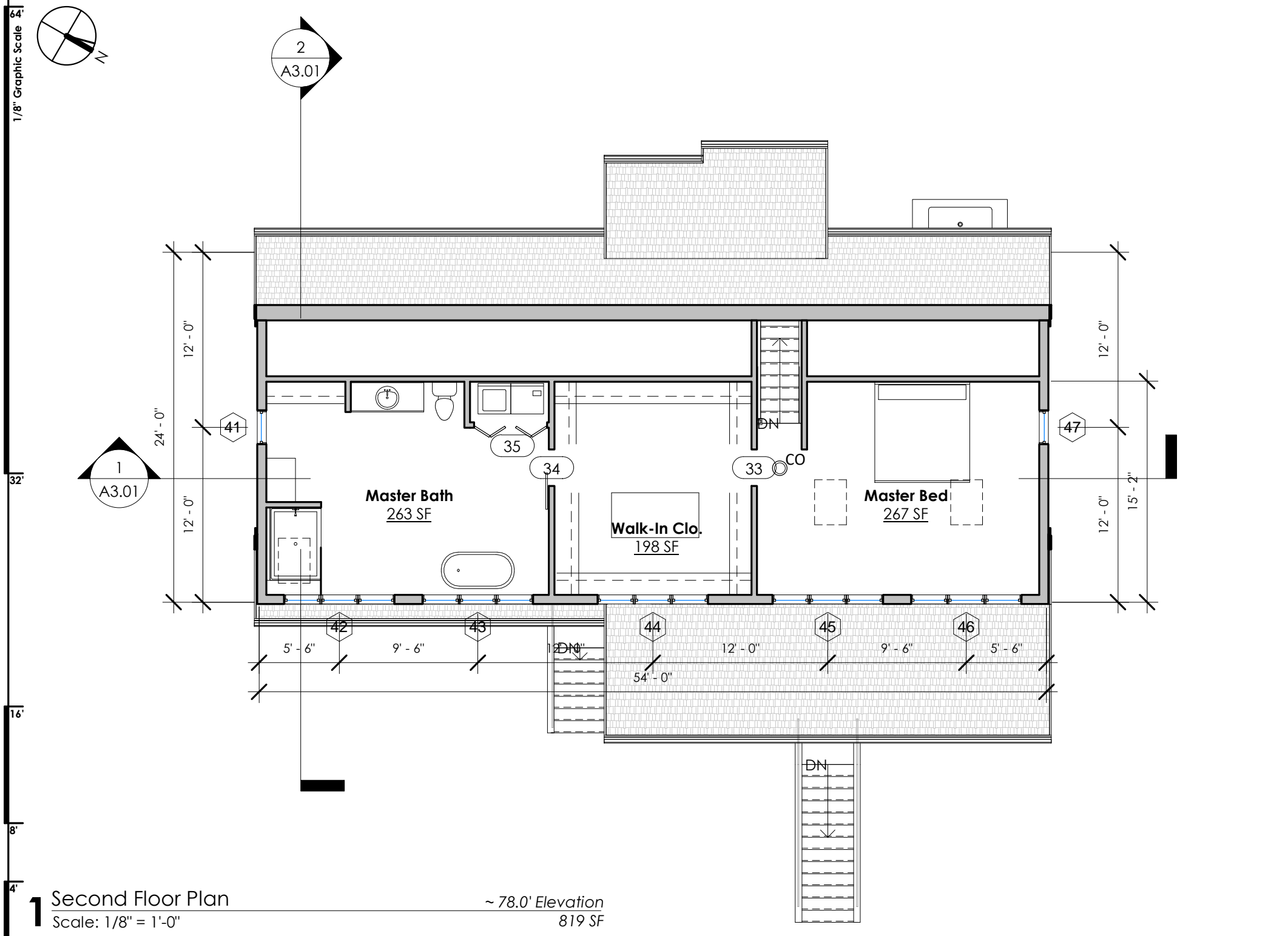
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3. Shower enclosures: If applicable to be tempered glass, 24" min door. Actual size to be reviewed with Owner.
4. Shower size: Stall showers to be min 1024 sq in and capable of encompassing 30" dia. See Plan for sizing & placement.
5. Refer to MEP plans for fixture flow rates, notes, etc.

Exhaust Vents:
1. Exterior vents to be min 3 ft away from doors, windows, operable skylights and roof vents.

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Railing systems and posts to be wood with handrail 34" - 38" above stair treads. Guardrails to be 42" min above finish floor. Provide no more than 4" space between balustrades. Complete railing system to conform to Building Code per resistant loading.

Detectors:
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Garage:
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1 Second Floor Plan
Scale: 1/8" = 1'-0"

~ 78.0' Elevation
819 SF

- New Roof Ridge
89' - 0"
- New Second Floor PL
85' - 6"
- New Second Floor
78' - 0"
- New First Floor PL
77' - 0"
- New First Floor
69' - 0"
- Grade
62' - 6"
- Basement
61' - 0"

1 West
Scale: 1/8" = 1'-0"



- New Roof Ridge
89' - 0"
- New Second Floor PL
85' - 6"
- New Second Floor
78' - 0"
- New First Floor PL
77' - 0"
- New First Floor
69' - 0"
- Grade
62' - 6"
- Basement
61' - 0"

2 East
Scale: 1/8" = 1'-0"



EXTERIOR ELEVATION NOTES

- Sloped Roofing:**
1. Composition shingle roofing to match existing, UL Class A minimum fire resistance.
 2. Installation shall be per Manufacturer's and State's Building Code requirements for shingle roofing.
 3. Flash at all transitions per mfr's req'ts and industry standards.
- Gutters and Downspouts:**
1. Galv sheet metal gutters and downspouts to match existing.
 2. Downspouts to be daylighted & surface drained to grade.
- Flashing:**
1. All roof flashing (tile pans, roof to wall, valleys, pipe collars, vents, cricket chimney flashing, attic vents) to be sheet metal. Flashing shall be provided at all the following transitions per IBC: All doors and windows to have sheet metal head flashing; Above projecting wood trim; At porches, closed decks, or stairs to wall or floors; At all wall and roof intersections.
- Attic Venting:**
1. Refer to Roof Plan
- Finishes:**
1. New exterior siding to match existing, UNO.
 2. New exterior wood to be painted to match existing.

