Site Plans

Issued for Permits

Date Issued June 28, 2021

Latest Issue October 1, 2021

Reign Car Wash, Wareham

3013 Cranberry Highway Wareham, Massachusetts

Lot 1 Owner

Andrew C. Caradimos, Et Al 3013 Cranberry Highway Wareham, Massachusetts Assessors 12/0/LC1 Doc 166698 Cert 55371

Proposed Lot B-2 Owner

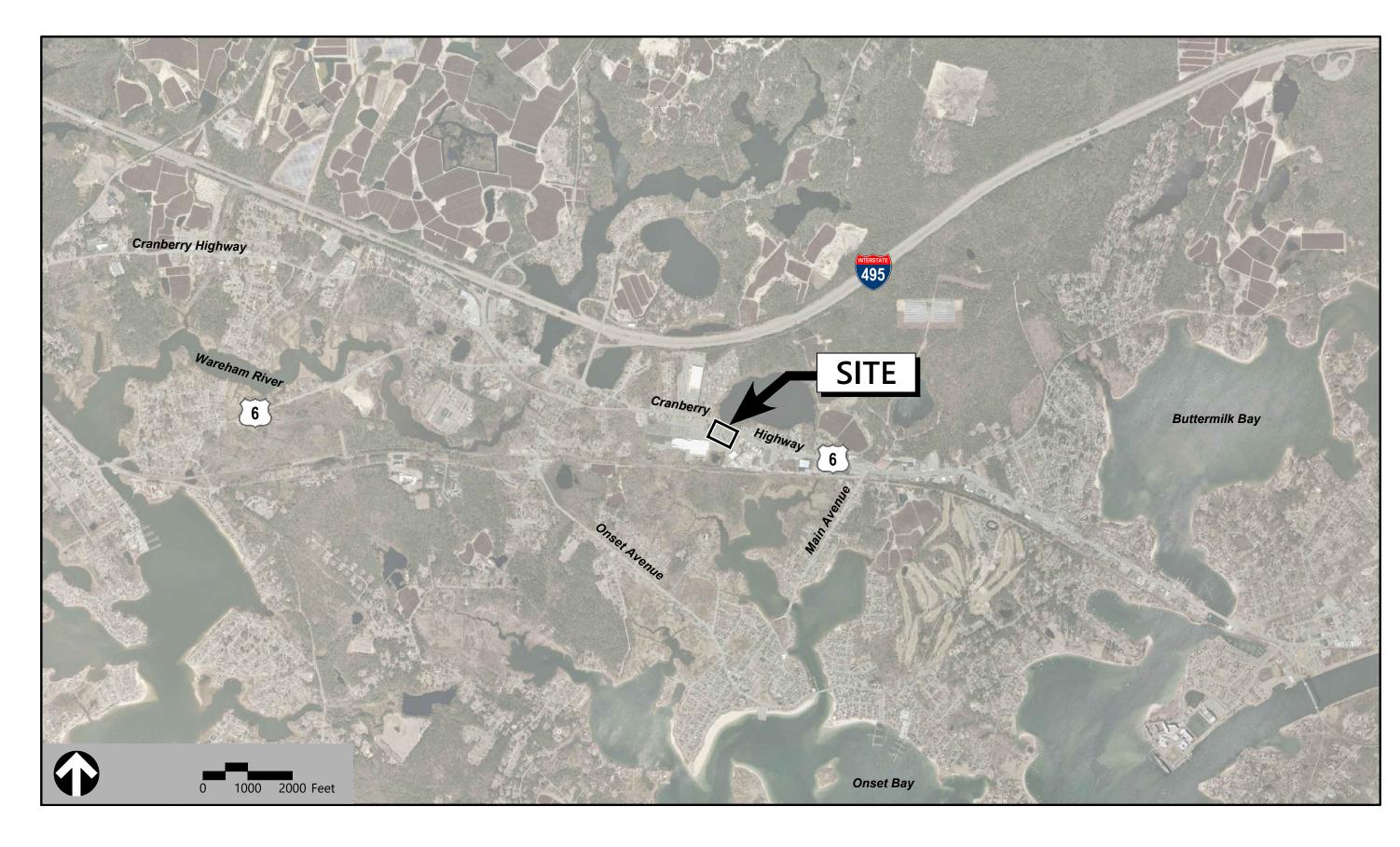
OSJ of Wareham, LLC 3005 Cranberry Highway Wareham, Massachusetts Assessors 12/0/.B Book 46134 Page 326

Applicant

First Hartford Realty Corporation 149 Colonial Road Manchester, Connecticut 06042

Parcel ID:

12-0-LC1, 12-0-B



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Drawing Title	Latest Issue	No.	Drawing Title	Latest Issue	
Legend and General Notes	June 28, 2021	Sv-1	ALTA/NSPS Land Title Survey	February 3, 2021	
Layout and Materials Plan	October 1, 2021	ANR-1	Subdivision Plan of Land 1	March 9, 2021	
Grading, Drainage, and Erosion Control Plan	October 1, 2021	ANR-2	Subdivision Plan of Land 2	March 9, 2021	
Utility Plan	October 1, 2021				
Site Details 1	October 1, 2021				
Site Details 2	June 28, 2021				
Fire Access Plan	September 15, 2021				
Planting Plan	October 1, 2021				

June 28, 2021

C1.01

C2.01

C3.01

C4.01

C5.01

C5.02

C6.01

L1.01

L2.01

Planting Details



Exist.	Prop.		Exist.	Prop.	
					COMPLETE
		PROPERTY LINE			CONCRETE
		PROJECT LIMIT LINE			HEAVY DUTY PAVEMENT
		RIGHT-OF-WAY/PROPERTY LINE			BUILDINGS
		EASEMENT			RIPRAP
		BUILDING SETBACK		%%%%	CONSTRUCTION EXIT
10+00	10+00	PARKING SETBACK	27.35 TC×	27.35 TC×	TOP OF CURB ELEVATION
		BASELINE	26.85 BC×	26.85 BC×	BOTTOM OF CURB ELEVATION
		CONSTRUCTION LAYOUT	132.75 ×	132.75 ×	SPOT ELEVATION
		ZONING LINE	45.0 TW.	45.0 TW 38.5 BW	TOP & BOTTOM OF WALL ELEVATION
		TOWN LINE	38.5 BW X	\triangle	BORING LOCATION
		LIMIT OF DISTURBANCE			TEST PIT LOCATION
<u>&</u>		WETLAND LINE WITH FLAG	₩W	■ MW	MONITORING WELL
		FLOODPLAIN			WONTONING WELL
			——UD ——	——UD——	UNDERDRAIN
BLSF		BORDERING LAND SUBJECT TO FLOODING	12"D	12″D—►	DRAIN
BZ		WETLAND BUFFER ZONE	6"RD	6"RD—►	ROOF DRAIN
——NDZ—		NO DISTURB ZONE	12"S	12"S	SEWER
200'RA—		200' RIVERFRONT AREA	FM	<u>FM</u>	FORCE MAIN
			OHW	OHW	OVERHEAD WIRE
		GRAVEL ROAD	6"W	6"W	WATER
<u>EOP</u>	EOP	EDGE OF PAVEMENT	4"FP	4"FP	FIRE PROTECTION
BB	BB	BITUMINOUS BERM		2"DW	DOMESTIC WATER
BC	BC	BITUMINOUS CURB	3"G	——-G——	GAS
CC	CC	CONCRETE CURB	——Е——	——Е——	ELECTRIC
	CG	CURB AND GUTTER	STM	stm	STEAM
CC	ECC	EXTRUDED CONCRETE CURB	T	——т—	TELEPHONE
CC	MCC	MONOLITHIC CONCRETE CURB	———FA———	——FA——	FIRE ALARM
CC	PCC	PRECAST CONC. CURB			CABLE TV
SGE	SGE	SLOPED GRAN. EDGING			
VGC	VGC	VERT. GRAN. CURB	■		CATCH BASIN CONCENTRIC
		LIMIT OF CURB TYPE			CATCH BASIN ECCENTRIC
		SAWCUT			DOUBLE CATCH BASIN CONCENTRIC
	<u> </u>		_		DOUBLE CATCH BASIN ECCENTRIC
11111111		BUILDING	=	=	GUTTER INLET
](] ⊲EN	BUILDING ENTRANCE	(1)	•	DRAIN MANHOLE CONCENTRIC
] ◀LD	LOADING DOCK	(D)		DRAIN MANHOLE ECCENTRIC
0	•	BOLLARD	=TD=	-	TRENCH DRAIN
D	D	DUMPSTER PAD	CO	_co	PLUG OR CAP
0	•	SIGN		•	CLEANOUT
	=	DOUBLE SIGN		•	FLARED END SECTION
					HEADWALL
т т		STEEL GUARDRAIL	(\$)	lacktriangle	SEWER MANHOLE CONCENTRIC
		WOOD GUARDRAIL	(\$)	•	SEWER MANHOLE ECCENTRIC
				CS •	
	=====	PATH	WV	● WV ●	CURB STOP & BOX
		TREE LINE	Tall		WATER VALVE & BOX
×	-x x -	WIRE FENCE	TSV	TSV 	TAPPING SLEEVE, VALVE & BOX
·	•	FENCE	<i></i> ↔ _HYD	₩ HYD	SIAMESE CONNECTION
	-	STOCKADE FENCE	«⊙» WM	©∙ WM	FIRE HYDRANT
000000	∞	STONE WALL	⊡ PIV	⊡ PIV	WATER METER
		RETAINING WALL	PIV	PIV	POST INDICATOR VALVE
		STREAM / POND / WATER COURSE	W		WATER WELL
		DETENTION BASIN	GG ○	GG O	GAS GATE
		HAY BALES	GM ⊡	GM ⊡	GAS METER
×	——×——	SILT FENCE	Œ	ЕМН	ELECTRIC MANILLOLE
<pre><::::::> .</pre>	· c::::::> ·	SILT SOCK / STRAW WATTLE	EM	EM	ELECTRIC MANHOLE
4		MINOR CONTOUR	- ⊡	<u>.</u>	ELECTRIC METER
- —20— —	20	MAJOR CONTOUR	\$	★ _ TMH	LIGHT POLE
	_	33 33 33		● ^{TMH}	TELEPHONE MANHOLE
10	10	PARKING COUNT	T	T	TRANSFORMER PAD
	<u>(C10)</u>	COMPACT PARKING STALLS	-0-	•	UTILITY POLE
DYL	DYL	DOUBLE YELLOW LINE		_	
SL	SL	STOP LINE	0-	●	GUY POLE
		CROSSWALK	HH	Нн Т	GUY WIRE & ANCHOR
		ACCESSIBLE CURB RAMP	⊡ PB	⊡ PB	HAND HOLE
Ł.	کلیان رفح	ACCESSIBLE PARKING		<u> </u>	PULL BOX
2	رر ع	VANI ACCESSIBLE PARKING			

