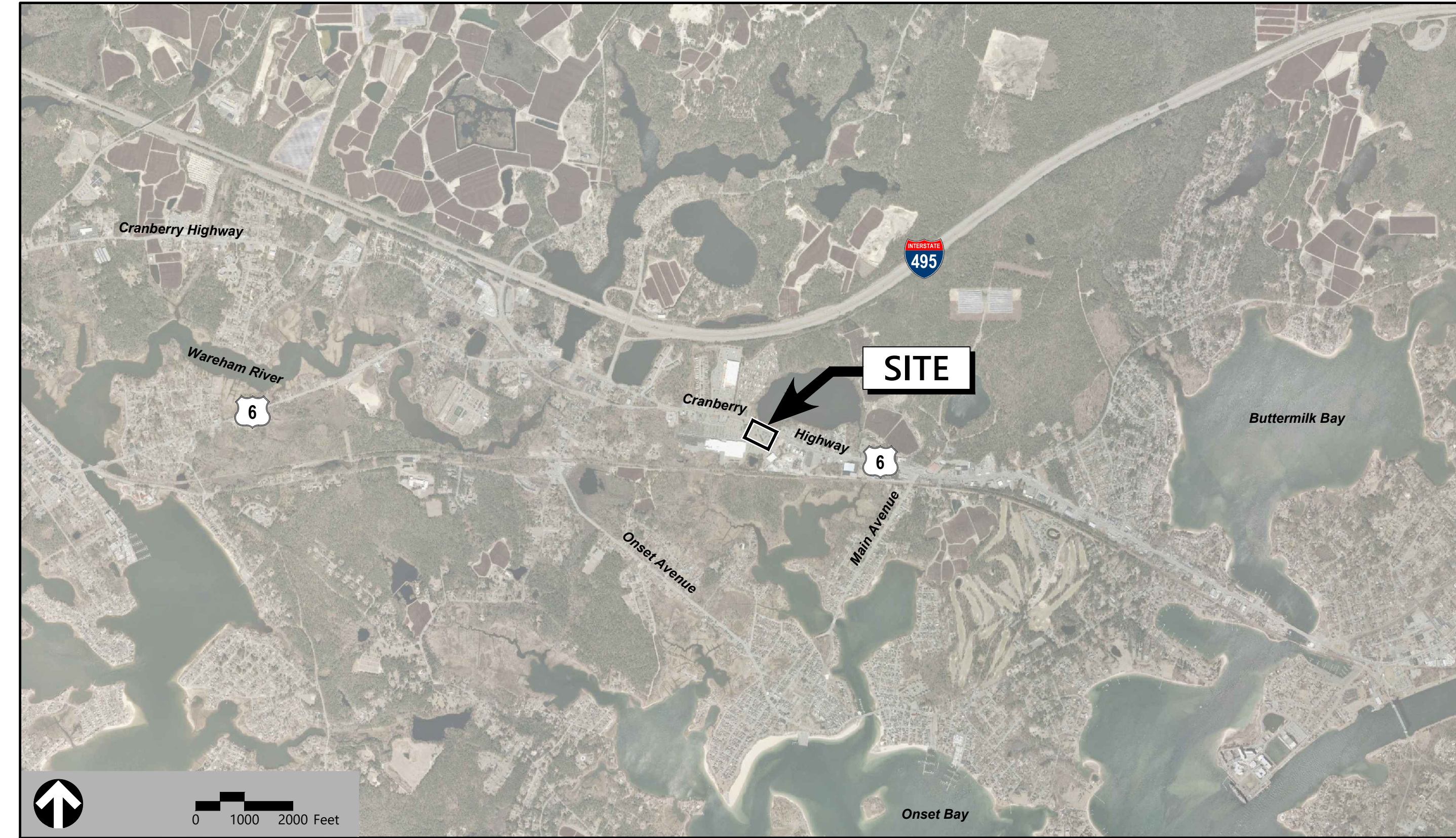


# Site Plans

Issued for	Permits
Date Issued	June 28, 2021
Latest Issue	October 1, 2021

## Reign Car Wash, Wareham

3013 Cranberry Highway  
Wareham, Massachusetts



101 Walnut Street  
PO Box 9151  
Watertown, MA 02471  
617.924.1770

### Lot 1 Owner

Andrew C. Caradimos, Et Al  
3013 Cranberry Highway  
Wareham, Massachusetts  
Assessors 12/0/LC1  
Doc 166698  
Cert 55371

### Proposed Lot B-2 Owner

OSJ of Wareham, LLC  
3005 Cranberry Highway  
Wareham, Massachusetts  
Assessors 12/0/.B  
Book 46134 Page 326

### Applicant

First Hartford Realty Corporation  
149 Colonial Road  
Manchester, Connecticut 06042

### Parcel ID:

12-0-LC1, 12-0-B

### Sheet Index

No.	Drawing Title	Latest Issue
C1.01	Legend and General Notes	June 28, 2021
C2.01	Layout and Materials Plan	October 1, 2021
C3.01	Grading, Drainage, and Erosion Control Plan	October 1, 2021
C4.01	Utility Plan	October 1, 2021
C5.01	Site Details 1	October 1, 2021
C5.02	Site Details 2	June 28, 2021
C6.01	Fire Access Plan	September 15, 2021
L1.01	Planting Plan	October 1, 2021
L2.01	Planting Details	June 28, 2021

### Reference Drawings

No.	Drawing Title	Latest Issue
Sv-1	ALTA/NSPS Land Title Survey	February 3, 2021
ANR-1	Subdivision Plan of Land 1	March 9, 2021
ANR-2	Subdivision Plan of Land 2	March 9, 2021



1 Cedar Street  
Suite 400  
Providence, RI 02903  
401.272.8100

Legend

Legend table with columns: Exist., Prop., and descriptions for various site features like property lines, curbs, manholes, and fences.

Abbreviations

Abbreviations table with columns: General and Utility, listing codes for items like concrete, drainage, and catch basins.

Notes

- Notes section containing 10 numbered items detailing construction requirements, safety protocols, and utility handling procedures.

Layout and Materials

- Layout and Materials section containing 7 numbered items regarding dimensions, curbing, and construction standards.

Demolition

- Demolition section containing 5 numbered items detailing the removal and disposal of existing structures and utilities.

Erosion Control

- Erosion Control section containing 5 numbered items detailing measures to prevent soil erosion during construction.

Existing Conditions Information

- Existing Conditions Information section containing 3 numbered items detailing site survey data and geotechnical findings.

Document Use

- Document Use section containing 3 numbered items detailing the use of CADD documents and field measurements.

Reign Car Wash, Wareham  
3013 Cranberry Highway  
Wareham, Massachusetts

Table with columns: No., Revision, Date, Appr. for document tracking.

Designed by: Checked by: Issued for: Date: Permits June 28, 2021

Not Approved for Construction  
Drawing Title: Legend and General Notes  
Drawing Number: C1.01

### Zoning Summary Chart

Zoning District(S):	Commercial Strip (CS)	
Overlay District(S):	Zone AE Floodplain	
Zoning Regulation Requirements	Required*	Provided
MINIMUM LOT AREA	0.7 Acres	1.8 Acres
FRONTAGE	150 Feet	350.0 Feet
FRONT YARD SETBACK	20 Feet	26 Feet
SIDE YARD SETBACK	10 Feet	70 Feet
REAR YARD SETBACK	10 Feet	95 Feet
MAXIMUM BUILDING HEIGHT	40 Feet	27 Feet
MAXIMUM BUILDING COVERAGE	40.0 %	8.8 %
MAXIMUM IMPERVIOUS	65.0 %	55.0 %

\* Zoning regulation requirements as specified in Town of Wareham Zoning By-Laws.

### Parking Summary Chart

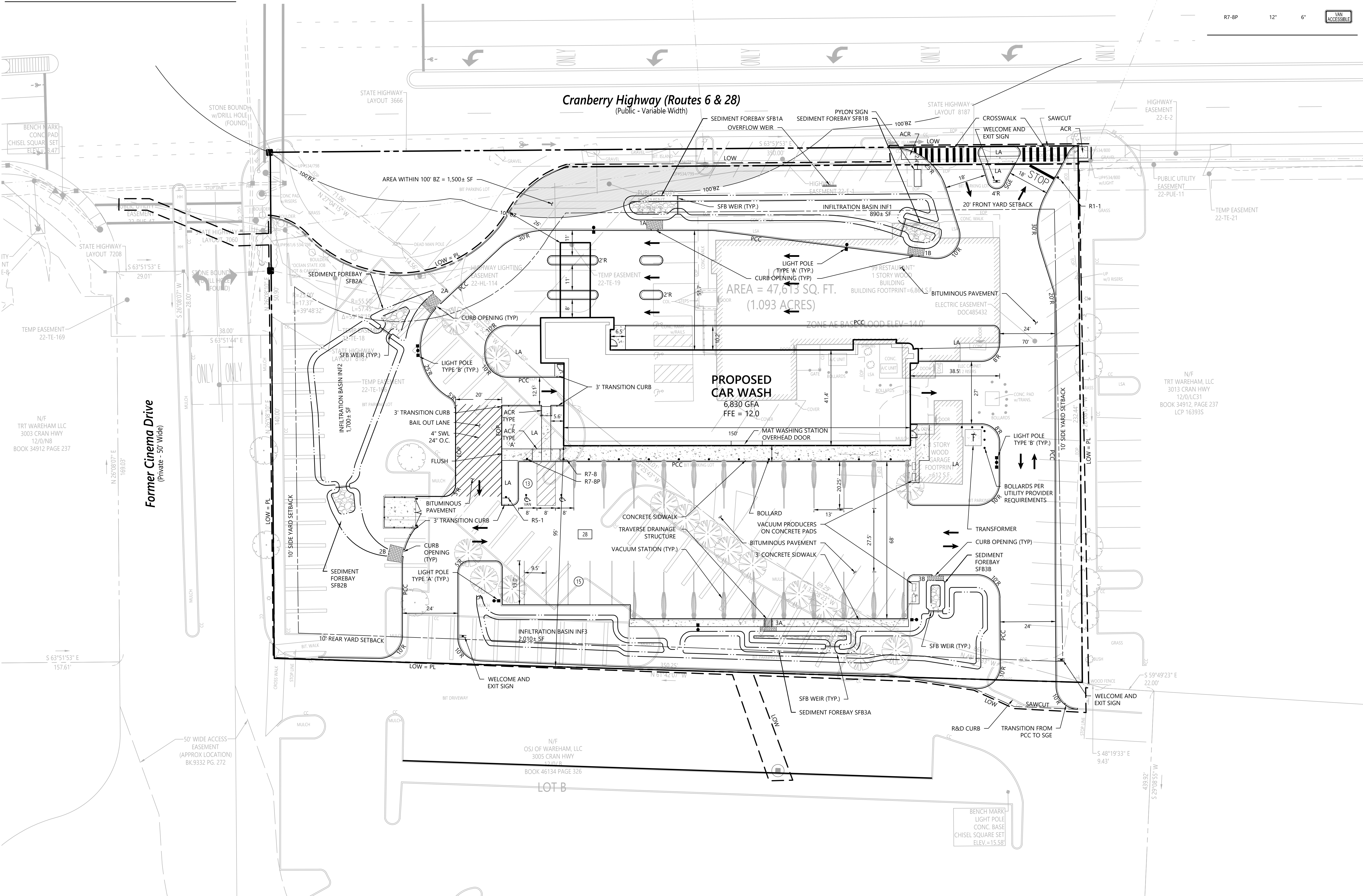
Description	Size		Spaces	
	Required	Provided	Required	Provided
STANDARD SPACES	9.5 x 19	9.5 x 19	21	26
STANDARD ACCESSIBLE SPACES *	8 x 19	9 x 19	1	1
VAN ACCESSIBLE SPACES	8 x 19	9 x 19	1	1
<b>TOTAL SPACES</b>			<b>23</b>	<b>28</b>

#### Parking Requirements:

BUSINESS, RETAIL	6,830 GFA	x	1 SPACES / 300 GFA	=	23 SPACES
<b>TOTAL PARKING REQUIRED = 23 SPACES</b>					

### LUMINAIRE SCHEDULE

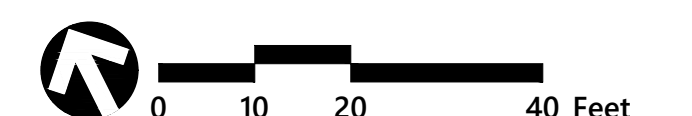
SYMBOL	QTY	ARRANGEMENT	LUMENS	LLF	DESCRIPTION
⊗ A	5	SINGLE	17230	0.90	LED AREA FORWARD THROW LIGHT WITH SHIELD MOUNTED @ 25'; XGBM-FT-LED-SS-NW-HSS
⊗ B	1	DOUBLE @ 180	17230	0.90	LED AREA FORWARD THROW LIGHT MOUNTED @ 25'; XGBM-FT-LED-SS-NW



### Sign Summary

M.U.T.C.D. Number	Specification Width	Height	Desc.
R1-1	30"	30"	STOP
R5-1	30"	30"	DO NOT ENTER
R7-8	12"	18"	RESERVED PARKING
R7-8P	12"	6"	VAN ACCESSIBLE

- NOTES**
- RIGHT IN/RIGHT OUT DRIVEWAY CONFIGURATION IS SUBJECT TO CHANGE. REQUIRES MADOT APPROVAL.



**Reign Car Wash, Wareham**  
 3013 Cranberry Highway  
 Wareham, Massachusetts

No.	Revision	Date	Appr.
1	Response To Town Comments	9/15/2021	
2	Response To Town Comments	10/1/2021	

Designed by: \_\_\_\_\_ Checked by: \_\_\_\_\_  
 Issued for: \_\_\_\_\_ Date: June 28, 2021

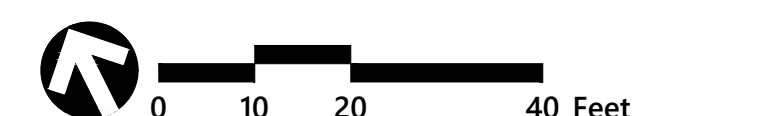
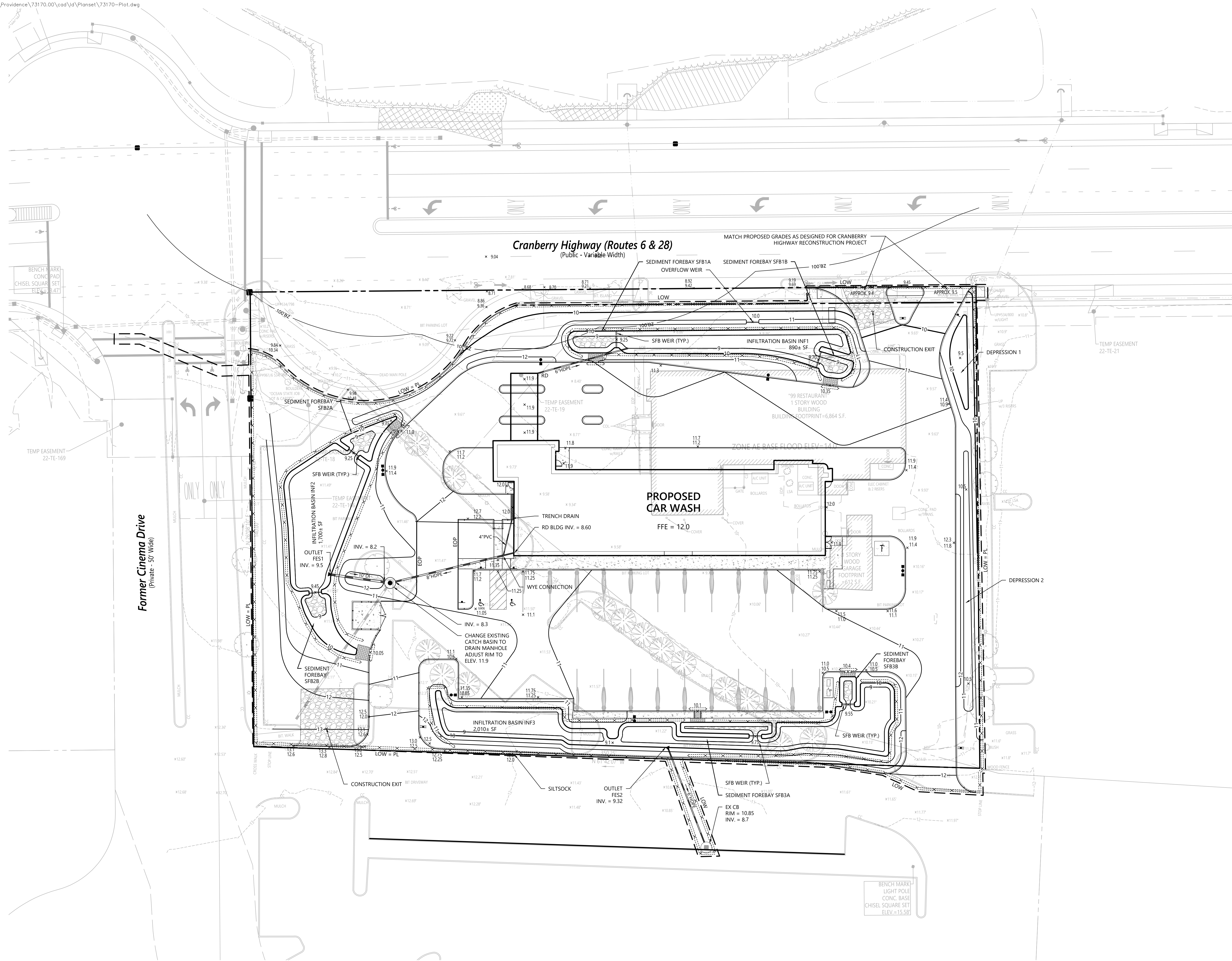
Permits  
 Not Approved for Construction  
 Drawing Title: **Layout and Materials Plan**  
 Drawing Number: \_\_\_\_\_