ARCHITECT STAMP

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06/30/2021

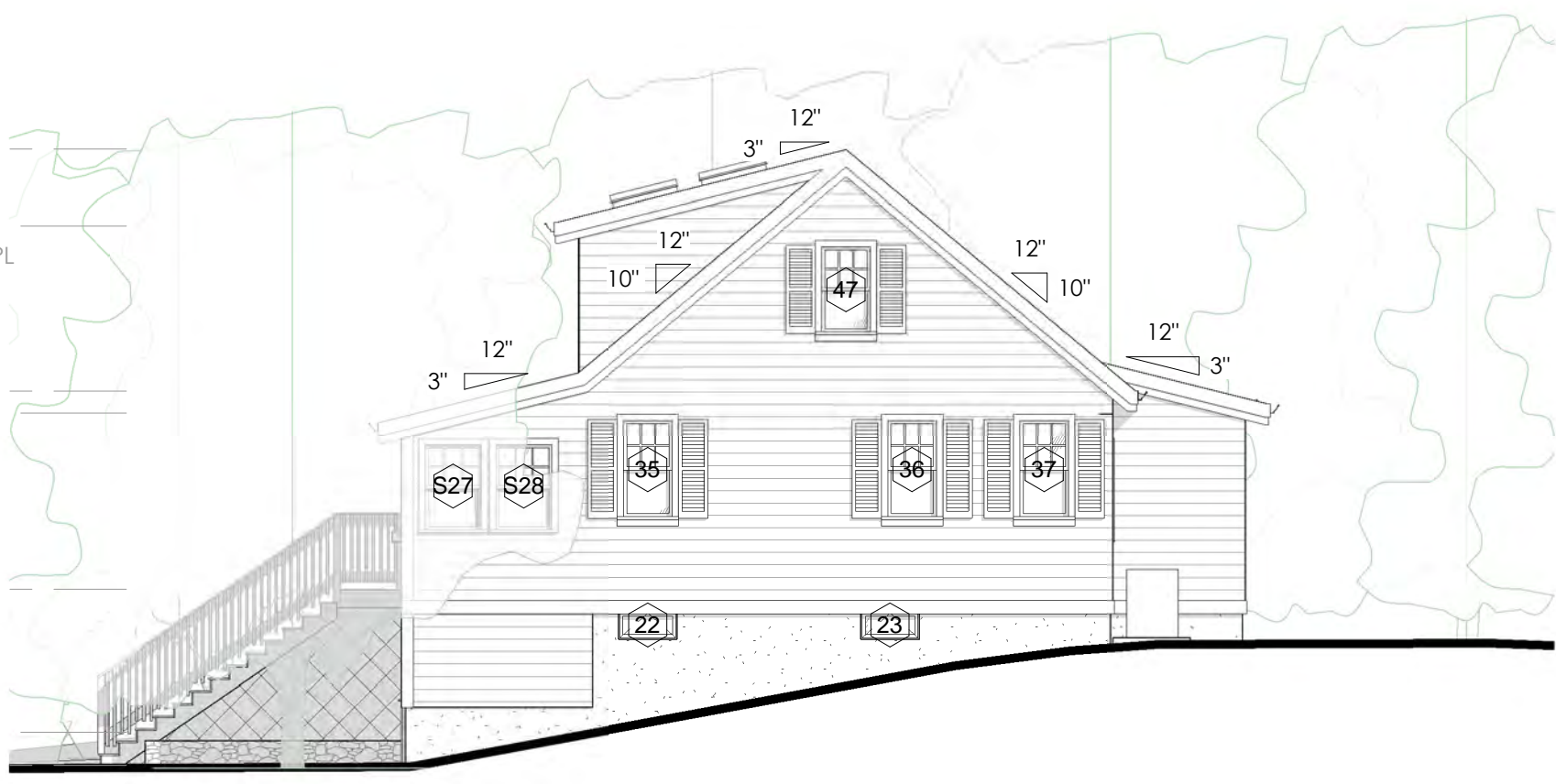
Project #
2020080

Exterior Elevations

SCALE
As indicated

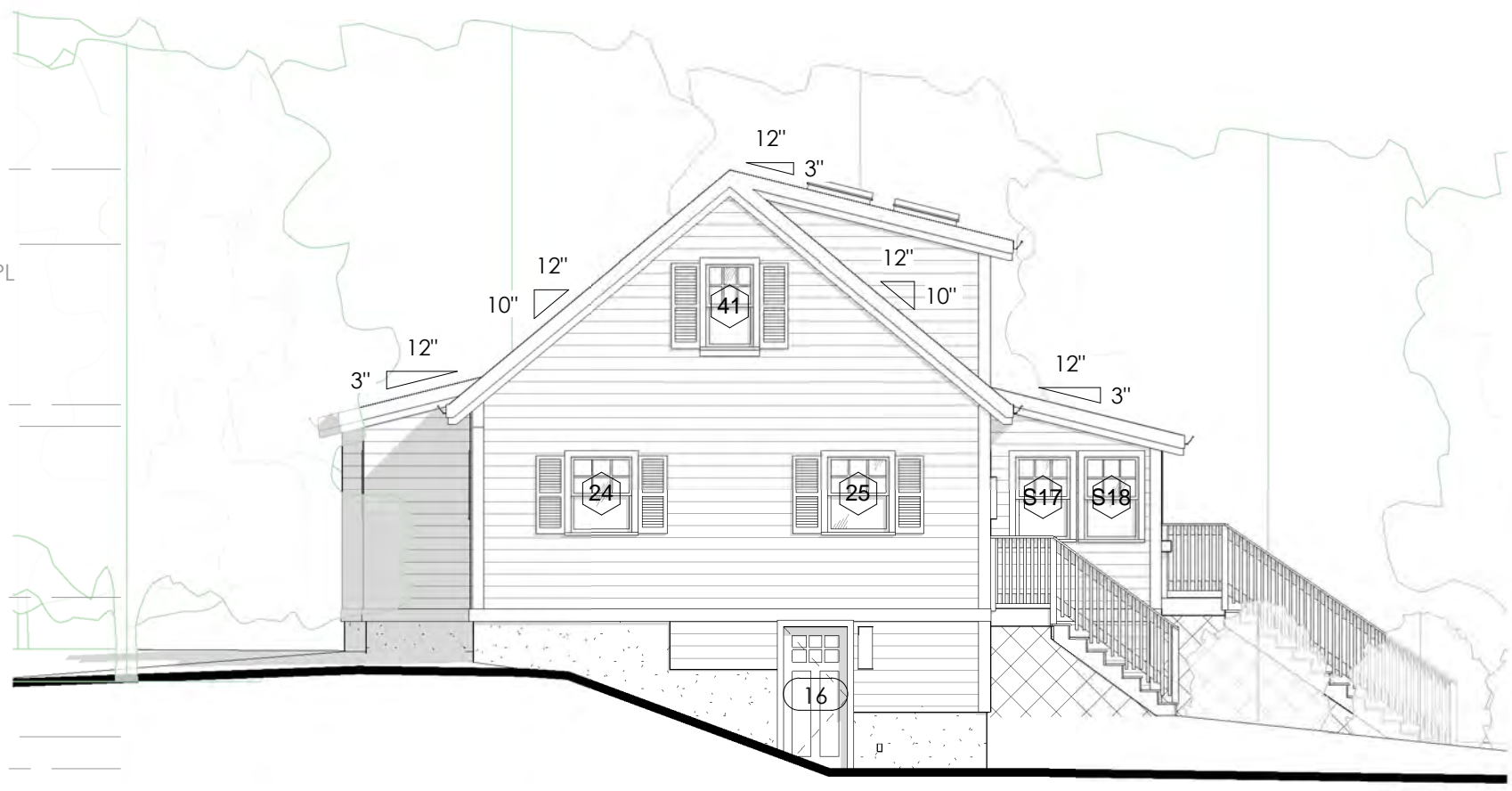
PROJECT STATUS
Permit Set

- New Roof Ridge
89' - 0"
- New Second Floor PL
85' - 6"
- New Second Floor
78' - 0"
- New First Floor PL
77' - 0"
- New First Floor
69' - 0"
- Grade
62' - 6"
- Basement
61' - 0"



1 North
Scale: 1/8" = 1'-0"

- New Roof Ridge
89' - 0"
- New Second Floor PL
85' - 6"
- New Second Floor
78' - 0"
- New First Floor PL
77' - 0"
- New First Floor
69' - 0"
- Grade
62' - 6"
- Basement
61' - 0"



2 South
Scale: 1/8" = 1'-0"

EXTERIOR ELEVATION NOTES

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 2. Installation shall be per Manufacturer's and State's Building Code requirements for shingle roofing.
 3. Flash at all transitions per mfr's req'ts and industry standards.
- Gutters and Downspouts:**
1. Galv sheet metal gutters and downspouts to match existing.
 2. Downspouts to be daylighted & surface drained to grade.
- Flashing:**
1. All roof flashing (tile pans, roof to wall, valleys, pipe collars, vents, cricket chimney flashing, attic vents) to be sheet metal. Flashing shall be provided at all the following transitions per IBC: All doors and windows to have sheet metal head flashing; Above projecting wood trim; At porches, closed decks, or stairs to wall or floors; At all wall and roof intersections.
- Attic Venting:**
1. Refer to Roof Plan
- Finishes:**
1. New exterior siding to match existing, UNO.
 2. New exterior wood to be painted to match existing.