VAN-ACCESSIBLE PARKING

MATCHLINE

Abbreviations

Ab	brevia	ntions
	General	
	ABAN	ABANDON
	ACR	ACCESSIBLE CURB RAMP
	ADJ	ADJUST
	APPROX	APPROXIMATE
	BIT	BITUMINOUS
	BS	BOTTOM OF SLOPE
	BWLL	BROKEN WHITE LANE LINE
	CONC	CONCRETE
	DYCL	DOUBLE YELLOW CENTER LINE
	EL	ELEVATION
	ELEV	ELEVATION
	EX	EXISTING
	FDN	FOUNDATION
	FFE	FIRST FLOOR ELEVATION
	GRAN	GRANITE
	GTD	GRADE TO DRAIN
	LA	LANDSCAPE AREA
	LOD	LIMIT OF DISTURBANCE
	MAX	MAXIMUM
	MIN	MINIMUM
	NIC	NOT IN CONTRACT
	NTS	NOT TO SCALE
	PERF	PERFORATED
	PROP REM	PROPOSED REMOVE
	RET	RETAIN
	R&D	REMOVE AND DISPOSE
	R&R	REMOVE AND RESET
	SWEL	SOLID WHITE EDGE LINE
	SWL	SOLID WHITE LINE
	TS	TOP OF SLOPE
	TYP	TYPICAL
	l lailia.	
	Utility	
	CB	CATCH BASIN
	CMP	CORRUGATED METAL PIPE
	CO DCB	CLEANOUT DOUBLE CATCH BASIN
	DMH	DRAIN MANHOLE
	CIP	CAST IRON PIPE
	COND	CONDUIT
	DIP	DUCTILE IRON PIPE
	FES	FLARED END SECTION
	FM	FORCE MAIN
	F&G	FRAME AND GRATE
	F&C	FRAME AND COVER
	GI	GUTTER INLET
	GT	GREASE TRAP
	HDPE	HIGH DENSITY POLYETHYLENE PIPE
	НН	HANDHOLE
	HW	HEADWALL
	HYD	HYDRANT
	INV	INVERT ELEVATION
	l=	INVERT ELEVATION
	LP	LIGHT POLE
	MES	METAL END SECTION
	PIV	POST INDICATOR VALVE
	PWW	PAVED WATER WAY
	PVC	POLYVINYLCHLORIDE PIPE
	RCP	REINFORCED CONCRETE PIPE
	R=	RIM ELEVATION
	RIM=	RIM ELEVATION
	SMH	SEWER MANHOLE
	TSV	TAPPING SLEEVE, VALVE AND BOX
	UG	UNDERGROUND

UTILITY POLE

Notes

General

- 1. CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
- 3. ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).
- 4. WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS.
- 5. WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
- 6. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE REPMANS.
- 7. TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- 8. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S
- 9. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
- 10. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
- 11. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
- 12. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.
- 13. THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND FALLS WITHIN THE NPDES CONSTRUCTION GENERAL PERMIT (CGP) PROGRAM AND EPA JURISDICTION. PRIOR TO THE START OF CONSTRUCTION CONTRACTOR IS TO FILE A CGP NOTICE OF INTENT WITH THE EPA AND PREPARE A STORMWATER POLLUTION PREVENTION PLAN IN ACCORDANCE WITH THE NPDES REGULATIONS. CONTRACTOR SHALL CONFIRM THE OWNER HAS ALSO FILED A NOTICE OF INTENT WITH THE EPA.

Utilities

- 1. THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.
- 3. SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.
- 4. RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS:
 - A. PAVEMENTS AND CONCRETE SURFACES: FLUSH
 - B. ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH
 - C. LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.

5. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY

SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY,

- THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.

 6. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR
- CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.
- 7. UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:
 - A. WATER PIPES SHALL BE DUCTILE IRON (DI) OR TYPE K COPPER TUBING.
 - B. SANITARY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SEWER PIPE
 - C. STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HDPE)
 - D. PIPE INSTALLATION AND MATERIALS SHALL COMPLY WITH THE STATE PLUMBING CODE WHERE APPLICABLE. CONTRACTOR SHALL COORDINATE WITH LOCAL PLUMBING INSPECTOR PRIOR TO BEGINNING WORK.
- 8. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEWORK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASEMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.
- CONTRACTOR SHALL EXCAVATE AND BACKFILL TRENCHES FOR GAS IN ACCORDANCE WITH GAS COMPANY'S REQUIREMENTS.
- 10. ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4' MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE 5 FEET.

Layout and Materials

- 1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
- 2. CURB RADII ARE 3 FEET UNLESS OTHERWISE NOTED.
- 3. CURBING SHALL BE PRECAST CONCRETE WITHIN THE SITE UNLESS OTHERWISE INDICATED ON THE
- 4. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
- 5. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LAND SURVEYOR.
- 6. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.
- 7. ANY REFERENCE TO GRAVEL SHALL CONFORM TO MASSDOT M1.03.0-1 SPECIFICATIONS.

Demolition

- 1. CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.
- EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES
- 3. CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.
- 4 THE DEMOLITION LIMITS DEPICTED IN THE PLANS IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS BID/PROPOSAL TO PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION FOR CHANGED CONDITIONS OR UNFORESEEN OR LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS DISCOVERED DURING EXECUTION OF THE WORK.
- 5. UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS.

Erosion Control

- 1. PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
- CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS (MINIMUM) OR AS REQUIRED PER THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL ADDRESS DEFICIENCIES AND MAINTENANCE ITEMS WITHIN TWENTY-FOUR HOURS OF INSPECTION. CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT SUCH THAT IT DOES NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
- 3. CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
- 4. CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
- 5. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.

Existing Conditions Information

- BASE PLAN: THE PROPERTY LINES SHOWN WERE DETERMINED BY AN ACTUAL FIELD SURVEY CONDUCTED BY VHB, INC., AND FROM DEEDS AND PLANS OF RECORD. THE TOPOGRAPHY AND PHYSICAL FEATURES ARE BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND BY VHB, INC., DURING JANUARY 2021.
- 2. TOPOGRAPHY: ELEVATIONS ARE BASED ON NAVD OF 1988.
- 3. GEOTECHNICAL DATA INCLUDING TEST PIT AND BORING LOCATIONS AND ELEVATIONS WERE OBTAINED FROM TERRACON CONSULTANTS, INC..

Document Use

- THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.
- CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
 - SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT



401.272.8100

Reign Car Wash, Wareham

3013 Cranberry Highway Wareham, Massachusetts

Designed by	Checked by

Issued for Date

Permits

June 28, 2021

Not Approved for Construction

Legend and
General Notes

C1.01



Zoning Summary Chart

oning District(S):	Commercial Str	ip (CS)		
verlay District(S):	Zone AE Floodplain			
oning Regulation Requirements	Required*	Provided		
INIMUM LOT AREA	0.7 Acres	1.8 Acres		
ONTAGE	150 Feet	350.0 Feet		
ONT YARD SETBACK	20 Feet	26 Feet		
DE YARD SETBACK	10 Feet	70 Feet		
AR YARD SETBACK	10 Feet	95 Feet		
AXIMUM BUILDING HEIGHT	40 Feet	27 Feet		
AXIMUM BUILDING COVERAGE	40.0 %	8.8 %		
AXIMUM IMPERVIOUS	65.0 %	55.0 %		

Parking Summary Chart

	Size		Spaces		
escription	Required	Provided	Required	Provided	
TANDARD SPACES	9.5 x 19	9.5 x 19	21	26	
TANDARD ACCESSIBLE SPACES *	8 x 19	9 x 19	1	1	
AN ACCESSIBLE SPACES	8 x 19	9 x 19	1	1	
OTAL CDACEC			0.7	00	

r	STATE REQUIREMENTS	

Sign Summary

•	M.U.T.C.D.	Specif	Specification		
_	Number	Width	Height	Desc	
	R1-1	30"	30"	ST0	
	R5-1	30"	30"	DONO	
	R7-8	12"	18"	RESERVE PARKING	



1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100

 RIGHT IN/RIGHT OUT DRIVEWAY CONFIGURATION IS SUBJECT TO CHANGE. REQUIRES MADOT APPROVAL.

Reign Car Wash,

Wareham
3013 Cranberry Highway
Wareham, Massachusetts

No.	Revision	Date	Appvo
1	Response To Town Comments	9/15/2021	
2	Response To Town Comments	10/1/2021	

Designed by	Checked by
Issued for	Date
Permits	June 28, 2021

Not Approved for Construction

Layout and
Materials Plan

Drawing Number

Sheet of **2 7**

Project Number 73170.00

REAR YARD SETBACK MAXIMUM BUILDING HEIGHT MAXIMUM BUILDING COVERAGE MAXIMUM IMPERVIOUS * Zoning regulation requirements as specified in Town	10 Feet 40 Feet 40.0 % 65.0 % of Wareham Zoning By-Laws.	88%	arking Requirements: USINESS, 6,830 GFA x 1 SPACES / 300 GFA TOTAL PARKING REQUIRED			CONC. BOUND (NOT FOUND)			R5-1 30" 30" ENTER R7-8 12" 18"
		 		-8-					R7-8P 12" 6" VAN ACCESSIBLE
BENCH N ARK		STONE BOUNDH W/DRILL HOLE	STATE HIGHWAY LAYOUT 3666		Cranberry Highway (Ro	n) SEDIMENT FOREBAY SFB1A OVERFLOW WEIR PYLOT PYLOT SEDIMENT FOREBAY	100'BZ - /	HIGHWAY EASEMENT 22-E-2	
CONC PAD CHISEL SQUAR SET ELEV = 3.47'			UP#534/798	100' PZ - 1 F00 L SE	GRAVEL BIT. ISLAN D	S 63°5½53" E LOW 350.00'	ACR EOP WELCOME AND EXIT SIGN LA 180 S	POST POST PUP#534/800 PUBLIC UTILITY	
STATE HIGHWA		STATE HIGHWAY LAYOUT 7060	CONC PAD V. 2. 06. DER COULDER GRASS OQUITS IN THE COULDER CONTROL OF THE COULDER CO	100' BZ = 1,500± SF BIT PARKING LOT 100' BZ 26'	PUBLIC CONTINUE TO A STATE OF THE PUBLIC	SFB WEIR (TYP.) SFB WEIR (TYP.) INFILTRAT CONG. WALK LSA PCC	TION BASIN INF1 20' FRONT YARD SETBACK EOP CONC. WALK	R1-1 GRASS EASEMENT 22-PUE-11	EMP EASEMENT 2-TE-21
LAYOUT 720	08 S 63°51'53" E 29.01' M "L/0,80°92 S 0.00'82	STONE BOUND TO ILL HOZE FOULD	BOULDERS "OCEAN STATE JOB LOT & CARDI'S" SEDIMENT FOREBAY SFB2A R=25.00' L=17.37' L=57.45 Δ=59°18'19	CURB OPENING (TYP)	2'R TEMP EASEMENT 22-TE-19 2'R COL.	(1.093 ACRES)	99 RESTAURANT" 1 STORY WOOD BUILDING BUILDING FOOTPRINT=6,884 S.F.BITUMINOUS PAVEMENT ELECTRIC EASEMENT DOC485432	UP W/3 RISERS	
TEMP EASEMENT 22-TE-169	A)	S 63°51'44" E	STATE HIGHWAY STATE HIGHWAY LAYOUN SIBN TEMP EASENENT 22-TE-1166	LIGHT POLE TYPE B' (TYP.)	3' TRANSITION CURB	PROPOSED CAR WASH 6,830 GFA	SHRUBS CONC. A/C UNIT DOOR 38.5½ 2 RISERS CONC. PAD W/TRANS.	CC N/F TRT WAREHAM, LLC 3013 CRAN HWY 12/0/LC31	
N/F TRT WAREHAM LLC 3003 CRAN HWY 12/0/N8 BOOK 34912 PAGE 237	rmer Cinema Drive (Private - 50' Wide)		BAII T.7700±	OUT LANE 4" SWL 24" O.C. FLUSH MULCH ACR TYPE ACR TYPE LA TYPE AL A TY	5.6' R7-8 R7-8P	FFE = 12.0 OVER MAT WASHING STATION OVERHEAD DOOR	MULCH TO CONC. MULCH TO STORY WOOD GARAGE FOOTPRINT =612 S.F. BOLLARDS PER UTILITY PROVIDER REQUIREMENTS	BOOK 34912, PAGE 237 LCP 16393S	
	Fo		SEDIMENT SEDIMENT	BITUMINOUS PAVEMENT 3' TRANSITION CURB CURB OPENING (TYP) IGHT POLE E'A' (TYP.)	TRAVERSE DRAINAGE STRUCTURE VACUUM STATION (TYP.)	VACUUM PRODUCERS ON CONCRETE PADS BITUMINOUS PAVEMENT	TRANSFORMER CURB OPENING (TYP) SEDIMENT FOREBAY SFB3B		
		00	FOREBAY TYI SFB2B 10 REAR YARD SETBACK BIT. WALK	24' CCC	ION BASIN INF3 \ \	MULC W 3 3 69 29 W 3 3 W	SFB WEIR (TYP.)	GRASS	
S 63°51'53" E 157.61'			CC	WELCOME AND EXIT SIGN	350.25' N 61°42'07"	SFB WEIR (TYP.)	Y SFB3A		
	(APPI	WIDE ACCESS EASEMENT ROX LOCATION) 9332 PG. 272	MULCH	OSJ OF W. 3005 C 12 BOOK 461	N/F VAREHAM, LLC CRAN HWY 12/0/ B 5134 PAGE 326		R&D CURB — TRANSITION FROM PCC TO SGE	S 48°19'33" E 9.43' M 75'.80.66	
							BENCH MARK LIGHT POLE CONC. BASE CHISEL SQUARE SET ELEV.=15.58'	S S S	