**C2.01**

Sheet 2 of 7

Project Number: 73170.00



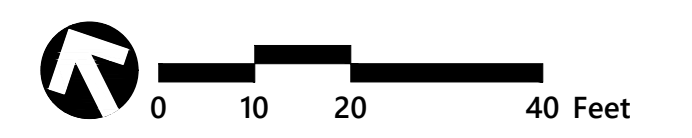
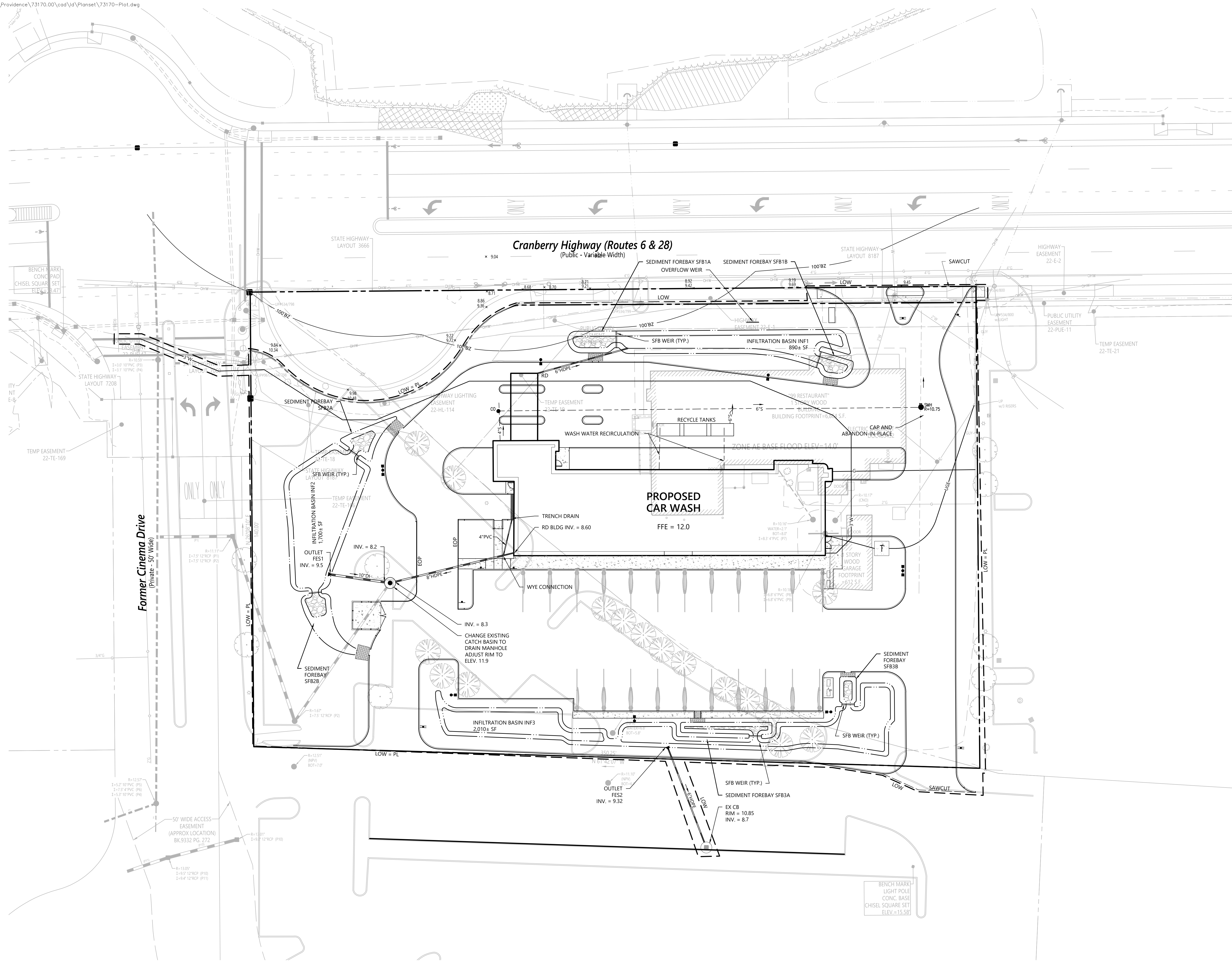


**Reign Car Wash,  
Wareham**  
3013 Cranberry Highway  
Wareham, Massachusetts

No.	Revision	Date	Appr'd.
1	Response To Town Comments	9/15/2021	
2	Response To Town Comments	10/1/2021	

Designed by: \_\_\_\_\_ Checked by: \_\_\_\_\_  
Issued for: \_\_\_\_\_ Date: June 28, 2021  
**Permits**

**Not Approved for Construction**  
Drawing Title:  
**Grading, Drainage, and  
Erosion Control Plan**



**Reign Car Wash,  
Wareham**  
3013 Cranberry Highway  
Wareham, Massachusetts

No.	Revision	Date	App'd.
2	Response To Town Comments	10/1/2021	

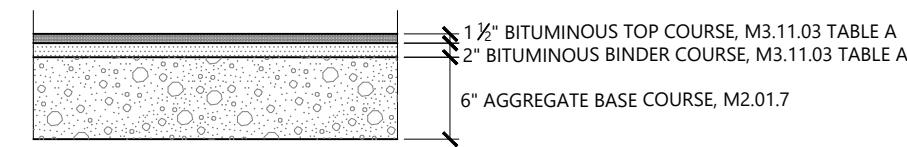
Designed by: \_\_\_\_\_ Checked by: \_\_\_\_\_  
Issued for: \_\_\_\_\_ Date: \_\_\_\_\_  
**Permits** June 28, 2021

**Not Approved for Construction**  
Drawing Title: **Utility Plan**  
Drawing Number: \_\_\_\_\_

**C4.01**

Sheet **4** of **7**

Project Number  
**73170.00**

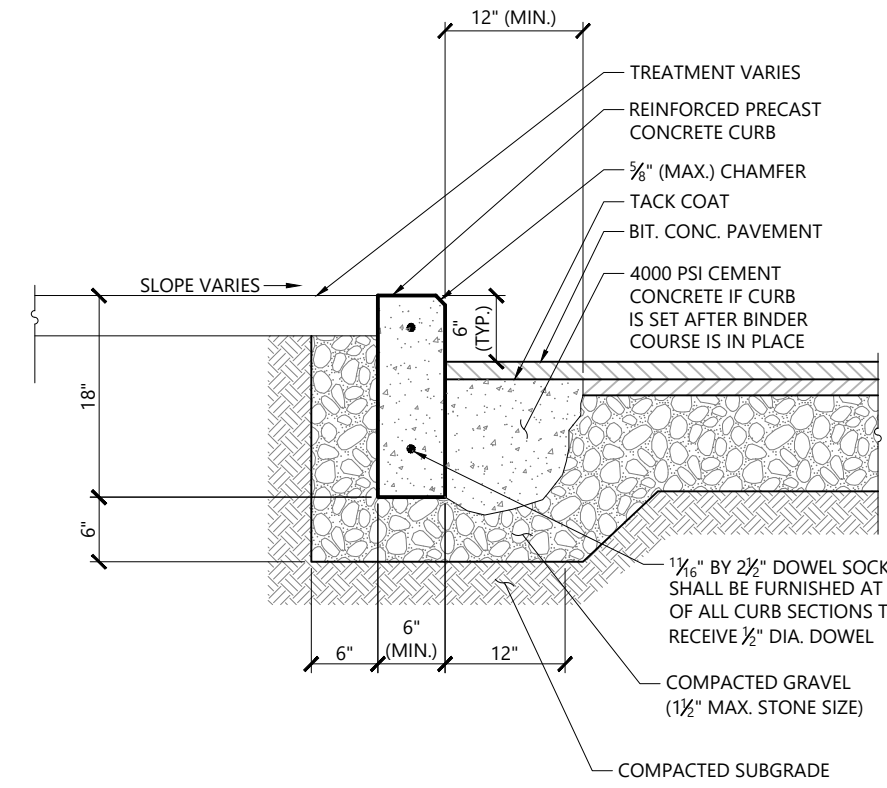


**STANDARD DUTY FLEXIBLE PAVEMENT**

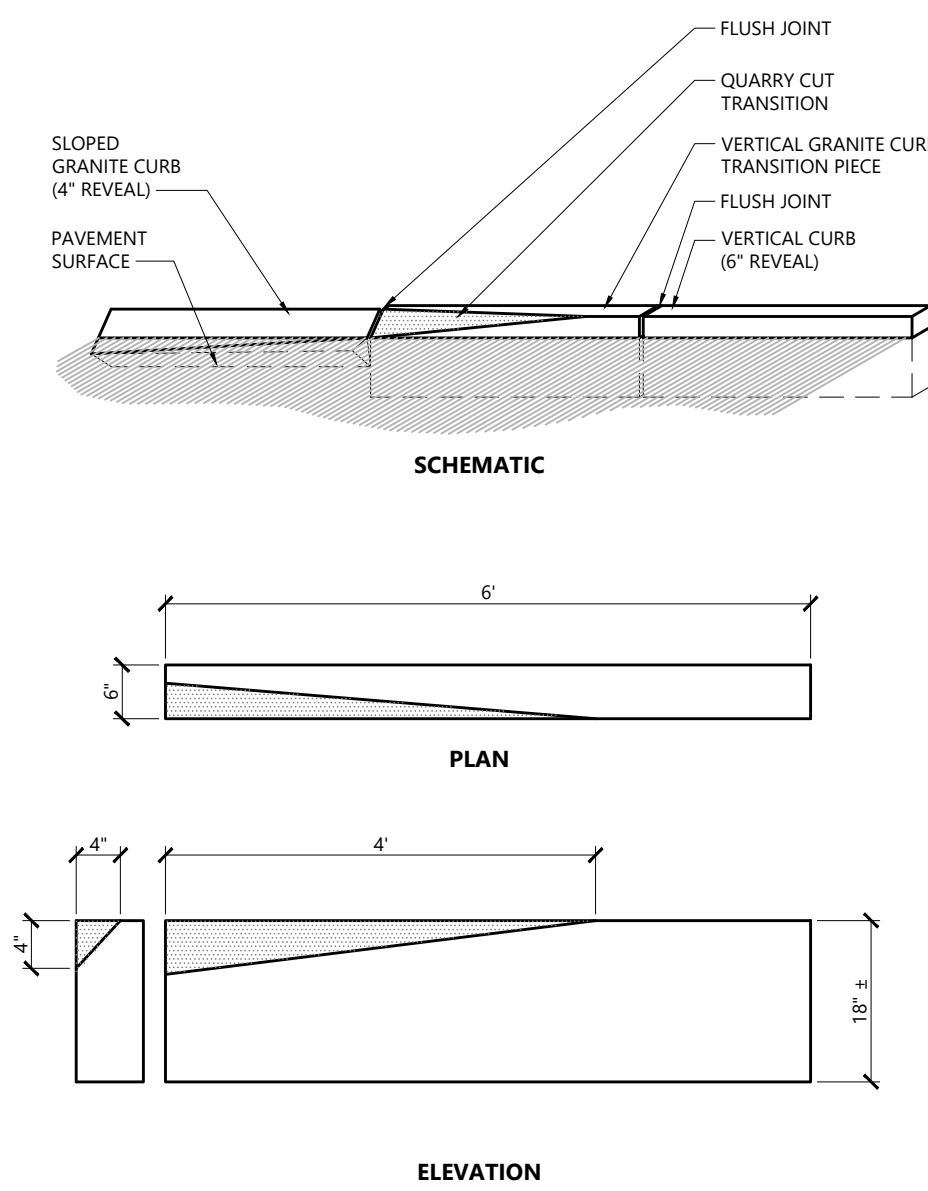
**NOTES**

BITUMINOUS PAVEMENT AND AGGREGATE BASE COURSE SHALL CONFORM TO THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.

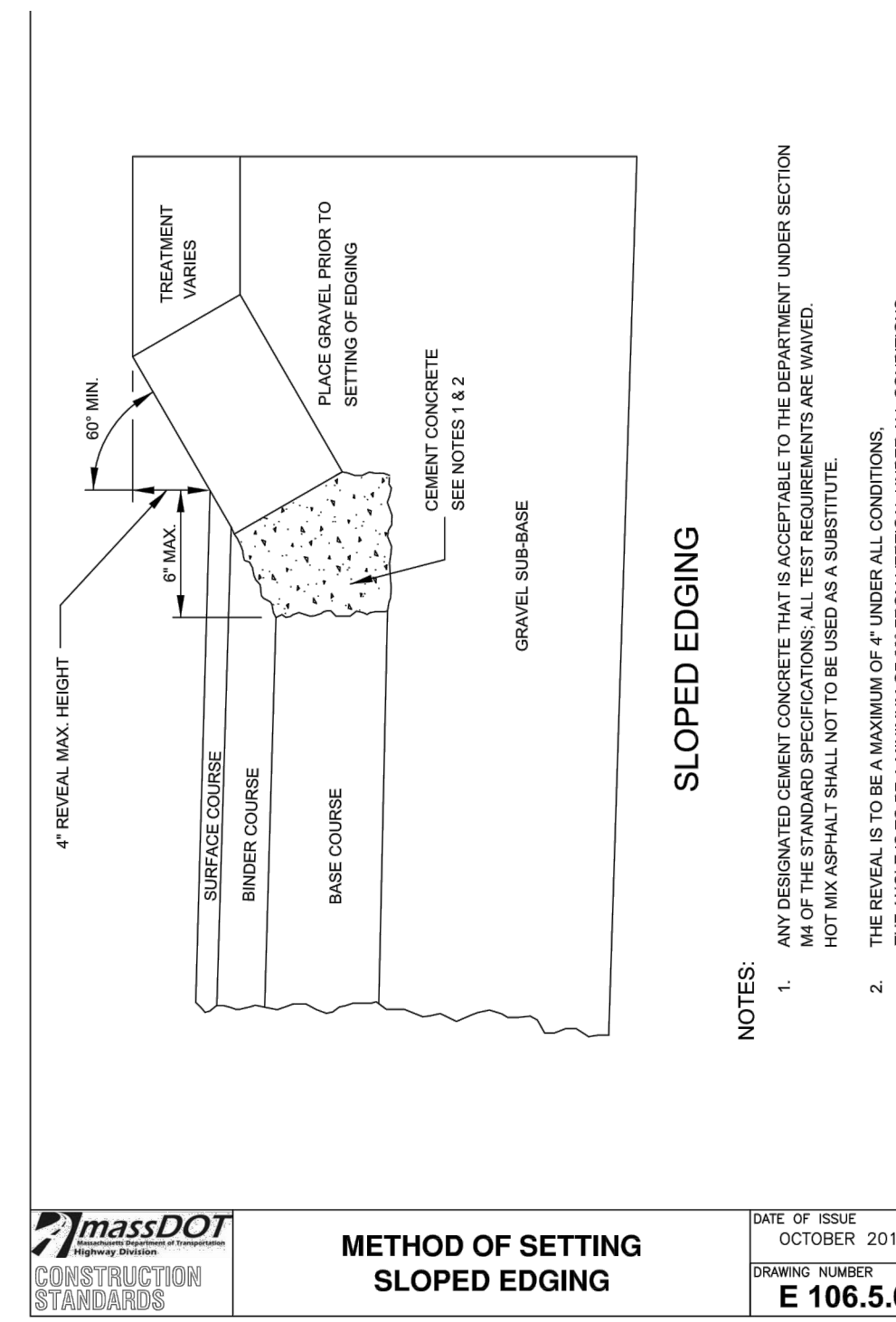
**Bituminous Concrete Pavement Sections** 1/16  
N.T.S. Source: VHB REV LD\_430



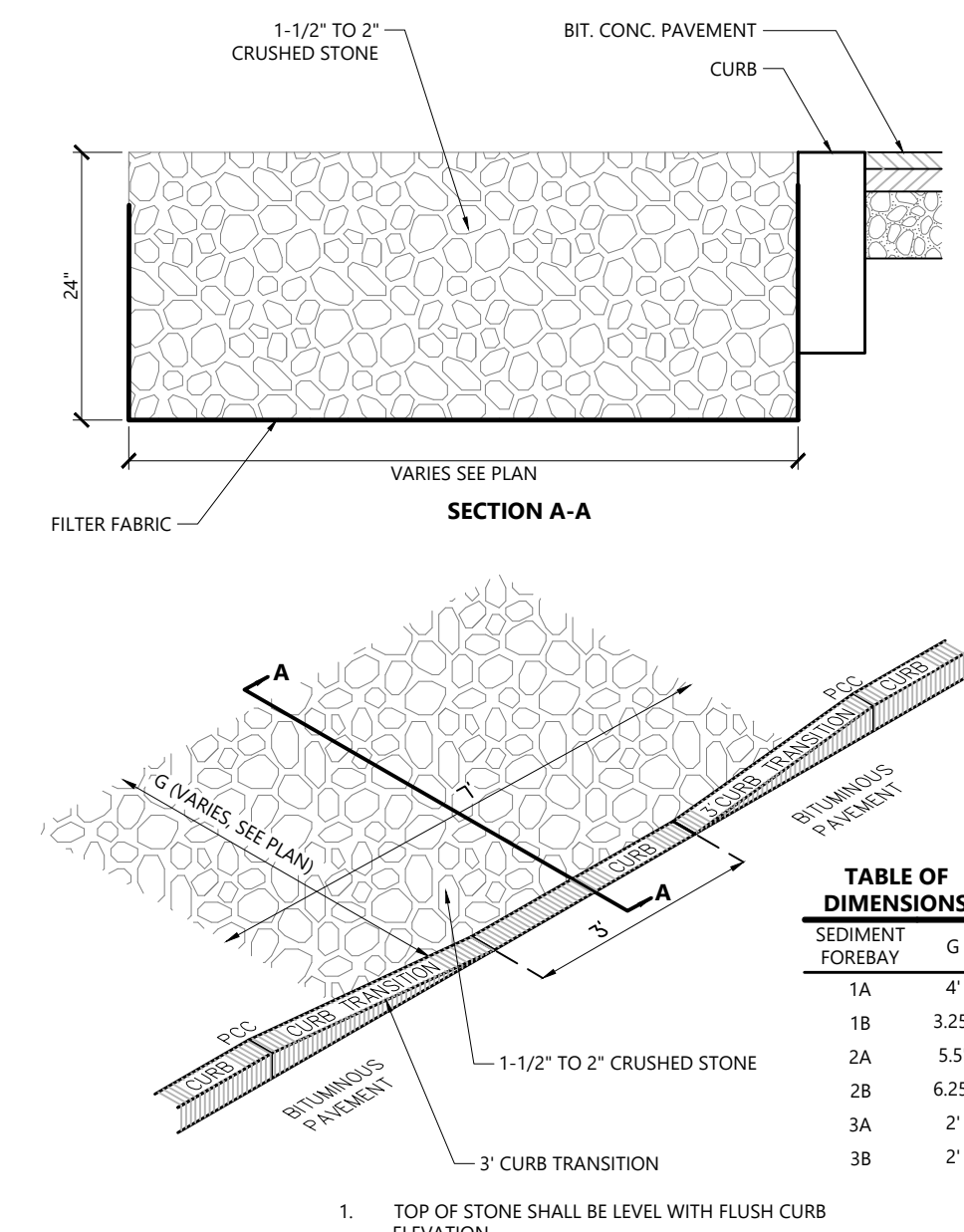
**Precast Concrete Curb (PCC)** 1/16  
N.T.S. Source: VHB REV LD\_404



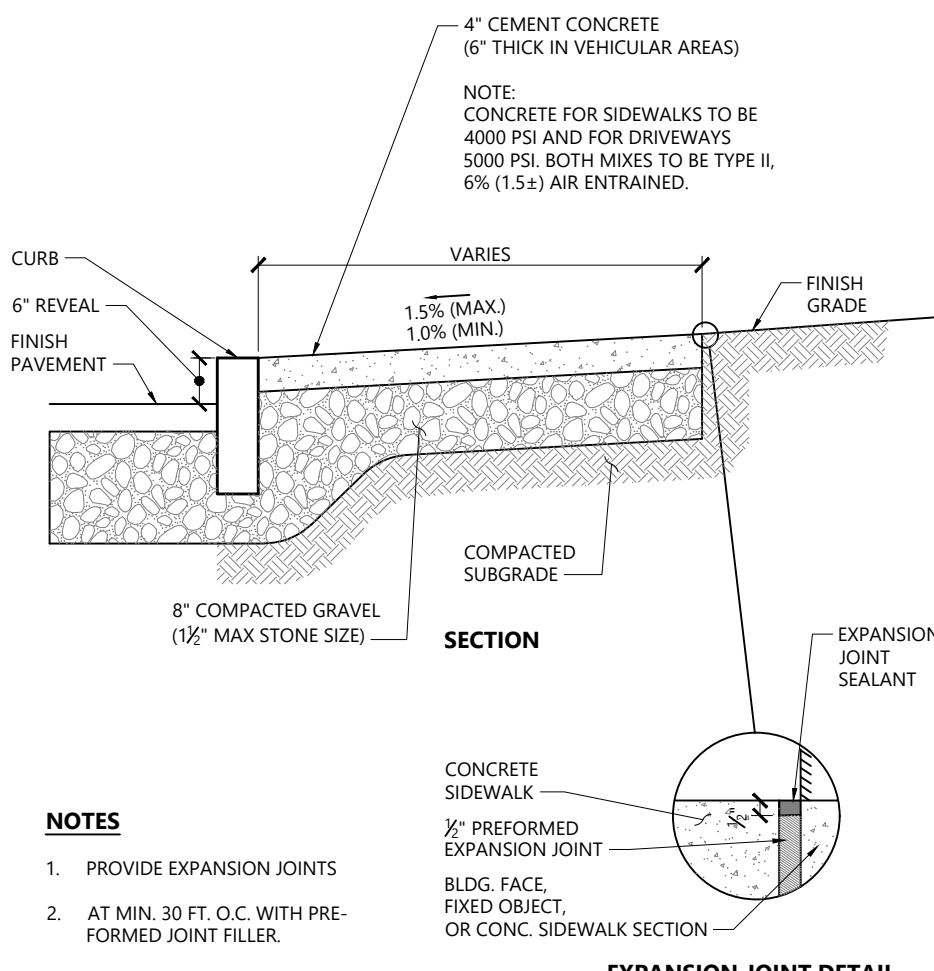
**Vertical Granite Curb (VGC) Transition** 1/16  
N.T.S. Source: VHB REV LD\_415



