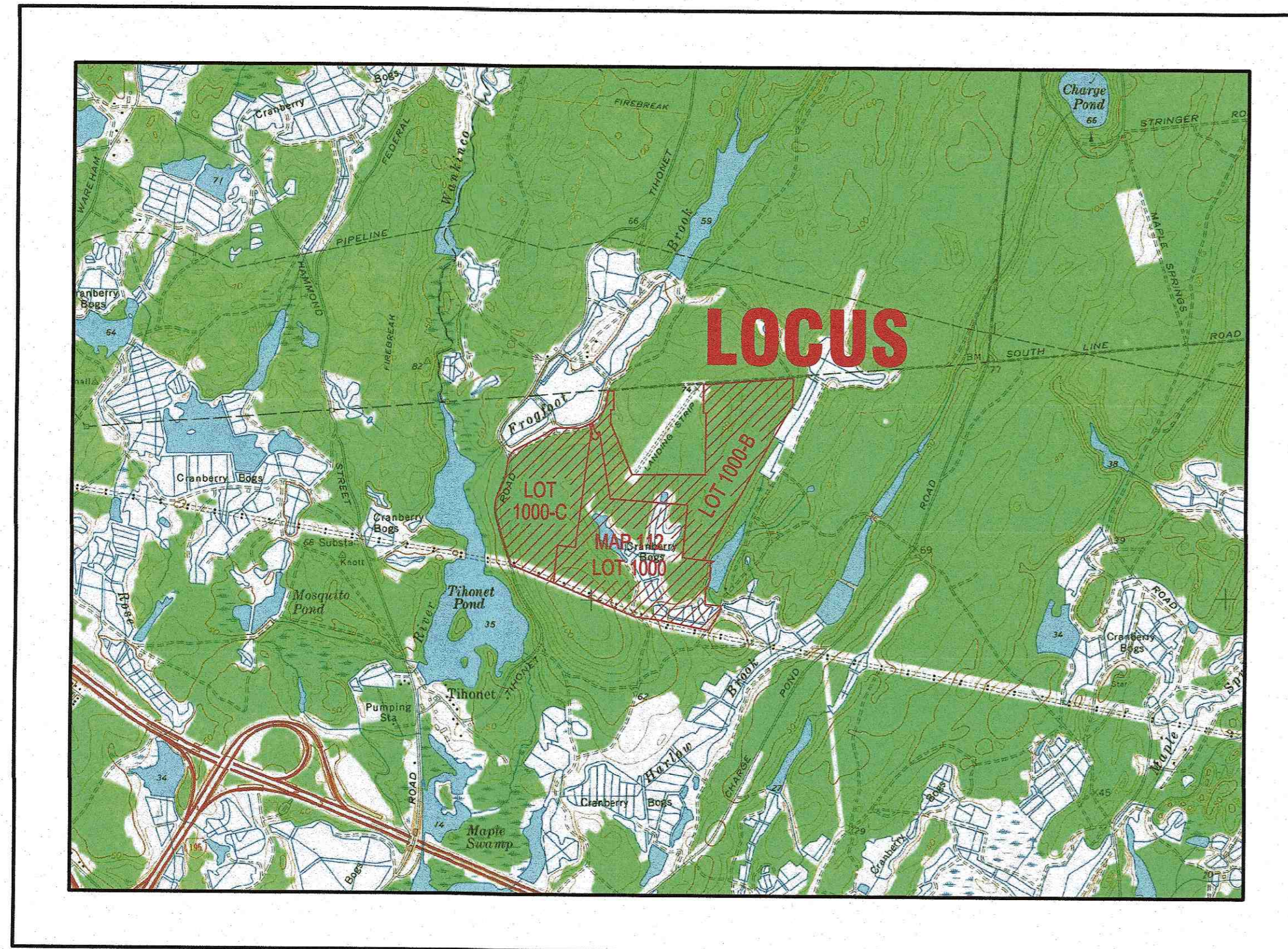


150 TIHONET ROAD

DEFINITIVE SUBDIVISION PLAN WAREHAM, MASSACHUSETTS

OWNER: A.D. MAKEPEACE COMPANY, INC.
158 TIHONET ROAD
WAREHAM, MA 02571

APPLICANT: A.D. MAKEPEACE COMPANY, INC.
158 TIHONET ROAD
WAREHAM, MA 02571



— U.S.G.S. LOCUS PLAN —
SCALE: 1"=2000'

LOT DATA:

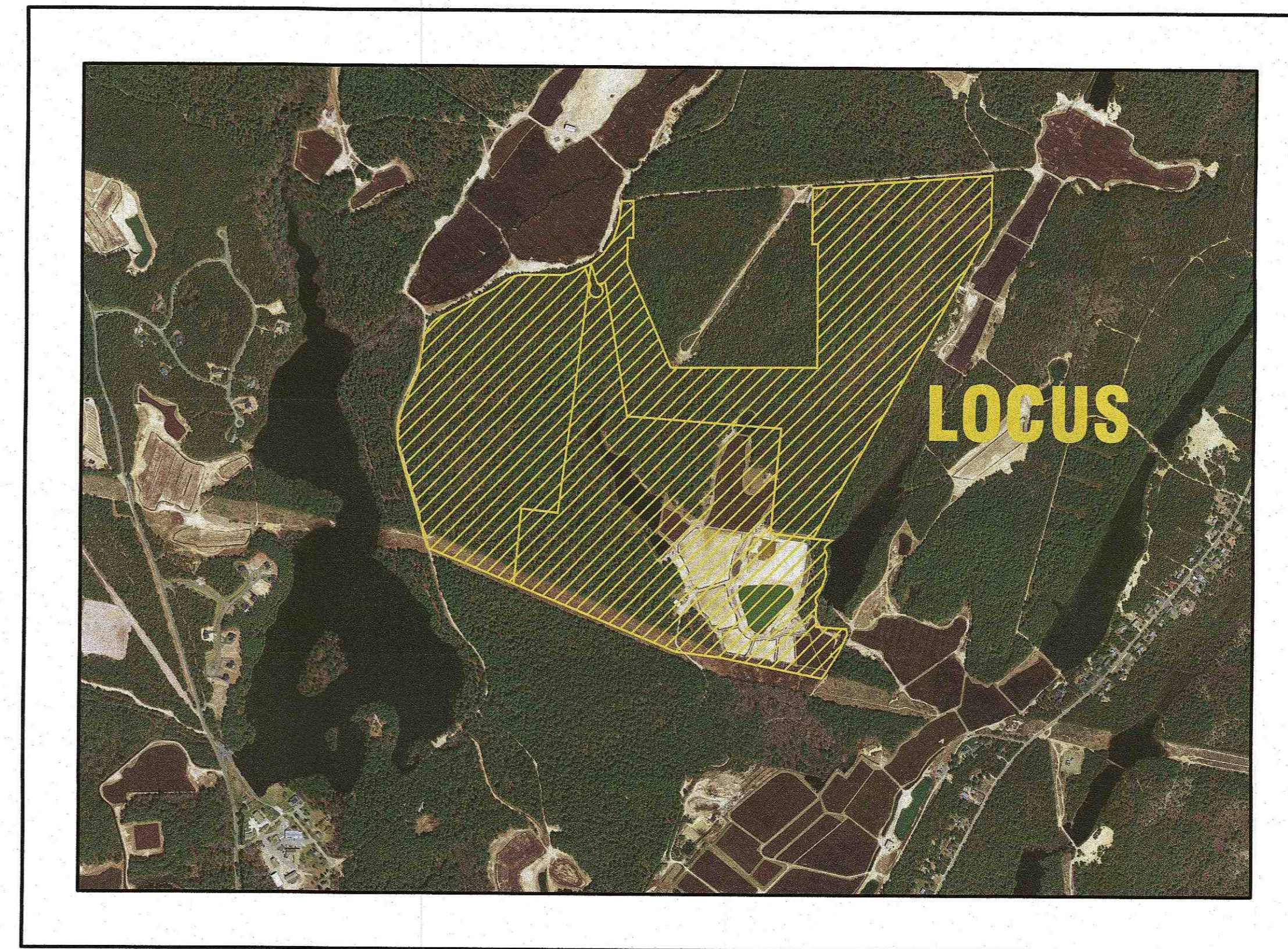
ASSESSORS MAP 111 / LOTS 1000-B & 1000-C
MAP 112 / LOT 1000

ADDRESS: 150 TIHONET ROAD

ZONING DATA:

ZONE: RESIDENCE 60 (R-60)

MINIMUM LOT AREA: 60,000 S.F.
(MIN. 80% CONTIGUOUS UPLAND)
MINIMUM FRONTAGE: 180'
MINIMUM FRONT SETBACK: 60'
MINIMUM SIDE SETBACK: 20'
MINIMUM REAR SETBACK: 20'
MAXIMUM BUILDING HEIGHT: 35'



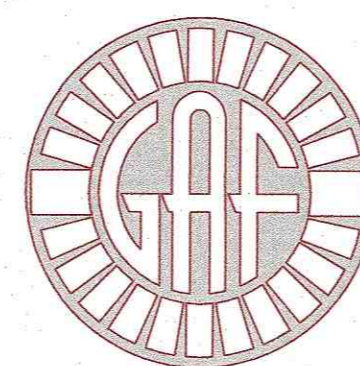
— AERIAL OVERVIEW —
SCALE: 1"=1000'

PLAN INDEX:

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	NOTES & LEGEND
3	EXISTING CONDITIONS
4	LOTTING PLAN
5	PLAN & ROADWAY PROFILE
6	CONSTRUCTION DETAILS SHEET 1
7	CONSTRUCTION DETAILS SHEET 2

FLOOD ZONE DATA:

FLOOD ZONE DATA COMES FROM FEMA
FLOOD MAP COMMUNITY PANEL NUMBER
25023C04874, DATED JULY 17, 2012.



G.A.F. ENGINEERING, INC.
PROFESSIONAL ENGINEERS & LAND SURVEYORS
266 MAIN STREET, WAREHAM, MA 02571
TEL: (508) 295-6600 FAX: (508) 295-6634
E-MAIL: info@gafenginc.com

NOVEMBER 2, 2021

DATE: NOV. 2, 2021	DATE	BY	APPD	DESCRIPTION
DRAWN BY: JH	REV.			
CHECKED BY: WFM				
JOB NO.: 21-9681				
SCALE: AS NOTED				
APPROVED BY:				
G.A.F. ENGINEERING, INC. PROFESSIONAL ENGINEERS & LAND SURVEYORS 266 MAIN STREET, WAREHAM, MA 02571 TEL: (508) 295-6600 FAX: (508) 295-6634 E-MAIL: info@gafenginc.com <small>COPYRIGHT © 2021 G.A.F. ENGINEERING, INC. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN CONSENT OF G.A.F. ENGINEERING, INC. WITH THE EXCEPTION OF ANY REPRODUCTION FOR THE EXCLUSIVE USE OF THE CLIENT FOR THE PROJECT AND FOR WHICH THE PROFESSIONAL ENGINEER HAS BEEN RETAINED. ANY REPRODUCTION OF THIS DOCUMENT FOR ANY OTHER PURPOSE WITHOUT THE EXPRESS WRITTEN CONSENT OF G.A.F. ENGINEERING, INC. SHALL BE DEEMED UNLAWFUL.</small>				
DEFINITIVE SUBDIVISION PLAN "150 TIHONET ROAD" COVER SHEET 150 TIHONET ROAD WAREHAM, MA PREPARED FOR: A.D. MAKEPEACE COMPANY, INC. 158 TIHONET ROAD WAREHAM, MA				
JOB NO.: 21-9681				
DWG. 1 OF 7				

GENERAL NOTES:

- ALL UNDERGROUND UTILITIES SHOWN OR NOT SHOWN WERE COMPILED ACCORDING TO AVAILABLE RECORD PLANS AND IN PART FROM FIELD SURVEY AND ARE APPROXIMATE ONLY. ACTUAL LOCATIONS MUST BE DETERMINED IN THE FIELD. BEFORE EXCAVATING, BLASTING, INSTALLING, BACKFILLING, GRADING, PAVEMENT RESTORATION, OR REPAIRING, ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN. SEE MGL CHAPTER 370, ACTS OF 1963. CONTRACTORS MUST CALL DIG-SAFE AT (1-888-DIG-SAFE OR 811) G.A.F. ENGINEERING, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN.
- THE CONTRACTOR SHALL COORDINATE AND OBTAIN ALL REQUIRED PERMITS, GIVE ALL NOTICES, COMPLY WITH ALL LAWS AND REGULATIONS, AND PAY ALL FEES ASSOCIATED WITH THE INSTALLATION OF THIS WORK.
- THE CONTRACTOR SHALL FIELD VERIFY, PRIOR TO CONSTRUCTION ALL EXISTING UNDERGROUND UTILITY LOCATIONS AND POINTS OF INTERCONNECTION.
- THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, SUPERVISION, TOOLS, EQUIPMENT, FUEL, POWER, SANITARY FACILITIES AND INCIDENTALS NECESSARY FOR THE FURNISHING, PERFORMANCE, TESTING, START-UP AND COMPLETION OF THIS WORK.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND OWNER OF ANY CONFLICTS DISCOVERED IN THE FIELD.
- IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE HIS/HER OWN DETERMINATION OF SUBSURFACE CONDITIONS, INCLUDING THE LOCATION OF ROCK AND THE ACTUAL LOCATION OF UTILITIES OR OTHER FEATURES WHICH MAY AFFECT HIS/HER WORK. ANY UNSUITABLE MATERIAL ENCOUNTERED DURING CONSTRUCTION WILL BE REPORTED TO THE ENGINEER OF RECORD FOR RESOLUTION AND CONSTRUCTION METHOD.
- ANY CHANGES TO THESE PLANS THAT ARE MADE IN THE FIELD DURING CONSTRUCTION SHALL BE RECORDED BY THE CONTRACTOR ON RECORD DOCUMENTS AND REPORTED TO THE OWNER AND ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AN EXCAVATION AND TRENCH PERMIT PURSUANT TO 520 CMR 14.00 AS APPLICABLE PRIOR TO THE START OF CONSTRUCTION.
- THE TOPOGRAPHY SHOWN ON THESE PLANS IS FROM A 2007 AERIAL SURVEY AND IS BASED ON NAVD-88 DATUM.
- A BENCHMARK WILL BE SET PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH ENGINEER OR SURVEYOR.

CONSTRUCTION NOTES:

- IN GENERAL, THE PLANS ARE DIAGRAMMATIC AND ARE NOT INTENDED TO SHOW EVERY FITTING, CHANGE IN DIRECTION OR DETAIL OF CONSTRUCTION.
- THE LOCATION OF UTILITIES WERE OBTAINED FROM VARIOUS SOURCES OF INFORMATION. THE EXACT LOCATION AND COMPLETENESS IS NOT GUARANTEED. THE CONTRACTOR MUST NOTIFY DIG SAFE PRIOR TO THE START OF CONSTRUCTION (1-888-DIG-SAFE OR 811). G.A.F. ENGINEERING, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE SAFETY OF PERSONNEL AND PROTECTION OF PROPERTY AT THE SITE OR ADJACENT THERETO INCLUDING TREES, SHRUBS, LAWNS, PAVEMENTS, ROADWAYS, STRUCTURES AND UNDERGROUND UTILITIES NOT DESIGNED FOR REMOVAL, RELOCATION, OR REPLACEMENT.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION REQUIRED FOR THE INSTALLATION OF THIS WORK.
- ALL MATERIALS SHALL BE NEW AND FREE FROM DEFECTS AND OF GOOD QUALITY.
- THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM THE ACCUMULATION OF WASTE MATERIAL AND OTHER DEBRIS RESULTING FROM THIS WORK.
- ALL PAVEMENT MARKINGS DISTURBED BY CONSTRUCTION SHALL BE RESTORED AS PART OF THIS WORK.
- THE CONTRACTOR SHALL INSTITUTE ALL SAFETY MEASURES NECESSARY TO PROTECT THE PUBLIC SAFETY. THIS SHALL INCLUDE, BUT NOT LIMITED TO, BARRICADES, SIGNS, LIGHTING, FENCES, POLICE DETAILS, AND ANY OTHER MEANS AS DIRECTED. NO TRENCHES ARE TO REMAIN OPEN OVERNIGHT.
- ELEVATIONS ARE IN FEET AND TENTHS AND ARE BASED ON THE DATUM OF NAVD-88.
- SIDE SLOPE GRADING SHALL BE AS NOTED ON THE SITE PLANS.
- ALL SIDE SLOPES SHALL BE DRESSED WITH 4 INCHES OF TOPSOIL, WHERE SIDE SLOPES EXCEED 3:1, PROVIDE AN EROSION CONTROL BLANKET OVER THE PLANTED SEED BED. SEE PLAN FOR LOCATIONS.
- PERMANENT SEEDING (BEFORE SEPTEMBER 15) LIME TO PH OF 6.5 ACCORDING TO SOIL TEST OR APPLY AT THE RATE OF 100 TO 150 LBS. PER 1,000 SQUARE FEET. APPLY 10-20-20 FERTILIZER AT 1,000 LBS. PER ACRE. INCORPORATE LIME AND FERTILIZER IN TOP 4 INCHES OF SOIL. SEED 100 LBS. PER ACRE OF THE FOLLOWING SEED MIX.