LUMINAIRE SCHEDULE

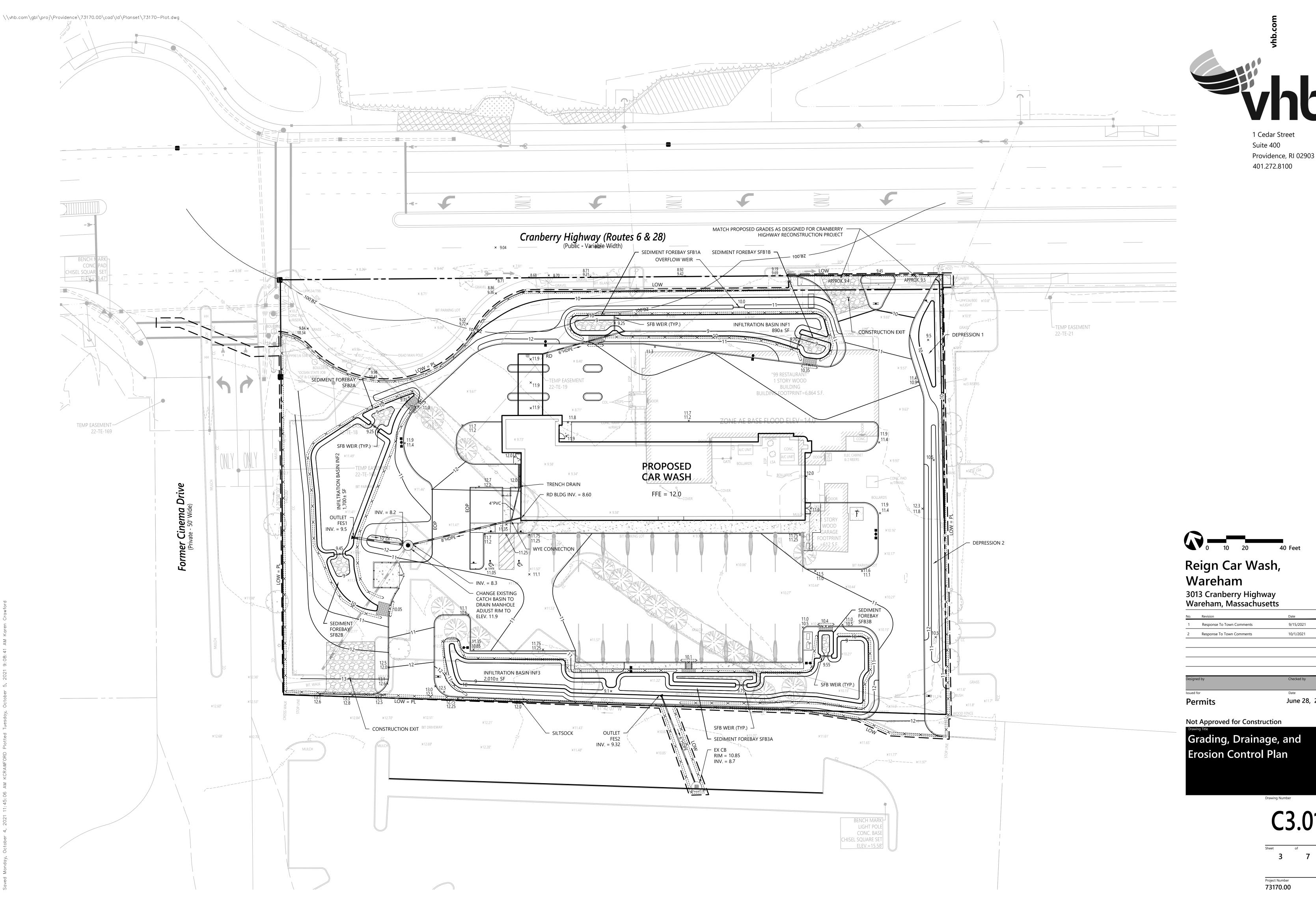
B 1 DOUBLE @ 180 17230 0.90 LED AREA FORWARD THROW LIGHT MOUNTED @ 25'; XGBM-FT-LED-SS-NW

DESCRIPTION

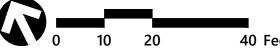
17230 0.90 LED AREA FORWARD THROW LIGHT WITH SHIELD MOUNTED @ 25'; XGBM-FT-LED-SS-NW-HSS

SYMBOL QTY ARRANGEMENT LUMENS LLF

⊕ A 5







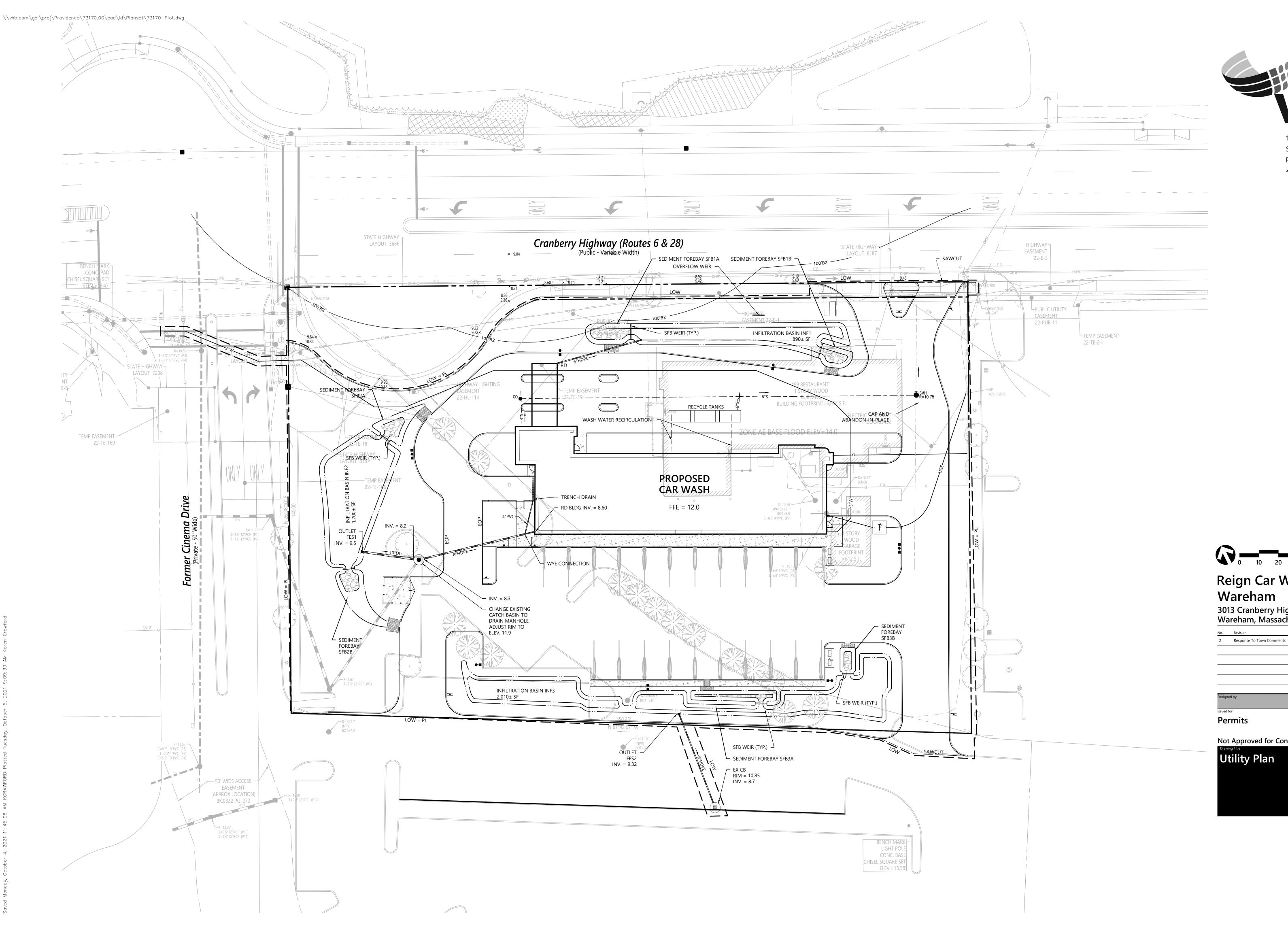
Reign Car Wash,

Dormite	Date June 28. 202
Designed by	Checked by

June 28, 2021

Grading, Drainage, and **Erosion Control Plan**







1 Cedar Street Suite 400 Providence, RI 02903 401.272.8100

Reign Car Wash,

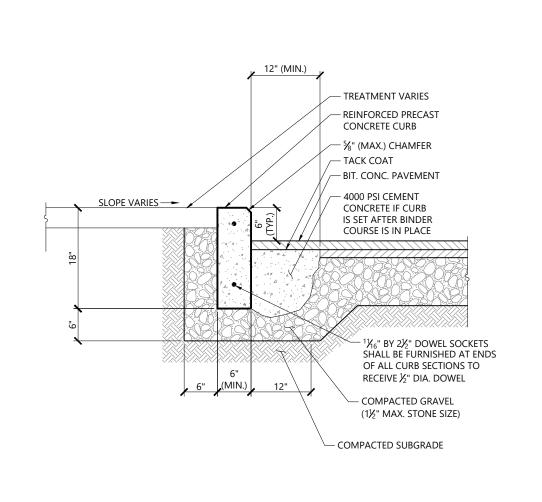
3013 Cranberry Highway Wareham, Massachusetts