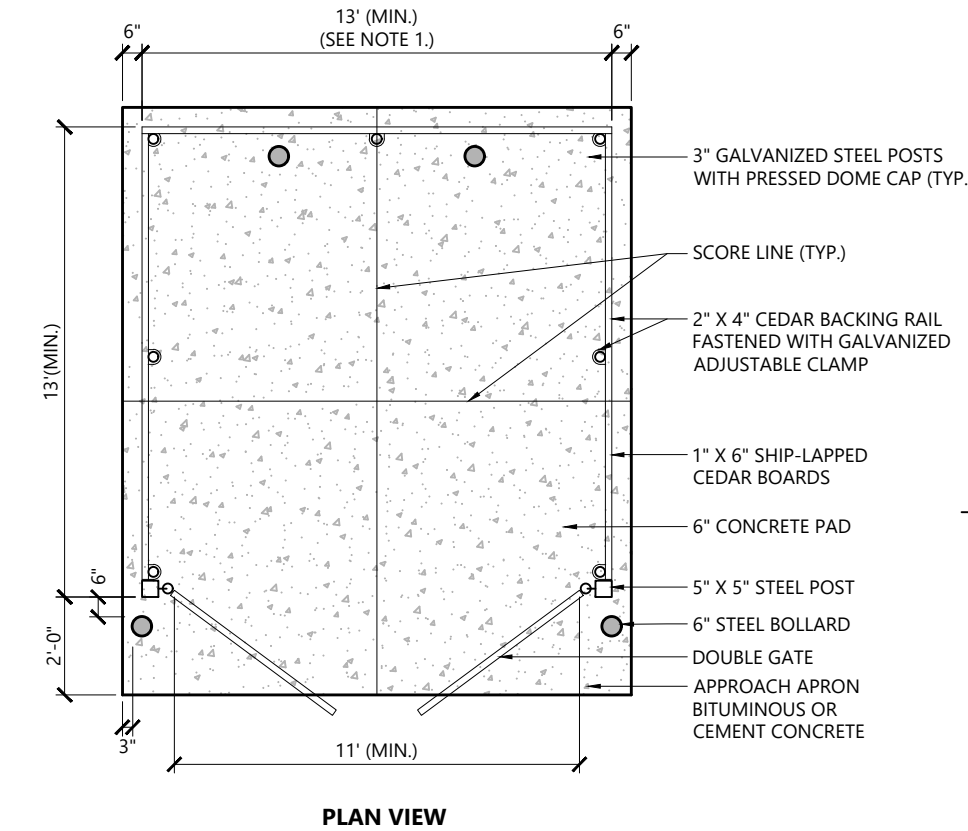
**METHOD OF SETTING SLOPED EDGING** 1/16  
N.T.S. Source: VHB REV LD\_500



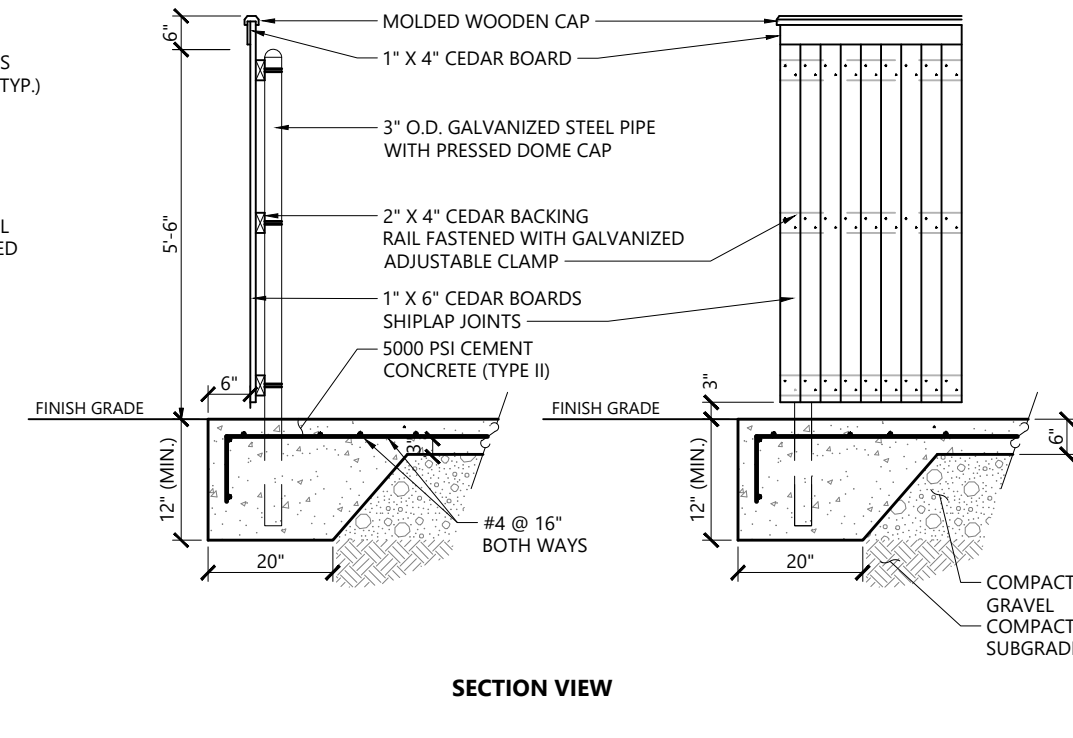
**Curb Opening** 1/16  
N.T.S. Source: VHB REV LD\_500 rev



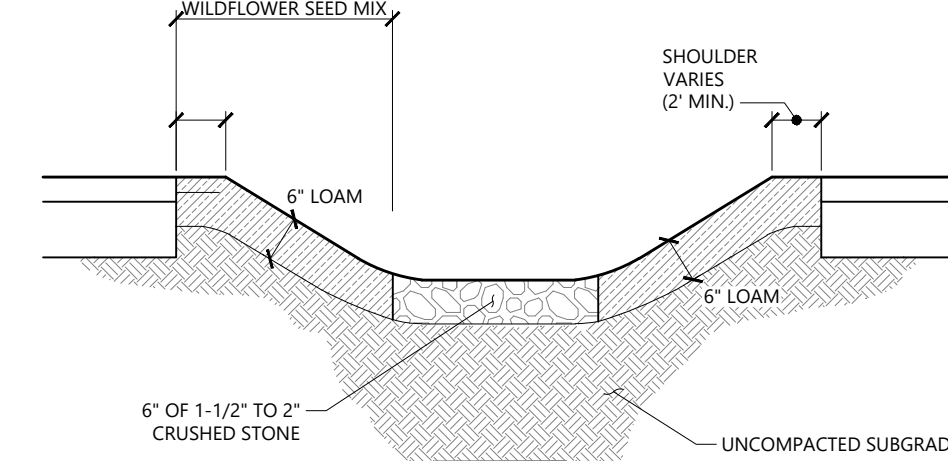
**Concrete Sidewalk** 1/16  
N.T.S. Source: VHB REV LD\_420



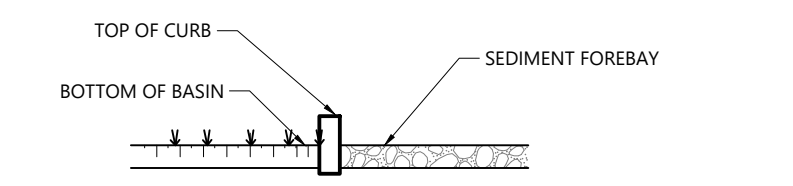
**Dumpster Pad w/ Enclosure** 1/16  
N.T.S. Source: VHB REV LD\_713



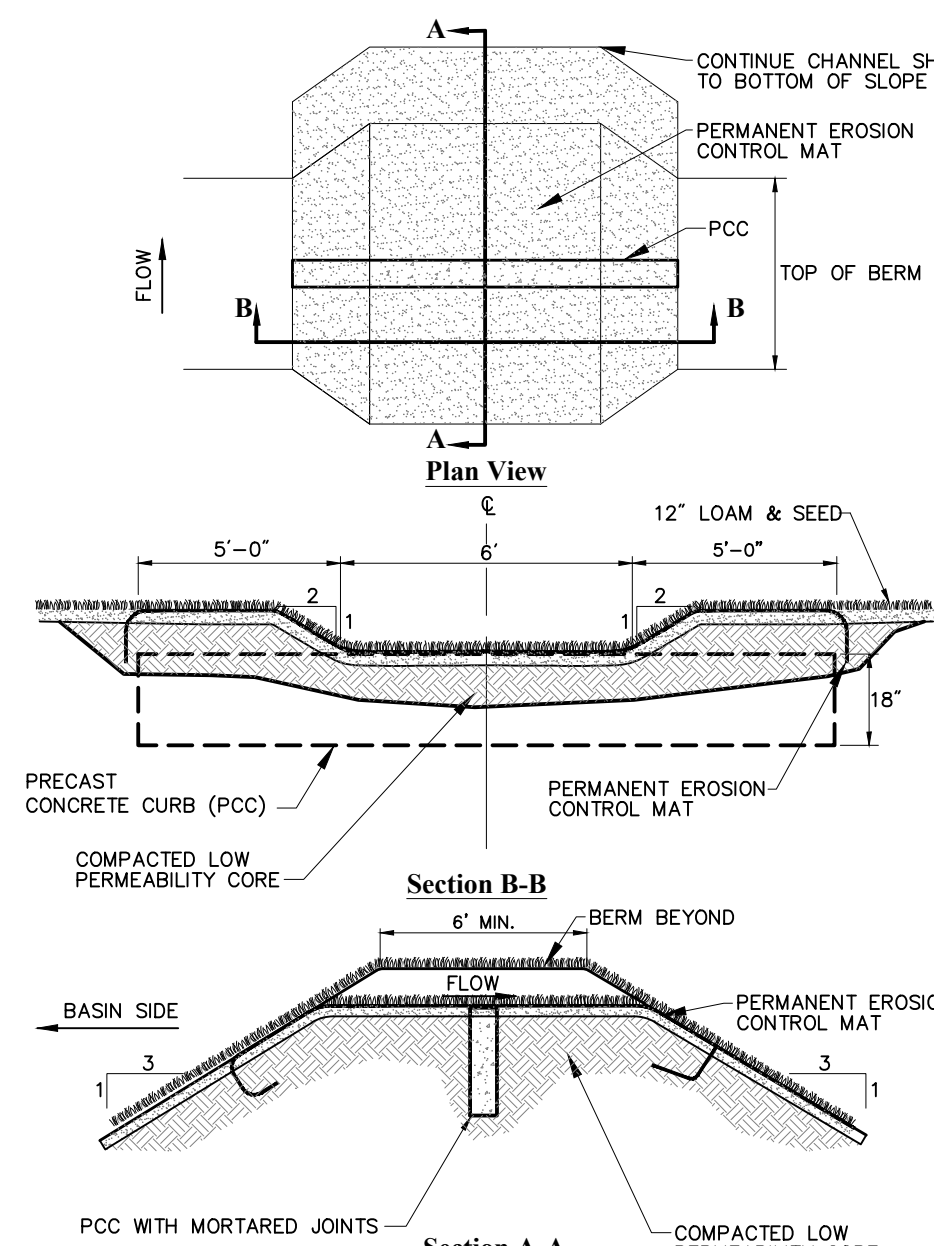
**Sanitary Sewer Manhole (SMH)** 1/16  
N.T.S. Source: VHB REV LD\_200



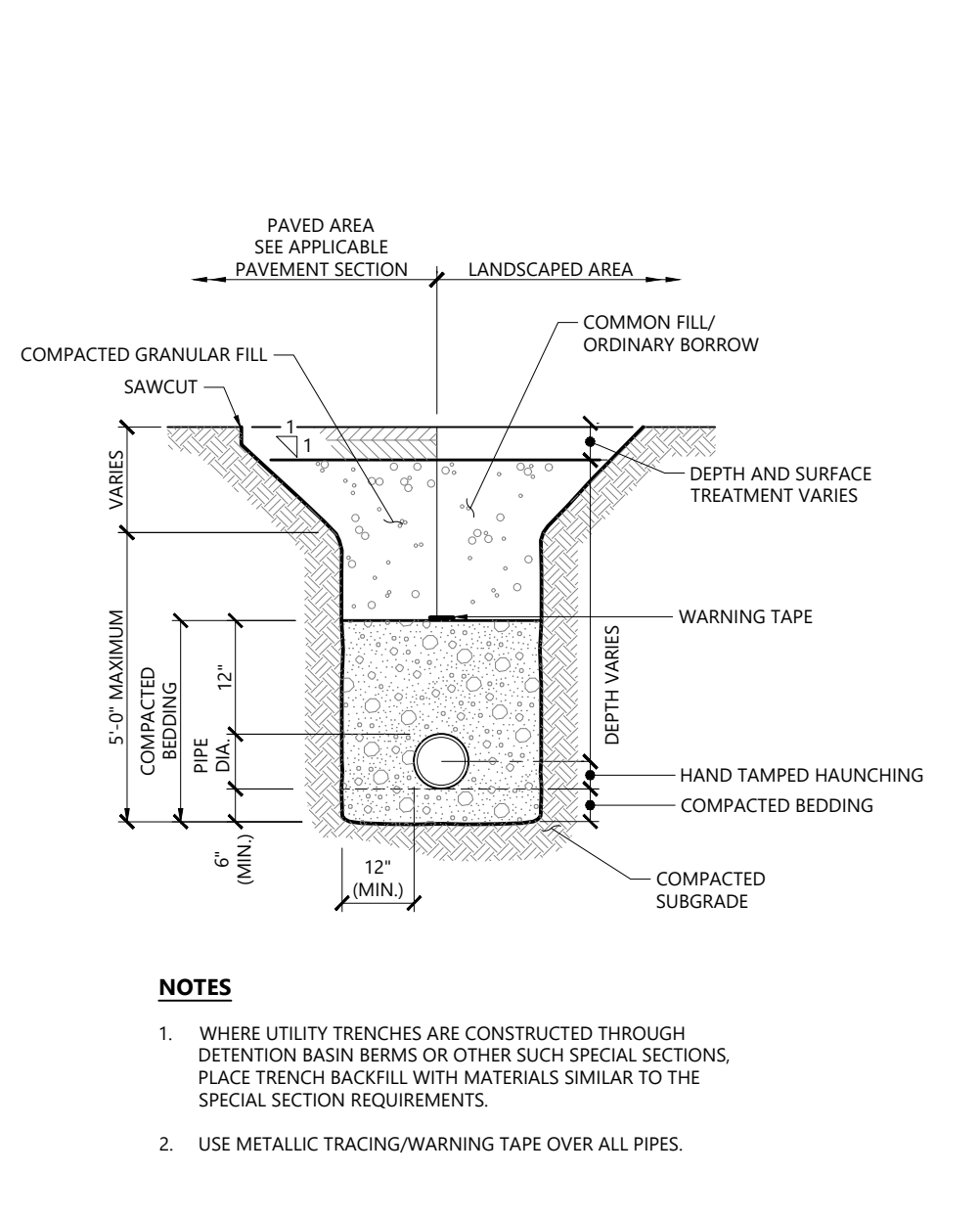
**Infiltration/Detention Basin** 1/16  
N.T.S. Source: VHB REV LD\_354



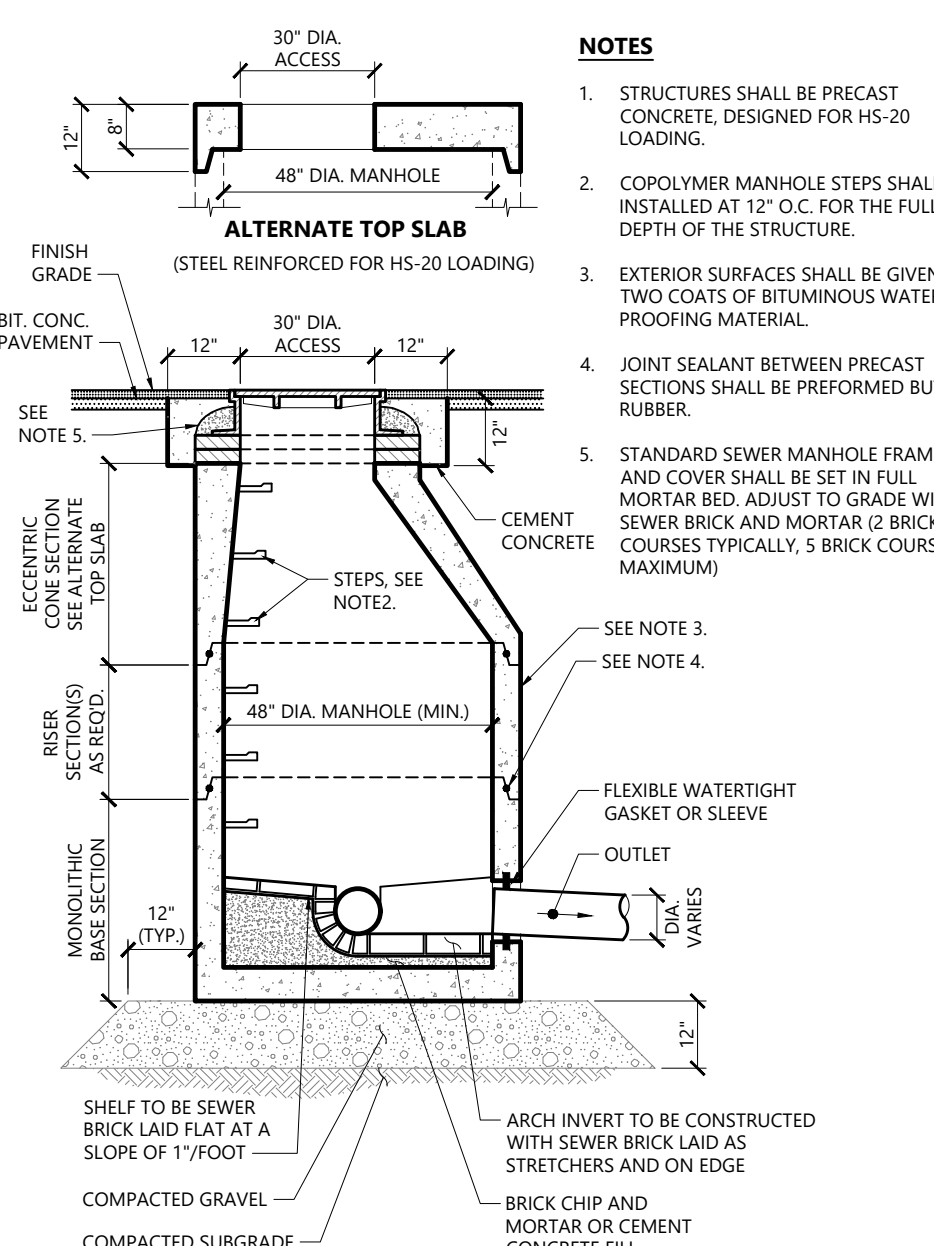
**Sediment Forebay Weir** 1/16  
N.T.S. Source: VHB REV LD\_192 Rev