ARCHITECT STAMP

8TFIVE STUDIO
architectural design

16 Jordan Lane
East Freetown, MA 02717
(774) 243-2432 info@8TFive.com

REVISIONS

ADDRESS
278 Lake Avenue,
Wareham, MA 02538

CLIENT
Karen Duke

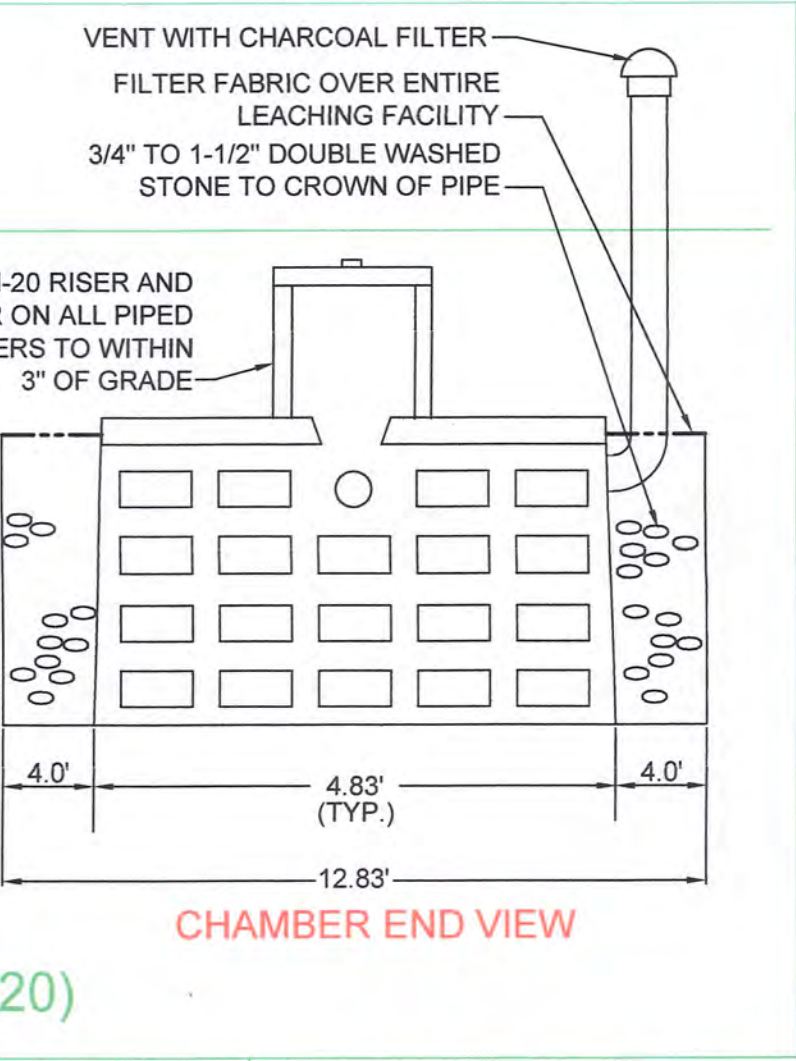
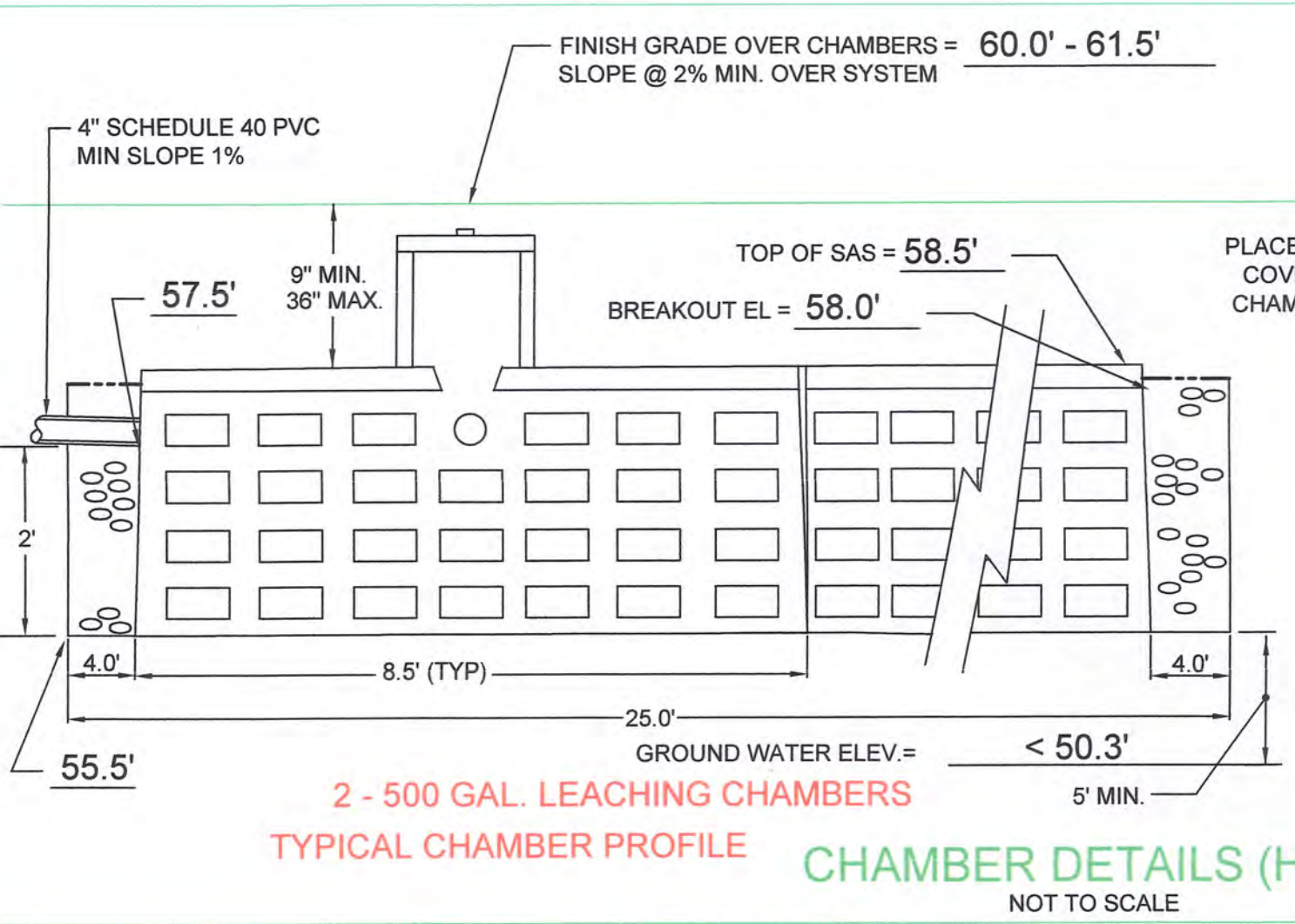
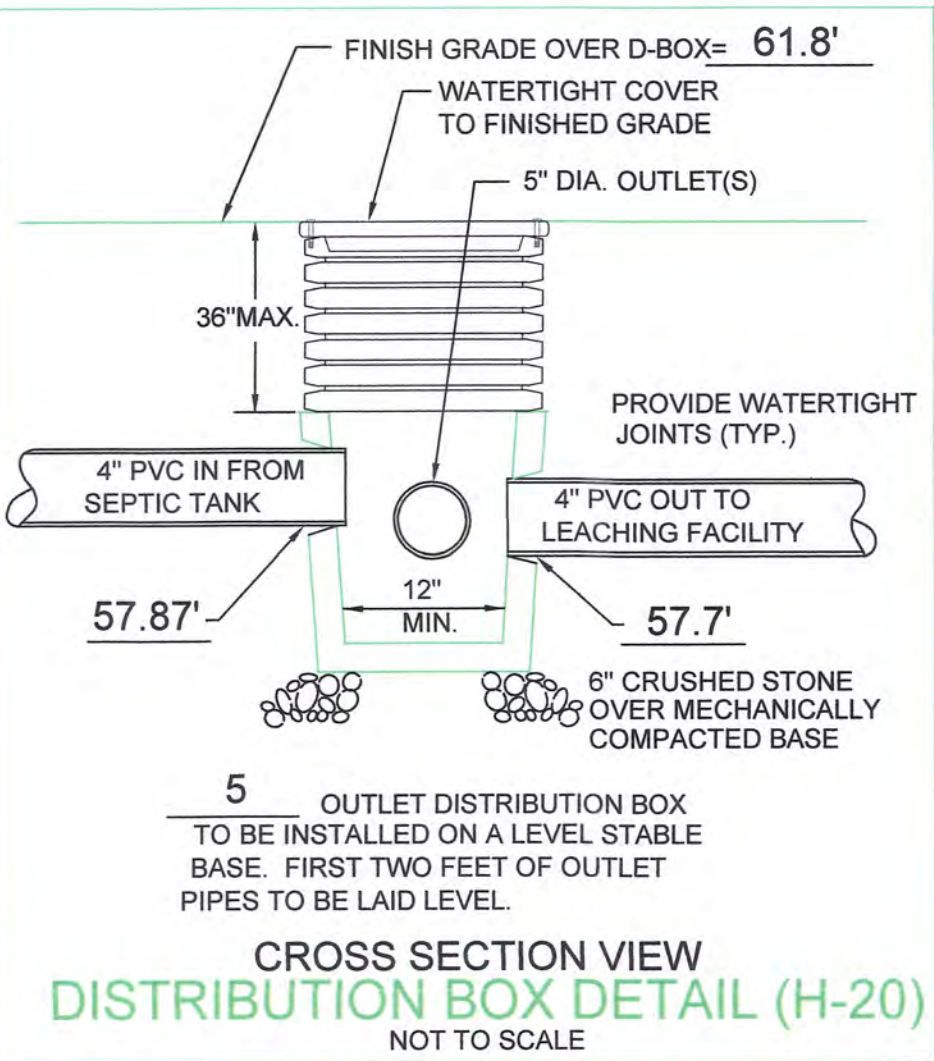
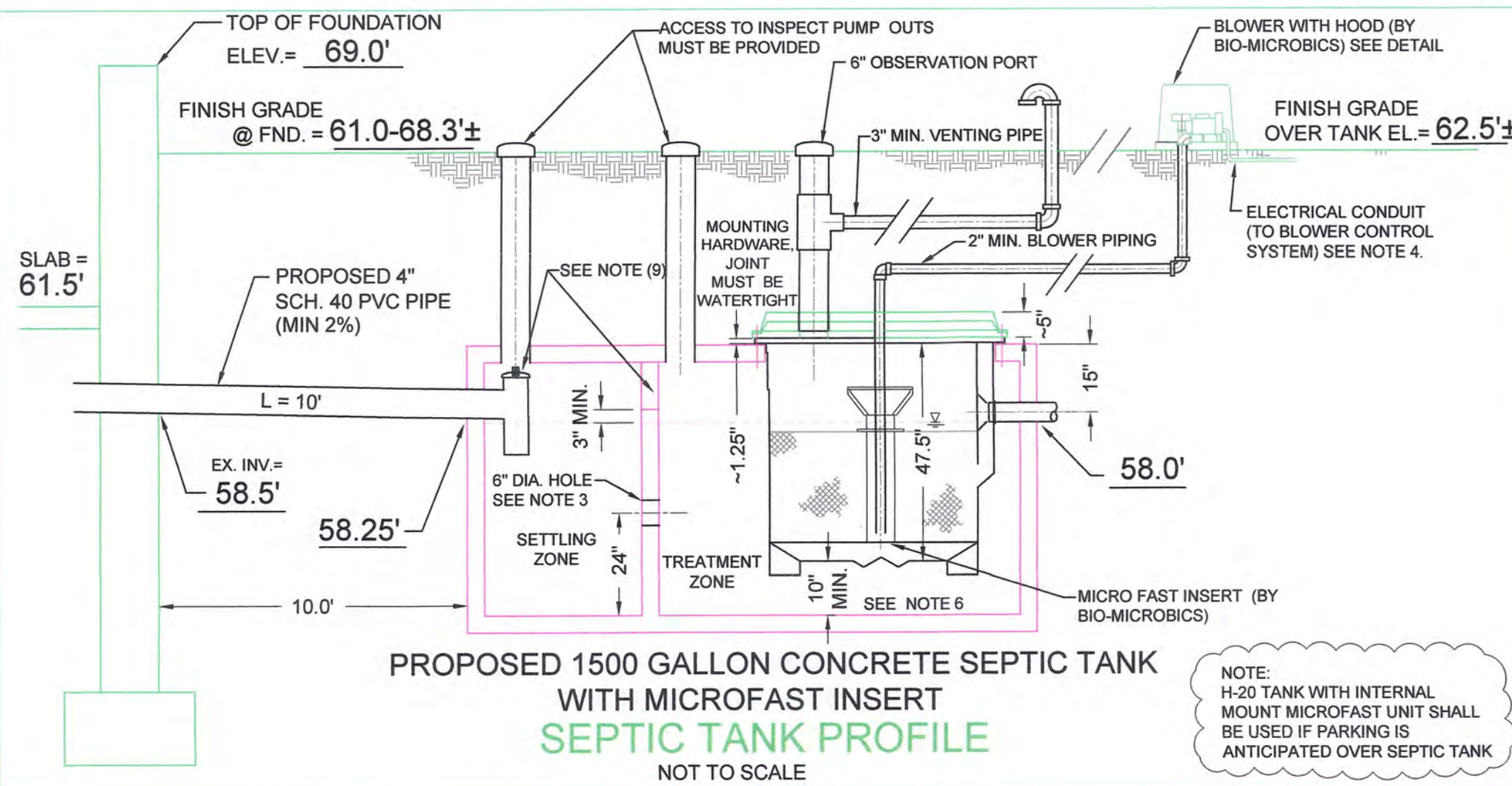
DRAWN BY
Neil Silva
06/30/2021