PURE PERCENT	SEED
30-35%	CREeping RED FESCUE
30-35%	PERENNIAL RYEGRASS
20-25%	KENTUCKY BLUEGRASS
10-15%	ANNUAL RYEGRASS

 HYDRO SEEDING IS AN ALTERNATIVE FOR THIS APPLICATION. A MIXTURE OF SEED WATER AND MULCH IS SPRAYED ON THE SEED BED COMBINING THREE (3) SEPARATE ACTIONS INTO ONE (1) OPERATION.
- ALL SEWER AND PLUMBING WORK SHALL CONFORM WITH 248 CMR 10.00 UNIFORM STATE PLUMBING CODE AND THE TOWN OF WAREHAM SEWER DEPARTMENTS SPECIFICATIONS.
- ALL METHODS AND MATERIALS SHALL CONFORM WITH MASSDOT STANDARDS AND SPECIFICATIONS, AND THE REQUIREMENTS OF THE TOWN OF WAREHAM MUNICIPAL MAINTENANCE DEPARTMENT.
- ALL UTILITY INSTALLATIONS SHALL BE IN CONFORMANCE WITH ALL APPLICABLE TOWN, STATE AND FEDERAL REQUIREMENTS & REGULATIONS.
- DEWATERING IF REQUIRED SHALL BE DIRECTED TO A 5' MIN. DIAMETER RING OF HAYBALES OR A DIRTBAG. CONTRACTOR SHALL SIZE, PROVIDE AND MAINTAIN DEWATERING EQUIPMENT FOR THE CONTROL, COLLECTION AND DISPOSAL OF GROUND AND SURFACE WATER WHERE NECESSARY TO COMPLETE THE WORK.

DRAINAGE OPERATION AND MAINTENANCE SCHEDULE:

- THE OPERATION AND MAINTENANCE (O&M) SCHEDULE DURING THE CONSTRUCTION PERIOD IS THE RESPONSIBILITY OF THE CONTRACTOR. THE OUTLINE BELOW SHALL BE FOLLOWED TO ENSURE THE PROPER CONSTRUCTION AND FUNCTION OF THE DRAINAGE FACILITIES.
- IN CONJUNCTION WITH THE ROADWAY CONSTRUCTION, ALL DRAINAGE STRUCTURES, INCLUDING THE DRAINAGE SWALES AND RAIN GARDEN SHALL BE INSTALLED AND THE AFFECTED AREAS STABILIZED (LOAM AND SEED, HYDROSEED, PLANTED, RIP-RAP, ETC.). PERMANENT STABILIZATION OF THESE AREAS SHALL BE STARTED AS SOON AS POSSIBLE.
 - EROSION CONTROL SHALL BE PLACED ALONG THE LIMITS OF WORK WHERE SHOWN ON THE PLAN.
 - ALL CATCH BASINS SHALL HAVE TEMPORARY SILT SACKS OR AN APPROVED EQUAL INSTALLED IN THEM AS SOON AS THE STRUCTURE IS SET. CONTRACTOR SHALL REMOVE AND DISPOSE OF THEM AT THE COMPLETION OF CONSTRUCTION. THE CATCH BASINS SHALL BE INSPECTED WEEKLY DURING CONSTRUCTION. IF THERE IS ANY SEDIMENT BUILDUP, THE AFFECTED STRUCTURES SHALL BE CLEANED IMMEDIATELY, AND ALL MATERIAL REMOVED SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.
 - THE DRAIN MANHOLES AND WATER QUALITY DRAIN MANHOLES SHALL BE INSPECTED WEEKLY DURING CONSTRUCTION. IF THERE IS ANY SEDIMENT BUILDUP, THE AFFECTED STRUCTURES SHALL BE CLEANED IMMEDIATELY, AND ALL MATERIAL REMOVED SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.
 - THE DRAINAGE BASIN SHALL BE INSPECTED WEEKLY DURING CONSTRUCTION. IF THERE IS ANY SEDIMENT BUILDUP, THE AFFECTED AREA SHALL BE CLEANED IMMEDIATELY, AND ALL MATERIAL REMOVED SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.
 - ALL AREAS SHALL BE INSPECTED WEEKLY, AND AFTER ALL STORMS. IF THERE IS EVIDENCE OF EROSION, THE ERODED AREA SHALL BE RE-STABILIZED, AND MEASURES SHALL BE TAKEN TO PREVENT REOCCURRENCE. THIS SCHEDULE MUST BE ADHERED TO BY THE CONTRACTOR UNTIL THE PROJECT IS ACCEPTED BY THE OWNER.

POST-CONSTRUCTION OPERATION AND MAINTENANCE PLAN:

UPON THE COMPLETION OF ROADWAY CONSTRUCTION, MAINTENANCE SHALL BE CONDUCTED BY A.D. MAKEPEACE COMPANY, INC. AND ITS SUCCESSORS OR THE HOME OWNER'S ASSOCIATION ON THE ROADWAY AND DRAINAGE FACILITIES. THE FOLLOWING SHALL BE CARRIED OUT BY THE RESPONSIBLE PARTY AND SHALL BE ADHERED TO ENSURE THE PROPER OPERATION OF THE DRAINAGE FACILITIES.

- STREET SWEEPING IS AN EFFECTIVE NONSTRUCTURAL SOURCE CONTROL THAT WILL REMOVE SEDIMENT FROM PAVED SURFACES. PARKING LOT SWEEPING SHOULD BE DONE BY THE USE OF A HIGH EFFICIENCY VACUUM SWEEPER OR REGENERATIVE AIR SWEEPER. STREET SWEEPING SHALL BE DONE TWICE PER YEAR. ONCE REMOVED FROM PAVED SURFACES, THE SWEEPINGS MUST BE HANDLED AND DISPOSED OF PROPERLY IN ONE OF THE WAYS APPROVED BY MASSDEP (SEE POLICY # BAW-18-001: REUSE & DISPOSAL OF STREET SWEEPINGS).
- DEEP SUMP CATCH BASINS ARE UNDERGROUND RETENTION SYSTEMS DESIGNED TO REMOVE TRASH, DEBRIS AND COARSE SEDIMENT FROM STORMWATER RUNOFF AND SERVE AS TEMPORARY SPILL CONTAINMENT DEVICES FOR FLOATABLES SUCH AS OILS AND GREASE. INSPECT CATCH BASINS MONTHLY AND CLEAN AT LEAST TWO TIMES PER YEAR AND AT THE END OF THE FOLIAGE AND SNOW-REMOVAL SEASONS. SEDIMENTS MUST ALSO BE REMOVED WHENEVER THE DEPTH OF DEPOSITS IS GREATER THAN OR EQUAL TO ONE HALF THE DEPTH FROM THE BOTTOM OF THE INVERT. SEDIMENT SHALL BE REMOVED THROUGH THE USE OF A VACUUM TRUCK. SEDIMENT MUST BE HANDLED AND DISPOSED OF PROPERLY IN ONE OF THE WAYS ALREADY APPROVED BY MASSDEP (SEE MASSDEP POLICY ON MANAGEMENT OF CATCH BASIN CLEANINGS). IF THERE IS EVIDENCE THAT THEY HAVE BEEN CONTAMINATED BY A SPILL OR OTHER MEANS, THE CLEANINGS MUST BE EVALUATED IN ACCORDANCE WITH THE MASSDEP HAZARDOUS WASTE REGULATIONS, 310 CMR 30.00 AND HANDLED AS HAZARDOUS WASTE.
- PROPRIETARY MANHOLES (WATER QUALITY DRAIN MANHOLES) ARE UNDERGROUND RETENTION SYSTEMS DESIGNED TO REMOVE TRASH, DEBRIS AND COARSE SEDIMENT FROM STORMWATER RUNOFF AND SERVE AS TEMPORARY SPILL CONTAINMENT DEVICES FOR FLOATABLES SUCH AS OILS AND GREASE. INSPECT THE UNITS MONTHLY AND CLEAN AT LEAST TWO TIMES PER YEAR AND AT THE END OF THE FOLIAGE AND SNOW-REMOVAL SEASONS. SEDIMENTS MUST ALSO BE REMOVED WHENEVER THE DEPTH OF DEPOSITS IS GREATER THAN OR EQUAL TO ONE HALF THE DEPTH FROM THE BOTTOM OF THE INVERT. SEDIMENT SHALL BE REMOVED THROUGH THE USE OF A VACUUM TRUCK. SEDIMENT MUST BE HANDLED AND DISPOSED OF PROPERLY IN ONE OF THE WAYS ALREADY APPROVED BY MASSDEP (SEE MASSDEP POLICY ON MANAGEMENT OF CATCH BASIN CLEANINGS). IF THERE IS EVIDENCE THAT THEY HAVE BEEN CONTAMINATED BY A SPILL OR OTHER MEANS, THE CLEANINGS MUST BE EVALUATED IN ACCORDANCE WITH THE MASSDEP HAZARDOUS WASTE REGULATIONS, 310 CMR 30.00 AND HANDLED AS HAZARDOUS WASTE.
- FLARED END SECTIONS AND STONE AT PIPE ENDS SHALL BE CLEANED FOUR TIMES PER YEAR AND INSPECTED MONTHLY. ALL SEDIMENTS AND HYDROCARBONS SHOULD BE REMOVED AND DISPOSED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- DRAINAGE BASIN AREAS SHALL BE INSPECTED AT LEAST FOUR TIMES PER YEAR TO ENSURE THE BASINS ARE OPERATING AS INTENDED. ALSO INSPECT THE BASINS DURING AND AFTER MAJOR STORM EVENTS TO DETERMINE IF THE BASINS ARE MEETING THE EXPECTED DETENTION TIMES. EXAMINE THE OUTLET STRUCTURE FOR EVIDENCE OF CLOGGING OR OUTFLOW RELEASE VELOCITIES GREATER THAN THE DESIGN FLOW. POTENTIAL PROBLEMS THAT SHALL BE CHECKED INCLUDE: SUBSIDENCE, EROSION, CRACKING OR TREE GROWTH ON THE EMBANKMENT; DAMAGE TO THE EMERGENCY SPILLWAY; SEDIMENT ACCUMULATION AROUND THE OUTLET; INADEQUACY OF THE INLET/OUTLET CHANNEL EROSION CONTROL MEASURES; CHANGES IN THE CONDITION OF THE PILOT CHANNEL; AND EROSION WITHIN THE BASIN AND BANKS. MAKE ANY NECESSARY REPAIRS IMMEDIATELY. MOW THE UPPER-STAGE, SIDE SLOPES AND EMBANKMENTS AT LEAST TWICE PER YEAR. REMOVE SEDIMENT AS NECESSARY, BUT AT LEAST ONCE EVERY FIVE YEARS. SEDIMENT SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.

DRAINAGE INSTALLATION NOTES:

- ALL DRAINAGE PIPES, UNLESS OTHERWISE NOTED, ARE TO BE ADS N-12 PIPE WITH SOIL TIGHT JOINTS AND FITTINGS. REFER TO PLAN FOR LOCATION, SIZES AND SLOPES.
- ALL ROOF DRAIN PIPES, UNLESS OTHERWISE NOTED, ARE TO BE 4" ADS N-12 PIPE WITH SOIL TIGHT JOINTS AND FITTINGS. MINIMUM SLOPE TO BE 1.00%. REFER TO PLAN FOR LOCATION.
- MIN. COVER ON PIPES SHALL NOT BE LESS THAN 1.5 FEET.
- ALL PERFORATED PIPE SHALL BE ADS HOPE PIPE WITH AASHTO CLASS II PERFORATION PATTERN.
- ALL WORK AND MATERIAL SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF WAREHAM MUNICIPAL MAINTENANCE DEPARTMENT.

STORM WATER POLLUTION PREVENTION PLAN NOTE:

THIS PROJECT REQUIRES THE DEVELOPMENT AND IMPLEMENTATION OF AN EPA STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE SWPPP MUST BE FILED WITH THE EPA AND A COPY PROVIDED TO THE TOWN OF WAREHAM CONSERVATION COMMISSION PRIOR TO THE START OF CONSTRUCTION. IT WILL BE THE RESPONSIBILITY OF THE OWNER TO COORDINATE WITH THE ENGINEER PRIOR TO CONSTRUCTION.

NOTEWELL :

CERTAIN PLANS WERE PREPARED AT A MODIFIED SCALE, CONSISTENT WITH WHAT THE PLANNING BOARD MAY ALLOW UNDER THE TOWN OF WAREHAM SUBDIVISION RULES & REGULATIONS, TO FACILITATE REVIEW OF THE SUBDIVISION. WHILE THE APPLICANT BELIEVES THAT A WAIVER IS NOT REQUIRED TO ALLOW FOR THE MODIFIED SCALE, TO THE EXTENT THAT THE PLANNING BOARD DETERMINES OTHERWISE, A WAIVER IS REQUESTED PURSUANT TO MGL C. 41 §81R. THE MODIFIED PLAN SCALE WILL SUBSTANTIALLY REDUCE THE NUMBER OF PLAN SHEETS FOR THE SUBMITTAL, AVOIDING A WASTE OF RESOURCES, WHILE ALSO ENABLING EASIER REVIEW OF THE PLANS BY THE PLANNING BOARD.

EROSION CONTROL NOTES:

- THE SITE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SUITABLE EROSION AND SEDIMENTATION CONTROL DEVICES ON SITE DURING CONSTRUCTION AS REQUIRED TO PREVENT SILT FROM LEAVING THE SITE. SILT WILL NOT BE ALLOWED BEYOND CONSTRUCTION LIMITS. ADDITIONAL PROTECTION: ON-SITE PROTECTION MUST BE PROVIDED THAT WILL NOT PERMIT SILT TO LEAVE THE PROJECT CONFINES DUE TO UNFORESEEN CONDITIONS OR ACCIDENTS.
- EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLANS DOES NOT PROVIDE SUFFICIENT EROSION AND SEDIMENT CONTROL, ADDITIONAL CONTROL MEASURES SHALL BE IMPLEMENTED. CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING EROSION CONTROL DEVICES WHICH BECOME INEFFECTIVE.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ALL GRADING AND OTHER LAND DISTURBING ACTIVITIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE CLEANUP AND REMOVAL OF ANY BUILDUP OF SEDIMENT WHICH ESCAPES FROM THE SITE.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING SILT AND DEBRIS OUT OF ALL STORM DRAINAGE STRUCTURES UPON THE COMPLETION OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL TEMPORARY EROSION CONTROL MEASURES AFTER CONSTRUCTION IS COMPLETE AND ALL DISTURBED AREAS HAVE BEEN STABILIZED.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH ANY FINES LEVED AGAINST THE SITE FOR VIOLATIONS OF EROSION CONTROL REGULATIONS.
- CONTRACTOR SHALL PROVIDE TEMPORARY GROUND COVER FOR ALL AREAS WITH EXPOSED SOIL WHICH WILL NOT BE DISTURBED BY GRADING OPERATIONS FOR A PERIOD OF THIRTY DAYS OR MORE.
- IF WORK ON THIS PROJECT IS SUSPENDED FOR ANY REASON, THE CONTRACTOR SHALL MAINTAIN THE SOIL EROSION AND SEDIMENTATION CONTROL FACILITIES IN GOOD CONDITION DURING THE SUSPENSION OF WORK.
- SPRINKLE OR APPLY DUST SUPPRESSERS TO MINIMIZE DUST AT THE CONSTRUCTION SITE. MAINTAIN DUST CONTROL MEASURES UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED.
- THE CONTRACTOR WILL ALSO NEED TO COMPLY TO ANY ORDER OF CONDITIONS THAT MAY BE ISSUED BY THE TOWN OF WAREHAM CONSERVATION COMMISSION.