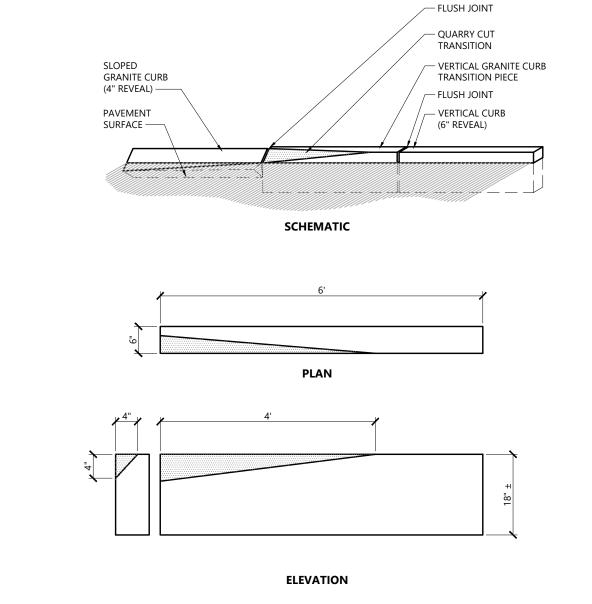
	, . , =

Permits	June 28, 202
Issued for	Date
Designed by	Checked by

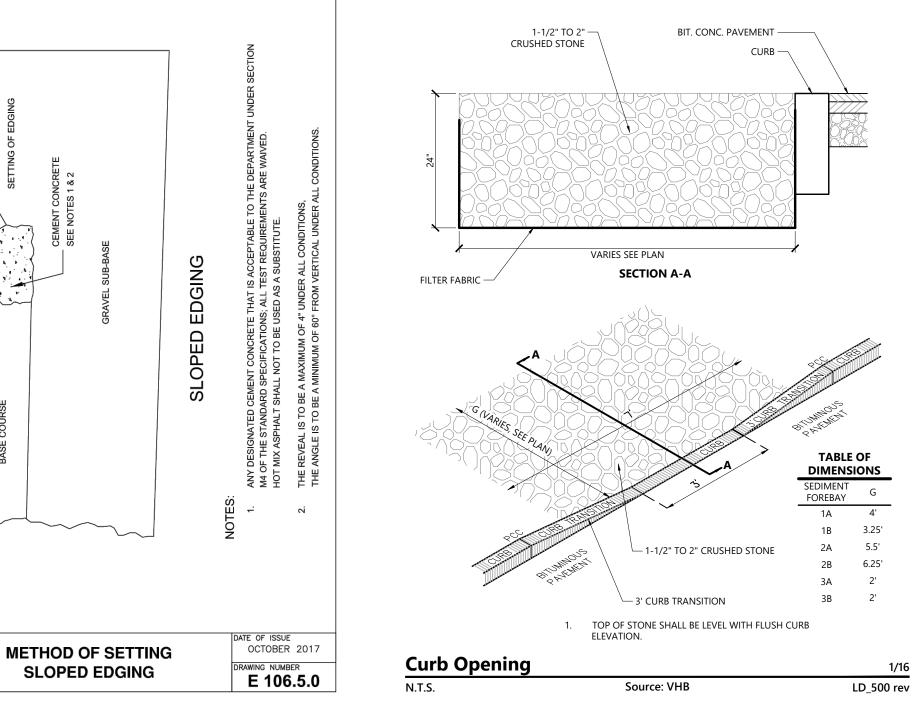
Not Approved for Construction

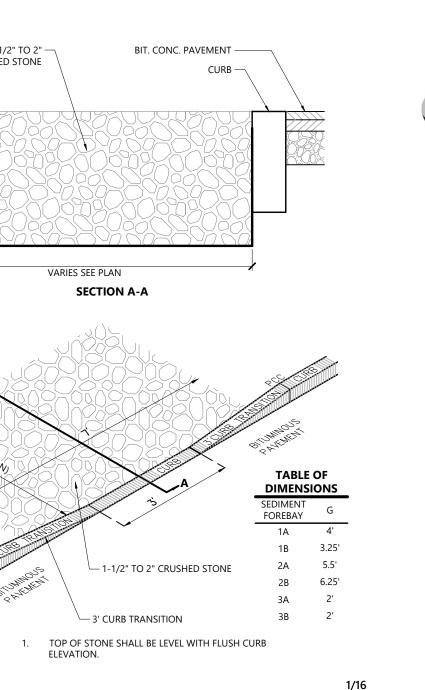


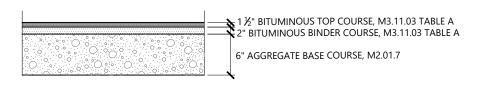




Vertical Granite Curb (VGC) Transition







STANDARD DUTY FLEXIBLE PAVEMENT

CURB — 6" REVEAL -

PAVEMENT -

NOTES

1. PROVIDE EXPANSION JOINTS

2. AT MIN. 30 FT. O.C. WITH PRE-

FORMED JOINT FILLER.

3. PROVIDE TOOLED CONTROL JOINTS AT 6' O.C.

4. PROVIDE BROOM FINISH IN

DIRECTION PERPENDICULAR TO CURB.

8" COMPACTED GRAVEL

BITUMINOUS PAVEMENT AND AGGREGATE BASE COURSE SHALL CONFORM TO THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.



— 4" CEMENT CONCRETE (6" THICK IN VEHICULAR AREAS)

CONCRETE FOR SIDEWALKS TO BE

5000 PSI. BOTH MIXES TO BE TYPE II,

4000 PSI AND FOR DRIVEWAYS

6% (1.5±) AIR ENTRAINED.

COMPACTED

CONCRETE

SIDEWALK -

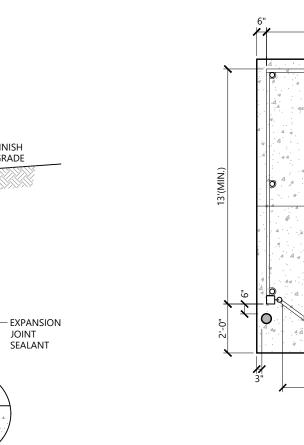
BLDG. FACE,

FIXED OBJECT,

OR CONC. SIDEWALK SECTION —

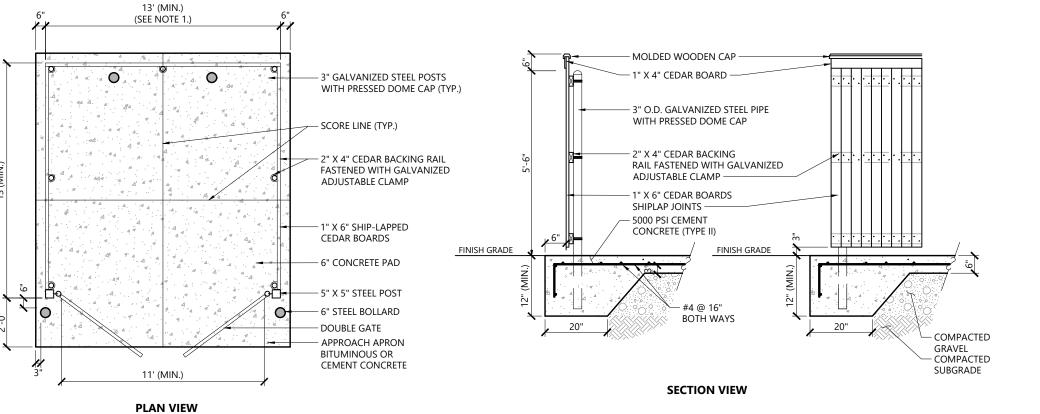
EXPANSION JOINT DETAIL

½" PREFORMED **EXPANSION JOINT -**



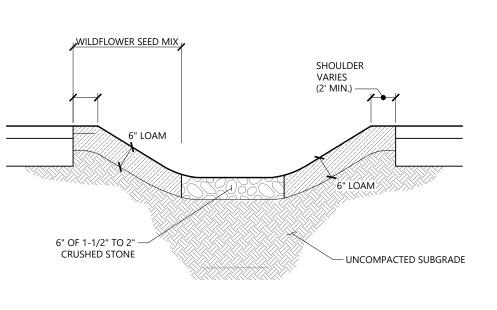
N.T.S.

Precast Concrete Curb (PCC)



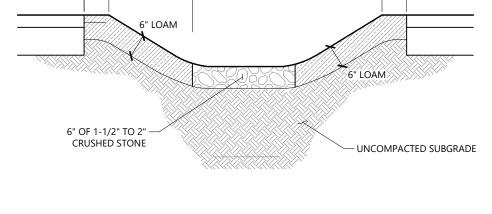
N.T.S.

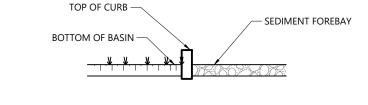
LD_404



SLOPED EDGING







Sediment Forebay Weir

LD_354



1. DUMPSTER PAD DIMENSIONS SHOWN AS MINIMUM. REFER

TO PLAN FOR ACTUAL DIMENSION.