Project #
2020080

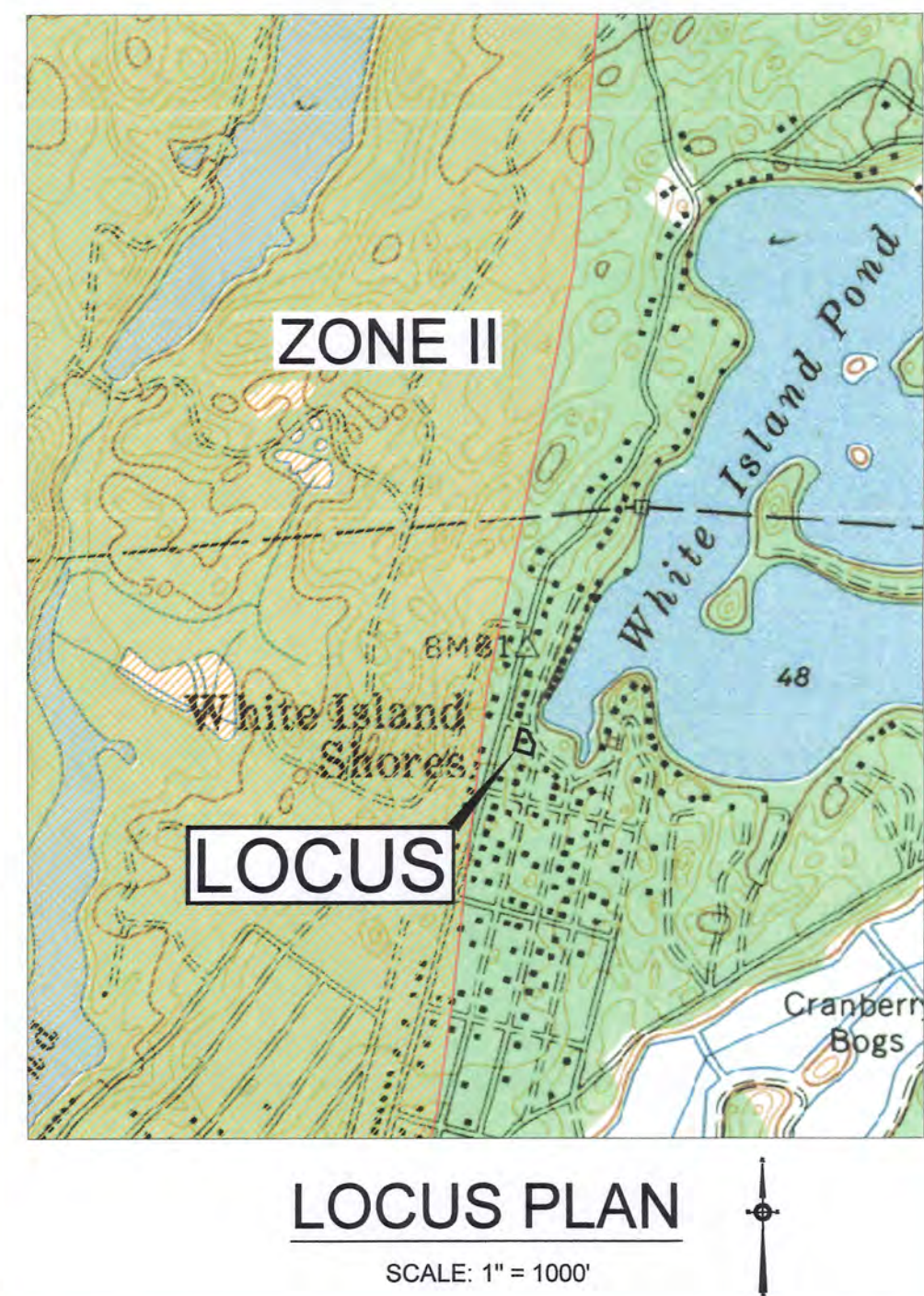
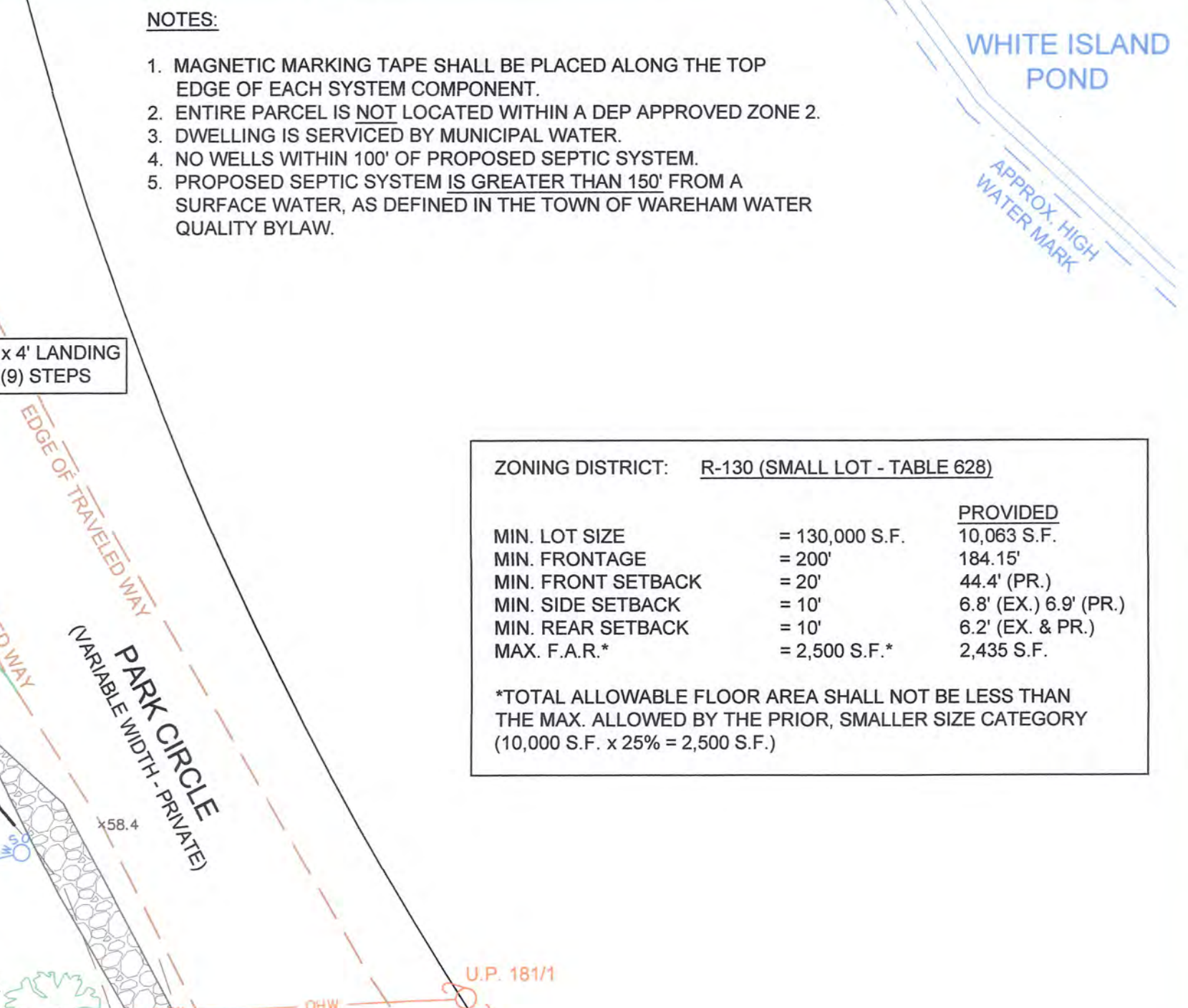
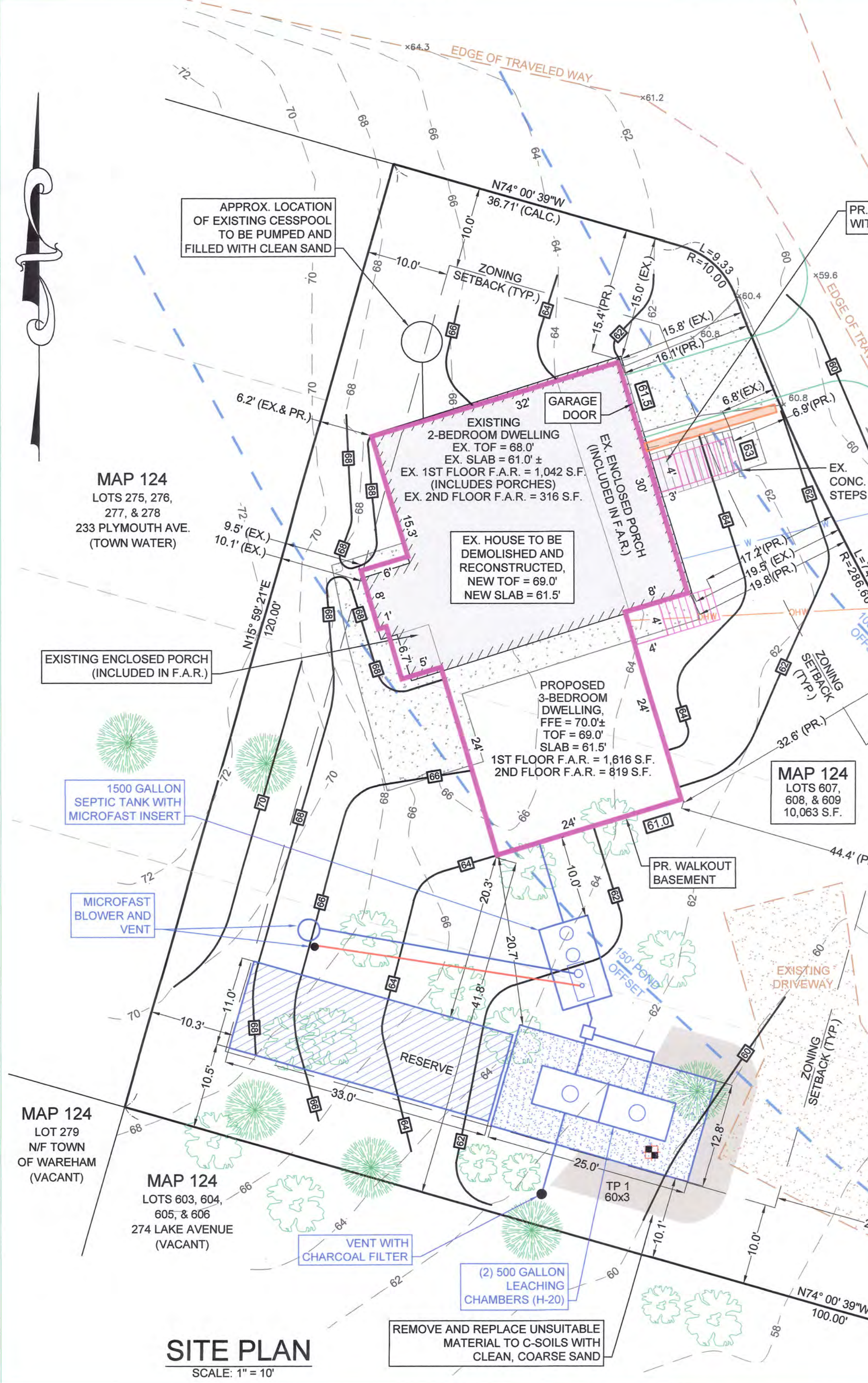
Exterior Elevations