ABBREVIATIONS

AC	ASBESTIC CONCRETE
ADS	ADVANCED DRAINAGE SYSTEM
APPROX.	APPROXIMATE
BC	BOTTOM OF CURB
BIT. CONC.	BITUMINOUS CONCRETE
BLDRS	BOULDER
BW	BOTTOM OF WALL
BWV	BORDERING VEGETATED WETLANDS
CB	CATCH BASIN
CB/DH	CONCRETE BOUND/DRILL HOLE
CCB	CAPE COD BERM
CEM.	CEMENT
C.I.	CAST IRON
CONC.	CONCRETE
C.O.	CLEAN OUT
C.L.D.I.	CEMENT LINED DUCTILE IRON
CMP	CORRUGATED METAL PIPE
CPP	CORRUGATED PLASTIC PIPE
DIA	DIAMETER
DMH	DRAIN MANHOLE
D.I.	DUCTILE IRON
D.CS	DRAINAGE CONTROL STRUCTURE
E	ELECTRIC
ELEV., EL.	ELEVATION
EOP	EDGE OF PAVEMENT
EX	EXISTING
F.D.C.	FIRE DEPARTMENT CONNECTION
F.E.S.	FLARED END SECTION
F.F.E.	FINISHED FLOOR ELEVATION
FND.	FOUND
FP	FIRE PROTECTION
G	GAS
GG, GV	GAS GATE, GAS VALVE
H.C.	HANDICAP PARKING
H.D.P.E.	HIGH DENSITY POLYETHYLENE
HYD	HYDRANT
INVT.	INVERT
MAX	MAXIMUM
MED	MEDIUM
MIN.	MINIMUM
N.T.S.	NOT TO SCALE
N/F	NOW OR FORMERLY
OHW	OVERHEAD WIRE
PCC	PRECAST CONCRETE CURBING
PVC	POLYVINYL CHLORIDE PIPE
PROP.	PROPOSED
RPC	REINFORCED CONCRETE PIPING
R	RADIUS
R&D	REMOVE AND DISPOSE
R&S	REMOVE AND STOCK
SB/DH	STONE BOUND/DRILL HOLE
S	SEWER
SGC	SLOPED GRANITE CURBING
SMH	SEWER MANHOLE
STA	STATION
TC	TOP OF CURB
TW	TOP OF WALL
TY.	TYPICAL
TYO/F	TOP OF FOUNDATION
UP	UP
UE	UNDERGROUND ELECTRIC
VGC	VERTICAL GRANITE CURB
W	WATER
WG, WV	WATER GATE, WATER VALVE
WQS	WATER QUALITY STRUCTURE

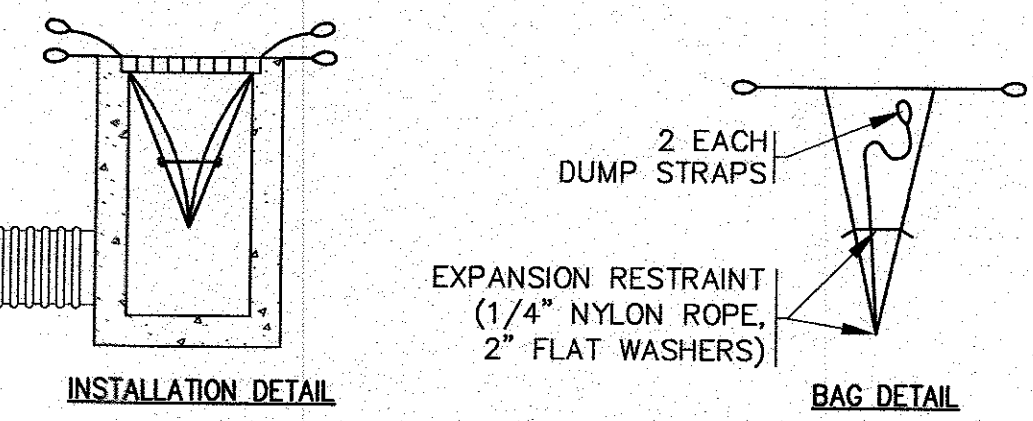
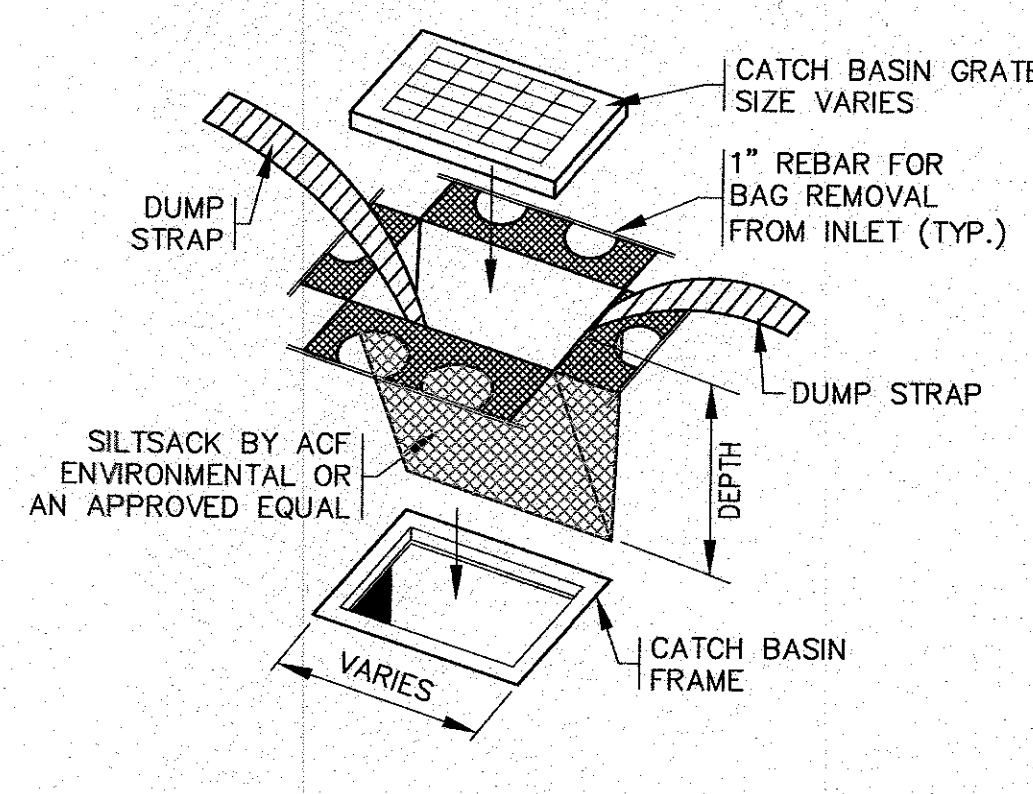
DATE: NOV. 2, 2021	APPROVED BY: <i>[Signature]</i>	DESCRIPTION
DRAWN BY: JH/JMP	DATE	
CHECKED BY: WFM	REV.	
JOB NO.: 21-9681		
SCALE: AS NOTED		

G.A.F. ENGINEERING, INC.
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 E-MAIL: info@gafengrinc.com

DEFINITIVE SUBDIVISION PLAN
"150 THONET ROAD"
NOTES & LEGEND

WAREHAM, MA
 PREPARED FOR:
A.D. MAKEPEACE COMPANY, INC
 WAREHAM, MA

JOB NO.: 21-9681
DWG.
 2 OF 7



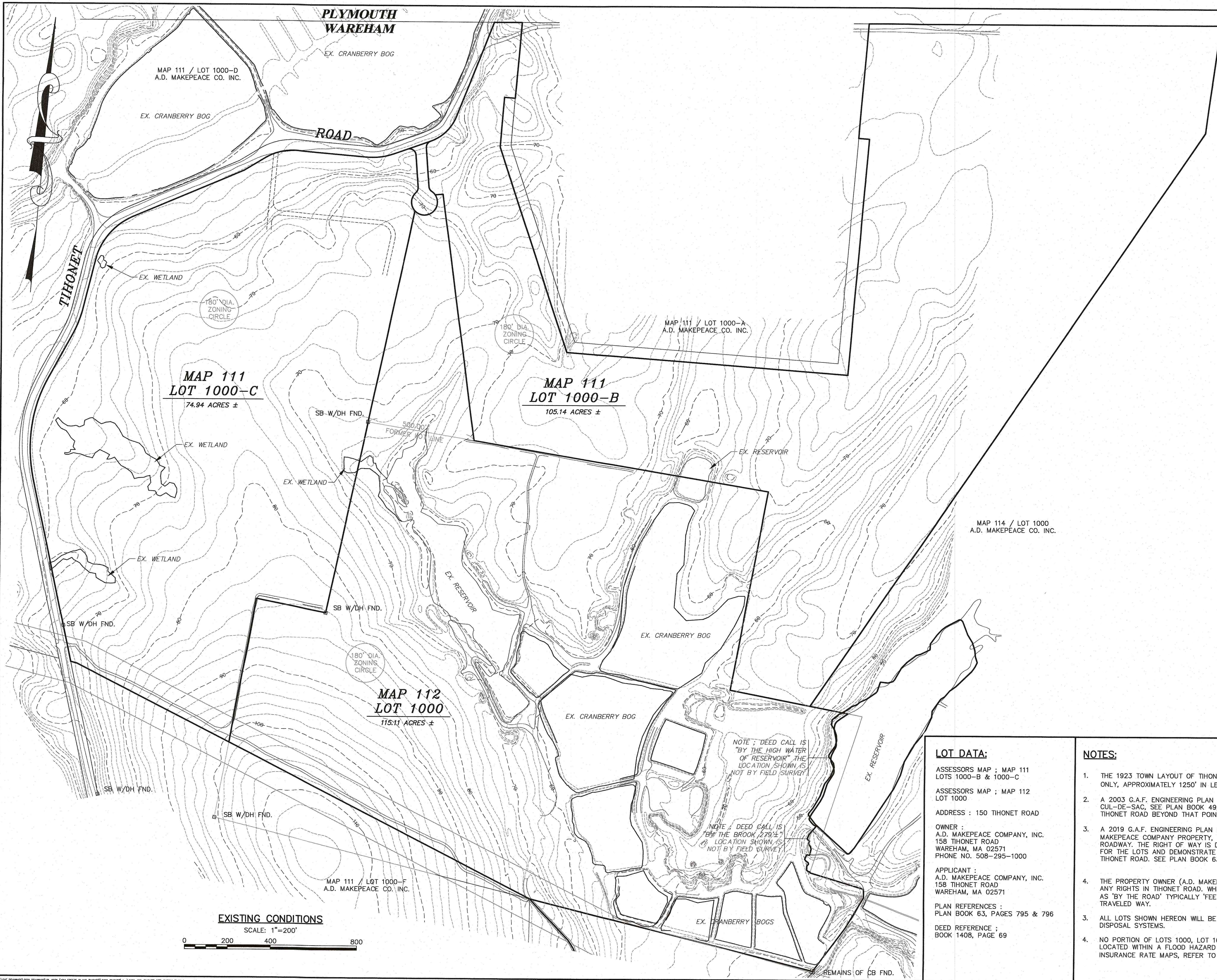
SILT SACK DETAIL
N.T.S.

EXISTING	DESC.	PROPOSED
55	CONTOURS	55
53x5	SPOT GRADES	52x5 52x5
	WETLANDS	
	50' NO ACTIVITY ZONE	
	100' BUFFER ZONE	
	F.E.M.A. FLOOD ZONE	
D	DRAIN LINE	D
	PERFORATED DRAIN LINE	
RD	ROOF DRAIN LINE	RD
	CATCH BASIN (CB)	
	DRAIN MANHOLE (DMH)	
	ELECTRIC MANHOLE (EMH)	
UE	UNDERGROUND UTILITIES	UE
OHW	OVERHEAD WIRES	OHW
	UTILITY POLE	
	GUY POLE	
	WATER GATE VALVE	
	WATER SHUTOFF/CURB STOP	
	HYDRANT	
W	WATER LINE	W
FP	FIRE PROTECTION LINE	FP
	SEWER MANHOLE (SMH)	
S	SEWER LINE	S
FM	FORCE MAIN	FM
	TREELINE	
*	LIGHT POST	*
G	GAS LINE	G
	GAS GATE/VALVE	
	GAS SHUTOFF	
	GAS METER	
	SIGN	
	FENCE	
	BOUND	
	TEST PIT/PERC TEST	
	SILT FENCE	
	GUARD RAIL	
	FLARED END SECTION	
	STONE WALL	

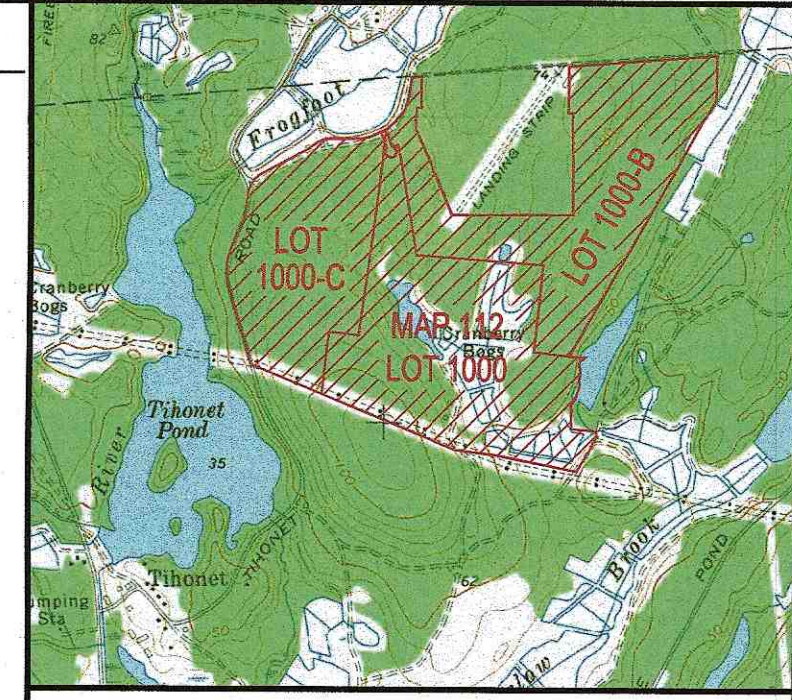
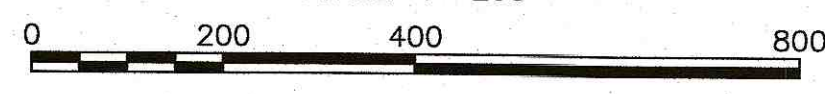
- NOTES:**
- ALL PROPOSED WATER QUALITY CATCH BASINS (WQS) SHALL HAVE TEMPORARY SILT SACKS OR AN APPROVED EQUAL INSTALLED IN THEM AS SOON AS THE STRUCTURE IS SET. CONTRACTOR SHALL REMOVE AND DISPOSE OF THEM AT THE COMPLETION OF CONSTRUCTION. ALL PROPOSED WATER QUALITY CATCH BASINS (WQS) SHALL BE INSPECTED WEEKLY DURING CONSTRUCTION. IF THERE IS ANY SEDIMENT BUILDUP, THE AFFECTED STRUCTURES SHALL BE CLEANED IMMEDIATELY, AND ALL MATERIAL REMOVED SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.
 - REFER TO PLAN FOR CATCH BASINS AND/OR WATER QUALITY CATCH BASINS LOCATIONS.

PERMIT SET
(NOT FOR CONSTRUCTION)

10: (GAF DRAWINGS) 2021 DRAWINGS 05-9681 (ADM FREEZE PLANS PROJECT) 0681 THONET (ADM) 0681-150-THONET-DEF-SUBDIV-PLAN.dwg



EXISTING CONDITIONS
SCALE: 1"=200'



LOCUS MAP : SCALE 1" = 2083'

PLAN STATEMENT:

THE PURPOSE OF THIS PLAN IS TO CREATE NEW ROAD LAYOUT BETWEEN LOT 1000-B & LOT 1000-C, AND CREATE FRONTAGE FOR LOT 1000 ON MAP 112.

ZONING DISTRICT R-60

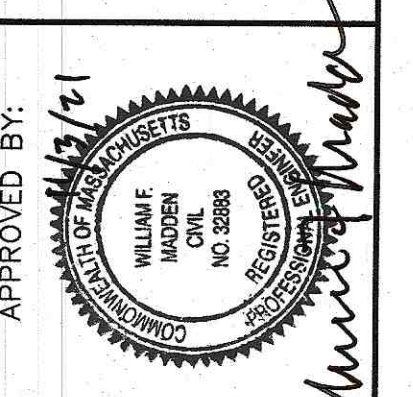
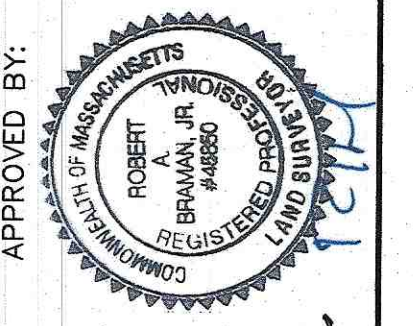
MIN. LOT AREA: 60,000 SQ.FT.
MIN. FRONTAGE: 180'
MIN. FRONT SETBACK: 60'
MIN. SIDE SETBACK: 20'
MIN. REAR SETBACK: 20'
MAX. BLDG. HEIGHT: 35'

ELEVATION DATA:

THE TOPOGRAPHY SHOWN HEREON IS FROM A 2007 AERIAL SURVEY AND IS BASED ON NAVD-88 DATUM

REV.	DATE	BY	APP'D	DESCRIPTION

DATE: NOV. 2, 2021
DRAWN BY: JH
CHECKED BY: RAS
JOB NO.: 21-9681
SCALE: AS NOTED

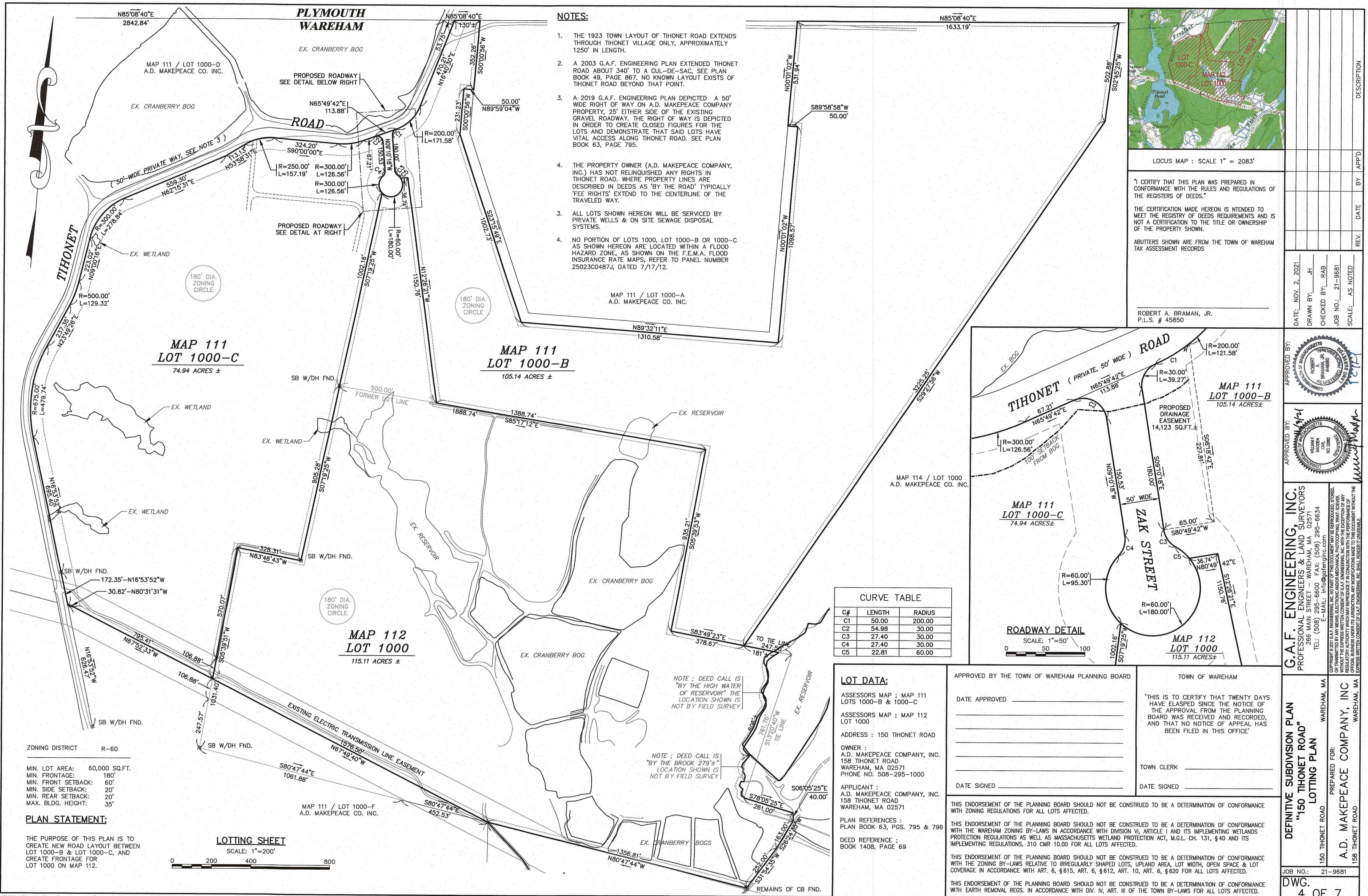


G.A.F. ENGINEERING, INC.
PROFESSIONAL ENGINEERS & LAND SURVEYORS
266 MAIN STREET, WAREHAM, MA 02571
TEL: (508) 295-6600 FAX: (508) 295-6634
E-MAIL: info@gafeng.com
G.A.F. ENGINEERING, INC. IS AN EQUAL OPPORTUNITY EMPLOYER.
WITHOUT THE EXPRESS WRITTEN CONSENT OF G.A.F. ENGINEERING, INC. WITH THE EXCEPTION OF ANY OFFICIAL BUSINESS UNDER ITS JURISDICTION, NO PART OF THIS DRAWING SHALL BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY MANNER, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE EXPRESS WRITTEN CONSENT OF G.A.F. ENGINEERING, INC.

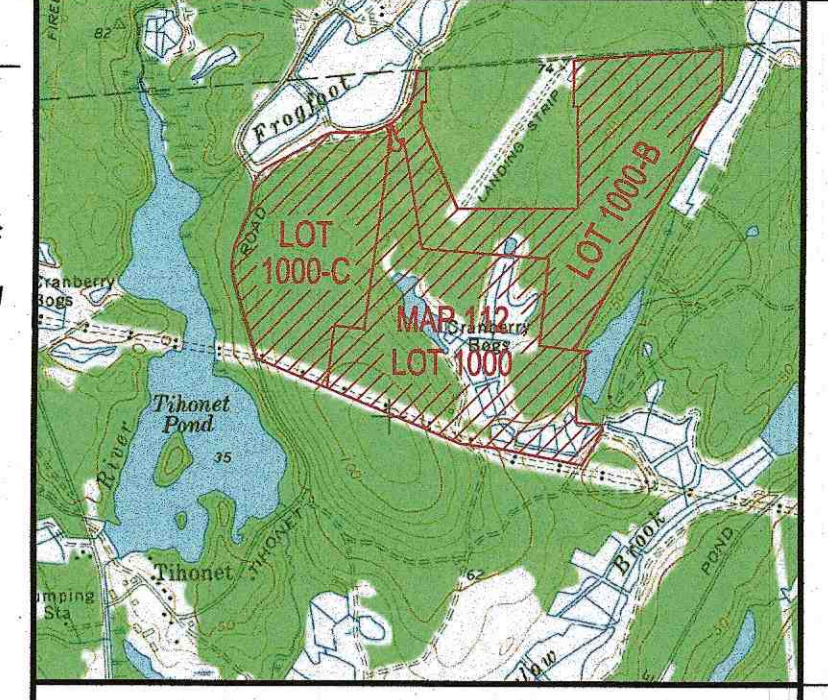
LOT DATA:
ASSESSORS MAP ; MAP 111 LOTS 1000-B & 1000-C
ASSESSORS MAP ; MAP 112 LOT 1000
ADDRESS : 150 THONET ROAD
OWNER :
A.D. MAKEPEACE COMPANY, INC.
158 THONET ROAD
WAREHAM, MA 02571
PHONE NO. 508-295-1000
APPLICANT :
A.D. MAKEPEACE COMPANY, INC.
158 THONET ROAD
WAREHAM, MA 02571
PLAN REFERENCES :
PLAN BOOK 63, PAGES 795 & 796
DEED REFERENCE ;
BOOK 1408, PAGE 69

- NOTES:**
- THE 1923 TOWN LAYOUT OF THONET ROAD EXTENDS THROUGH THONET VILLAGE ONLY, APPROXIMATELY 1250' IN LENGTH.
 - A 2003 G.A.F. ENGINEERING PLAN EXTENDED THONET ROAD ABOUT 340' TO A CUL-DE-SAC, SEE PLAN BOOK 49, PAGE 867. NO KNOWN LAYOUT EXISTS OF THONET ROAD BEYOND THAT POINT.
 - A 2019 G.A.F. ENGINEERING PLAN DEPICTED A 50' WIDE RIGHT OF WAY ON A.D. MAKEPEACE COMPANY PROPERTY, 25' EITHER SIDE OF THE EXISTING GRAVEL ROADWAY. THE RIGHT OF WAY IS DEPICTED IN ORDER TO CREATE CLOSED FIGURES FOR THE LOTS AND DEMONSTRATE THAT SAID LOTS HAVE VITAL ACCESS ALONG THONET ROAD. SEE PLAN BOOK 63, PAGE 795.
 - THE PROPERTY OWNER (A.D. MAKEPEACE COMPANY, INC.) HAS NOT RELINQUISHED ANY RIGHTS IN THONET ROAD, WHERE PROPERTY LINES ARE DESCRIBED IN DEEDS AS 'BY THE ROAD' TYPICALLY 'FEE RIGHTS' EXTEND TO THE CENTERLINE OF THE TRAVELED WAY.
 - ALL LOTS SHOWN HEREON WILL BE SERVICED BY PRIVATE WELLS & ON SITE SEWAGE DISPOSAL SYSTEMS.
 - NO PORTION OF LOTS 1000, LOT 1000-B OR 1000-C AS SHOWN HEREON ARE LOCATED WITHIN A FLOOD HAZARD ZONE, AS SHOWN ON THE F.E.M.A. FLOOD INSURANCE RATE MAPS, REFER TO PANEL NUMBER 25023C0487J, DATED 7/17/12.

DEFINITE SUBDIVISION PLAN
"150 THONET ROAD"
EXISTING CONDITIONS
150 THONET ROAD
WAREHAM, MA
PREPARED FOR:
A.D. MAKEPEACE COMPANY, INC.
158 THONET ROAD
WAREHAM, MA
JOB NO.: 21-9681
DWG. 3 OF 7



- NOTES:**
1. THE 1923 TOWN LAYOUT OF THONET ROAD EXTENDS THROUGH THONET VILLAGE ONLY, APPROXIMATELY 1250' IN LENGTH.
 2. A 2003 G.A.F. ENGINEERING PLAN EXTENDED THONET ROAD ABOUT 340' TO A CUL-DE-SAC, SEE PLAN BOOK 49, PAGE 867. NO KNOWN LAYOUT EXISTS OF THONET ROAD BEYOND THAT POINT.
 3. A 2019 G.A.F. ENGINEERING PLAN DEPICTED A 50' WIDE RIGHT OF WAY ON A.D. MAKEPEACE COMPANY PROPERTY, 25' EITHER SIDE OF THE EXISTING GRAVEL ROADWAY. THE RIGHT OF WAY IS DEPICTED IN ORDER TO CREATE CLOSED FIGURES FOR THE LOTS AND DEMONSTRATE THAT SAID LOTS HAVE VITAL ACCESS ALONG THONET ROAD. SEE PLAN BOOK 63, PAGE 795.
 4. THE PROPERTY OWNER (A.D. MAKEPEACE COMPANY, INC.) HAS NOT RELINQUISHED ANY RIGHTS IN THONET ROAD, WHERE PROPERTY LINES ARE DESCRIBED IN DEEDS AS "BY THE ROAD" TYPICALLY "FEE RIGHTS" EXTEND TO THE CENTERLINE OF THE TRAVELED WAY.
3. ALL LOTS SHOWN HEREON WILL BE SERVICED BY PRIVATE WELLS & ON SITE SEWAGE DISPOSAL SYSTEMS.
 4. NO PORTION OF LOTS 1000, LOT 1000-B OR 1000-C AS SHOWN HEREON ARE LOCATED WITHIN A FLOOD HAZARD ZONE, AS SHOWN ON THE F.E.M.A. FLOOD INSURANCE RATE MAPS, REFER TO PANEL NUMBER 25023C0487J, DATED 7/17/12.



LOCUS MAP : SCALE 1" = 2083'

"I CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS."

THE CERTIFICATION MADE HEREON IS INTENDED TO MEET THE REGISTRY OF DEEDS REQUIREMENTS AND IS NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE PROPERTY SHOWN.

ABUTTERS SHOWN ARE FROM THE TOWN OF WAREHAM TAX ASSESSMENT RECORDS

ROBERT A. BRAMAN, JR.
P.L.S. # 45850

DATE	BY	APP'D
NOV. 2, 2021	JH	
CHECKED BY:	RAB	
JOB NO.:	21-9681	
SCALE:	AS NOTED	

**MAP 111
LOT 1000-C**
74.94 ACRES ±

**MAP 111
LOT 1000-B**
105.14 ACRES ±

**MAP 112
LOT 1000**
115.11 ACRES ±

**MAP 111
LOT 1000-C**
74.94 ACRES ±

**MAP 111
LOT 1000-B**
105.14 ACRES ±

**MAP 112
LOT 1000**
115.11 ACRES ±

CURVE TABLE

C#	LENGTH	RADIUS
C1	50.00	200.00
C2	54.98	30.00
C3	27.40	30.00
C4	27.40	30.00
C5	22.81	60.00

LOT DATA:

ASSESSORS MAP ; MAP 111
LOTS 1000-B & 1000-C

ASSESSORS MAP ; MAP 112
LOT 1000

ADDRESS : 150 THONET ROAD

OWNER :
A.D. MAKEPEACE COMPANY, INC.
158 THONET ROAD
WAREHAM, MA 02571
PHONE NO. 508-295-1000

APPLICANT :
A.D. MAKEPEACE COMPANY, INC.
158 THONET ROAD
WAREHAM, MA 02571

PLAN REFERENCES :
PLAN BOOK 63, PGS. 795 & 796

DEED REFERENCE :
BOOK 1408, PAGE 69

APPROVED BY THE TOWN OF WAREHAM PLANNING BOARD

DATE APPROVED _____

DATE SIGNED _____

TOWN OF WAREHAM

"THIS IS TO CERTIFY THAT TWENTY DAYS HAVE ELAPSED SINCE THE NOTICE OF THE APPROVAL FROM THE PLANNING BOARD WAS RECEIVED AND RECORDED, AND THAT NO NOTICE OF APPEAL HAS BEEN FILED IN THIS OFFICE"

TOWN CLERK _____

DATE SIGNED _____

THIS ENDORSEMENT OF THE PLANNING BOARD SHOULD NOT BE CONSTRUED TO BE A DETERMINATION OF CONFORMANCE WITH ZONING REGULATIONS FOR ALL LOTS AFFECTED.

THIS ENDORSEMENT OF THE PLANNING BOARD SHOULD NOT BE CONSTRUED TO BE A DETERMINATION OF CONFORMANCE WITH THE WAREHAM ZONING BY-LAWS IN ACCORDANCE WITH DIVISION VI, ARTICLE I AND ITS IMPLEMENTING WETLANDS PROTECTION REGULATIONS AS WELL AS MASSACHUSETTS WETLAND PROTECTION ACT, M.G.L. CH. 131, § 40 AND ITS IMPLEMENTING REGULATIONS, 310 CMR 10.00 FOR ALL LOTS AFFECTED.

THIS ENDORSEMENT OF THE PLANNING BOARD SHOULD NOT BE CONSTRUED TO BE A DETERMINATION OF CONFORMANCE WITH THE ZONING BY-LAWS RELATIVE TO IRREGULARLY SHAPED LOTS, UPLAND AREA, LOT WIDTH, OPEN SPACE & LOT COVERAGE IN ACCORDANCE WITH ART. 6, § 615, ART. 6, § 612, ART. 10, ART. 6, § 620 FOR ALL LOTS AFFECTED.

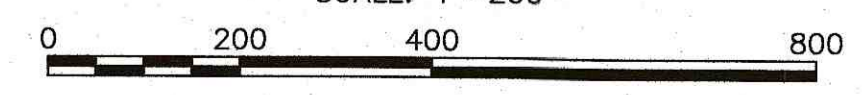
THIS ENDORSEMENT OF THE PLANNING BOARD SHOULD NOT BE CONSTRUED TO BE A DETERMINATION OF CONFORMANCE WITH EARTH REMOVAL REGS. IN ACCORDANCE WITH DIV. IV, ART. III OF THE TOWN BY-LAWS FOR ALL LOTS AFFECTED.

- ZONING DISTRICT R-60
- MIN. LOT AREA: 60,000 SQ.FT.
 - MIN. FRONTAGE: 180'
 - MIN. FRONT SETBACK: 60'
 - MIN. SIDE SETBACK: 20'
 - MIN. REAR SETBACK: 20'
 - MAX. BLDG. HEIGHT: 35'

PLAN STATEMENT:

THE PURPOSE OF THIS PLAN IS TO CREATE NEW ROAD LAYOUT BETWEEN LOT 1000-B & LOT 1000-C, AND CREATE FRONTAGE FOR LOT 1000 ON MAP 112.

LOTTING SHEET
SCALE: 1"=200'



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TEL: (508) 295-6600 FAX: (508) 295-6634
E-MAIL: info@gafenginc.com

A.D. MAKEPEACE COMPANY, INC.
WAREHAM, MA

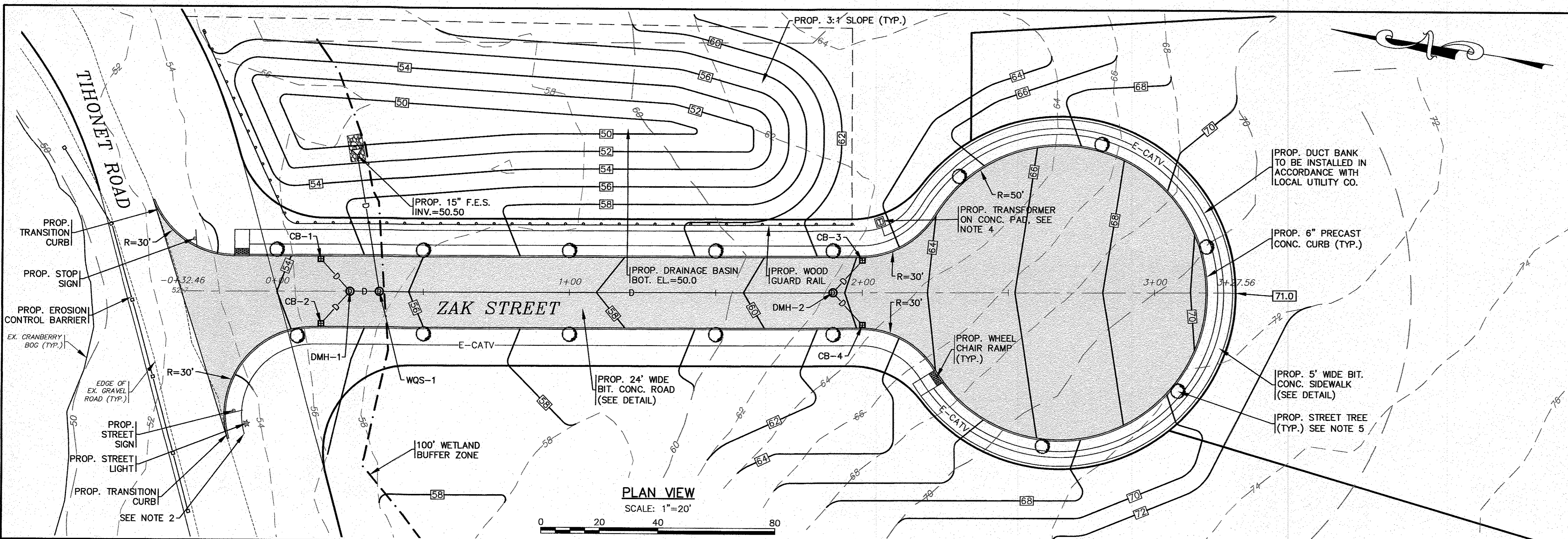
**DEFINITIVE SUBDIVISION PLAN
"150 THONET ROAD"
LOTGING PLAN**

150 THONET ROAD

PREPARED FOR:
A.D. MAKEPEACE COMPANY, INC.