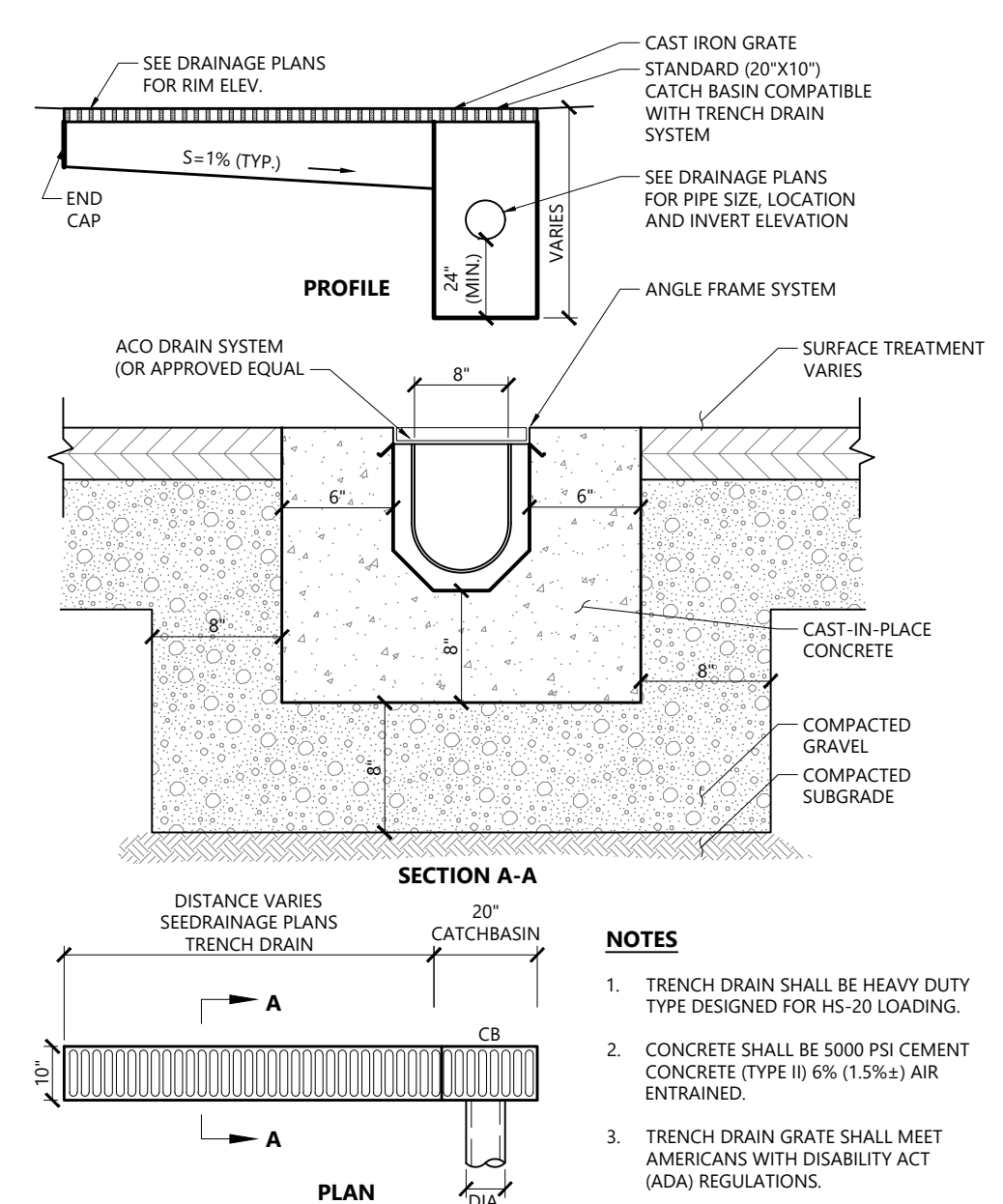
**Overflow Weir** 1/16  
N.T.S. Source: VHB REV LD\_161



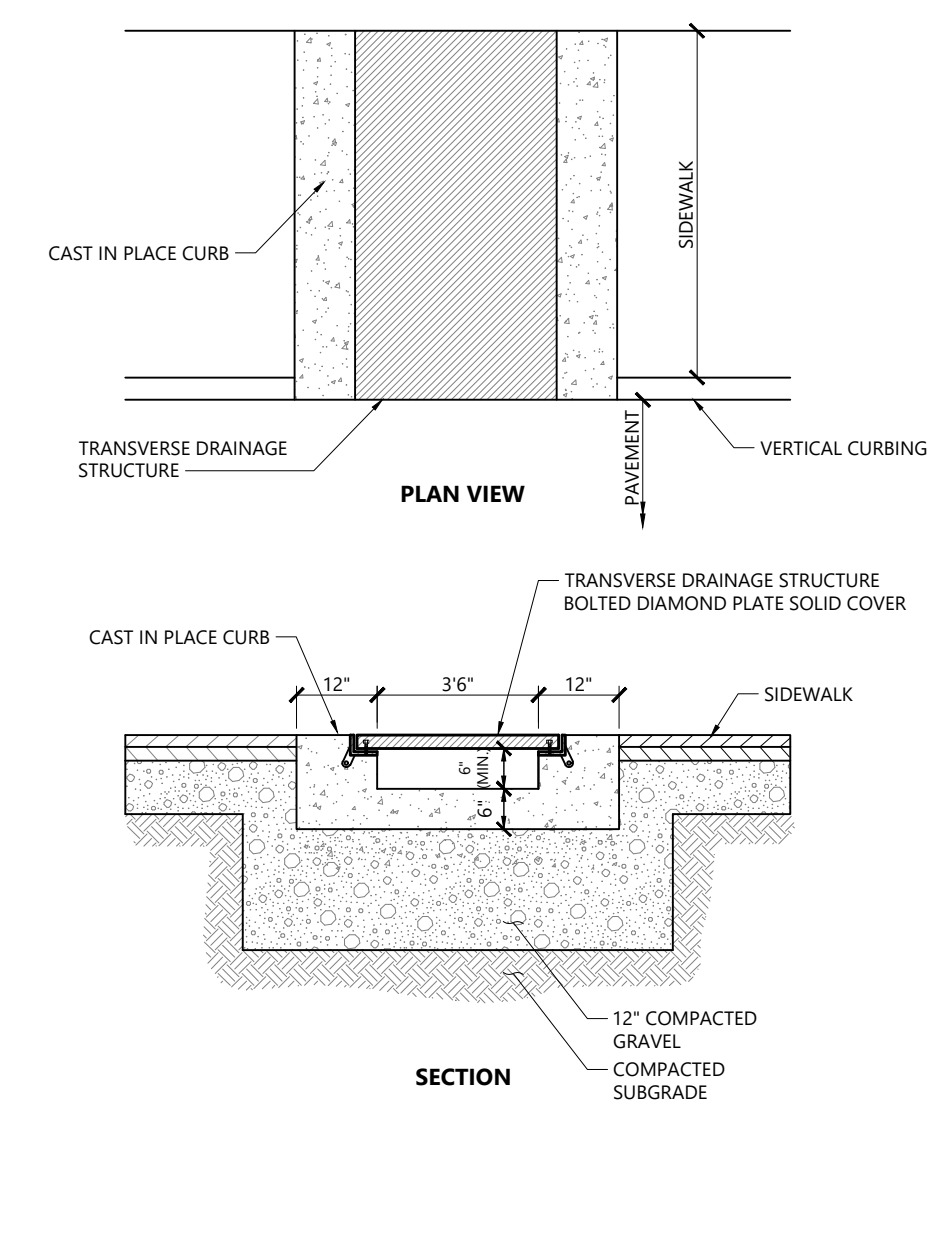
**Utility Trench** 1/16  
N.T.S. Source: VHB REV LD\_300



**Sanitary Sewer Manhole (SMH)** 1/16  
N.T.S. Source: VHB REV LD\_200



**Trench Drain (Type A)** 1/16  
N.T.S. Source: VHB REV LD\_190-A



**Traverse Drainage Structure** 5/17  
N.T.S. Source: VHB REV LD\_192 Rev

**Reign Car Wash, Wareham**  
3013 Cranberry Highway  
Wareham, Massachusetts

No.	Revision	Date	Appr.
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Designed by: \_\_\_\_\_ Checked by: \_\_\_\_\_  
Issued for: \_\_\_\_\_ Date: \_\_\_\_\_  
**Permits** June 28, 2021

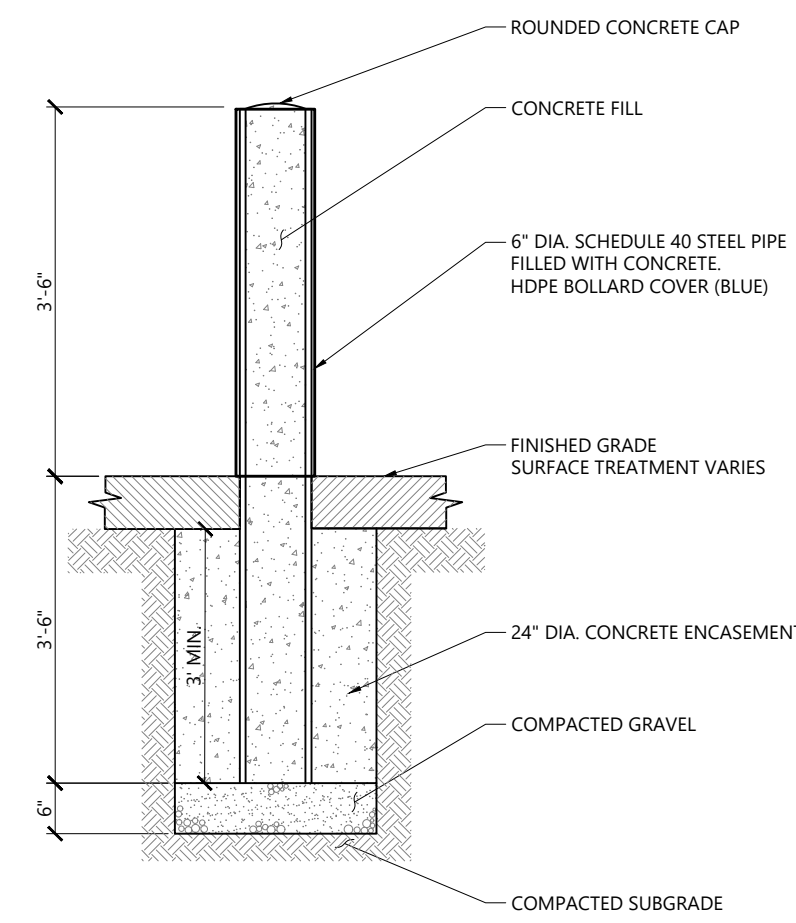
Not Approved for Construction  
Drawing Title  
**Site Details 1**

**C5.01**

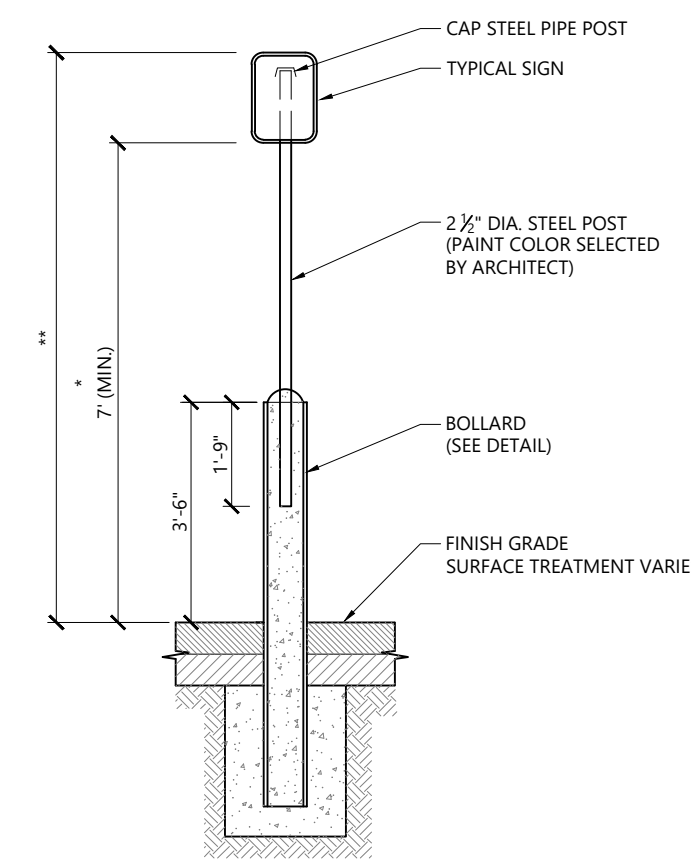
Sheet 5 of 7



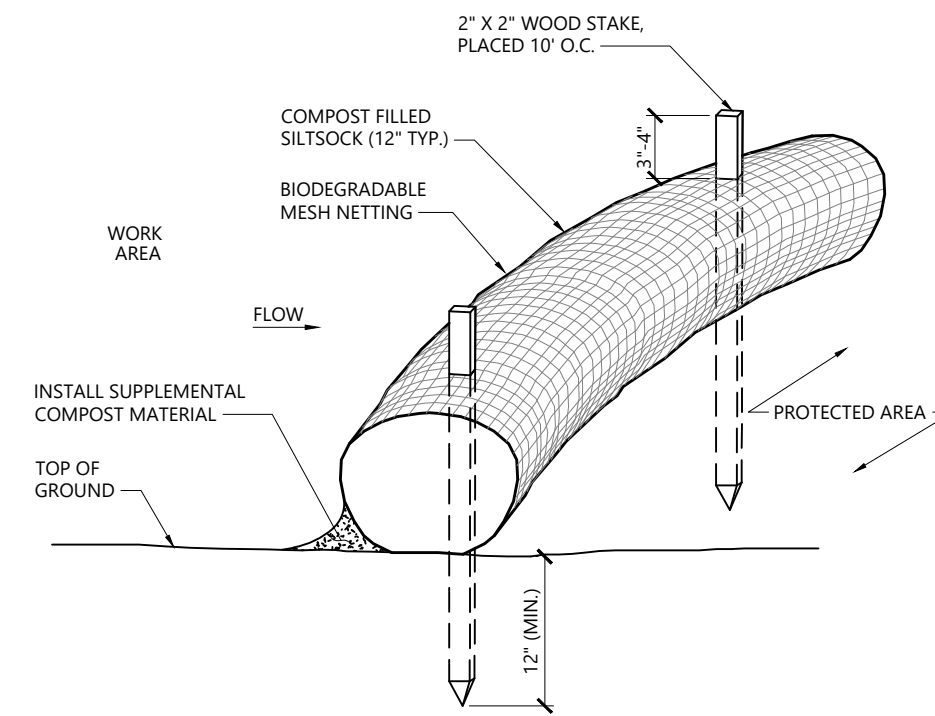
1 Cedar Street  
Suite 400  
Providence, RI 02903  
401.272.8100



**Bollard** 9/17  
N.T.S. Source: VHB LD\_700

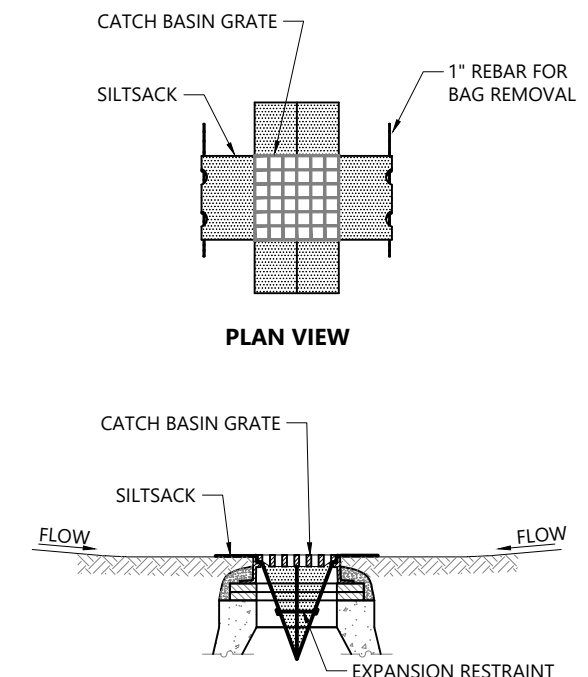


**Bollard Mounted Sign** 1/16  
N.T.S. Source: VHB LD\_703



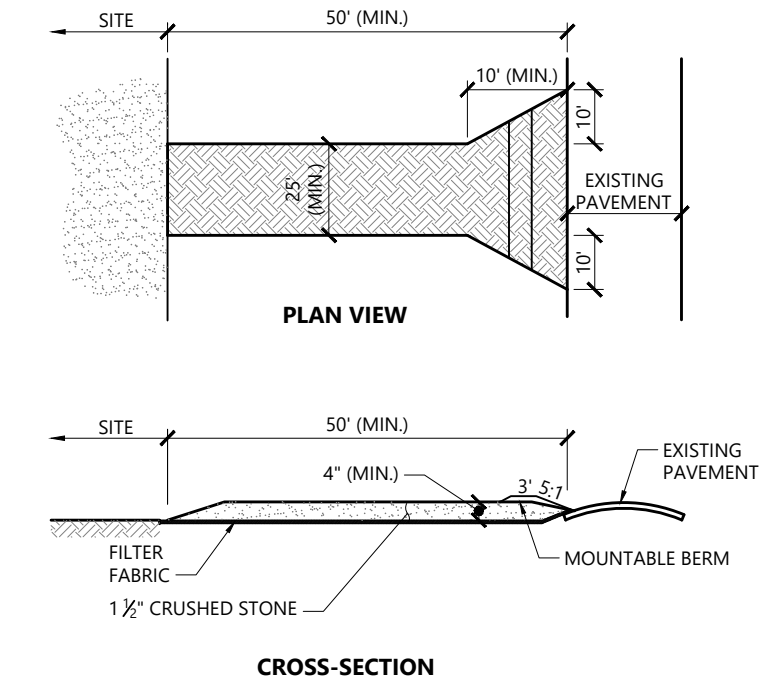
- NOTES**
- SILTSACK SHALL BE FILTREXX SILTSOXX OR APPROVED EQUAL.
  - SILTSACKS SHALL OVERLAP A MINIMUM OF 12 INCHES.
  - SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.
  - COMPOST MATERIAL SHALL BE DISPOSED ON SITE, AS DETERMINED BY THE ENGINEER.
  - IF NON BIODEGRADABLE NETTING IS USED THE NETTING SHALL BE COLLECTED AND DISPOSED OFF SITE.