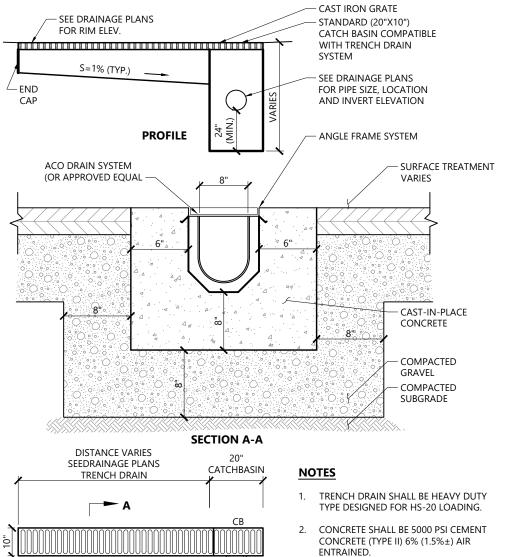
LD_300

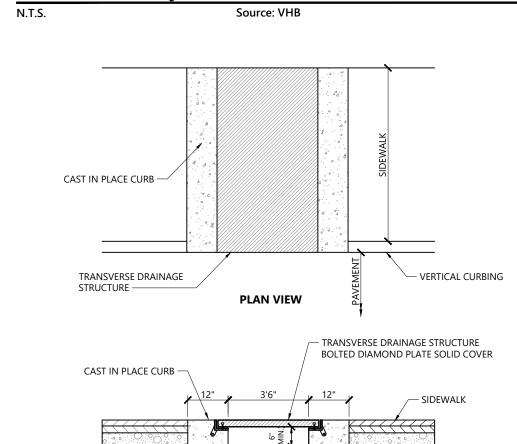


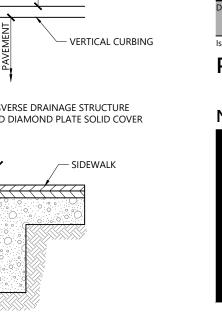
massDO1

Masschusett Department of Transportation
Highway Division

LD_415







- 12" COMPACTED

— COMPACTED

Permits

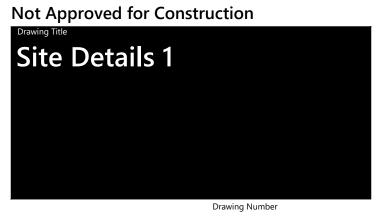
Site Details 1

Reign Car Wash,

3013 Cranberry Highway Wareham, Massachusetts

Response To Town Comments

Wareham



1 Cedar Street

401.272.8100

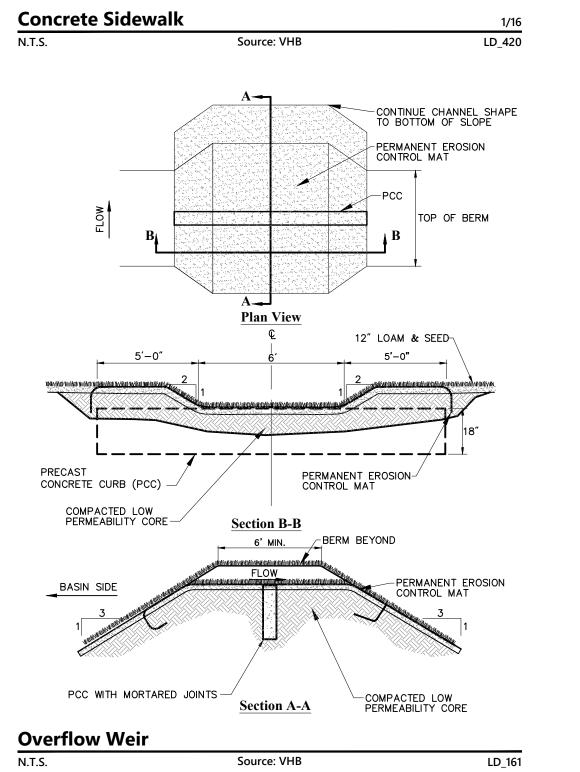
Providence, RI 02903

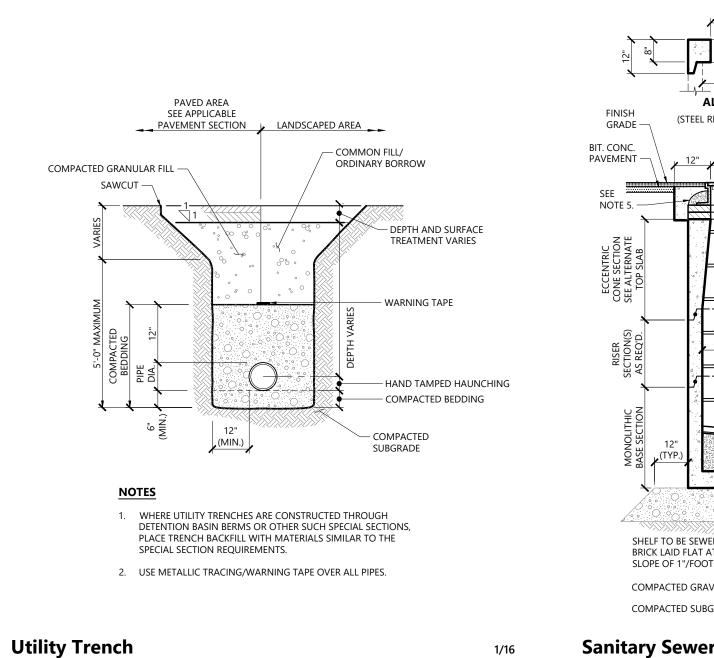
Suite 400

73170.00

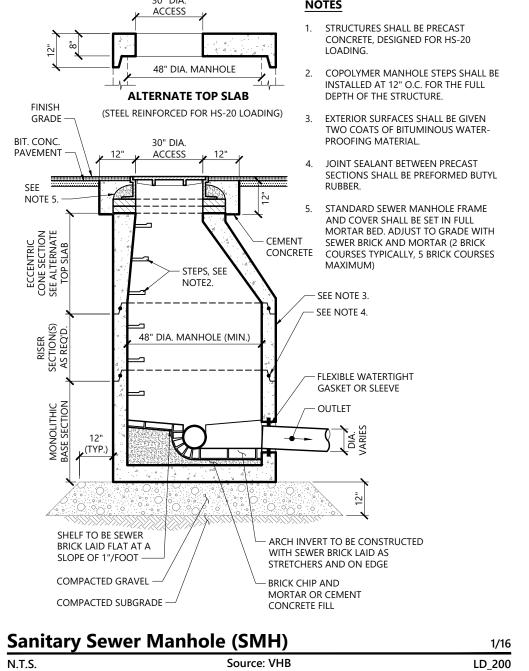
10/1/2021

June 28, 2021





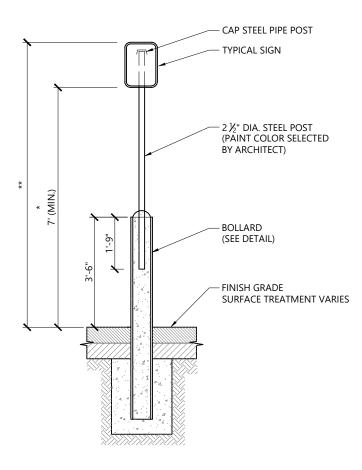
Source: VHB



3. TRENCH DRAIN GRATE SHALL MEET AMERICANS WITH DISABILITY ACT **→** A (ADA) REGULATIONS. PLAN Trench Drain (Type A) LD_190-A Source: VHB

Traverse Drainage Structure LD_192 Rev

SECTION



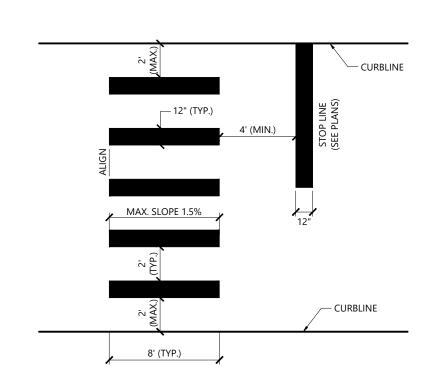
- * THIS DIMENSION SHALL BE A MINIMUM OF 5' FOR ACCESSIBLE SIGNAGE.
- * * THIS DIMENSION SHALL BE A A MAXIMUM OF 8' FOR ACCESSIBLE

Bollard		9/17
N.T.S.	Source: VHB	LD_700

3'-8"

LENGTH AS REQUIRED





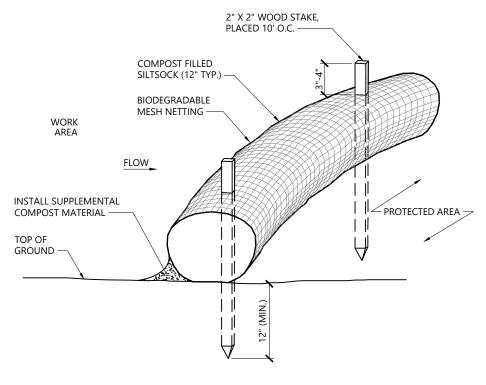
NOTES

- 1. TWELVE INCH (12") LINES SHALL BE APPLIED IN ONE APPLICATION, NO COMBINATION OF LINES (TWO 6 INCH LINES) WILL BE ACCEPTED.
- 2. LONGITUDINAL CROSSWALK LINES TO BE PARALLEL TO CURBLINE.
- 3. ALL LONGITUDINAL CROSSWALK LINES TO BE THE SAME LENGTH AND PROPERLY ALIGNED.
- 4. CROSS WALK SIDESLOPE SHALL NOT EXCEED 1.5%.

Painted Paven	nent Markings - On Site	1/16
N.T.S.	Source: VHB	LD_554

 PAVEMENT MARKINGS TO BE INSTALLED FOR ON SITE WORK IN LOCATIONS SHOWN.

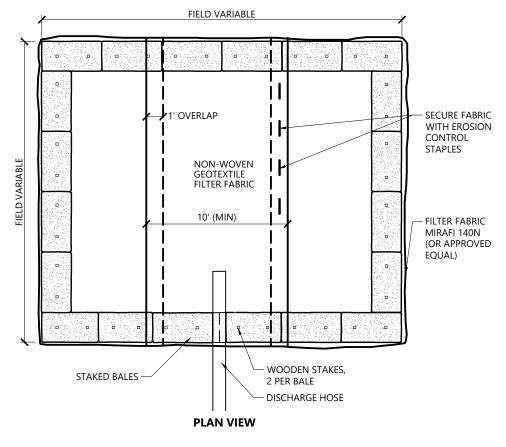
1/16
LD_553

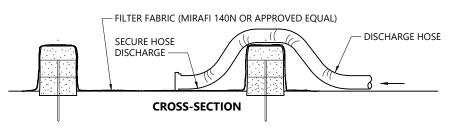


NOTES

- SILTSOCK SHALL BE FILTREXX SILTSOXX, OR APPROVED EQUAL.
- 2. SILTSOCKS SHALL OVERLAP A MINIMUM OF 12 INCHES.
- 3. SILTSOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY
- 4. COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE
- IF NON BIODEGRADABLE NETTING IS USED THE NETTING SHALL BE COLLECTED AND DISPOSED OF OFFSITE.

Siltsock - Erosion Control Barrier		1/16
N.T.S.	Source: VHB	LD_658

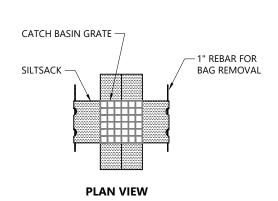


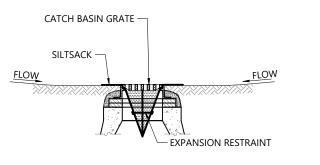


NUMBER OF BALES MAY VARY DEPENDING ON SITE CONDITIONS.