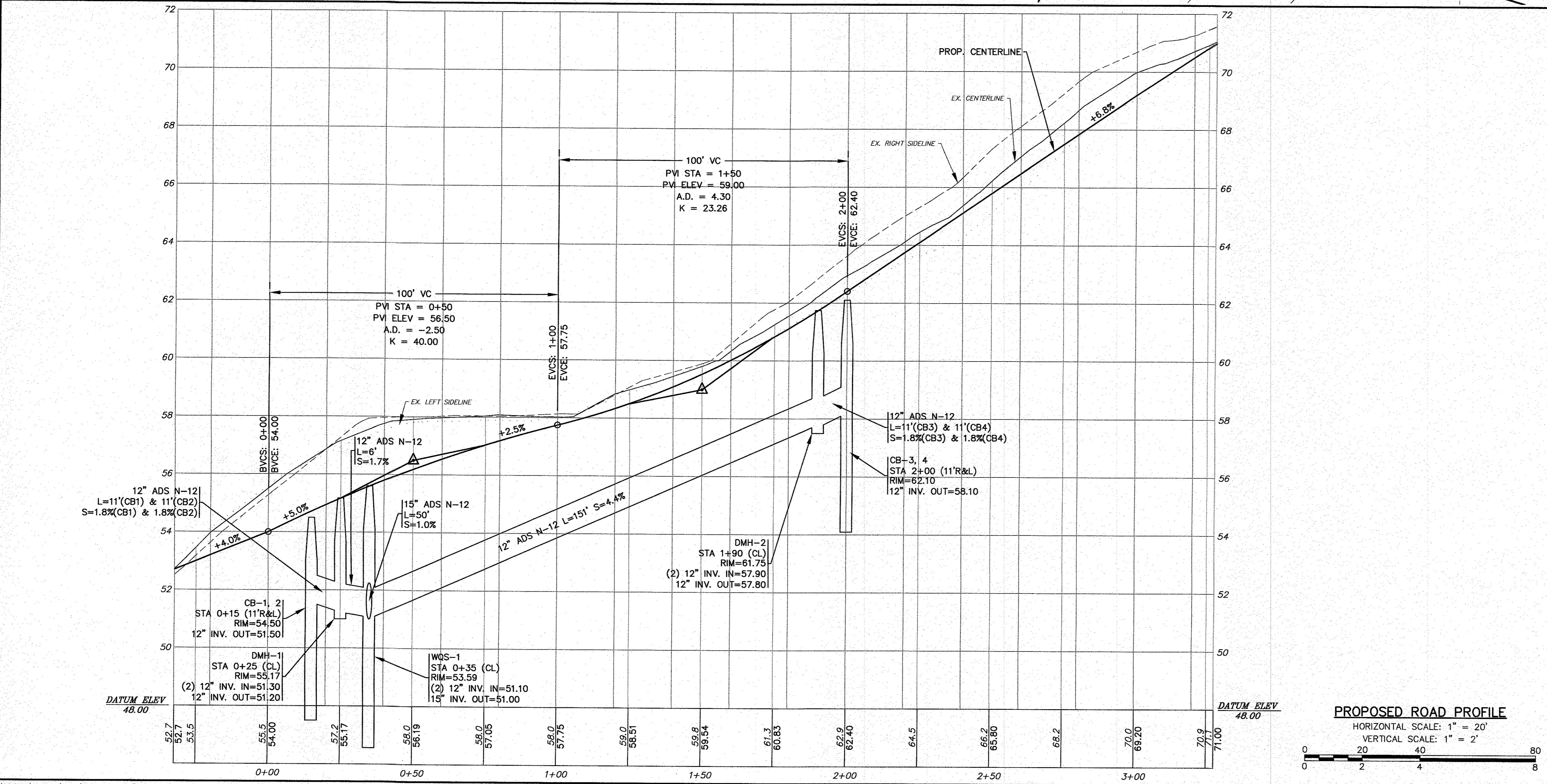
JOB NO.: 21-9681

DWG. 4 OF 7



- NOTES:**
- ALL PROPOSED CATCH BASINS SHALL HAVE A TEMPORARY SILT SACK OR AN APPROVED EQUAL INSTALLED IN THEM AS SOON AS THE STRUCTURE IS SET. CONTRACTOR SHALL REMOVE AND DISPOSE OF THE SILT SACKS AT THE COMPLETION OF CONSTRUCTION.
 - CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANY FOR CONNECTION POINT OF THE PROPOSED UNDERGROUND ELECTRIC SERVICE PRIOR TO CONSTRUCTION.
 - FINAL LOCATIONS, DEPTHS AND CONSTRUCTION OF UNDERGROUND UTILITY SERVICES SHALL BE DETERMINED BY THEIR RESPECTIVE UTILITIES COMPANY.
 - CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY FOR FINAL LOCATION, SIZE AND CONFIGURATION OF TRANSFORMERS. PROTECT TRANSFORMERS WITH BOLLARDS.
 - THE PROPOSED WATER QUALITY STRUCTURE (WQS) SHALL BE A CDS2015-4-C UNIT FROM CONTECH ENGINEERED SOLUTIONS LLC, SEE DETAIL.
 - STREET TREES SHALL BE PLACED AT 50' ON CENTER AND WHERE SHOWN ON THE PLAN IN ORDER TO ALLOW MAXIMUM SIGHT DISTANCE AT THE INTERSECTION. STREET TREES SHALL BE RED MAPLES (ACER RUBRUM) WITH NO BRANCHES CLOSER THAN 7' TO GRADE.
 - A BENCHMARK WILL BE SET PRIOR TO THE START OF CONSTRUCTION.

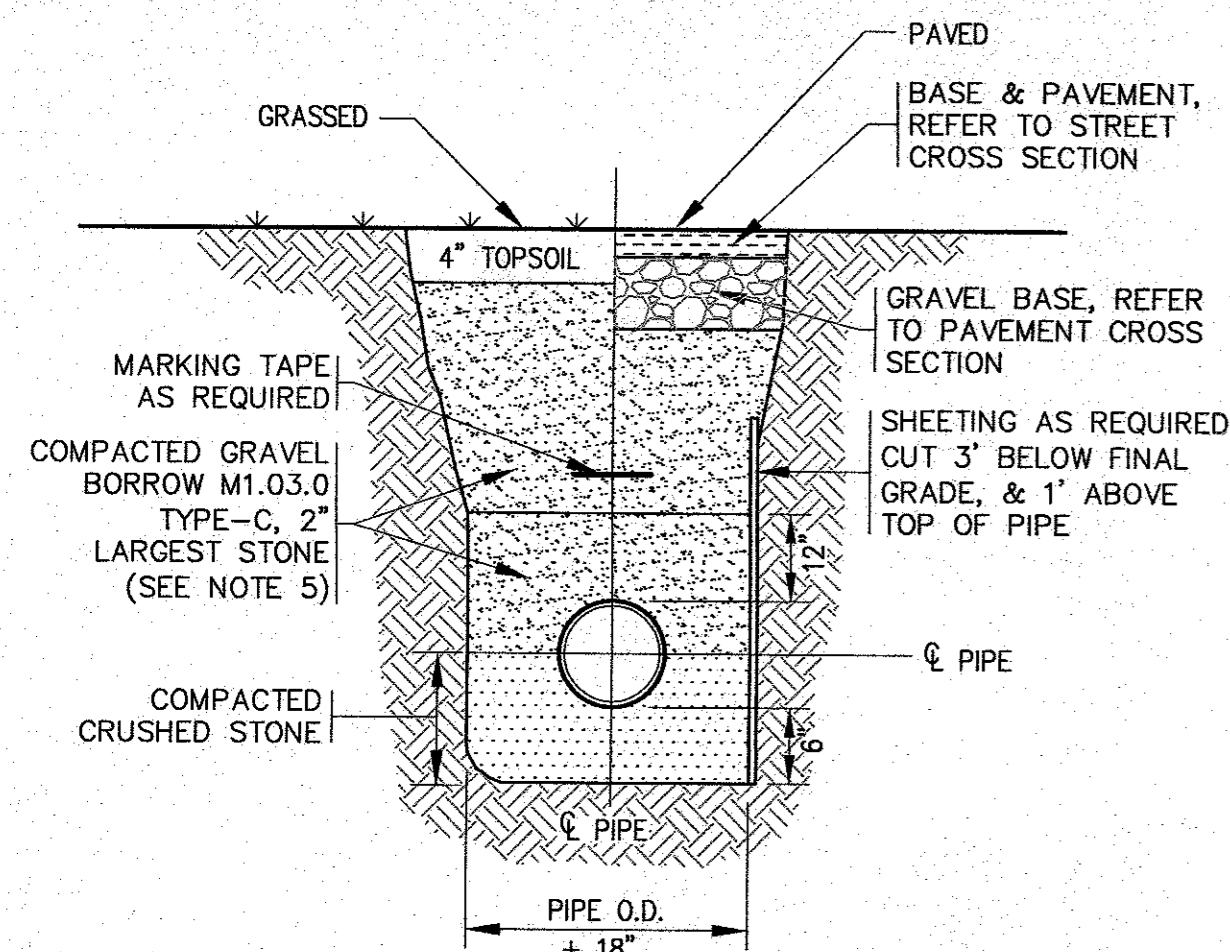
DATE: NOV. 2, 2021	APPROVED BY:
DRAWN BY: JMP	
CHECKED BY: WFW	
JOB NO.: 21-9681	
SCALE: AS NOTED	
REV.	DATE
BY	APPD
	DESCRIPTION



APPROVED BY:

G.A.F. ENGINEERING, INC.
 PROFESSIONAL ENGINEERS & LAND SURVEYORS
 266 MAIN STREET - WARREN, MA 02571
 TEL: (508) 295-6600 FAX: (508) 295-6634
 E-MAIL: info@gafeng.com

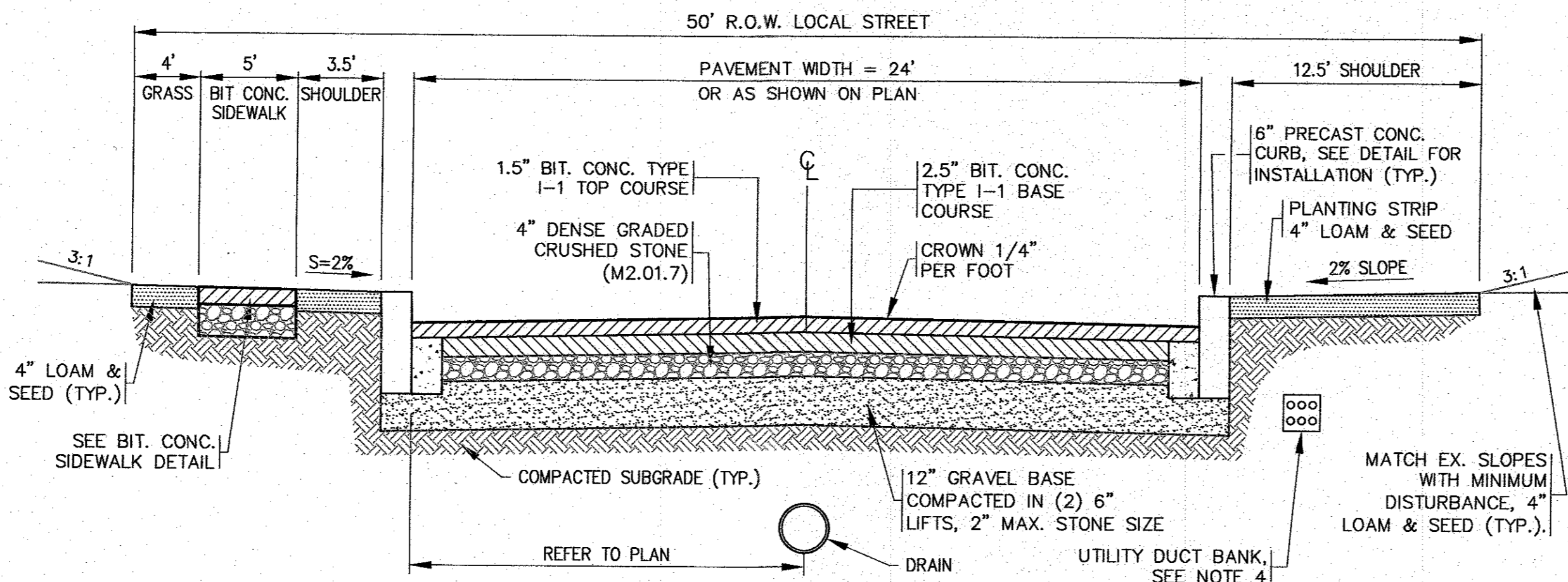
PREPARED FOR:
A.D. MAKEPEACE COMPANY, INC.
 150 THONET ROAD
 WARREN, MA



NOTES:

1. PIPE BEDDING SHALL BE COMPACTED BEFORE PIPE INSTALLATION.
2. COMPACTION AROUND PIPE SHALL BE BY TAMPER AT 6" MAX. LIFTS.
3. MIN. COVER OVER PIPE = 1'-6"
4. MIN. COVER OVER WATER SERVICES/MAINS = 5'-0"
5. FOR ALL WORK IN THONET ROAD USE FLOWABLE FILL AS REQUIRED BY THE TOWN OF WAREHAM MUNICIPAL MAINTENANCE DEPARTMENT.

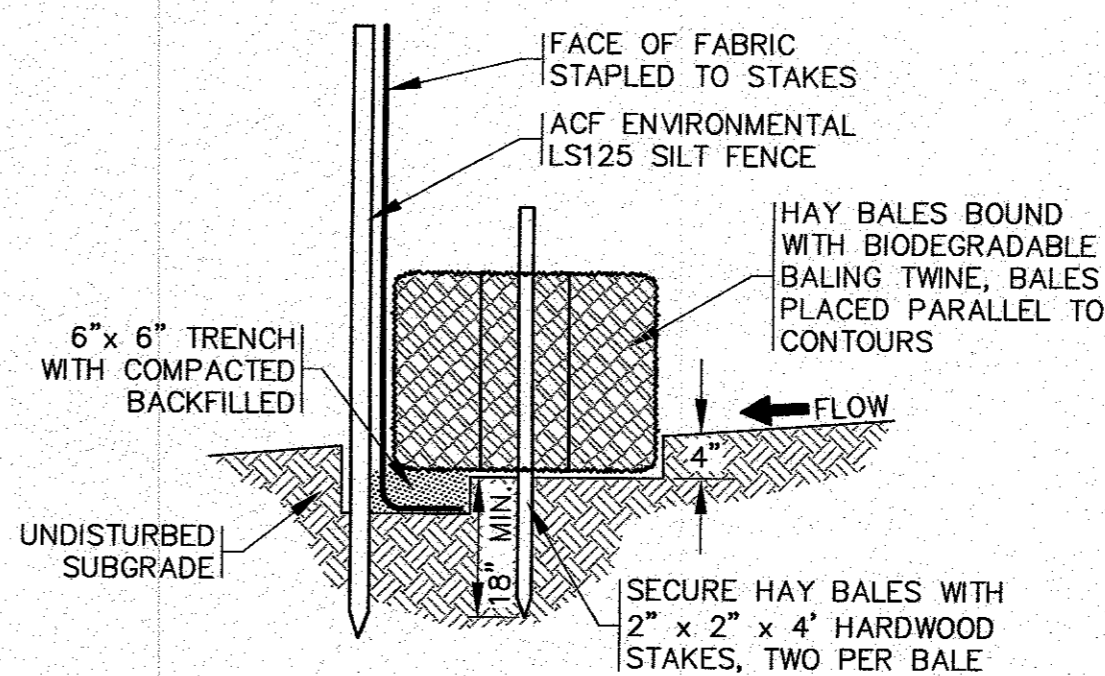
TYPICAL PIPE TRENCH
N.T.S.



NOTES:

1. ALL PAVEMENT SHALL BE IN ACCORDANCE WITH MassDOT SPEC. SECTION 460 & 401, UNLESS OTHERWISE NOTED, AND SHALL MEET TOWN OF WAREHAM SPECIFICATIONS.
2. GRAVEL BASE SHALL CONFORM TO MassDOT MATERIAL SPEC. SECTION M1.03.0 TYPE C.
3. SUBGRADE & BASE SHALL BE COMPACTED TO MINIMUM 95% MAXIMUM DRY DENSITY.
4. FINAL LOCATIONS, DEPTHS AND CONSTRUCTION OF UNDERGROUND ELECTRIC SERVICE SHALL BE DETERMINED BY THEIR RESPECTIVE UTILITIES COMPANY.