SCALE
As indicated

PROJECT STATUS
Permit Set



- ### GENERAL NOTES
- UNLESS OTHERWISE NOTED, ALL SYSTEM COMPONENTS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH TITLE 5 OF THE STATE ENVIRONMENTAL CODE AND ANY APPLICABLE LOCAL RULES.
 - ANY CHANGES TO THIS PLAN MUST BE APPROVED BY THE BOARD OF HEALTH AND THE DESIGN ENGINEER.
 - 4" SCHEDULE 40 PVC PIPE WITH WATER TIGHT JOINTS SHALL BE USED IN DISPOSAL SYSTEM UNLESS OTHERWISE NOTED.
 - TO PREVENT BREAKOUT, THE PROPOSED FINISH GRADE SHALL NOT BE LESS THAN ELEVATION = 58.0' FOR A DISTANCE OF 15' AROUND THE PERIMETER OF THE SAS. UNLESS A 40 MIL GEOMEMBRANE LINER IS PLACE AT LEAST FIVE FEET FROM S.A.S. AND THE TOP OF THE LINER IS NOT LESS THAN THE BREAKOUT ELEVATION.
 - SLOPE ALL SOLID PIPE AT 1.0% MINIMUM.
 - THIS SYSTEM IS NOT DESIGNED FOR A GARBAGE DISPOSAL.
 - LOCAL BOARD OF HEALTH AND DESIGN ENGINEER TO BE NOTIFIED PRIOR TO BACK FILLING WHEN SYSTEM IS NEARLY COMPLETE AND READY FOR INSPECTION. SYSTEM IS NOT TO BE BACK FILLED WITHOUT FIRST OBTAINING APPROVAL FROM BOARD OF HEALTH AND DESIGN ENGINEER.
 - ELEVATIONS BASED ON ASSUMED DATUM OF 57.5' OBTAINED FROM THE TOP OF A CONCRETE BOUND AT THE LOT CORNER AS SHOWN ON PLAN.
 - CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION THROUGH DIG-SAFE AT LEAST 72 HOURS PRIOR TO COMMENCING WORK ON SITE AT 1-888-DIG-SAFE AND ANY OTHER APPLICABLE AGENCIES. REPORT ANY DISCREPANCIES TO THE DESIGN ENGINEER.
 - ALL JOINTS WHERE PIPE ENTERS AND EXITS CONCRETE STRUCTURES SHALL BE MADE WATERTIGHT.
 - NO DETERMINATION HAS BEEN MADE AS TO COMPLIANCE WITH DEEDED OR ZONING REGULATIONS. OWNER/APPLICANT IS TO OBTAIN SUCH DETERMINATION FROM APPROPRIATE AUTHORITY.
 - ALL SEPTIC SYSTEM COMPONENTS SHALL WITHSTAND H-10 LOADING UNLESS LOCATED UNDER PAVEMENT, DRIVES OR TRAVELED WAYS IN WHICH CASE THEY SHALL WITHSTAND H-20 LOADING.
 - DOUBLE WASHED CRUSHED STONE SHALL BE FREE OF ALL DIRT, DUST AND FINES.
 - WHERE REQUIRED, CONTRACTOR SHALL REMOVE ALL LOAM, SUBSOIL AND UNSUITABLE MATERIAL IN AREA BENEATH AND FOR 5 FEET ON ALL SIDES OF LEACHING FACILITY. REPLACE ALL UNSUITABLE MATERIAL WITH CLEAN COARSE SAND FREE FROM CLAY, FINES OR OTHER UNSUITABLE MATERIAL IN ACCORDANCE WITH 310 CMR 15.255(3).
 - CONTRACTOR SHALL NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES FOUND IN SITE CONDITIONS FROM THOSE SHOWN PRIOR TO CONTINUATION OF WORK.
 - PROPOSED PROJECT IS LOCATED WITHIN:
ASSESSORS MAP # 124 LOTS # 607, 608, 609
FLOOD ZONE X AS SHOWN ON PANEL # 25023C0493J
 - OWNER OF RECORD: DONALD B COE & NANCY G. COE
ADDRESS: c/o KAREN DUKE
752 SCHOOL STREET
STOUGHTON, MA 02072
 - DEED REFERENCE: L.C. CERTIFICATE 101077
PLAN REFERENCE: L.C. PLAN 8702B