**Siltsack - Erosion Control Barrier** 1/16  
N.T.S. Source: VHB LD\_658



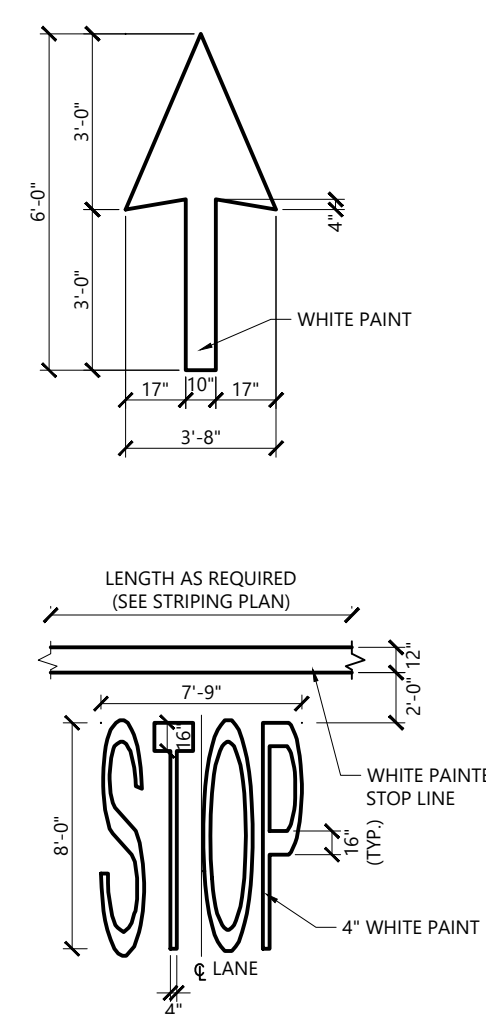
- NOTES**
- INSTALL SILTSACK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS PLACED AND HAY BALES HAVE BEEN REMOVED.
  - GRATE TO BE PLACED OVER SILTSACK.
  - SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED.

**Siltsack Sediment Trap** 1/16  
N.T.S. Source: VHB LD\_674



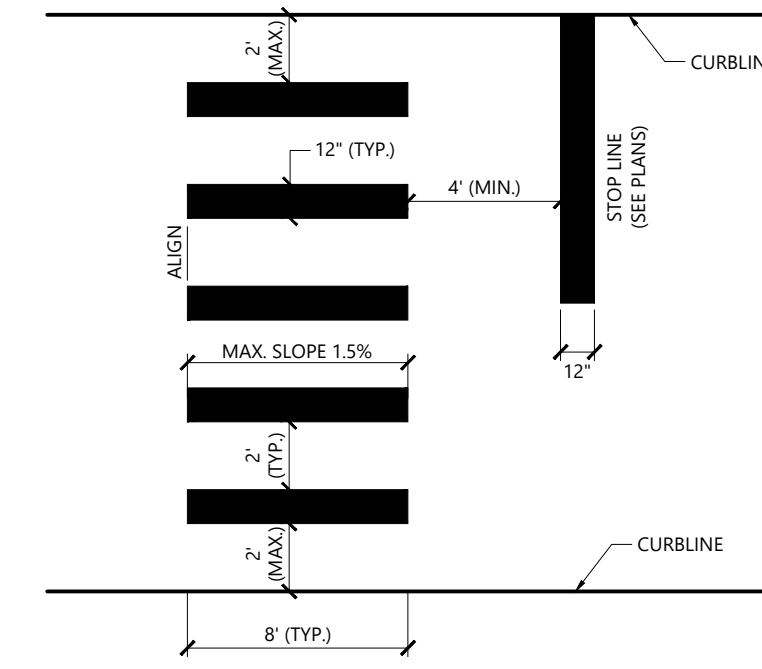
- NOTES**
- EXIT WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
  - THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
  - STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

**Stabilized Construction Exit** 1/16  
N.T.S. Source: VHB LD\_682



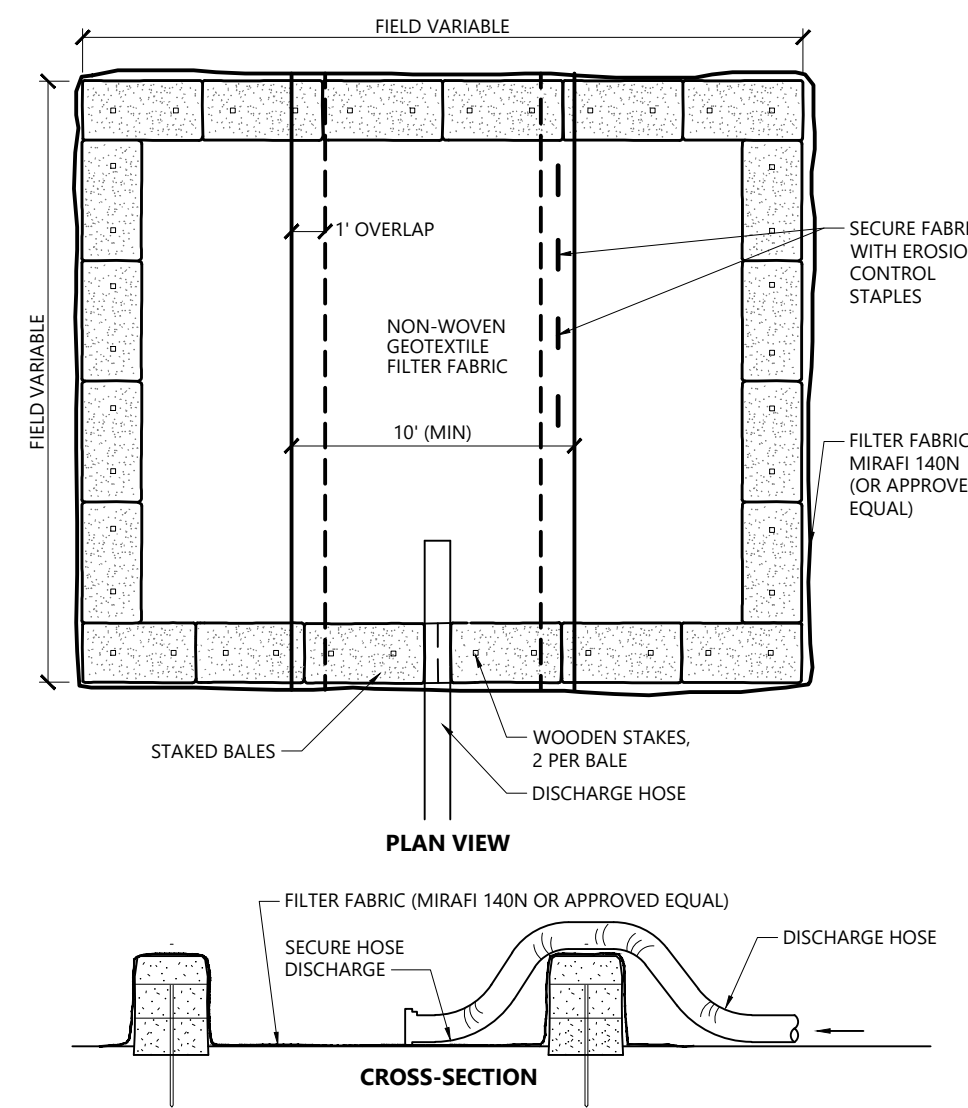
- NOTES**
- PAVEMENT MARKINGS TO BE INSTALLED FOR ON SITE WORK IN LOCATIONS SHOWN.

**Painted Pavement Markings - On Site** 1/16  
N.T.S. Source: VHB LD\_554



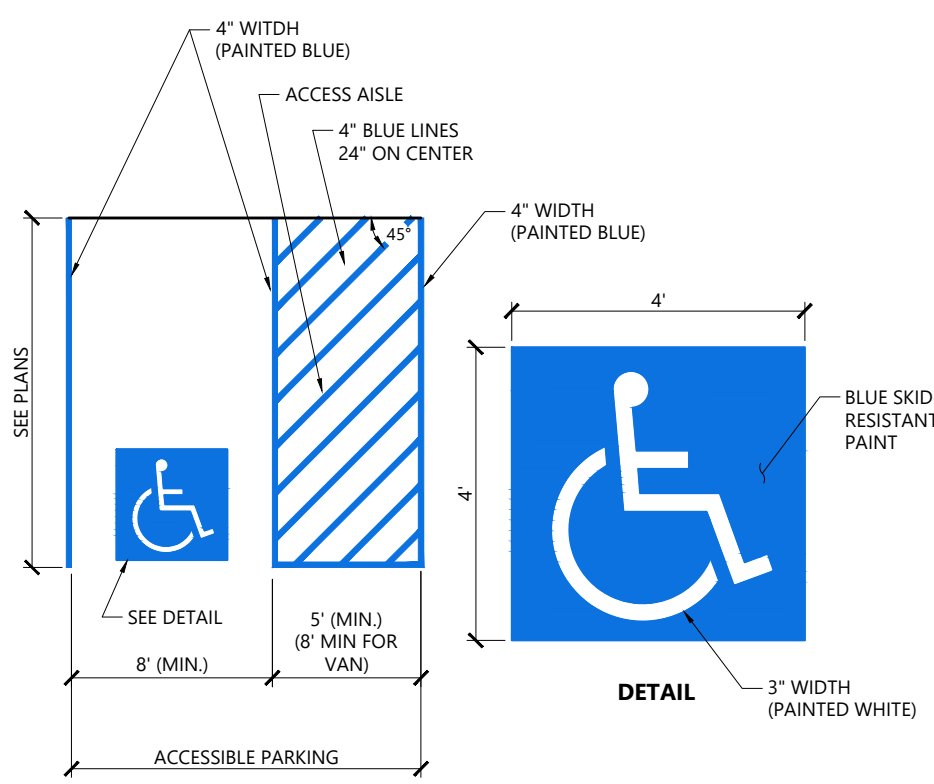
- NOTES**
- TWELVE INCH (12") LINES SHALL BE APPLIED IN ONE APPLICATION, NO COMBINATION OF LINES (TWO - 6 INCH LINES) WILL BE ACCEPTED.
  - LONGITUDINAL CROSSWALK LINES TO BE PARALLEL TO CURBLINE.
  - ALL LONGITUDINAL CROSSWALK LINES TO BE THE SAME LENGTH AND PROPERLY ALIGNED.
  - CROSS WALK SIDESLOPE SHALL NOT EXCEED 1.5%.

**Crosswalk** 1/16  
N.T.S. Source: VHB LD\_553



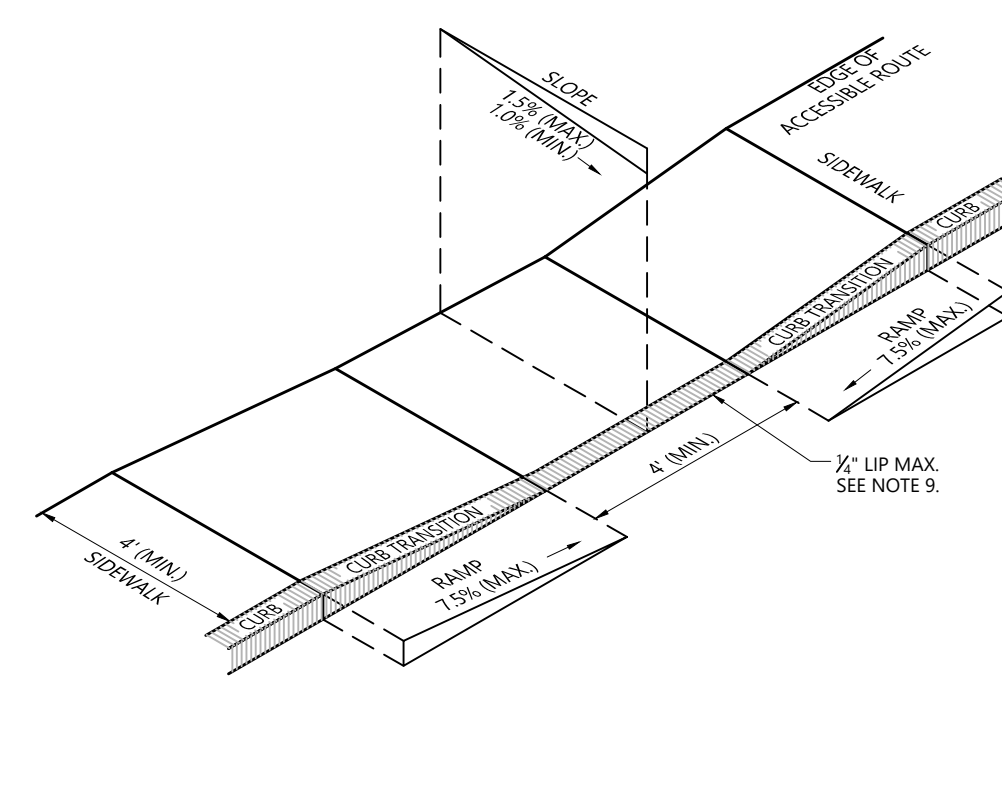
- NOTES**
- NUMBER OF BALES MAY VARY DEPENDING ON SITE CONDITIONS.
  - THE BASIN TO BE SIZED TO PREVENT DISCHARGE WATER FROM OVERTOPPING BASIN.

**Dewatering Straw Bale Basin** 1/16  
N.T.S. Source: VHB LD\_690



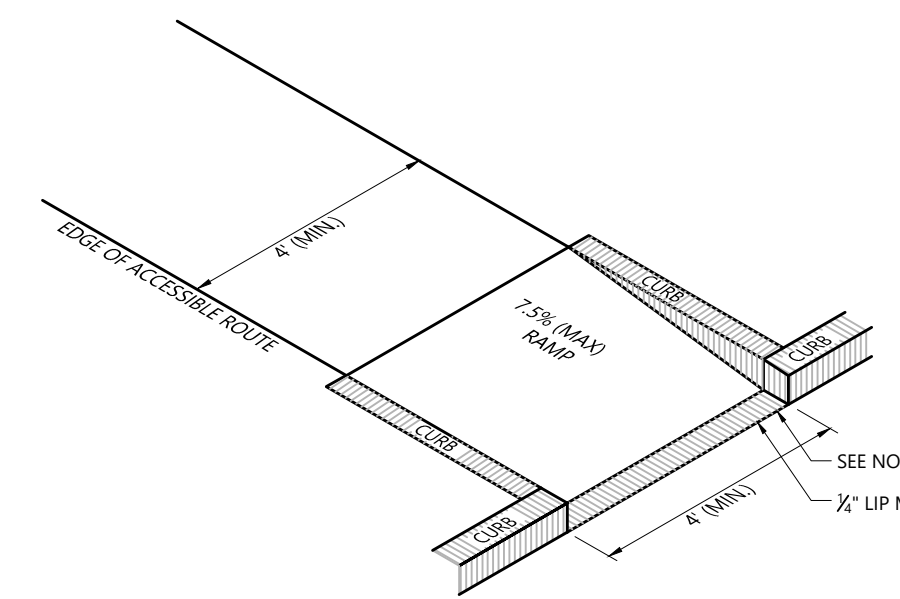
- NOTES**
- ALL DIMENSIONS TO EDGES OF 4" PAVEMENT STRIPING.
  - 8' STALL WIDTH REFERS TO 8' CLEAR BETWEEN INSIDE EDGES OF PAVEMENT MARKINGS.
  - ALL SLOPES THROUGHOUT THE ACCESSIBLE PARKING AND AISLE AREAS SHALL NOT EXCEED 1.5%.
  - ACCESS AISLE MEASURED BETWEEN OUTSIDE EDGES OF PAVEMENT MARKINGS.

**Accessible Parking Space** 1/16  
N.T.S. Source: VHB LD\_552B



- NOTES**
- THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN).
  - THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
  - THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%/6%.
  - A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
  - CURB TREATMENT VARIES. SEE PLANS FOR CURB TYPE.
  - RAMP, CURB, AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
  - SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
  - WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
  - ELIMINATE CURBING AT RAMP (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE IT ABUTS ROADWAY.

**Accessible Curb Ramp (ACR) Type 'A'** 1/16  
N.T.S. Source: VHB LD\_500



- NOTES**
- THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN).
  - THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
  - THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.
  - A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
  - CURB TREATMENT VARIES. SEE PLANS FOR CURB TYPE.
  - RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
  - SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
  - WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
  - ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.

**Accessible Curb Ramp (ACR) Type 'J'** 1/16  
N.T.S. Source: VHB LD\_509

**Reign Car Wash, Wareham**  
3013 Cranberry Highway  
Wareham, Massachusetts

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Designed by \_\_\_\_\_ Checked by \_\_\_\_\_  
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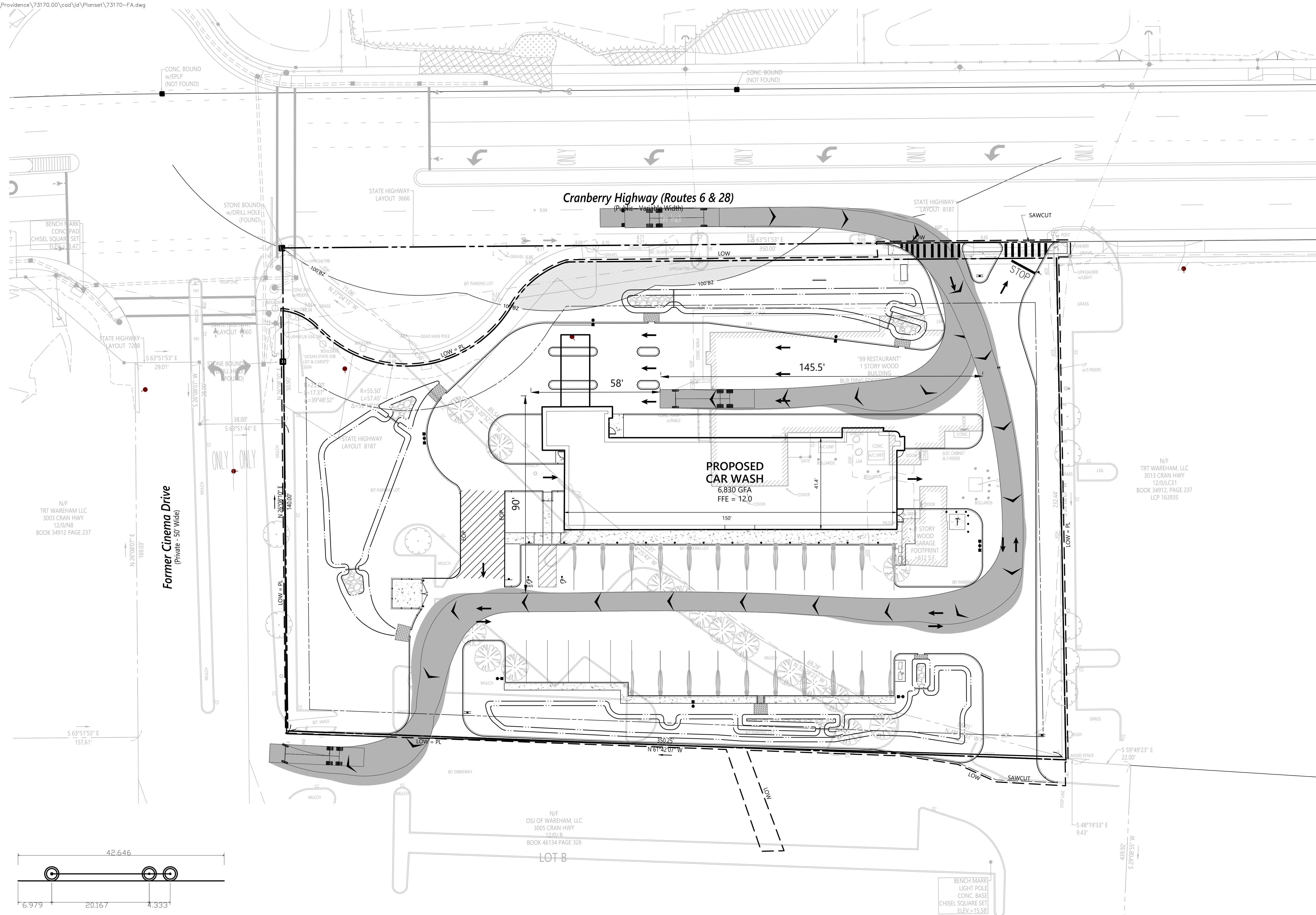
**Permits** June 28, 2021