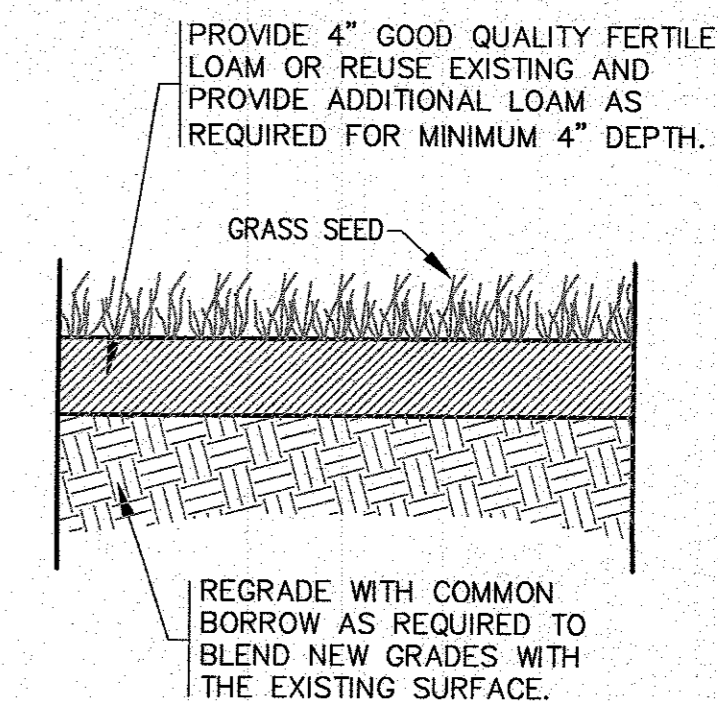
TYPICAL STREET CROSS SECTION
N.T.S.



NOTES:

1. THE SILTATION FENCE SHALL BE ACF ENVIRONMENTAL, MODEL LS125.
2. SILTATION FENCING SHALL BE INSTALLED DOWNSLOPE OF ALL PROPOSED AND EXISTING DISTURBED AREAS, OR AS SHOWN ON THE PLANS.
3. THE EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL A VEGETATIVE COVER HAS BEEN FIRMLY ESTABLISHED.
4. EROSION CONTROL MEASURES SHALL FOLLOW THE PERFORMANCE STANDARDS OF THE USDA SOIL CONSERVATION SERVICE, AND ANY APPLICABLE STATE AND/OR LOCAL CONSERVATION AUTHORITY.

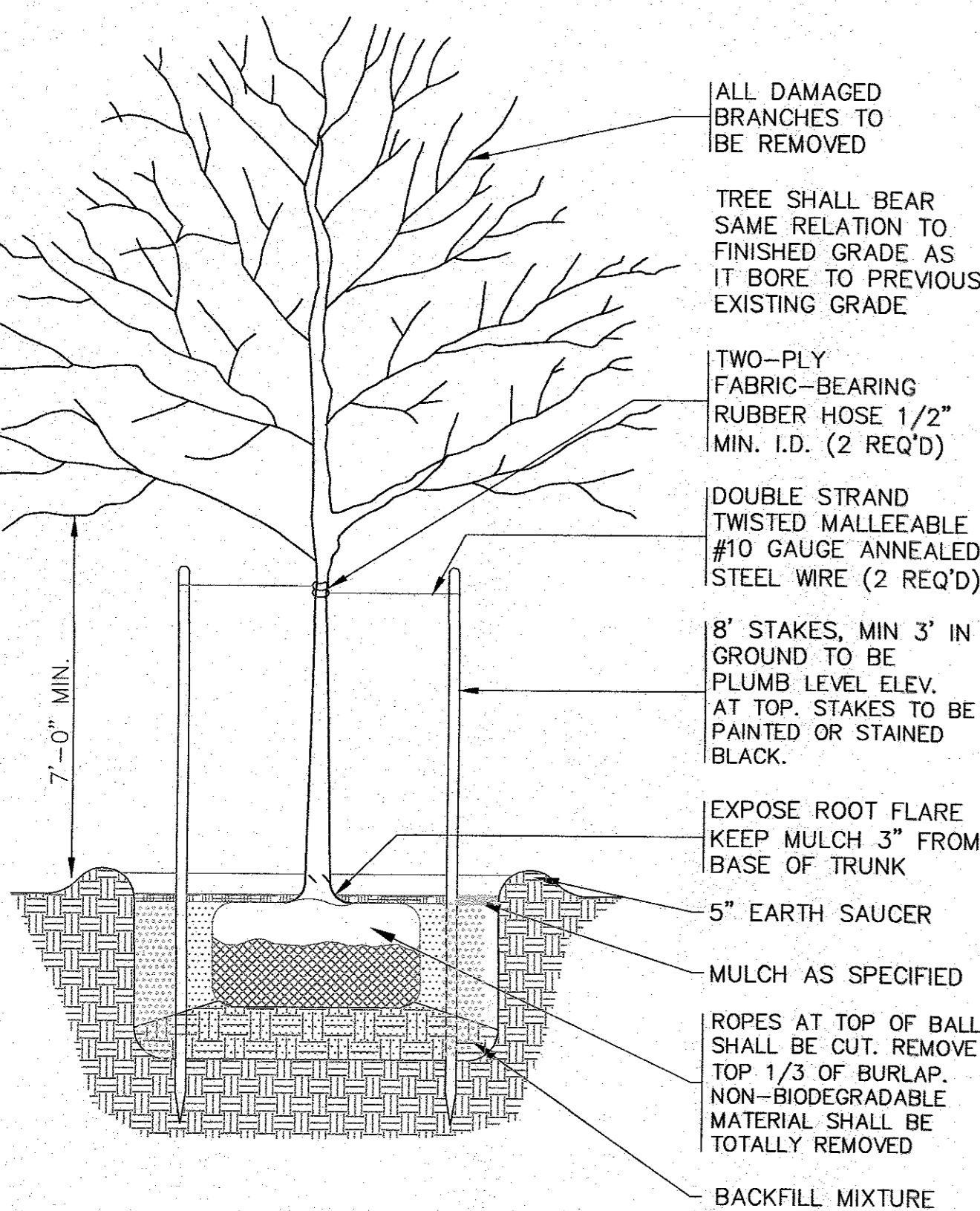
HAY BALE / SILTATION FENCE BARRIER
N.T.S.



NOTES:

1. MATERIALS AND CONSTRUCTION METHODS FOR LOAM BORROW AND TOPSOIL SHALL CONFORM TO THE RELEVANT PROVISIONS OF SECTION 751 OF THE MassDOT STANDARD SPECIFICATIONS AND WITH THE PROCEDURES DESCRIBED HEREIN.
2. MATERIALS AND CONSTRUCTION FOR SEEDING SHALL CONFORM TO THE RELEVANT PROVISIONS OF SECTION 765 OF THE MassDOT STANDARD SPECIFICATIONS.
3. SEED FOR GRASS STRIPS SHALL CONFORM TO MassDOT MATERIAL SPEC. M6.03.0, GRASSPLOTS AND ISLANDS.
4. GRASS SHALL BE MAINTAINED A MINIMUM OF 4" HIGH WITHIN THE DRAINAGE AREAS.
5. LOAM AND SEED ALL DISTURBED AREAS.

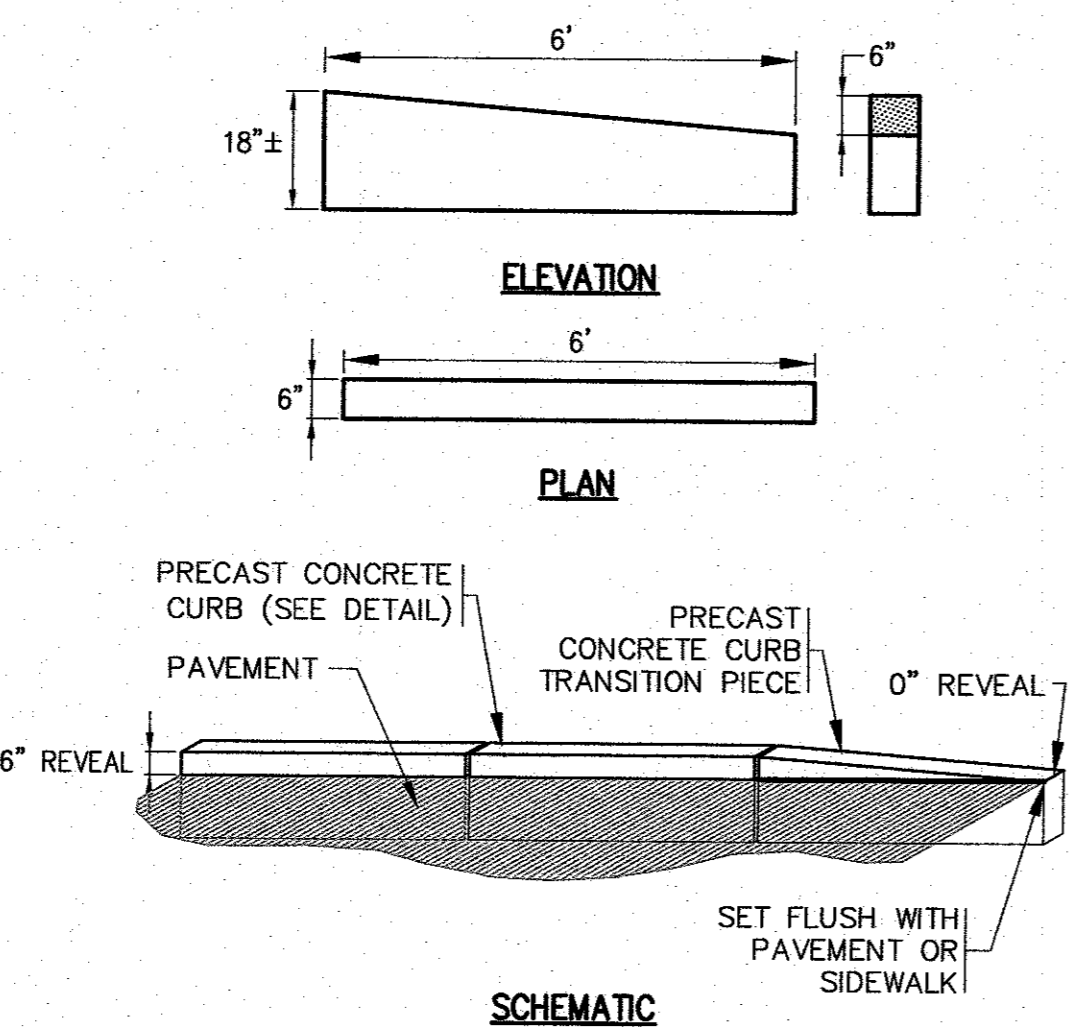
LOAM AND SEED DETAIL
N.T.S.



NOTES:

1. REFER TO THE PLAN FOR PLANTING LOCATIONS.

STREET TREE PLANTING DETAIL
N.T.S.



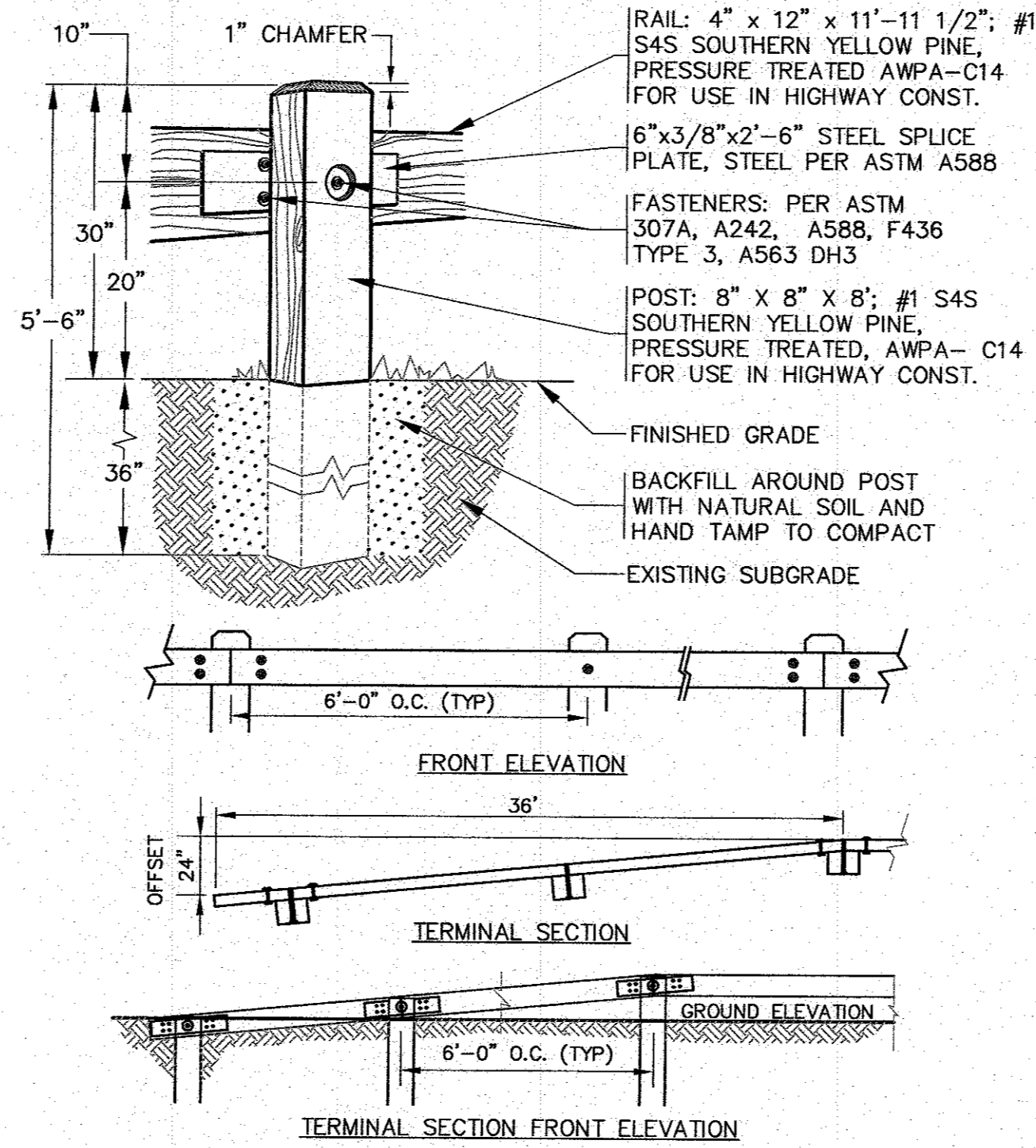
NOTES:

1. REFER TO PLAN FOR LOCATIONS.
2. PROVIDE RADIAL TRANSITION CURBING WHERE REQUIRED. REFER TO MANUFACTURER'S INSTALLATION DETAILS.
3. ALL WORK SHALL CONFORM TO MassDOT SPECIFICATIONS AND DETAILS. REFER TO THE LATEST REVISIONS OF THE MassDOT STANDARD SPECIFICATIONS AND DETAILS FOR HIGHWAY AND BRIDGES.
4. SEE PRECAST CONCRETE CURB DETAIL FOR CURBING INSTALLATION.

TRANSITION CURB DETAIL
N.T.S.