2. THE BASIN TO BE SIZED TO PREVENT DISCHARGE WATER FROM OVERTOPPING BASIN.

0.21.10.1.11.00			
Dewatering Straw Bale Basin		1/16	
N.T.S.	Source: VHB	LD_690	



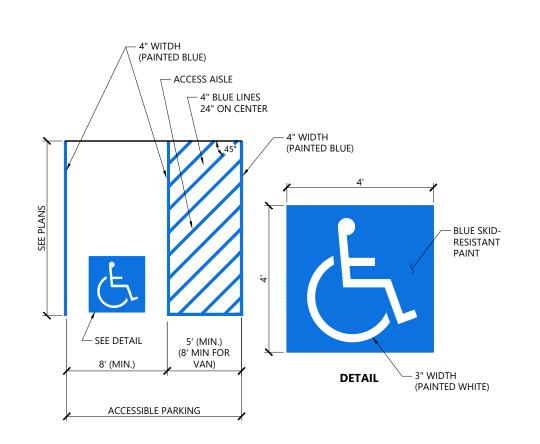


SECTION VIEW

NOTES

- INSTALL SILTSACK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS PLACED AND HAY BALES HAVE BEEN REMOVED.
- 2. GRATE TO BE PLACED OVER SILTSACK.
- SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN

PERMANENTLY STABILIZED	
Siltsack Sediment Trap	1

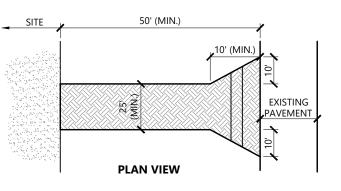


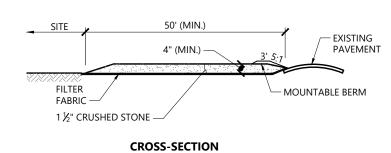
NOTES

- 1. ALL DIMENSIONS TO EDGES OF 4" PAVEMENT STRIPING.
- 2. 8' STALL WIDTH REFERS TO 8' CLEAR BETWEEN INSIDE EDGES OF PAVEMENT MARKINGS.
- 3. ALL SLOPES THROUGHOUT THE ACCESSIBLE PARKING AND AISLE
- AREAS SHALL NOT EXCEED 1.5%.

4.	ACCESS AISLE MEASURED BETWEEN OUTSIDE EDGES OF PAVEMENT MARKINGS.

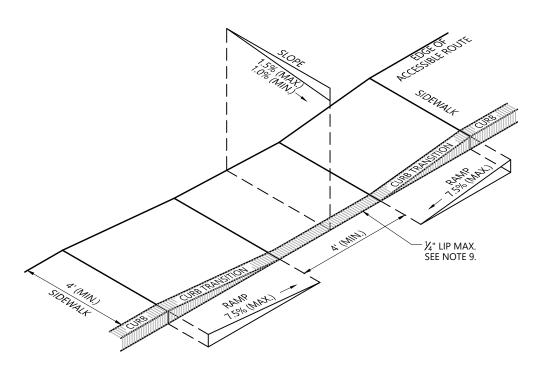
Accessible Parking Space		1/16
N.T.S.	Source: VHB	LD_552B





- EXIT WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
- 2. THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
- 3. STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.





NOTES

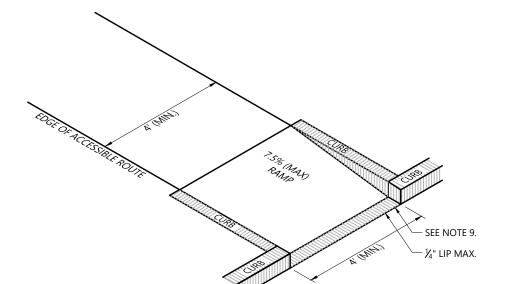
LD_674

- THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).
- THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
 THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%%%.
- 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
- ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).

 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
- CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
 RAMP, CURB, AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
- KAMP, CURB, AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
 SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
- 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.

9.	ELIMINATE CURBING AT RAMP (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE IT ABUTS ROADWAY.	

Accessible Curb Ramp (ACR) Type 'A' N.T.S. Source: VHB



NOTES

- THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).
- 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
- SHALL BE 5%.

 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE
- 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.
- A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
 CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
- 6. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
- 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.

9.	ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.

Accessible Curb Ramp (ACR) Type 'J'		1/16
N.T.S.	Source: VHB	LD_509



3013 Cranberry Highway Wareham, Massachusetts

Designed by	Checked by
Issued for	Date

1 Cedar Street

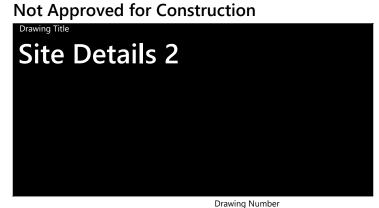
401.272.8100

Providence, RI 02903

Suite 400

Not Approved for Construction

Permits

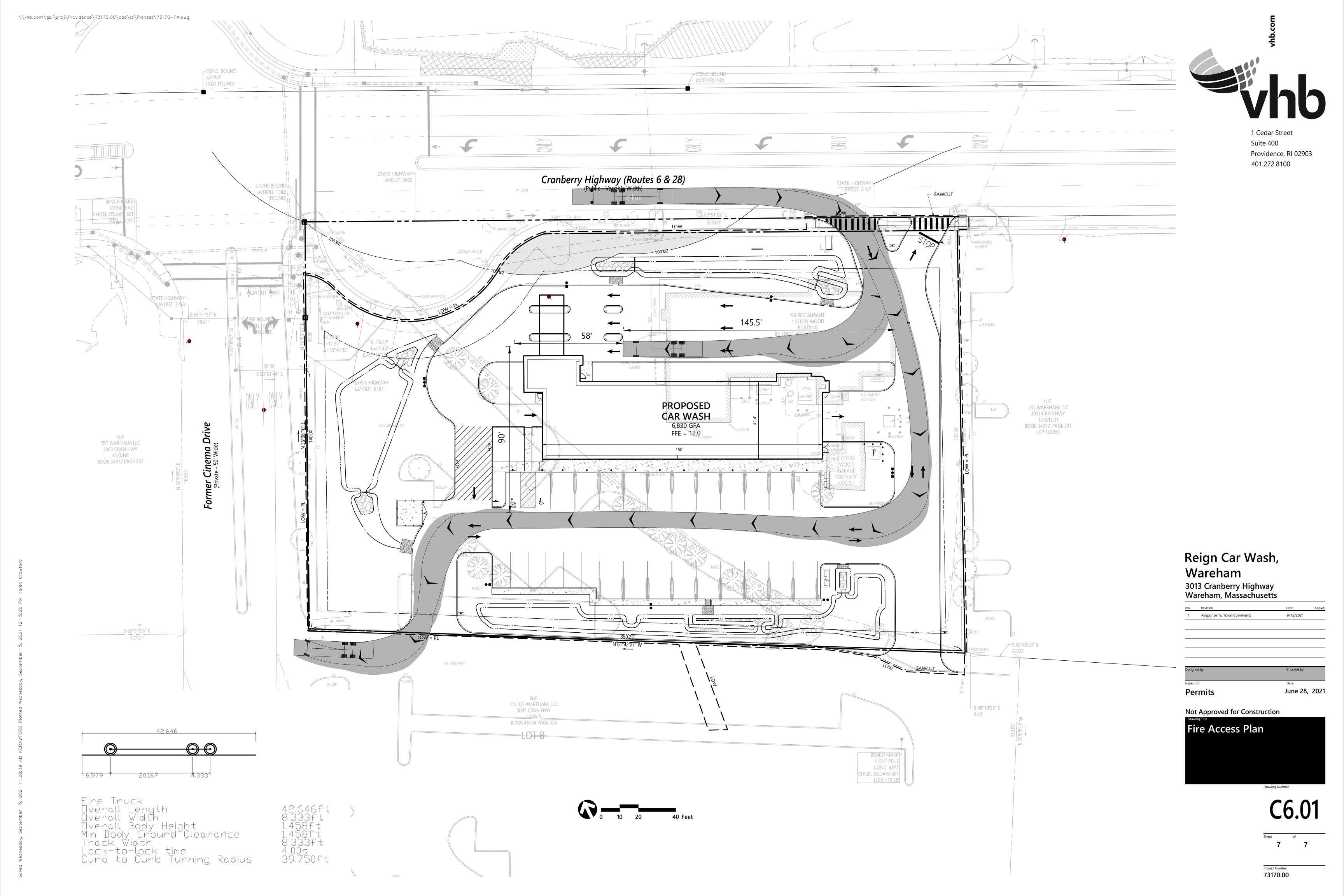


C5.02

June 28, 2021

6 7

73170.00



Planting Notes

- 1. ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED AS SHOWN ON THE PLANS FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 2. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW GRADE AND ABOVE GROUND UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS.
- 3. NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICT.
- 4. A 3-INCH DEEP MULCH PER SPECIFICATION SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED ON THE PLANS, OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
- 5. ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- 6. FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANT LIST AND PLANT LABELS PRIOR TO BIDDING.

- ANY PROPOSED PLANT SUBSTITUTIONS MUST BE REVIEWED BY LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
- 8. ALL PLANT MATERIALS INSTALLED SHALL MEET THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND CONTRACT DOCUMENTS.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
- 10. AREAS DESIGNATED "LOAM & SEED" SHALL RECEIVE MINIMUM 6" OF LOAM AND SPECIFIED SEED MIX. LAWNS OVER 2:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC.
- 11. ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE LOAM AND SEEDED OR MULCHED AS DIRECTED BY OWNER'S
- 12. THIS PLAN IS INTENDED FOR PLANTING PURPOSES. REFER TO SITE / CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.