Not Approved for Construction  
Drawing Title  
**Site Details 2**  
Drawing Number

**C5.02**

Sheet 6 of 7

Project Number  
73170.00

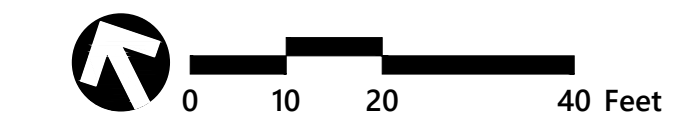
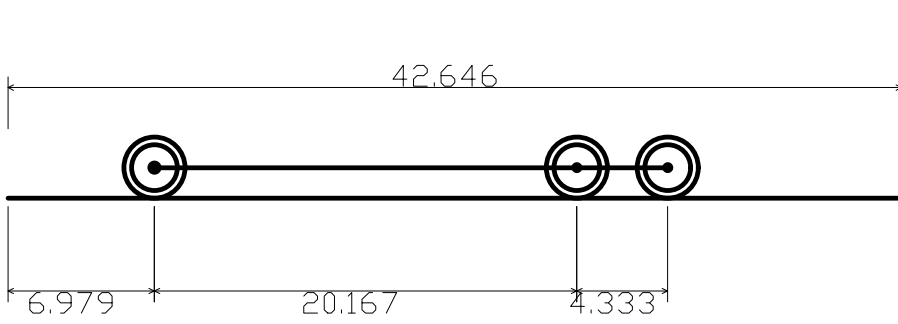


**Former Cinema Drive**  
(Private - 50' Wide)

**Cranberry Highway (Routes 6 & 28)**  
(Public - Variable Width)

**PROPOSED CAR WASH**  
6,830 GFA  
FFE = 12.0

**"99 RESTAURANT"**  
1 STORY WOOD BUILDING



Fire Truck	
Overall Length	42.646ft
Overall Width	8.333ft
Overall Body Height	1.458ft
Min Body Ground Clearance	1.458ft
Track Width	8.333ft
Lock-to-lock time	4.00s
Curb to Curb Turning Radius	39.750ft

**Reign Car Wash, Wareham**  
3013 Cranberry Highway  
Wareham, Massachusetts

No.	Revision	Date	Appvd.
1	Response To Town Comments	9/15/2021	

Designed by	Checked by
Issued for	Date
<b>Permits</b>	<b>June 28, 2021</b>

Not Approved for Construction  
Drawing Title  
**Fire Access Plan**

Drawing Number  
**C6.01**

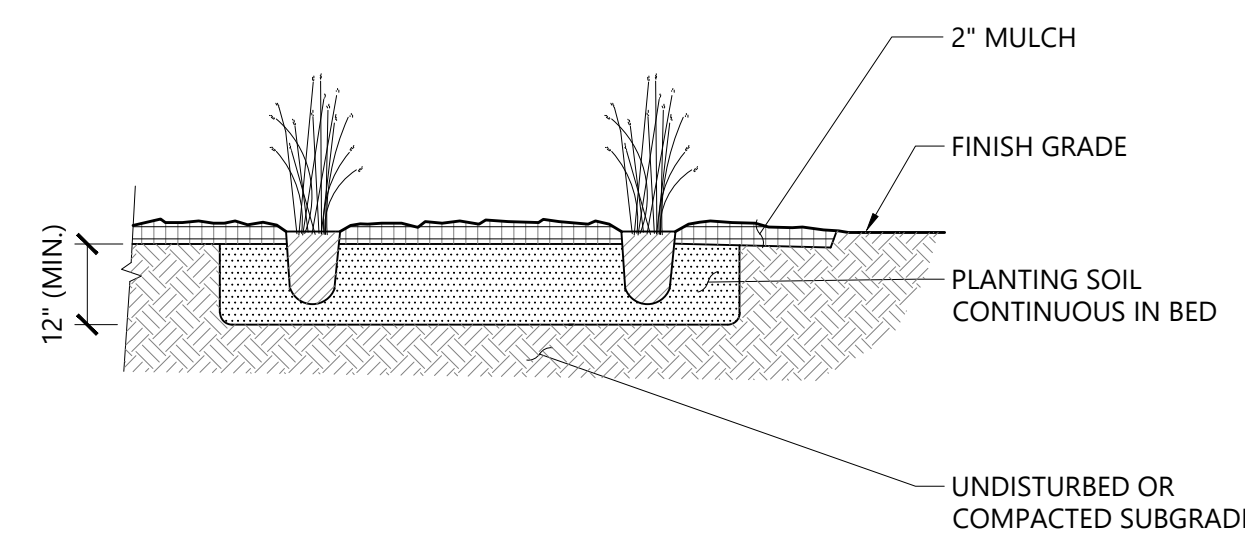
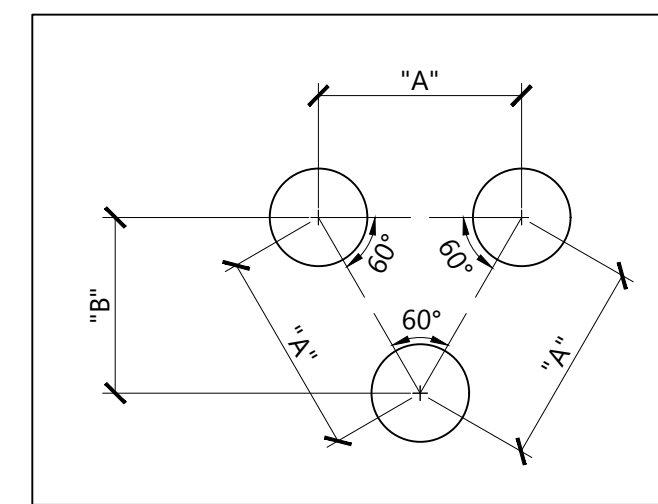
Sheet of  
7 of 7

Project Number  
73170.00

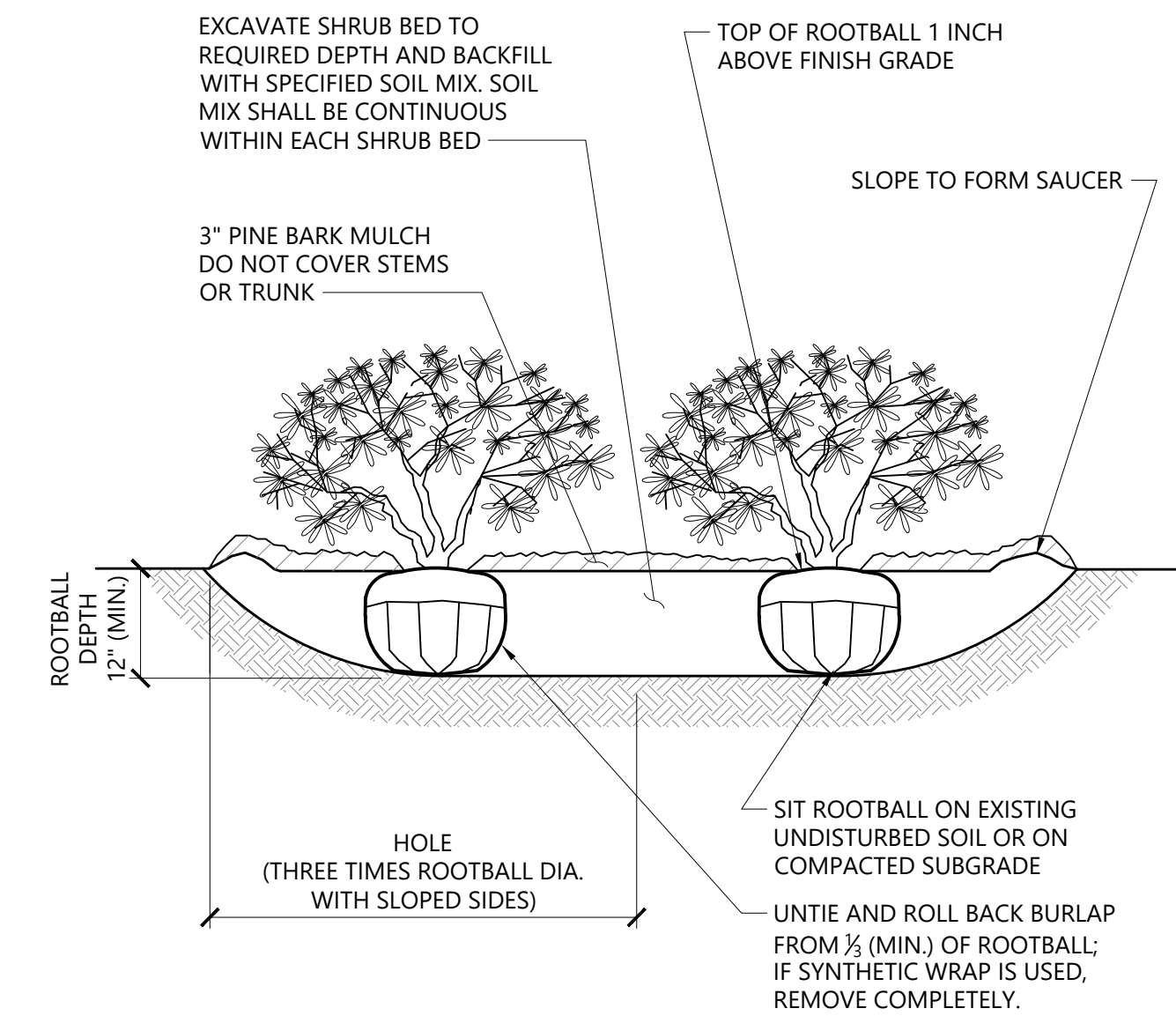




PLANT SPACING	
PLANT SPACING ("A")	ROW SPACING ("B")
6 IN. O.C.	5 IN. O.C.
8 IN. O.C.	7 IN. O.C.
10 IN. O.C.	8 1/2 IN. O.C.
12 IN. O.C.	10 1/2 IN. O.C.
15 IN. O.C.	13 IN. O.C.
18 IN. O.C.	16 IN. O.C.
24 IN. O.C.	21 IN. O.C.
30 IN. O.C.	26 IN. O.C.
36 IN. O.C.	30 IN. O.C.
48 IN. O.C.	42 IN. O.C.
54 IN. O.C.	48 IN. O.C.
60 IN. O.C.	54 IN. O.C.

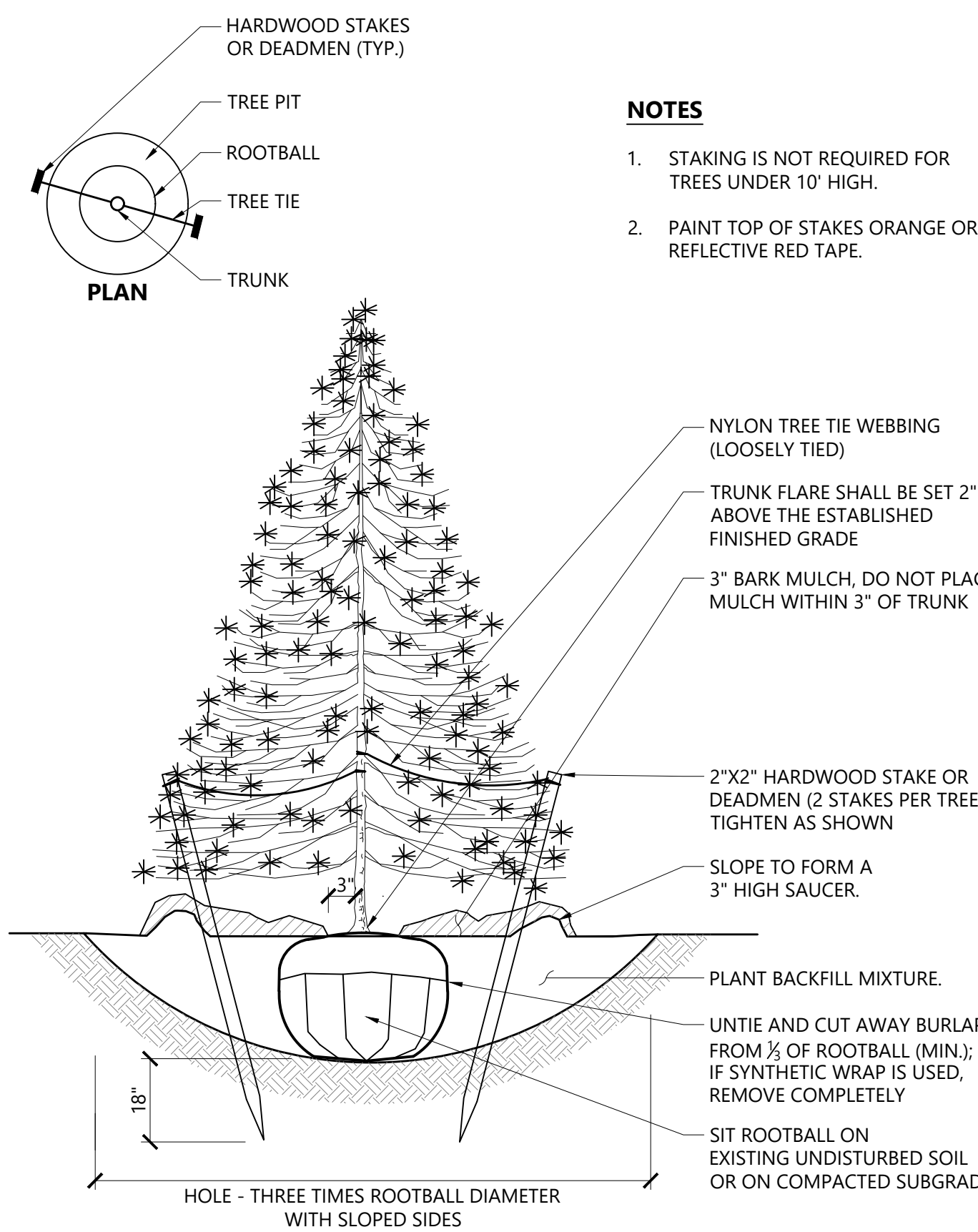


**Perennial and Ornamental Grass Planting** 1/16  
N.T.S. Source: VHB LD\_618

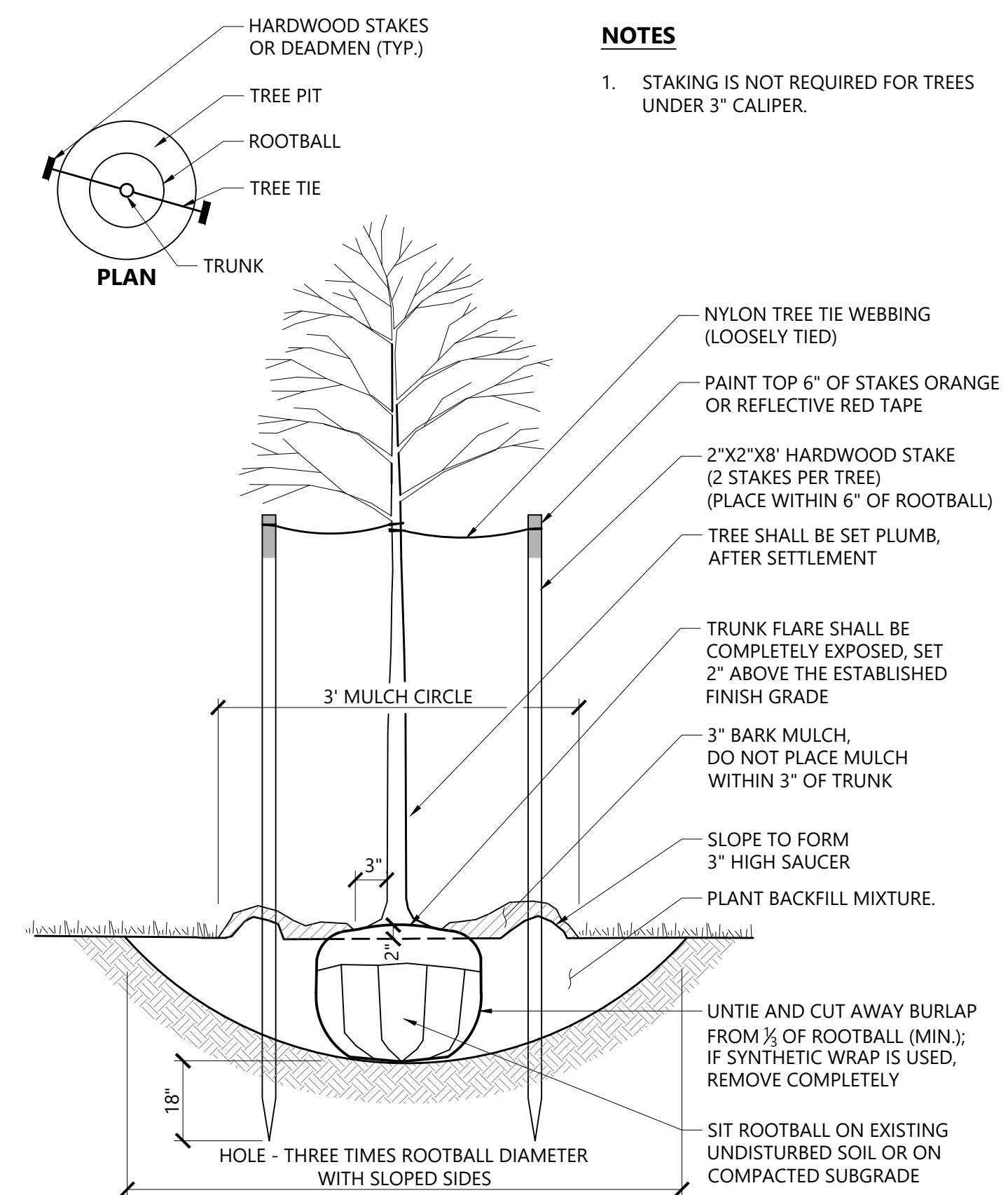


- NOTES**
1. LOOSEN ROOTS AT THE OUTER EDGE OF ROOTBALL OF CONTAINER GROWN SHRUBS.

**Shrub Bed Planting** 1/16  
N.T.S. Source: VHB LD\_601



**Evergreen Tree Planting** 1/16  
N.T.S. Source: VHB LD\_604



**Tree Planting (For Trees Under 4" Caliper)** 9/18  
N.T.S. Source: VHB LD\_602

**Reign Car Wash, Wareham**  
3013 Cranberry Highway  
Wareham, Massachusetts

No.	Revision	Date	App'd.