NOTES:

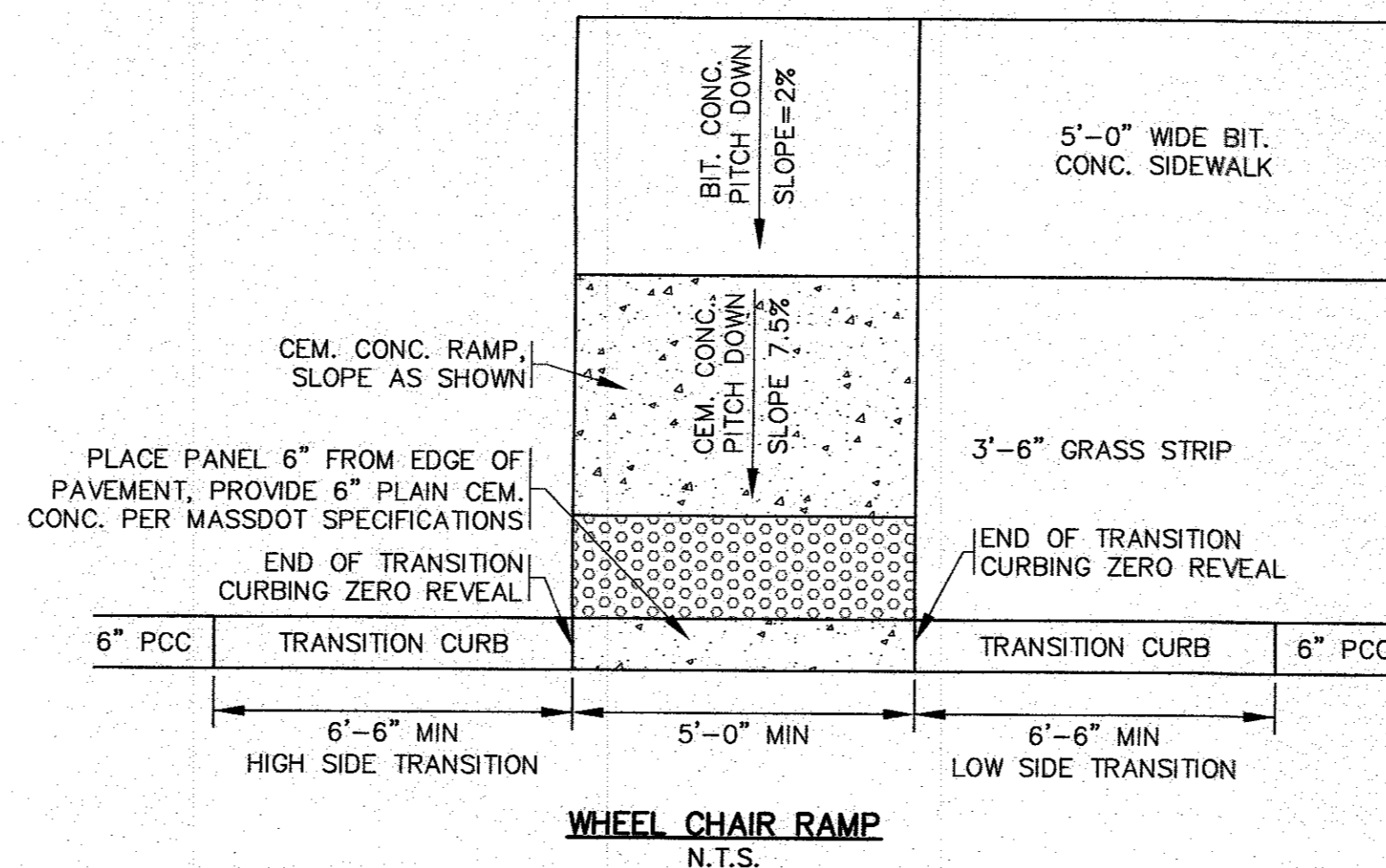
1. SIDEWALK CROSS SLOPES, AS INDICATED IN STANDARD SPECIFICATIONS, WILL BE AT 1.6% MAX., 1.5% PREFERRED FOR BRICK, CEMENT CONCRETE, AND BITUMINOUS CONCRETE WITH EXCEPTION ONLY TO SIDEWALK CROSS SLOPE ON BRIDGES WHICH WILL BE 1% (REFER TO STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, SECTION 700.) IN NO INSTANCE SHALL THE SIDEWALK CROSS SLOPE EXCEED 2%.
2. AN UNOBSTRUCTED PATH OF TRAVEL WITH A MINIMUM WIDTH OF 3.5' SHALL BE MAINTAINED. THE DESIRABLE WIDTH IS 4.0'.
3. THE WHEEL CHAIR RAMP SLOPE AND SIDE SLOPES (TRANSITIONS) MUST NOT EXCEED 7.5% HOWEVER, THESE SLOPES MAY BE FLATTER THAN 1:12 WHEN WARRANTED BY SURROUNDING CONDITIONS.
4. THE ENTRANCE OF A WHEEL CHAIR RAMP SHALL BE FLUSH WITH THE ROADWAY.
5. SURFACE TESTING, WHEN TESTING WITH A STRAIGHTEDGE PLACED PARALLEL TO THE LINE OF SLOPE, THERE SHALL BE NO DEVIATION FROM A TRUE SURFACE IN EXCESS OF 1/4".
6. ALL HANDICAP RAMPS SHALL HAVE DETECTABLE WARNINGS INSTALLED IN ACCORDANCE WITH ADA SPECIFICATIONS & MassDOT CONSTRUCTION STANDARD DETAILS.
9. ALL WORK SHALL COMPLY TO ADA SPECIFICATIONS AND MassDOT CONSTRUCTION STANDARD DETAILS.



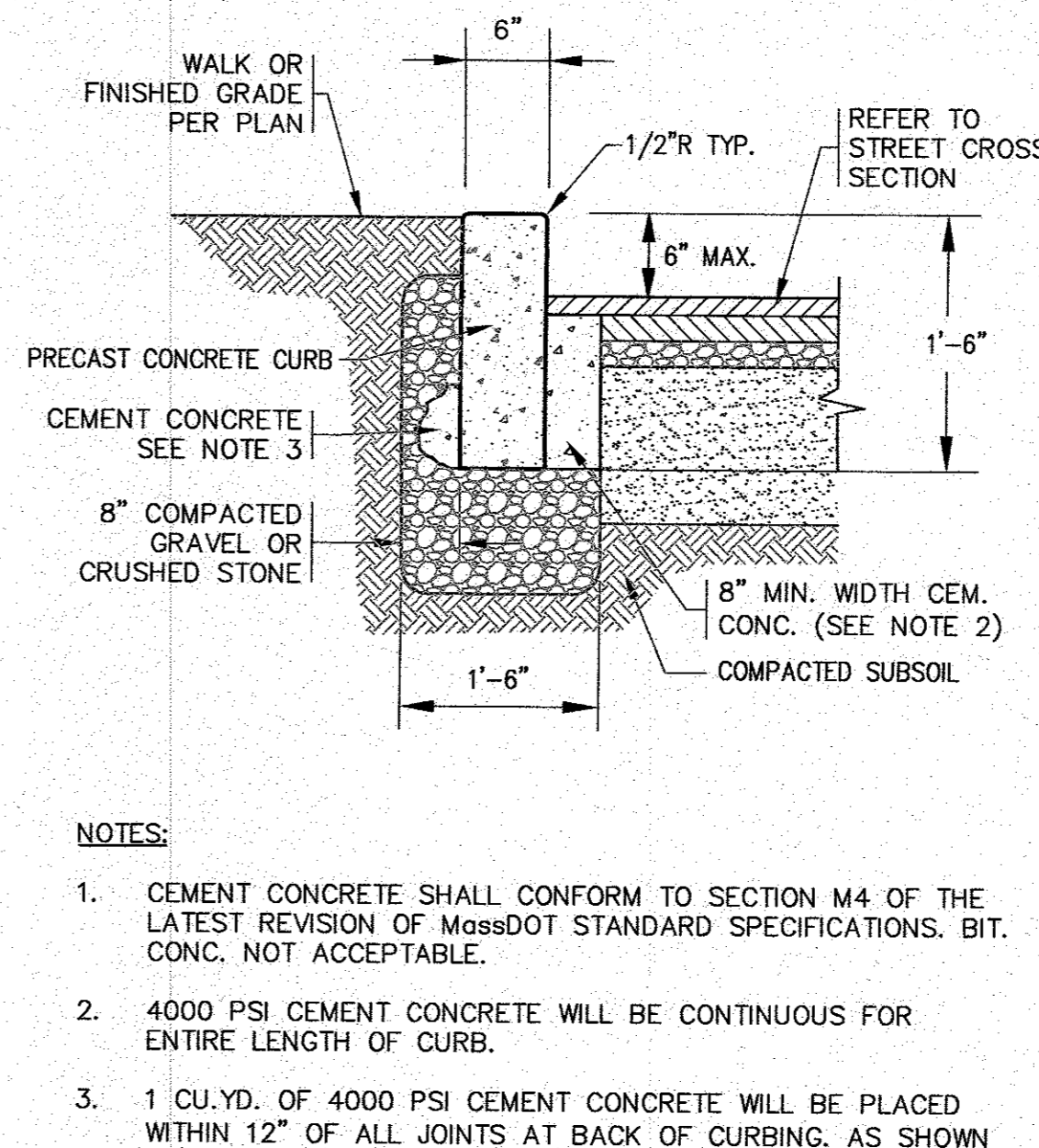
NOTES:

1. CONTRACTOR TO COORDINATE WITH OWNER FOR FINAL TIMBER GUARD RAIL SPECIFICATIONS AND DETAILS.

TYPICAL TIMBER GUARD RAIL DETAIL
N.T.S.



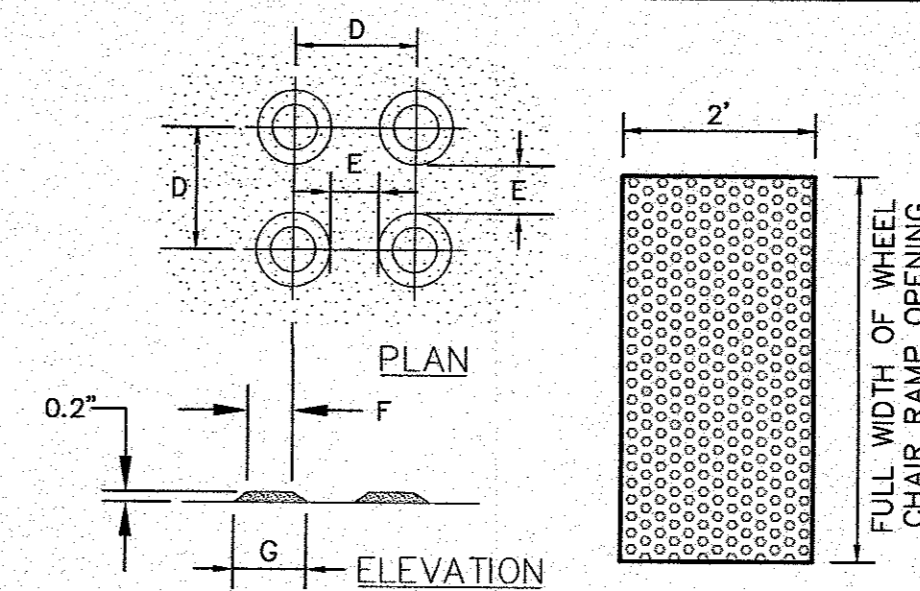
WHEEL CHAIR RAMP
N.T.S.



NOTES:

1. CEMENT CONCRETE SHALL CONFORM TO SECTION M4 OF THE LATEST REVISION OF MassDOT STANDARD SPECIFICATIONS. BIT. CONC. NOT ACCEPTABLE.
2. 4000 PSI CEMENT CONCRETE WILL BE CONTINUOUS FOR ENTIRE LENGTH OF CURB.
3. 1 CU.YD. OF 4000 PSI CEMENT CONCRETE WILL BE PLACED WITHIN 12" OF ALL JOINTS AT BACK OF CURBING, AS SHOWN

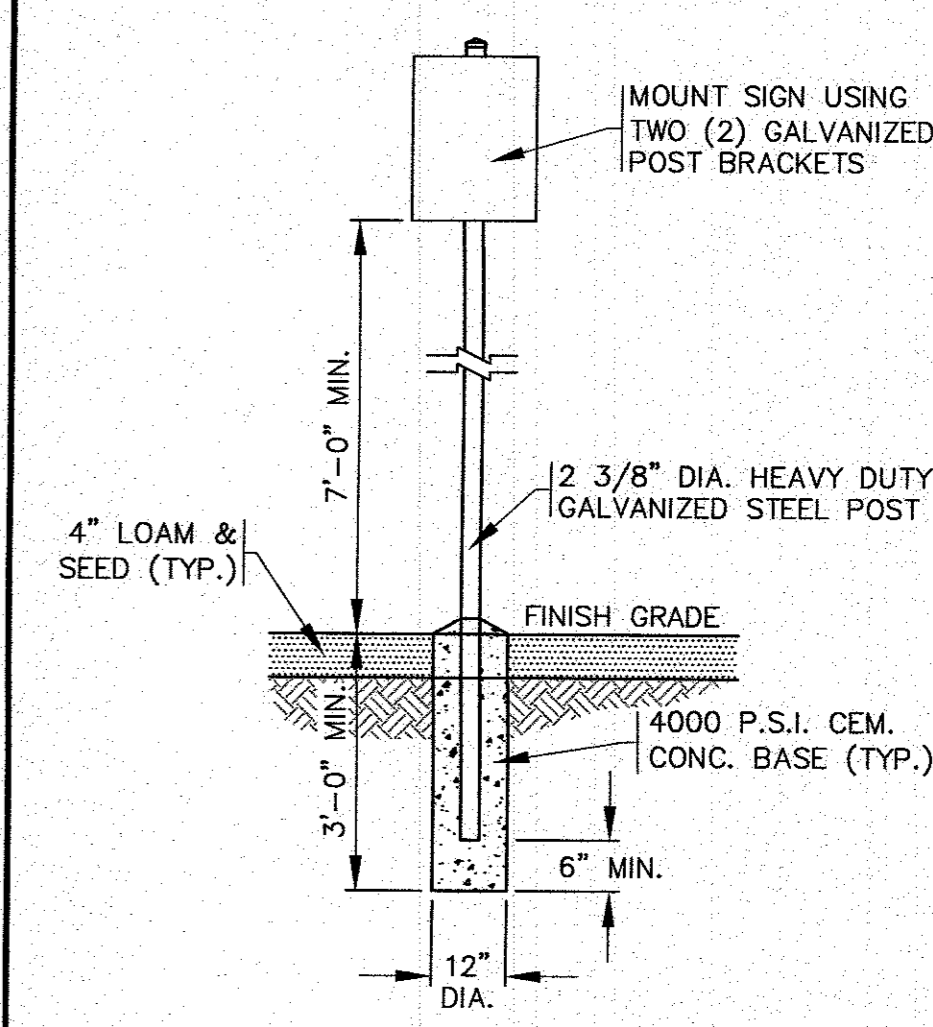
PRECAST CONCRETE CURB
N.T.S.



NOTES:

1. REFER TO PLAN FOR LOCATIONS.
2. ALL WORK SHALL COMPLY TO ADA SPECIFICATIONS AND MassDOT CONSTRUCTION STANDARD DETAILS.

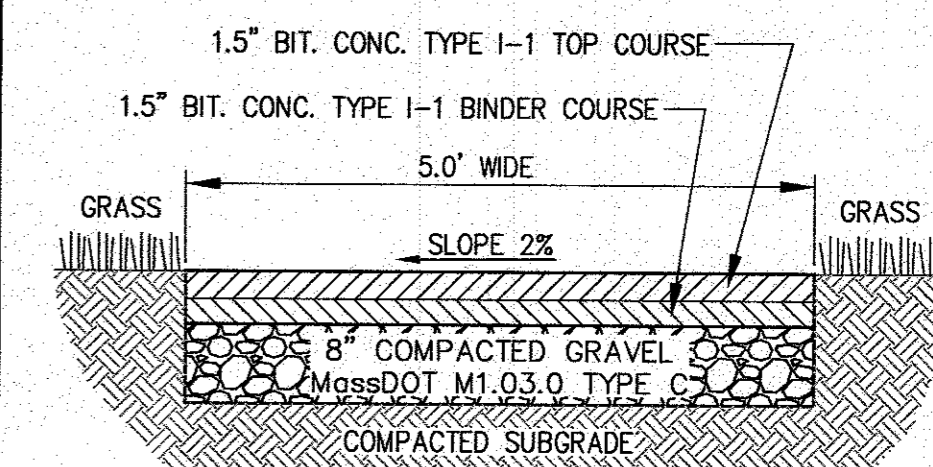
TRUNCATED DOME DETECTABLE WARNING PAD
N.T.S.



NOTES:

1. ALL SIGNS, MARKINGS AND DIMENSIONS SHALL BE IN CONFORMANCE WITH THE MOST RECENT EDITIONS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), MassDOT and TOWN OF WAREHAM STANDARDS AND SPECIFICATIONS.
2. REFER TO PLAN FOR LOCATIONS.
3. ALL HARDWARE USED SHALL BE CADMIUM OR ZINC PLATED.

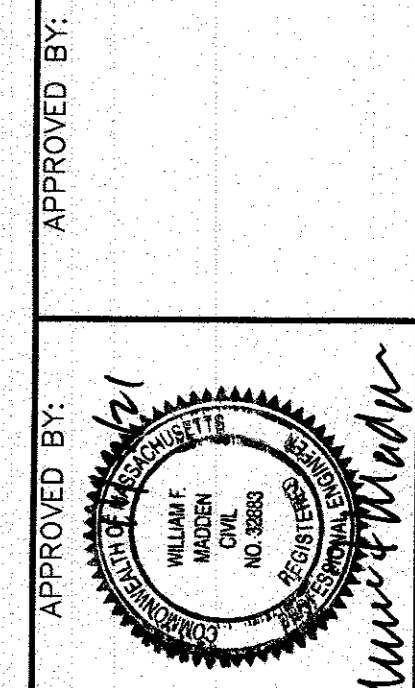
SIGN & SIGN POST DETAIL
N.T.S.