Plant Maintenance Notes

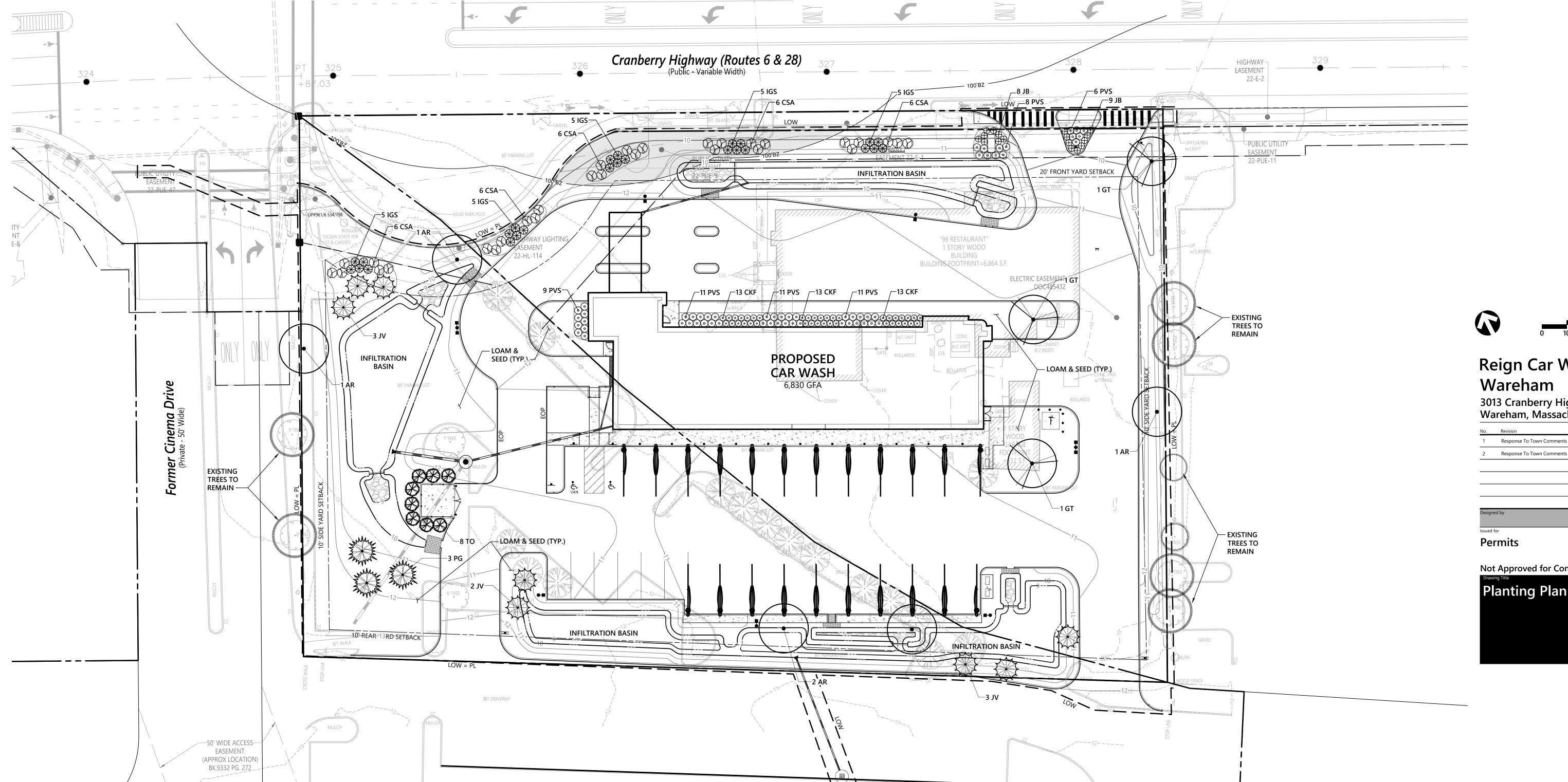
- 1. CONTRACTOR SHALL PROVIDE COMPLETE MAINTENANCE OF THE LAWNS AND PLANTINGS. NO IRRIGATION IS PROPOSED FOR THIS SITE. THE CONTRACTOR SHALL SUPPLY SUPPLEMENTAL WATERING FOR NEW LAWNS AND PLANTINGS DURING THE ONE YEAR PLANT GUARANTEE PERIOD.
- CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE LANDSCAPE MAINTENANCE WORK. WATER SHALL BE PROVIDED BY THE CONTRACTOR.
- 3. WATERING SHALL BE REQUIRED DURING THE GROWING SEASON, WHEN NATURAL RAINFALL IS BELOW ONE INCH PER WEEK.
- 4. WATER SHALL BE APPLIED IN SUFFICIENT QUANTITY TO THOROUGHLY SATURATE THE SOIL IN THE ROOT ZONE OF EACH PLANT.
- CONTRACTOR SHALL REPLACE DEAD OR DYING PLANTS AT THE END OF THE ONE YEAR GUARANTEE PERIOD. CONTRACTOR SHALL TURN OVER MAINTENANCE TO THE FACILITY MAINTENANCE STAFF AT THAT TIME.

PLANT SCHEDULE

DECIDUOUS TREES AR GT	<u>QTY</u> 5 3	BOTANICAL NAME Acer rubrum `October Glory` Gleditsia triacanthos `Shademaster`	COMMON NAME October Glory Maple Shademaster Honeylocust	SIZE 2 1/2 - 3" CAL. 2 1/2 - 3" CAL.
EVERGREEN TREES JV PG TO	QTY 8 3 8	BOTANICAL NAME Juniperus virginiana Picea glauca Thuja occidentalis `Nigra`	COMMON NAME Eastern Red Cedar White Spruce Dark American Arborvitae	SIZE 7 - 8` HT. 6 - 7` HT. 6 - 7` HT.
SHRUBS CSA IGS JB	QTY 30 25 17	BOTANICAL NAME Cornus sericea `Arctic Fire` Ilex glabra `Shamrock` Juniperus horizontalis `Bar Harbor`	COMMON NAME Arctic Fire Red Twig Dogwood Shamrock Inkberry Bar Harbor Creeping Juniper	SIZE 3 GAL. 5 GAL. 2 GAL.
GRASSES CKF PVS	QTY 39 56	BOTANICAL NAME Calamagrostis x acutiflora `Karl Foerster` Panicum virgatum `Shenandoah`	COMMON NAME Karl Foerster Feather Reed Grass Shenendoah Switch Grass	SIZE #2 POT #2 POT



1 Cedar Street Suite 400 Providence, RI 02903 401.272.8100





9/15/2021

10/1/2021

Reign Car Wash, Wareham

3013 Cranberry Highway Wareham, Massachusetts

Designed by	Checked by

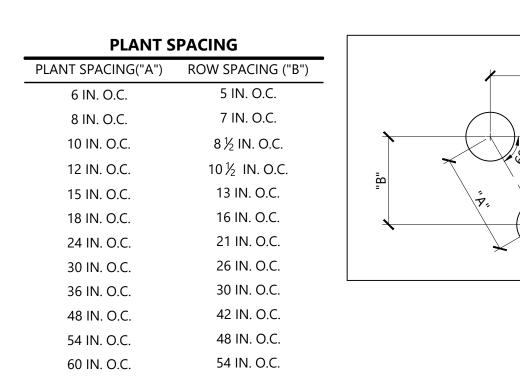
June 28, 2021 **Permits**

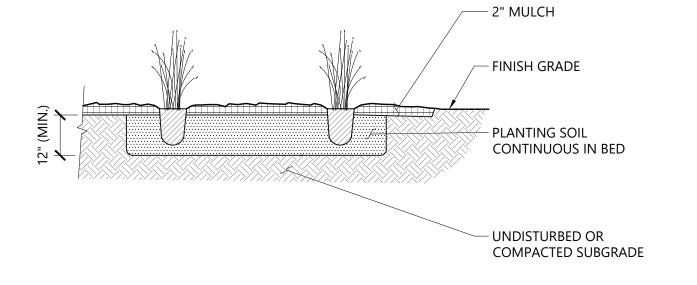
Not Approved for Construction

Planting Plan

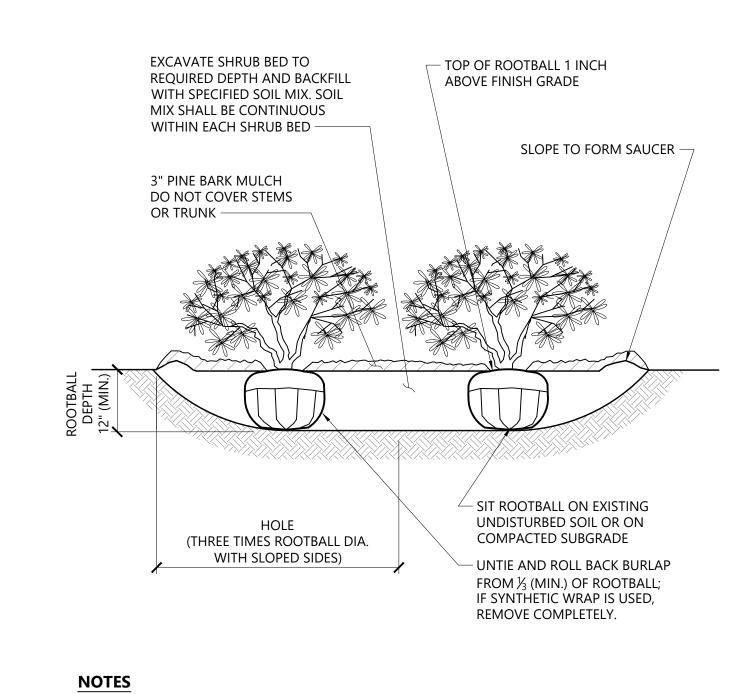


1 Cedar Street Suite 400 Providence, RI 02903 401.272.8100



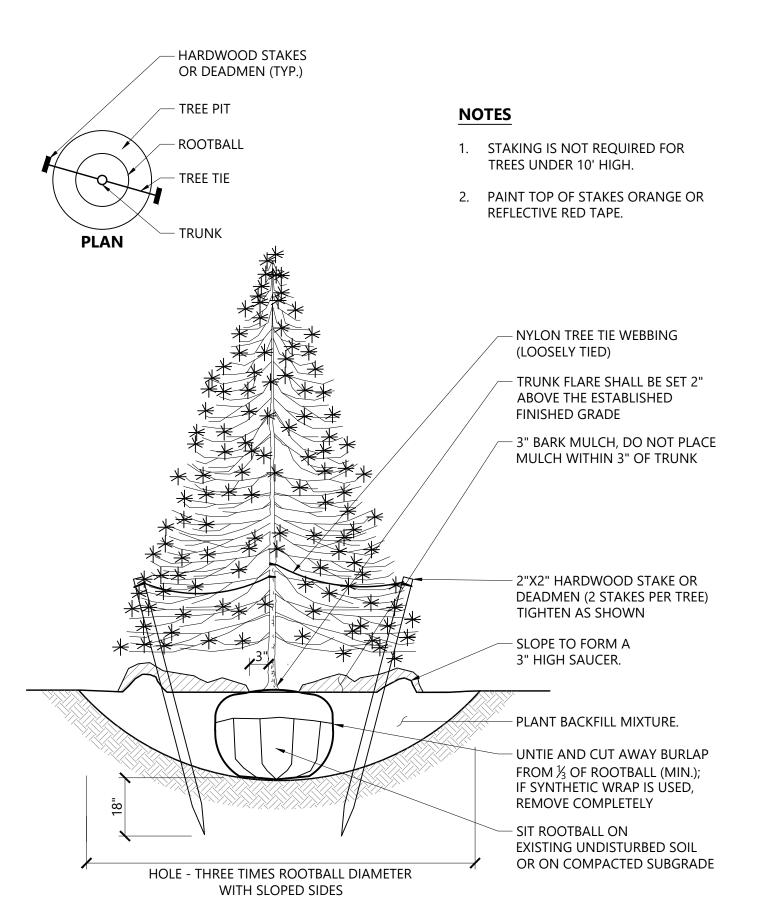


Perennial and Ornamental Grass Planting		1/16
N.T.S.	Source: VHB	LD_618

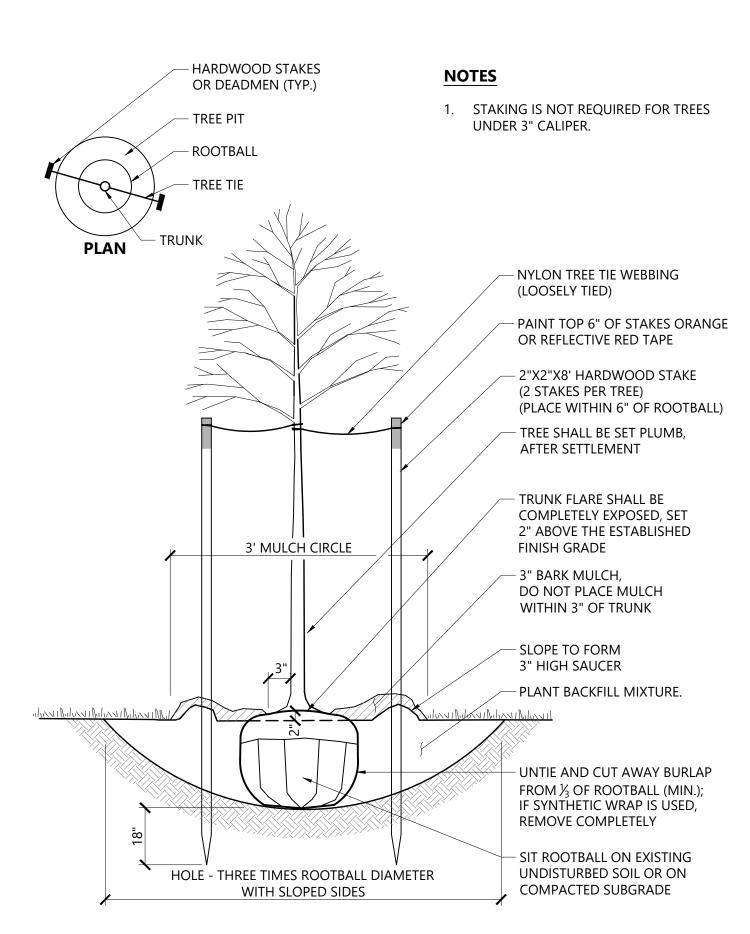


 LOOSEN ROOTS AT THE OUTER EDGE OF ROOTBALL OF CONTAINER GROWN SHRUBS.