TEST PIT DATA

INSPECTOR: Robert Ethier
SOIL EVALUATOR: Bradley M. Bertolo
DATE: July 16, 2020

TEST PIT # 1
ELEV TOP = 60.3'
ELEV WATER = < 50.3'
PERC RATE = ASSUM. < 2 MIN/IN
DEPTH OF PERC = 50'-68"
TEXTURAL CLASS: 1

0"	Fill	60.3'
12"	Loamy Sand 10YR3/2	59.3'
20"	Loamy Sand 10YR5/6	58.6'
50"	Med. Sand 2.5Y 6/3	56.1'
68"		54.6'
120"	No Groundwater Encountered	50.3'

- ### MICROFAST NOTES
- BLOWER MUST BE WITHIN 100 FEET (30.5m) OF FAST UNIT AND USE A MAXIMUM OF 4 ELBOWS IN THE PIPING SYSTEM (@ 100 FT). FOR DISTANCES GREATER THAN 100 FT-CONSULT FACTORY. BLOWER BASE MUST BE LOCATED ABOVE NORMAL FLOOD LEVELS.
 - VENT TO BE LOCATED ABOVE FINISH GRADE OR HIGHER TO AVOID INFILTRATION. CAP WITH 6" VENT GRATE W/AT LEAST 7.1 SQ. IN. OPEN SURFACE AREA. SECURE WITH STAINLESS STEEL SCREWS.
OR
RUN VENT TO DESIRED LOCATION AND COVER OPENING WITH 3" VENT GRATE W/AT LEAST 7.1 SQ. IN. OPEN SURFACE AREA. SECURE WITH STAINLESS STEEL SCREWS. VENT MUST NOT ALLOW EXCESS MOISTURE BUILDUP OR BACK PRESSURE.
 - ALL APPURTENANCES TO FAST (E.G. SEPTIC TANK, PUMPOUTS, ETC.) MUST CONFORM TO ALL COUNTRY, STATE, PROVINCE, AND LOCAL CODES.
 - BLOWER CONTROL SYSTEM BY BIO-MICROBICS, INC.
 - COPYRIGHT (C) 2001, BIO-MICROBICS, INC.
 - MUST INCREASE TANK SIZE BY 20% IF MINIMUM OF 10 INCHES IS USED BETWEEN THE UNIT AND THE BASE OF TANK. CONSULT FACTORY FOR APPROVAL.
 - THE PRIMARY COMPARTMENT MAY BE A SEPARATE TANK.
 - FOUR LEG EXTENSIONS MAY BE USED TO STAND UNIT IN TANK ELIMINATING NEED FOR LID.
 - EITHER THE INFLUENT PIPE TEE SHALL BE FITTED WITH A PIPE CAP OR THE BAFFLE SEPARATING THE TWO ZONES SHALL BE EXTENDED ALL THE WAY TO THE TOP OF THE CONCRETE TANK. IF CHOOSING TO USE THE PIPE CAP, THEN THE BAFFLE SHALL BE AT LEAST 3" HIGHER THAN THE WATER LEVEL AS SHOWN ON THE DRAWING.