Designed by \_\_\_\_\_ Checked by \_\_\_\_\_  
Issued for \_\_\_\_\_ Date \_\_\_\_\_  
**Permits** June 28, 2021

Not Approved for Construction  
Drawing Title  
**Planting Details**

Sheet 2 of 2  
**L2.01**

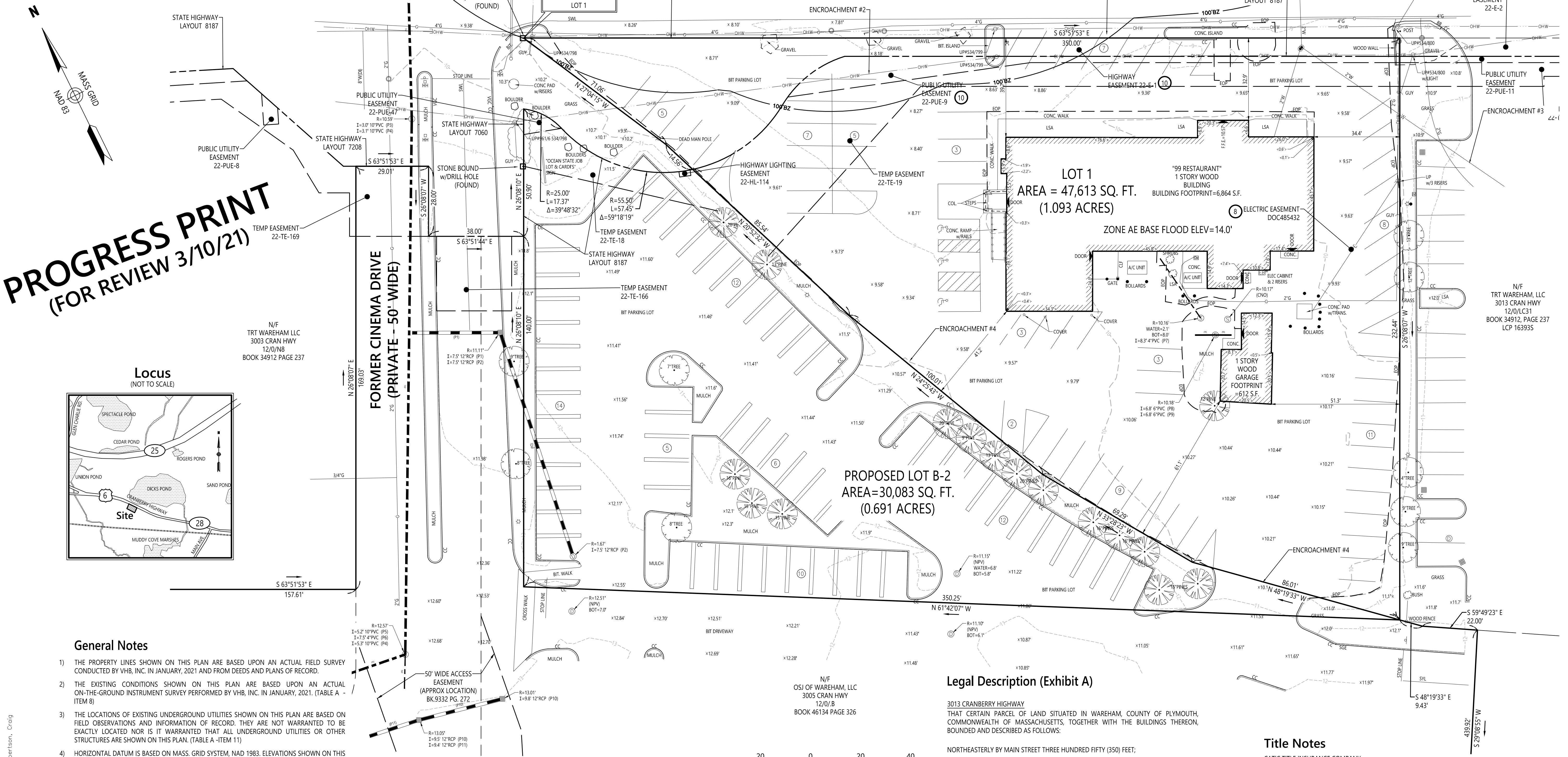


101 Walnut Street  
PO Box 9151  
Watertown, MA 02471  
617.924.1770

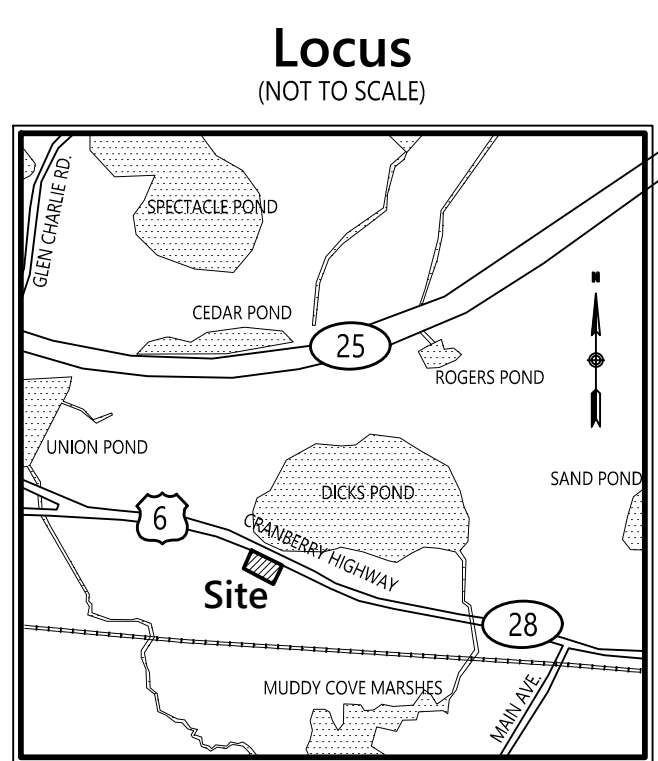
Legend

- ⑩ DRAIN MANHOLE
⑪ CATCH BASIN
⑫ SEWER MANHOLE
⑬ ELECTRIC MANHOLE
⑭ TELEPHONE MANHOLE
⑮ MANHOLE
⑯ HAND HOLE
⑰ WATER GATE
⑱ FIRE HYDRANT
⑲ GAS GATE
⑳ BOLLARD w/LIGHT
㉑ STREET SIGN
㉒ LIGHT POLE
㉓ UTILITY POLE
㉔ GUY WIRE
㉕ GUY WIRE MONITORING WELL
㉖ FLOOD LIGHT
㉗ WELL
㉘ MARSH
㉙ F.F.E.=45.27'
㉚ FINISHED FLOOR ELEVATION
㉛ COULD NOT OPEN
㉜ NO PIPES VISIBLE
㉝ DOUBLE YELLOW LINE
㉞ DASHED WHITE LINE
㉟ SINGLE YELLOW LINE
㊱ LANDSCAPED AREA
㊲ EDGE OF PAVEMENT
㊳ CONCRETE CURB
㊴ VERTICAL GRANITE CURB
㊵ SLOPED GRANITE EDGE
㊶ BITUMINOUS BERM
㊷ BITUMINOUS CURB
㊸ GUARD RAIL
㊹ CHAIN LINK FENCE
㊺ DRAINAGE LINE
㊻ SEWER LINE
㊼ OVERHEAD WIRE
㊽ UNDERGROUND ELECTRIC
㊾ TELEPHONE LINE
㊿ GAS LINE
⓪ WATER LINE
⓫ STONE WALL
⓬ TREE LINE
100' BZ 100-FT BUFFER ZONE

CRANBERRY HWY (ROUTES 6 & 28) (PUBLIC- VARIABLE WIDTH)



PROGRESS PRINT (FOR REVIEW 3/10/21)



N/F TRT WAREHAM LLC 3003 CRAN HWY 12/0/N8 BOOK 34912 PAGE 237

General Notes

- 1) THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VHB, INC. IN JANUARY, 2021 AND FROM DEEDS AND PLANS OF RECORD.
2) THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VHB, INC. IN JANUARY, 2021. (TABLE A - ITEM 8)
3) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN. (TABLE A - ITEM 11)
4) HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988. (TABLE A - ITEM 5)
5) THE LOTS LIE ENTIRELY WITHIN ZONE AE (BASE FLOOD ELEVATION DETERMINED) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR PLYMOUTH COUNTY, MASSACHUSETTS, MAP NUMBER 25023C0493J, EFFECTIVE DATE JULY 17, 2012. (TABLE A - ITEM 3)
6) THE LOTS LIE ENTIRELY WITHIN THE COMMERCIAL STRIP DISTRICT (CS) AS SHOWN ON THE "TOWN OF WAREHAM, ZONING", DATED MAY 14, 2007. DIMENSIONAL REQUIREMENTS FOR A (AS AT THE TIME OF THIS SURVEY ARE:

Table with 2 columns: Requirement and Value. Includes rows for Minimum Lot Area (30,000 S.F.), Minimum Frontage (150 FEET), Minimum Front Yard Setback (20 FEET), etc.

Record Owner

LOT 1 ANDREW C. CARADIMOS, ET AL 3013 CRANBERRY HIGHWAY WAREHAM, MASS. ASSESSORS 12/0/LC1 DOC 166698 CERT 55371

PROPOSED LOT B-2

OSI OF WAREHAM, LLC 3005 CRANBERRY HIGHWAY WAREHAM, MASS. ASSESSORS 12/0/B BOOK 46134 PAGE 326

Certification

TO: FIRST HARTFORD REALTY CORPORATION CATIC TITLE INSURANCE THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2-5, 7(a), 7(b)(1), 8, 9, 11, 13, 14, 16, 17, 19 & 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JANUARY 22, 2021

Plan References

- REGISTRY OF DEEDS PLAN BOOK 19 PLAN 4 PLAN BOOK 29 PLAN 836 PLAN BOOK 36 PLAN 349 LAND COURT LCP 16393 D & S STATE HIGHWAY LAYOUT LO 3666 LO 7060 LO 7208 LO 8187

Encroachments

- 1) PARKING SPACES ENCROACH INTO CRANBERRY HIGHWAY ON NORTHERLY SIDELINE. 2) OVERHEAD WIRES CROSS PROPERTY. 3) WATER LINE CROSSES TO SERVICE WESTERLY ABUTTER. 4) NO ACCESS AGREEMENT TO CROSS ABUTTERS LAND ALONG SOUTHERLY SIDELINE.

Legal Description (Exhibit A)

3013 CRANBERRY HIGHWAY THAT CERTAIN PARCEL OF LAND SITUATED IN WAREHAM, COUNTY OF PLYMOUTH, COMMONWEALTH OF MASSACHUSETTS, TOGETHER WITH THE BUILDINGS THEREON, BOUNDED AND DESCRIBED AS FOLLOWS:

NORTHEASTERLY BY MAIN STREET THREE HUNDRED FIFTY (350) FEET; SOUTHEASTERLY BY LAND NOW OR FORMERLY OF JAMES O. BANGS ET AL TRS. TWO HUNDRED THIRTY-TWO AND 44/100 (232.44) FEET; AND SOUTHWESTERLY BY LAND NOW OR FORMERLY OF WHITEHEAD BROTHERS COMPANY, BEING THE MIDDLE LINE OF AN OLD ROAD, FOUR HUNDRED TWENTY-SIX AND 45/100 (426.45) FEET. SAID PARCEL IS SHOWN AS LOT 1 ON SUBDIVISION PLAN #16393D, DRAWN BY WALTER E. ROWLEY, SURVEYOR, DATED SEPTEMBER 20, 1953, AND FILED WITH CERTIFICATE OF TITLE NO. 6444. INSOFAR AS THE FOLLOWING ARE IN FORCE AND EFFECT: SAID LOT IS SUBJECT TO AN AGREEMENT TO RESTRICT AS SET FORTH IN A DEED GIVEN BY OUTRAM BANGS TO ROY B. REED, DATED MARCH 1, 1928, DULY RECORDED IN BOOK 1553, PAGE 158. SAID LOT IS ALSO SUBJECT TO AN AGREEMENT TO RESTRICT AS SET FORTH IN TWO DEEDS, ONE GIVEN BY FRANCIS REGINALD BANGS TO ROY B. REED, DATED JULY 10, 1928, DULY RECORDED IN BOOK 1558, PAGE 49, AND THE OTHER GIVEN BY ROBERT H. GARDINER, TRUSTEE, TO ROY B. REED ET AL, DATED JULY 12, 1928, DULY RECORDED IN BOOK 1558, PAGE 50. SO MUCH OF THE ABOVE DESCRIBED LAND AS IS INCLUDED IN ANY OF THE WAYS OR ROADS SHOWN ON SAID PLAN, IS SUBJECT TO THE RIGHTS OF ALL PERSONS LAWFULLY ENTITLED THERETO IN AND OVER THE SAME. SAID LOT IS ALSO SUBJECT TO A TAKING BY THE COUNTY COMMISSIONERS, DATED NOVEMBER 15, 1949 FILED AND REGISTERED AS DOCUMENT #32734. THERE IS APPURTENANT TO THE ABOVE DESCRIBED LAND RIGHTS AS SET FORTH IN A STIPULATION BETWEEN FRANCIS R. BONGS ET AL AND HOWARD S. PALMER ET AL TRUSTEES, FILED WITH THE PAPERS IN THIS CASE ON MARCH 30, 1938, A COPY OF WHICH IS FILED AS DOCUMENT #15184. BEING THE SAME PREMISES AS CONVEYED TO ANDREW CARADIMOS, GEORGE CARADIMOS AND MICHAEL C. CARADIMOS D/B/A CARADIMOS COMPANY BY VIRTUE OF A DEED FROM ANDREW CARADIMOS AND MICHAEL CARADIMOS, DATED SEPTEMBER 12, 1975 AND RECORDED IN THE PLYMOUTH COUNTY REGISTRY DISTRICT OF THE LAND COURT AS DOCUMENT NO. 166698, CERTIFICATE OF TITLE NO. 55371.

Title Notes

- CATIC TITLE INSURANCE COMPANY TITLE COMMITMENT NO. NCSH 20-2585, DATED NOVEMBER 24, 2020 SURVEY RELATED ITEMS ONLY SUBJECT TO THOSE CERTAIN RESTRICTIONS SET FORTH IN DEEDS, AS STILL MAY BE IN FORCE AND APPLICABLE, IN BOOK 1553, PAGE 158, BOOK 1558, PAGE 49, BOOK 1558, PAGE 50, AND AS AFFECTED BY RELEASE DATED OCTOBER 21, 1953 RECORDED IN THE PLYMOUTH COUNTY REGISTRY AS DOCUMENT NO. 46772. (NOT PLOTTABLE - RESTRICTIONS ON USE OF LAND) SUBJECT TO THAT ORDER OF TAKING BY THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS DATED NOVEMBER 15, 1949 RECORDED IN THE PLYMOUTH COUNTY REGISTRY DISTRICT OF THE LAND COURT AS DOCUMENT 32734. (AS SHOWN ON PLAN - LOCUS ABUTS CRANBERRY HIGHWAY LAYOUT) SUBJECT TO RIGHTS OF LAND APPURTENANT TO THE INSURED PREMISES AS SET FORTH IN STIPULATION AND AGREEMENT BETWEEN FRANCIS R. BANGS ET AL AND HOWARD S. PALMER ET AL TRUSTEES, FILED ON MARCH 30, 1938, AND RECORDED IN THE PLYMOUTH COUNTY REGISTRY DISTRICT OF THE LAND COURT AS DOCUMENT NO. 15184. (RIGHTS AFFECTS LOCUS AS BEING A PORTION OF FORMER LOT B) SUBJECT TO THAT CERTAIN AGREEMENT WITH BUZZARDS BAY GAS COMPANY DATED DECEMBER 12, 1964 AND RECORDED IN THE PLYMOUTH COUNTY REGISTRY DISTRICT OF THE LAND COURT AS DOCUMENT NO. 100724. (NOT SURVEY RELATED) SUBJECT TO THAT CERTAIN GRANT OF EASEMENT FROM ANDREW C. CARADIMOS AND MICHAEL C. CARADIMOS TO COMMONWEALTH ELECTRIC COMPANY DATED MAY 22, 2001 AND RECORDED IN THE PLYMOUTH COUNTY REGISTRY DISTRICT OF THE LAND COURT AS DOCUMENT NO. 485432. (AS SHOWN ON PLAN - AFFECTS LOCUS) SUBJECT TO THE TERMS AND CONDITIONS OF THAT CERTAIN MEMORANDUM OF LEASE BY AND BETWEEN ANDREW C. CARADIMOS AND MICHAEL C. CARADIMOS AND ELAINE CARADIMOS, LESSORS, AND 99 RESTAURANTS OF BOSTON, LLC, AS LESSEE, DATED SEPTEMBER 8, 2003 AND RECORDED IN THE PLYMOUTH COUNTY REGISTRY DISTRICT OF THE LAND COURT AS DOCUMENT NO. 562797. (REFERS TO LOCUS - NOT SURVEY RELATED) SUBJECT TO THAT ORDER OF TAKING BY THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS RECORDED IN THE PLYMOUTH COUNTY REGISTRY DISTRICT OF THE LAND COURT AS DOCUMENT NO. 777904. (AS SHOWN ON PLAN - PERMANENT EASEMENTS 22-E-1 & 22-PUE-9 AFFECT LOCUS. TEMPORARY EASEMENT 22-TE-19, AFFECT LOCUS UNTIL EXPIRATION 5 YEARS AFTER RECORDING OF DOCUMENT - OCTOBER 2023) SUBJECT TO MATTERS REFERENCED IN CERTIFICATE OF TITLE NO. 55371, SO MUCH AS MAY STILL BE ENFORCEABLE. (REFERS TO LOCUS)



First Hartford Realty Corporation Car Wash 3013 Cranberry Highway Wareham, Massachusetts

Table with 4 columns: No., Revision, Date, Apprd. Includes a row for February 3, 2021.