Shrub Bed Planting1/16N.T.S.Source: VHBLD_601







Tree Planting (For Trees Under 4" Caliper) N.T.S. Source: VHB

Reign Car Wash, Wareham

3013 Cranberry Highway Wareham, Massachusetts

No.	Revision	Date	Appvd

Designed by	Checked by
Issued for	Date
Permits	June 28, 2021

Not Approved for Construction

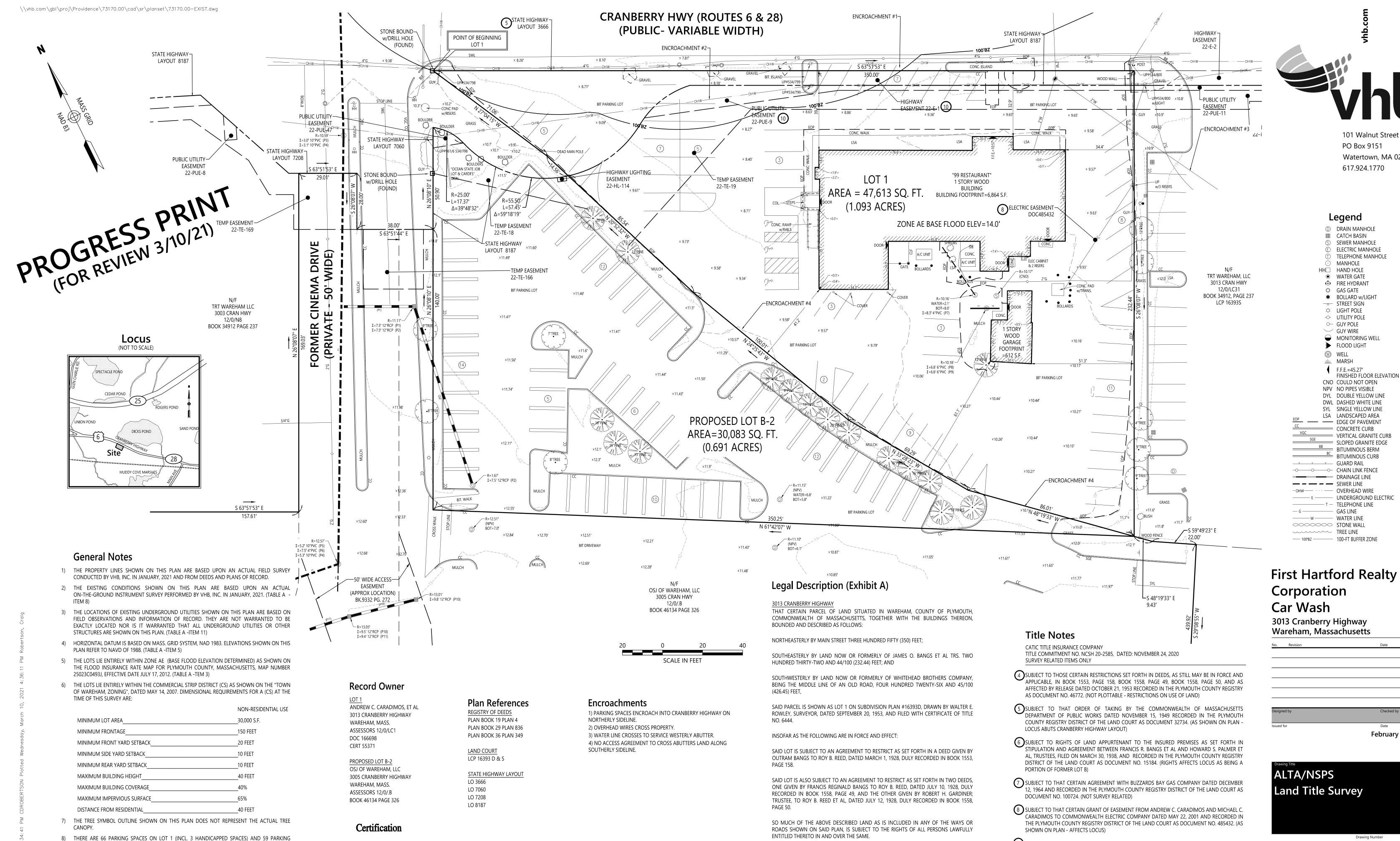
9/18

LD_602



L2.01

Sheet of 2



101 Walnut Street

Watertown, MA 02471

PO Box 9151

617.924.1770

Legend

DRAIN MANHOLE

ELECTRIC MANHOLE

TELEPHONE MANHOLE

■ CATCH BASIN S SEWER MANHOLE

MANHOLE

HH□ HAND HOLE

WATER GATE

GAS GATE

→ STREET SIGN

□ LIGHT POLE

-O- UTILITY POLE

GUY POLE

✓ GUY WIRE

WELL MARSH

▶ FLOOD LIGHT

F.F.E.=45.27'

CNO COULD NOT OPEN

NPV NO PIPES VISIBLE DYL DOUBLE YELLOW LINE

— EDGE OF PAVEMENT — CONCRETE CURB

— ← CHAIN LINK FENC

OHW ---- OVERHEAD WIRE

DWL DASHED WHITE LINE SYL SINGLE YELLOW LINE LSA LANDSCAPED AREA

VERTICAL GRANITE CURE SLOPED GRANITE EDGE BITUMINOUS BERM BITUMINOUS CURB

FINISHED FLOOR ELEVATION

FIRE HYDRANT

MONITORING WELL

February 3, 2021

ALTA/NSPS Land Title Survey

73170.00

SUBJECT TO MATTERS REFERENCED IN CERTIFICATE OF TITLE NO. 55371, SO MUCH AS MAY STILL BE ENFORCEABLE. (REFERS TO LOCUS)

EXPIRATION 5 YEARS AFTER RECORDING OF DOCUMENT - OCTOBER 2023)

10) SUBJECT TO THAT ORDER OF TAKING BY THE COMMONWEALTH OF MASSACHUSETTS

9 SUBJECT TO THE TERMS AND CONDITIONS OF THAT CERTAIN MEMORANDUM OF LEASE BY AND

NO. 562797. (REFERS TO LOCUS - NOT SURVEY RELATED)

SAID LOT IS ALSO SUBJECT TO A TAKING BY THE COUNTY COMMISSIONERS, DATED

THERE IS APPURTENANT TO THE ABOVE DESCRIBED LAND RIGHTS AS SET FORTH IN A

STIPULATION BETWEEN FRANCIS R. BONGS ET AL AND HOWARD S. PALMER ET AL,

TRUSTEES, FILED WITH THE PAPERS IN THIS CASE ON MARCH 30, 1938, A COPY OF WHICH

BEING THE SAME PREMISES AS CONVEYED TO ANDREW CARADIMOS, GEORGE CARADIMOS

AND MICHAEL C. CARADIMOS D/B/A CARADIMOS COMPANY BY VIRTUE OF A DEED FROM

ANDREW CARADIMOS AND MICHAEL CARADIMOS, DATED SEPTEMBER 12, 1975 AND

RECORDED IN THE PLYMOUTH COUNTY REGISTRY DISTRICT OF THE LAND COURT AS

NOVEMBER 15, 1949 FILED AND REGISTERED AS DOCUMENT #32734.

DOCUMENT NO. 166698, CERTIFICATE OF TITLE NO. 55371.

IS FILED AS DOCUMENT #15184.

BETWEEN ANDREW C. CARDIMOS AND MICHAEL C. CARADIMOS AND ELAINE CARADIMOS,

LESSORS, AND 99 RESTAURANTS OF BOSTON, LLC, AS LESSEE, DATED SEPTEMBER 8, 2003 AND

RECORDED IN THE PLYMOUTH COUNTY REGISTRY DISTRICT OF THE LAND COURT AS DOCUMENT

DEPARTMENT OF PUBLIC WORKS RECORDED IN THE PLYMOUTH COUNTY REGISTRY DISTRICT OF

THE LAND COURT AS DOCUMENT NO. 777904. (AS SHOWN ON PLAN - PERMANENT EASEMENTS 22-E-1 & 22-PUE-9 AFFECT LOCUS. TEMPORARY EASEMENT 22-TE-19, AFFECT LOCUS UNTIL

PROFESSIONAL LAND SURVEYOR

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE

IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS

LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES

ITEMS 2-5, 7(a), 7(b)(1), 8, 9, 11, 13, 14 16, 17, 19 & 20 OF TABLE A THEREOF. THE FIELD WORK WAS

TO: FIRST HARTFORD REALTY CORPORATION

CATIC TITLE INSURANCE

COMPLETED ON JANUARY 22, 2021

SPACES ON LOT B-2 (TABLE A - ITEM 9)

CONSTRUCTION OR BUILDING ADDITIONS. (TABLE A - ITEM 16)

12) PLOTTABLE OFFSITE EASEMENTS ARE SHOWN ON THE PLAN (TABLE A - ITEM 19)

PRIVATE WAY). (TABLE A - ITEM 14)

9) THE LOTS ARE AT THE INTERSECTION OF CRANBERRY HIGHWAY AND FORMER CINEMA DRIVE (A

10) AT THE TIME OF THE FIELD CHECK THERE WAS NO EVIDENCE OF EARTH MOVING WORK, BUILDING

11) PROPOSED CHANGES TO STREET RIGHT OF WAYS LINES WERE DETERMINED AND EVIDENCE OF

13) VHB AGREES TO CARRY PROFESSIONAL LIABILITY INSURANCE WITH A LIMIT OF \$1,000,000 PER

RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS WAS OBSERVED. (TABLE A - ITEM 17)

CLAIM AND IN THE AGGREGATE. (SEE VHB STANDARD TERMS AND CONDITIONS) (TABLE A - ITEM