DESIGN DATA

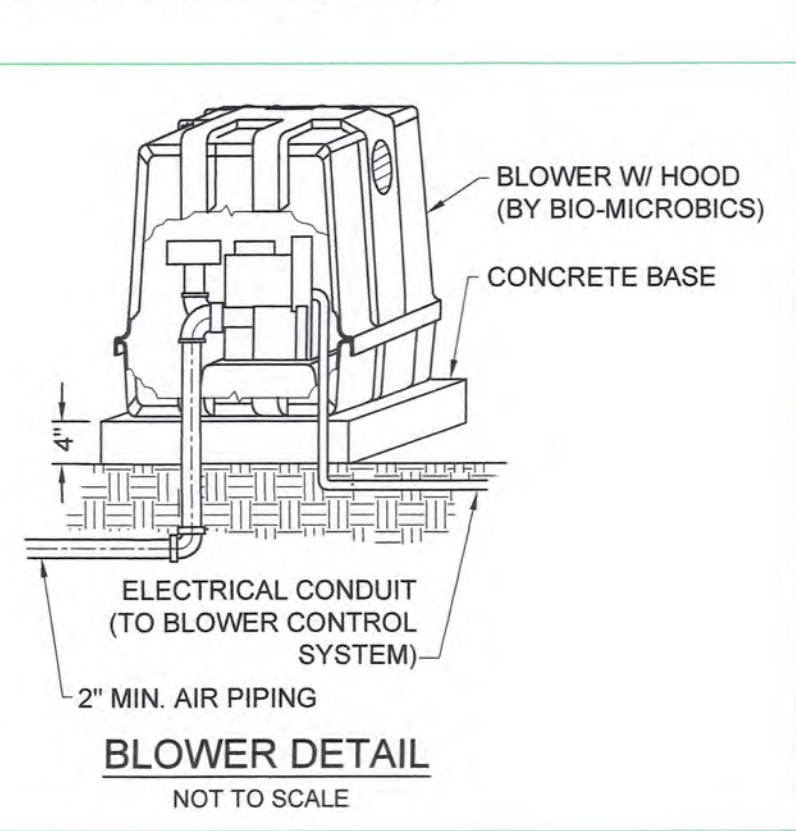
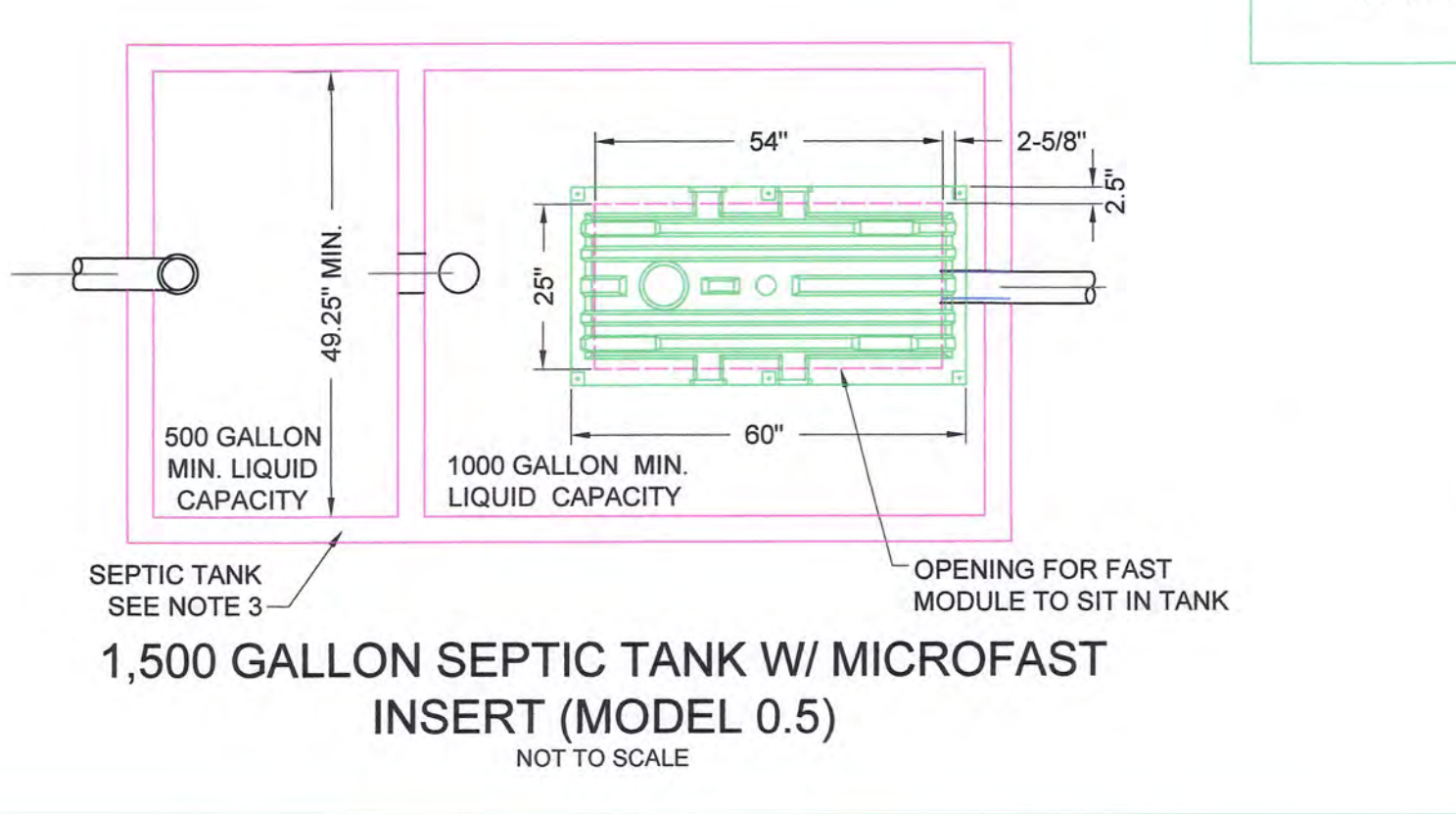
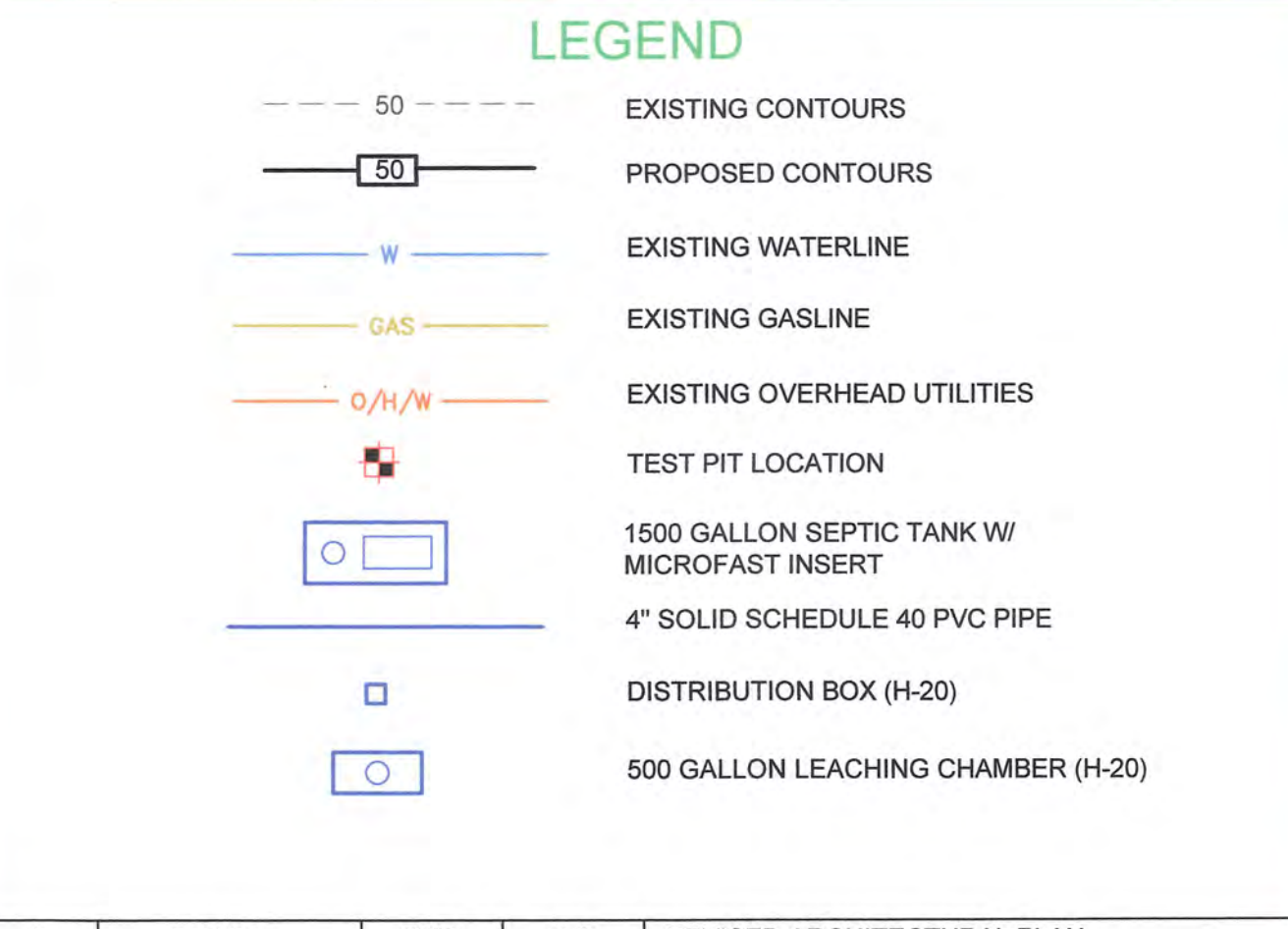
NUMBER OF BEDROOMS 3
DESIGN FLOW 110 GAL/DAY/BEDROOM
TOTAL DESIGN FLOW 330 GAL/DAY
DESIGN FLOW X 200 % = 660 GAL/DAY
USE PROPOSED 1500 GALLON SEPTIC TANK

INSTALL (2) 500 GAL. LEACHING CHAMBERS

SIDEWALL CAPACITY
(LENGTH + WIDTH) (2 SIDES) (2' HIGH) (.74 GPD/S.F.) = GAL/DAY
(25.0' + 12.83') (2) (2') (.74 GPD/S.F.) = 112.0 GAL/DAY

BOTTOM CAPACITY
(LENGTH x WIDTH) (.74 GPD/S.F.) = GAL/DAY
(25.0' x 12.83') (.74 GPD/S.F.) = 237.3 GAL/DAY

TOTALS:
TOTAL NUMBER OF CHAMBERS 2
TOTAL LEACHING AREA 472.1 SQ.FT.
TOTAL LEACHING CAPACITY 349.3 GAL/DAY



2	7/16/21	BMB	JLC	REVISED ARCHITECTURAL PLAN
1	4/23/21	BMB	JLC	REVISED GRADING AND FLOOR AREA RATIO
REV.	DATE	BY	APPD.	DESCRIPTION

PROPOSED SITE PLAN
PREPARED FOR:
KAREN DUKE

LOCATED AT
**278 LAKE AVENUE
E. WAREHAM, MA 02538**

SCALE: 1 INCH = 10 FT. DATE: AUGUST 12, 2020

PREPARED BY:
JC ENGINEERING, INC.
2854 CRANBERRY HIGHWAY
EAST WAREHAM, MA 02538
508.273.0377

Drawn By: BMB Designed By: BMB Checked By: JLC JOB No. 5205