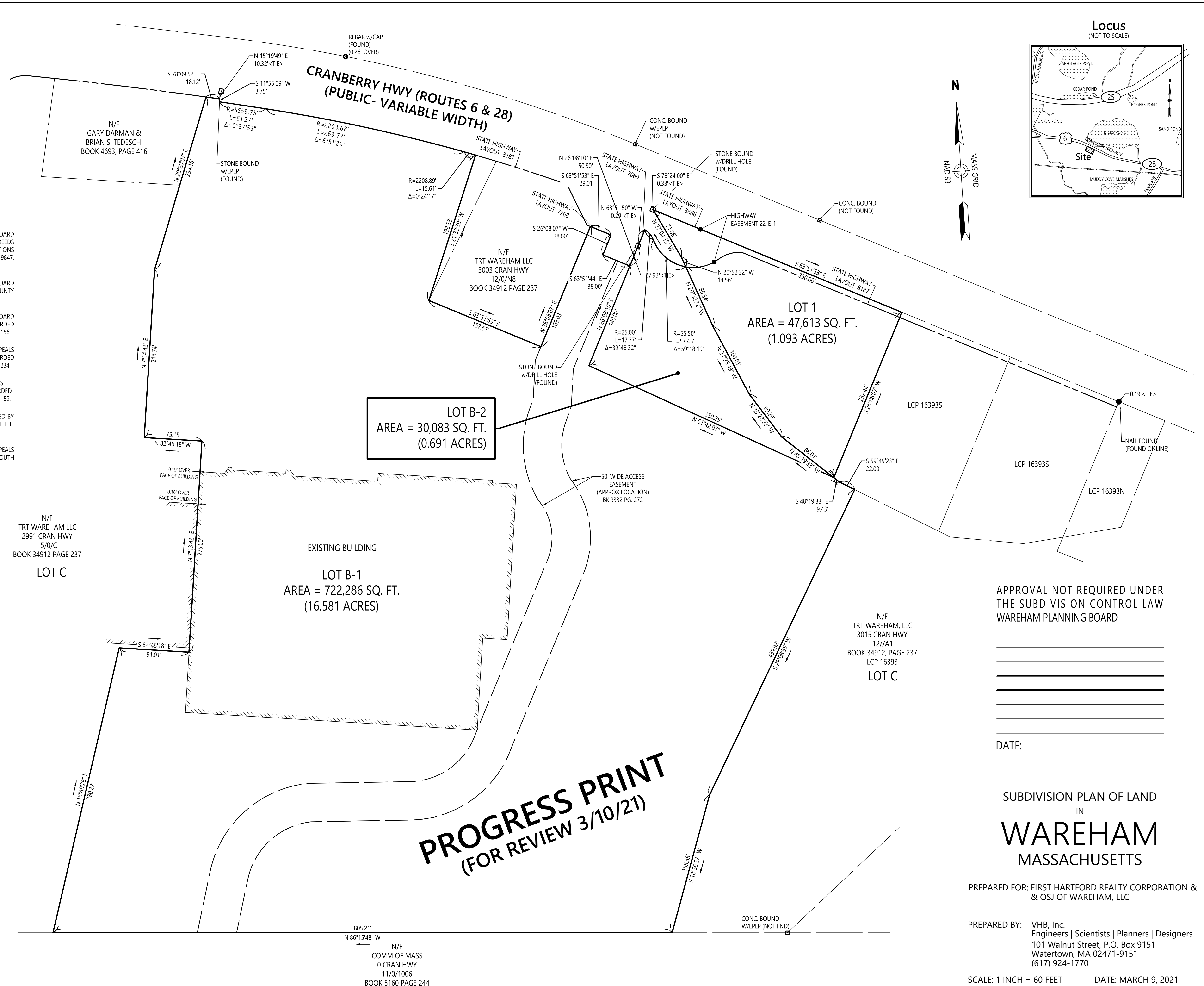
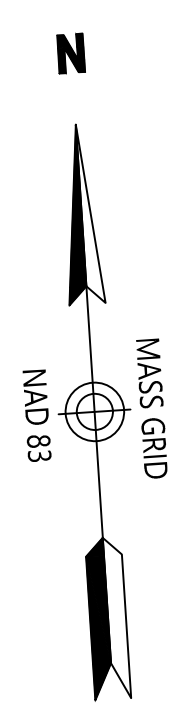
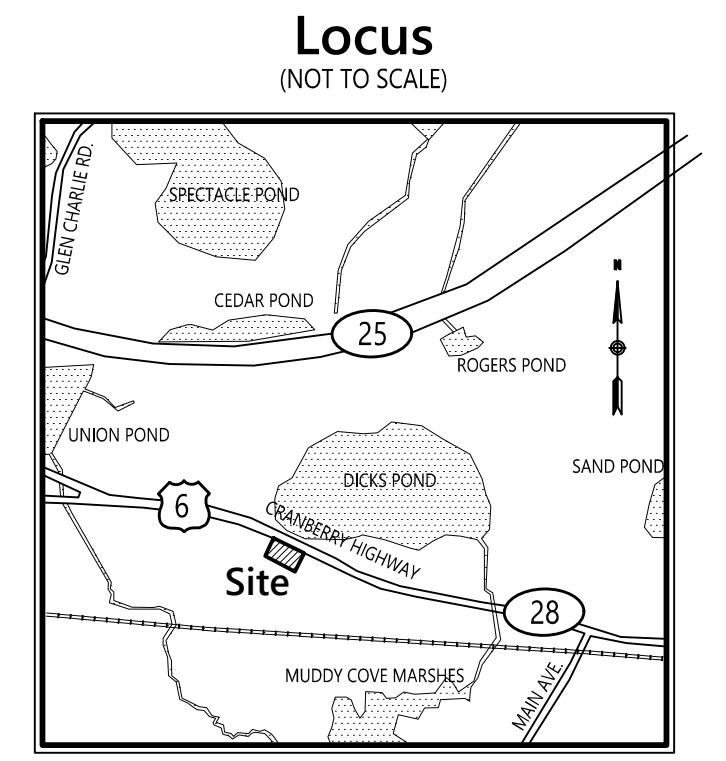
Designed by: Checked by: Issued for: Date: February 3, 2021

ALTA/NSPS Land Title Survey

Sv-1

Sheet 1 of 1

Project Number 73170.00



**PROGRESS PRINT**  
(FOR REVIEW 3/10/21)

APPROVAL NOT REQUIRED UNDER THE SUBDIVISION CONTROL LAW WAREHAM PLANNING BOARD

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
DATE: \_\_\_\_\_

SUBDIVISION PLAN OF LAND IN  
**WAREHAM**  
MASSACHUSETTS

PREPARED FOR: FIRST HARTFORD REALTY CORPORATION & OSJ OF WAREHAM, LLC

PREPARED BY: VHB, Inc.  
Engineers | Scientists | Planners | Designers  
101 Walnut Street, P.O. Box 9151  
Watertown, MA 02471-9151  
(617) 924-1770

SCALE: 1 INCH = 60 FEET DATE: MARCH 9, 2021  
SHEET 1 OF 2

RESERVED FOR REGISTRY USE ONLY

**Record Owner**

LOT 1  
ANDREW C. CARADIMOS, ET AL  
3013 CRANBERRY HIGHWAY  
WAREHAM, MASS.  
ASSESSORS 12/0/LC1  
DOC 166698  
CERT 55371

LOT B  
OSJ OF WAREHAM, LLC  
3005 CRANBERRY HIGHWAY  
WAREHAM, MASS.  
ASSESSORS 12/0/B  
BOOK 46134 PAGE 326

**Plan References**

REGISTRY OF DEEDS  
PLAN BOOK 35 PLAN 1190  
PLAN BOOK 36 PLAN 349

LAND COURT  
LCP 16393 A, D, N & S

STATE HIGHWAY LAYOUT  
LO 3666  
LO 6284  
LO 7060  
LO 7208  
LO 8187

**General Notes**

- THE RIGHT OF WAY AND PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VHB, INC. IN NOVEMBER 2013 AND VERIFIED IN JANUARY, 2021 AND FROM DEEDS AND PLANS OF RECORD.
- HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983.
- THE LOTS LIE ENTIRELY WITHIN THE COMMERCIAL STRIP DISTRICT (CS) AS SHOWN ON THE "TOWN OF WAREHAM, ZONING", DATED MAY 14, 2007.
- THE LOT LIES ENTIRELY WITHIN ZONE AE (BASE FLOOD ELEVATION DETERMINED) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR PLYMOUTH COUNTY, MASSACHUSETTS, MAP NUMBER 25023C0493, EFFECTIVE DATE JULY 17, 2012.
- THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE LOT B INTO LOT B-1 & B-2. LOT B-2 IS A NON-BUILDABLE LOT AND WILL BE CONVEYED TO FIRST HARTFORD REALTY CORPORATION AND COMBINED WITH LOT 1.
- EXCEPT HIGHWAY EASEMENT 22-E-1 & 50' WIDE ACCESS EASEMENT, ALL OTHER EASEMENTS, BOTH PERMANENT & TEMPORARY ARE NOT SHOWN FOR CLARITY.
- SEE SHEET 2 FOR EXISTING CONDITIONS ON LOT B-2.

**Planning Board Notes**

- ALL OTHER EASEMENTS, BOTH PERMANENT & TEMPORARY ARE NOT SHOWN FOR CLARITY.
- THIS ENDORSEMENT OF THE PLANNING BOARD SHOULD NOT BE CONSTRUED TO BE A DETERMINATION OF CONFORMANCE WITH ZONING REGULATIONS FOR ALL LOTS AFFECTED.
- THIS ENDORSEMENT OF THE PLANNING BOARD SHOULD NOT BE CONSTRUED TO BE A DETERMINATION OF CONFORMANCE WITH THE WAREHAM TOWN BY-LAWS IN ACCORDANCE WITH DIVISION VI, ARTICLE I AND ITS IMPLEMENTING WETLANDS PROTECTION REGULATIONS AS WELL AS MASSACHUSETTS WETLANDS PROTECTION ACT, MGL CH 131 § 40 AND ITS IMPLEMENTING REGULATIONS, 310 CMR 10.00 FOR ALL LOTS AFFECTED.
- THIS ENDORSEMENT OF THE PLANNING BOARD SHOULD NOT BE CONSTRUED TO BE A DETERMINATION OF CONFORMANCE WITH THE ZONING BY-LAWS RELATIVE TO IRREGULARLY-SHAPED LOTS, UPLAND AREA, LOT WIDTH, OPEN SPACE AND LOT COVERAGE IN ACCORDANCE WITH ARTICLE 6, § 615; ARTICLE 6, § 612; ARTICLE 10, ARTICLE 1, § 620 FOR ALL LOTS AFFECTED.
- THIS ENDORSEMENT OF THE PLANNING BOARD SHOULD NOT BE CONSTRUED TO BE A DETERMINATION OF CONFORMANCE WITH THE EARTH REMOVAL REGULATIONS IN ACCORDANCE WITH DIVISION IV, ARTICLE II OF THE TOWN BY-LAWS FOR ALL LOTS AFFECTED.

**Certification**

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

DATE \_\_\_\_\_ PROFESSIONAL LAND SURVEYOR

**Variations/Special Permits**

SUBJECT TO THAT CERTAIN TOWN OF WAREHAM PLANNING BOARD APPROVAL RECORDED IN THE PLYMOUTH COUNTY REGISTRY OF DEEDS BOOK 4194, PAGE 516, AS AFFECTED BY RELEASE OF RESTRICTIONS RECORDED IN THE PLYMOUTH COUNTY REGISTRY OF DEEDS BOOK 9847, PAGE 29.

SUBJECT TO THAT CERTAIN TOWN OF WAREHAM PLANNING BOARD SPECIAL PERMIT DECISION AS RECORDED IN THE PLYMOUTH COUNTY REGISTRY OF DEEDS BOOK 9630, PAGE 266.

SUBJECT TO THAT CERTAIN TOWN OF WAREHAM PLANNING BOARD SPECIAL PERMIT DECISION, DATED DECEMBER 10, 1992 AND RECORDED IN THE PLYMOUTH COUNTY REGISTRY OF DEEDS BOOK 11629, PAGE 156.

SUBJECT TO THAT CERTAIN TOWN OF WAREHAM BOARD OF APPEALS DECISION GRANTING OF A VARIANCE OR SPECIAL PERMIT, AS RECORDED IN THE PLYMOUTH COUNTY REGISTRY OF DEEDS BOOK 12202, PAGE 234

SUBJECT TO THAT CERTAIN TOWN OF WAREHAM BOARD OF APPEALS DECISION GRANTING OF A VARIANCE OR SPECIAL PERMIT, AS RECORDED IN THE PLYMOUTH COUNTY REGISTRY OF DEEDS BOOK 17899, PAGE 159.

SUBJECT TO THAT CERTAIN NOTICE OF SITE PLAN APPROVAL ISSUED BY THE TOWN OF WAREHAM PLANNING BOARD, AS RECORDED IN THE PLYMOUTH COUNTY REGISTRY OF DEEDS BOOK 22842, PAGE 191.

SUBJECT TO THAT CERTAIN TOWN OF WAREHAM BOARD OF APPEALS DECISION GRANTING OF A VARIANCE AS RECORDED IN THE PLYMOUTH COUNTY REGISTRY OF DEEDS BOOK 46572, PAGE 87.

N/F  
TRT WAREHAM LLC  
2991 CRAN HWY  
15/0/C  
BOOK 34912 PAGE 237

LOT C

EXISTING BUILDING

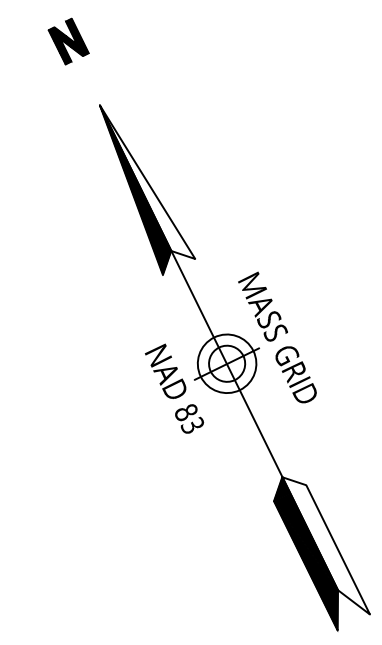
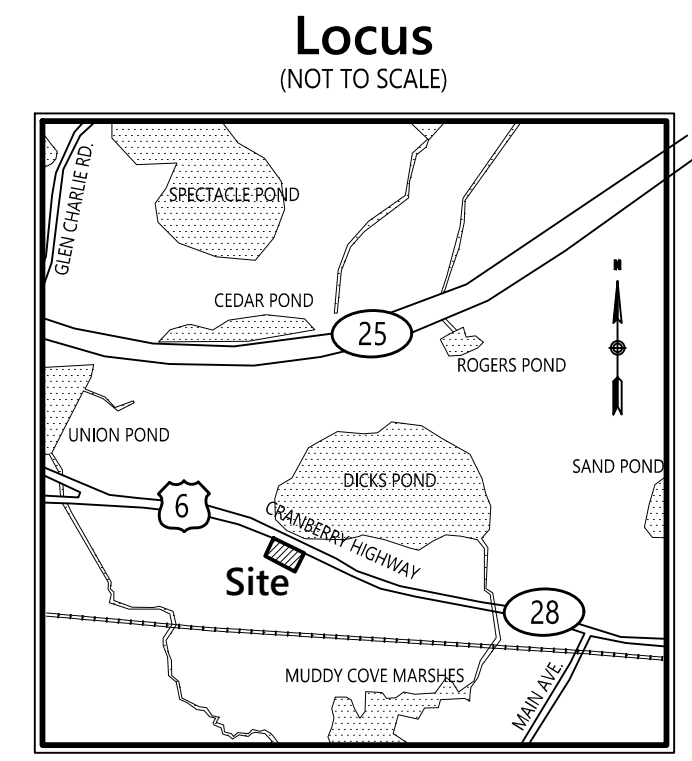
LOT B-1  
AREA = 722,286 SQ. FT.  
(16.581 ACRES)

LOT B-2  
AREA = 30,083 SQ. FT.  
(0.691 ACRES)

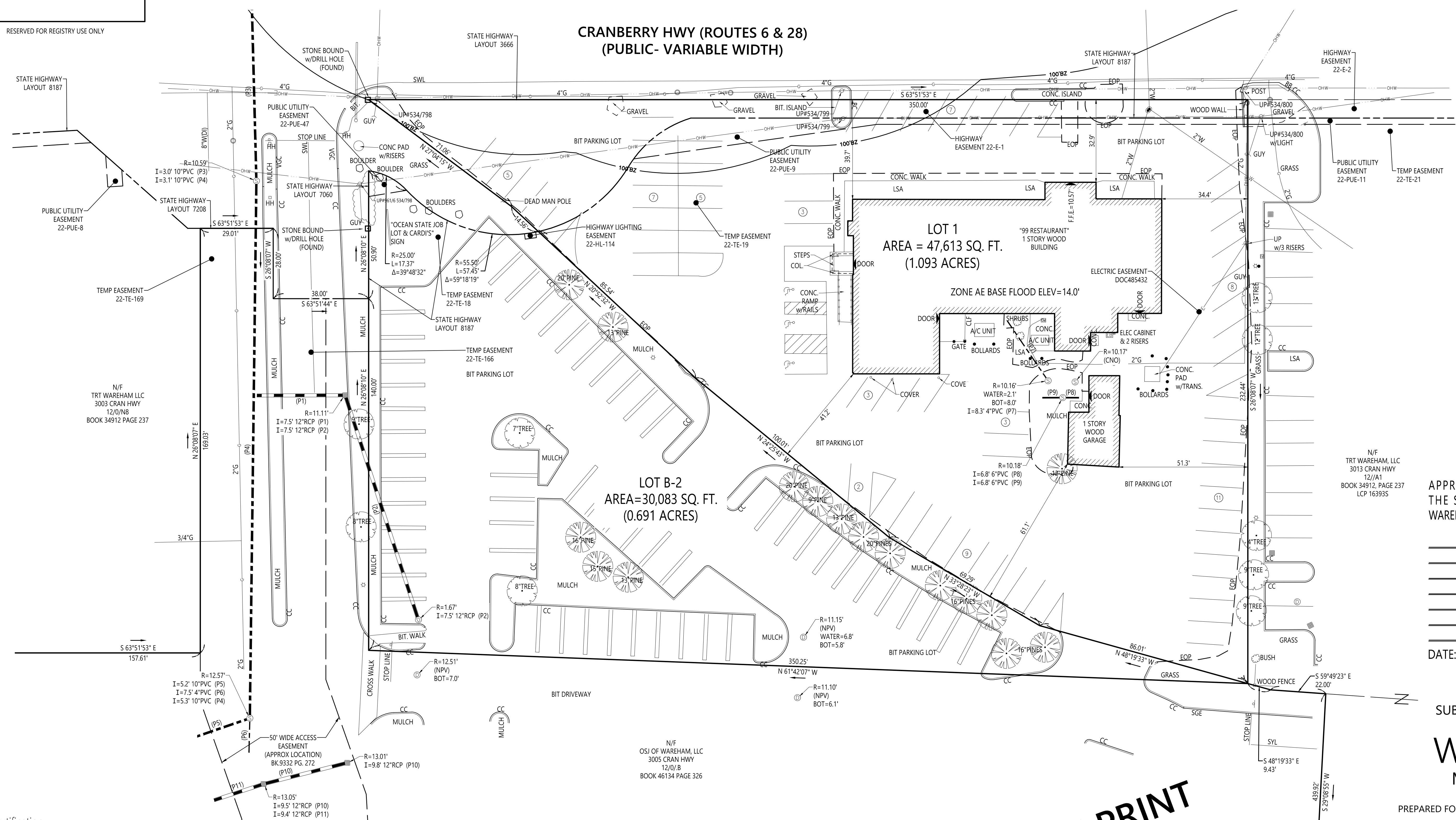
LOT 1  
AREA = 47,613 SQ. FT.  
(1.093 ACRES)

N/F  
TRT WAREHAM, LLC  
3015 CRAN HWY  
12//A1  
BOOK 34912, PAGE 237  
LCP 16393  
LOT C

N/F  
COMM OF MASS  
0 CRAN HWY  
11/0/1006  
BOOK 5160 PAGE 244



**CRANBERRY HWY (ROUTES 6 & 28)  
(PUBLIC- VARIABLE WIDTH)**



APPROVAL NOT REQUIRED UNDER  
THE SUBDIVISION CONTROL LAW  
WAREHAM PLANNING BOARD

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
DATE: \_\_\_\_\_

SUBDIVISION PLAN OF LAND  
IN  
**WAREHAM**  
MASSACHUSETTS

PREPARED FOR: FIRST HARTFORD REALTY CORPORATION &  
& OSJ OF WAREHAM, LLC

PREPARED BY: VHB, Inc.  
Engineers | Scientists | Planners | Designers  
101 Walnut Street, P.O. Box 9151  
Watertown, MA 02471-9151  
(617) 924-1770

SCALE: 1 INCH = 20 FEET DATE: MARCH 9, 2021  
SHEET 2 OF 2



**PROGRESS PRINT**  
(FOR REVIEW 3/10/21)

**Notes**

- 1) THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VHB, INC. IN JANUARY, 2021.
- 2) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- 3) SEE SHEET 1 FOR OWNER REFERENCES, GENERAL NOTES AND PLAN REFERENCES.

**Certification**

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

DATE \_\_\_\_\_ PROFESSIONAL LAND SURVEYOR