NOTES:

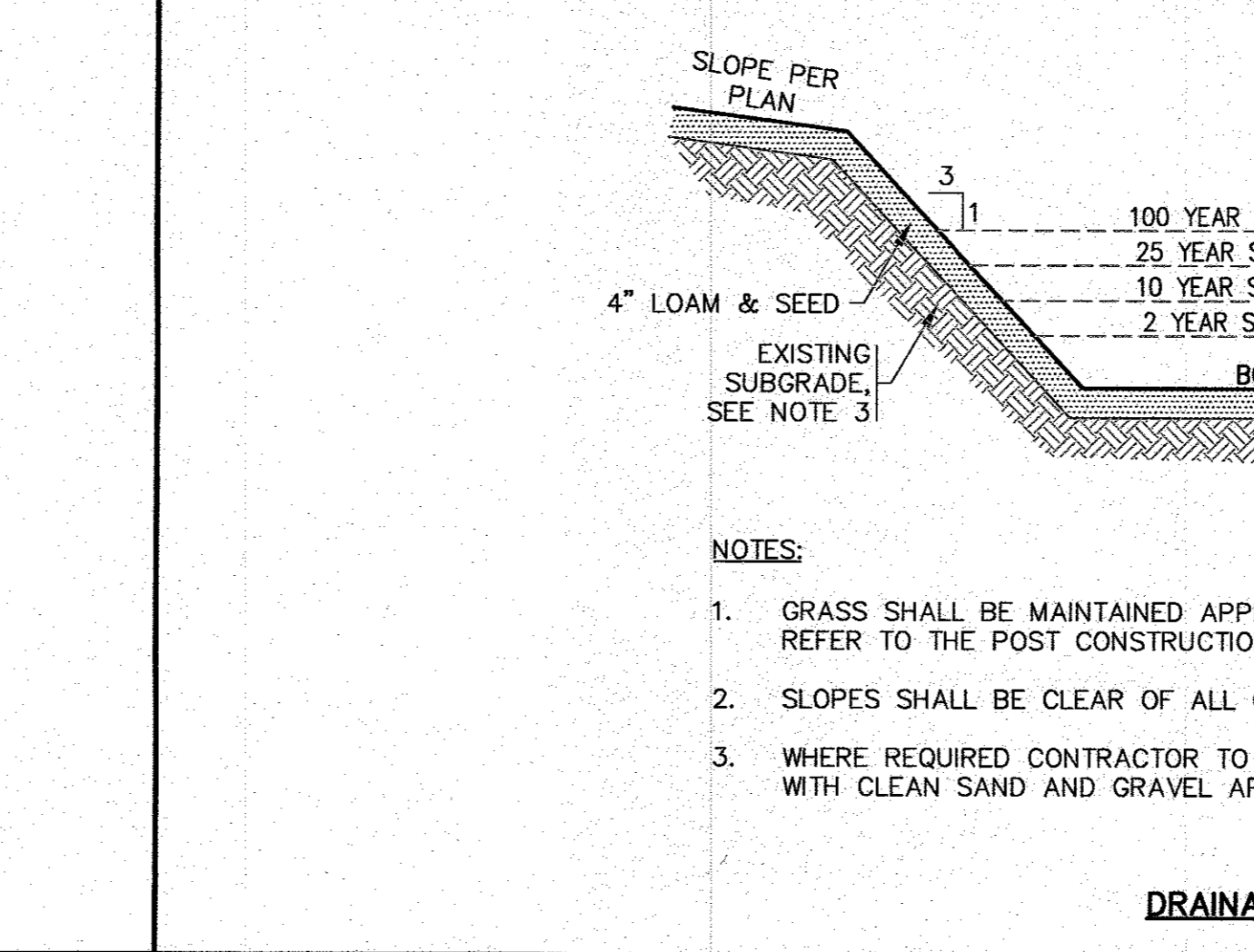
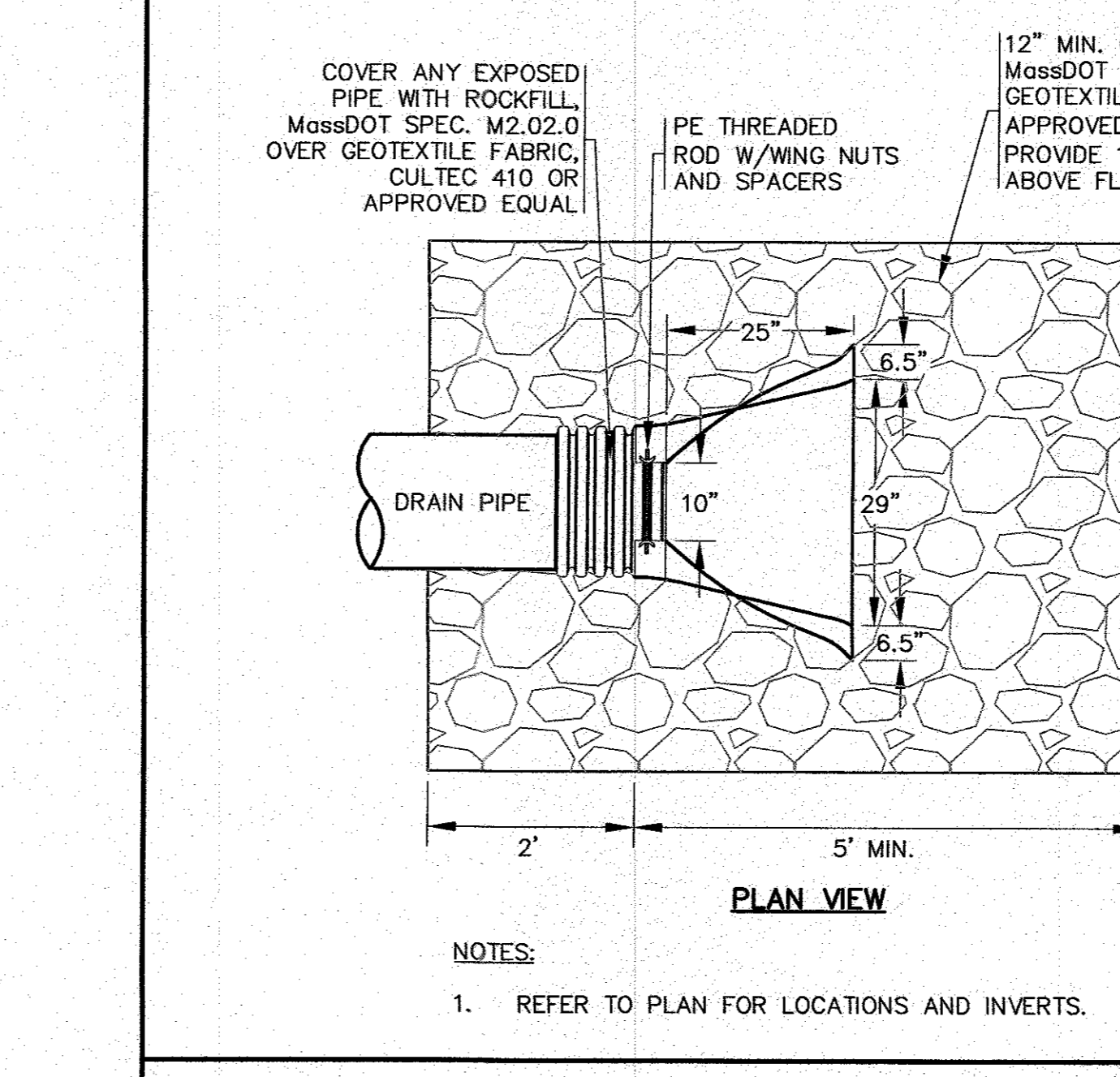
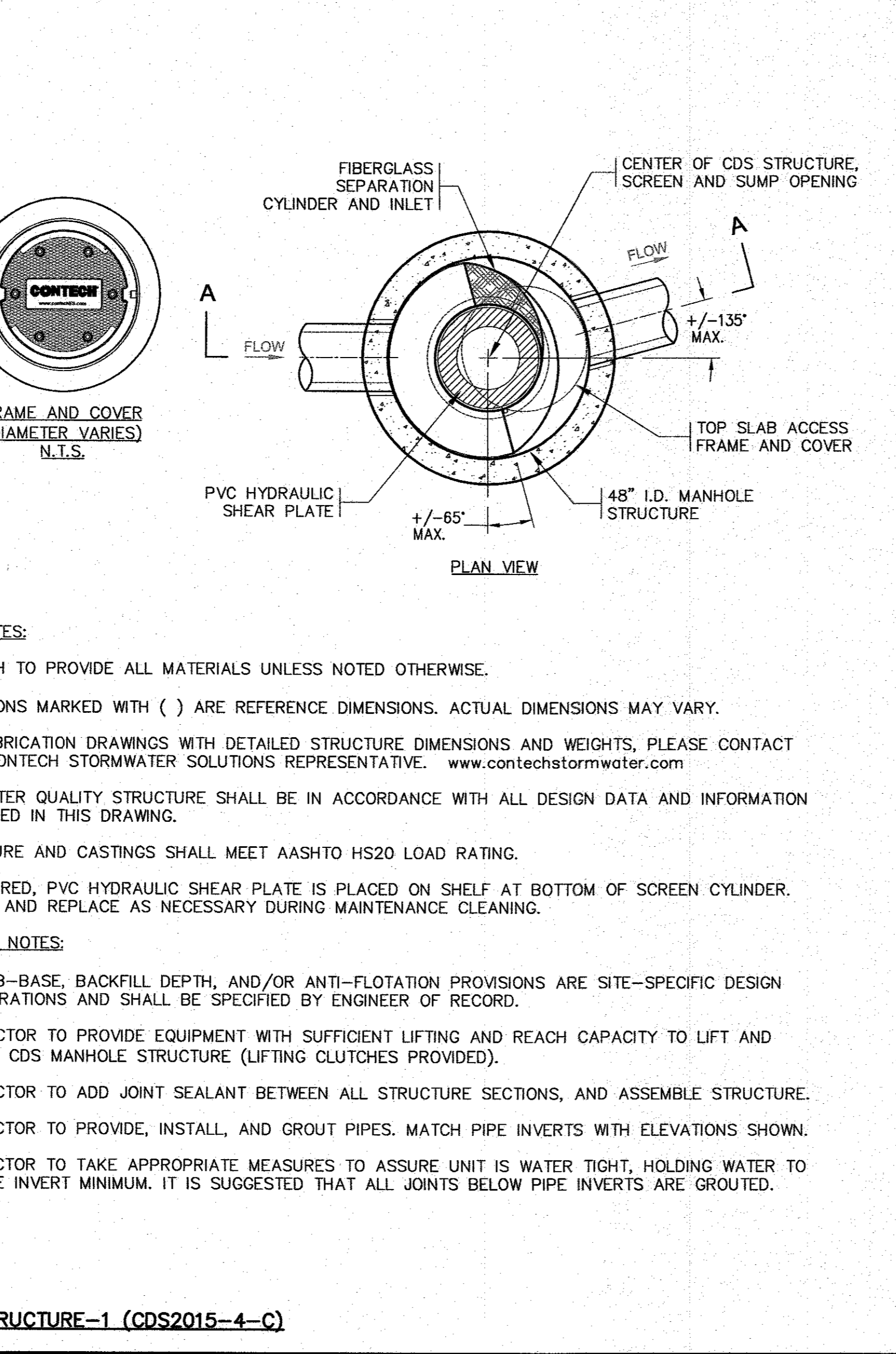
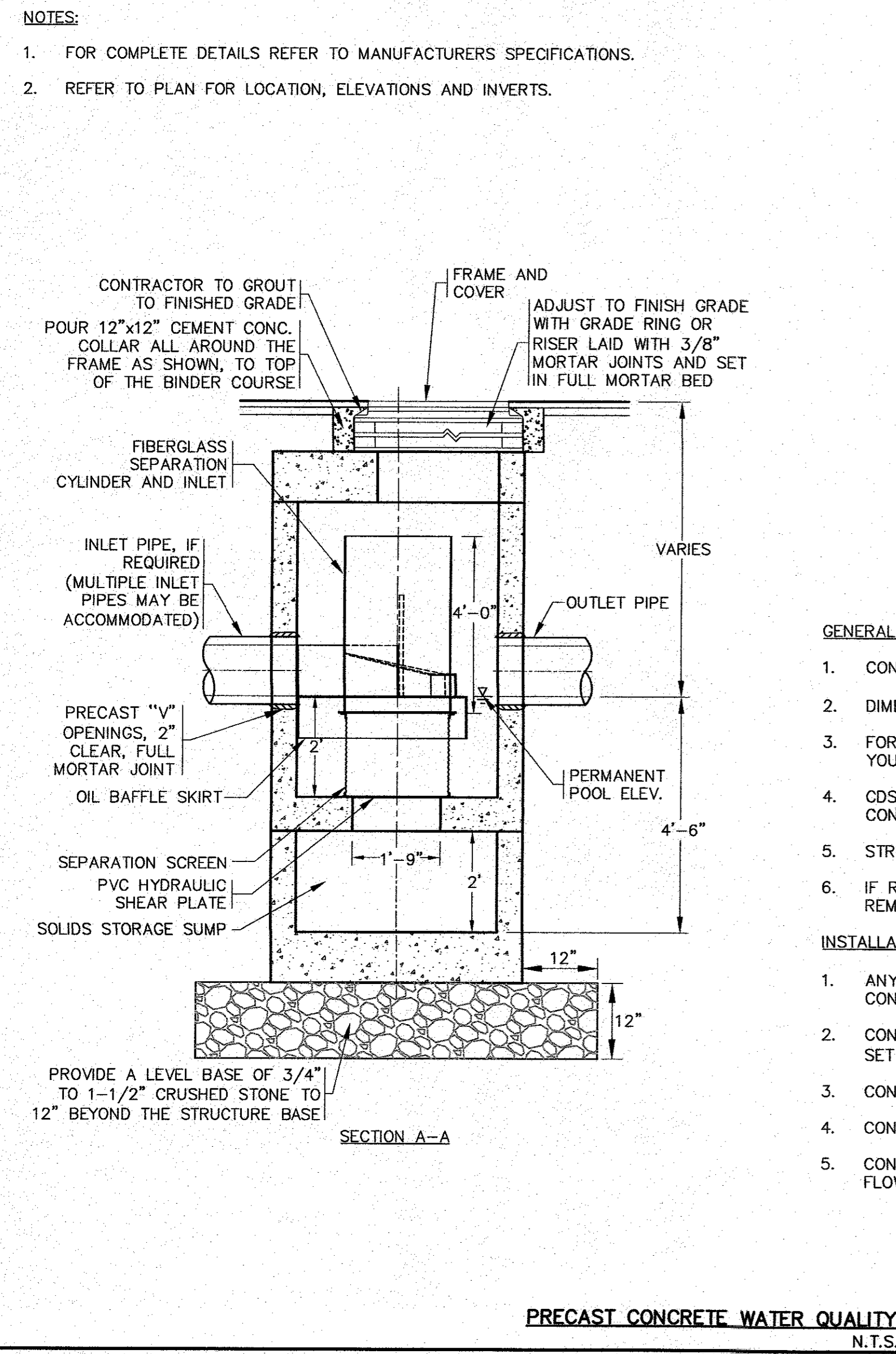
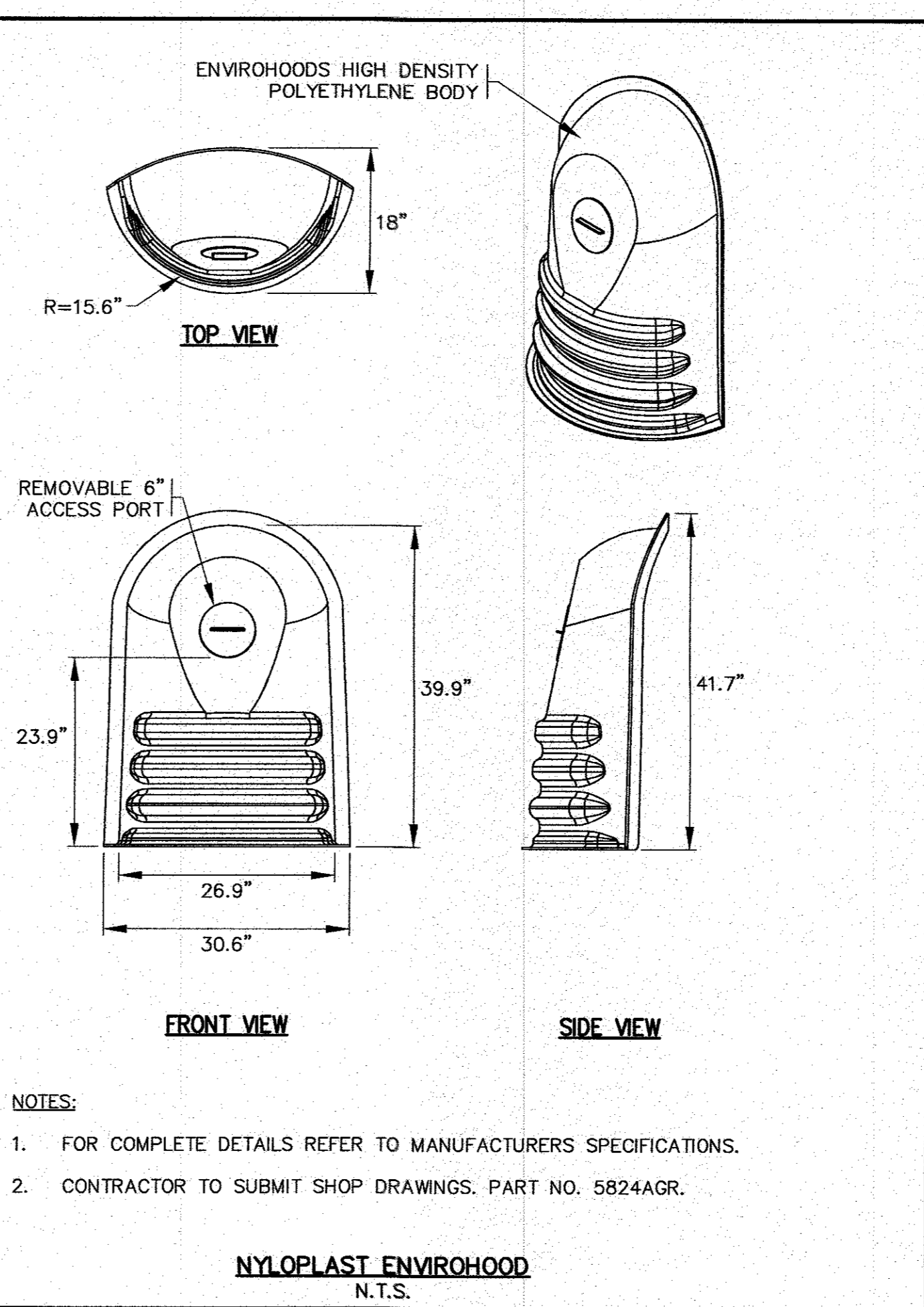
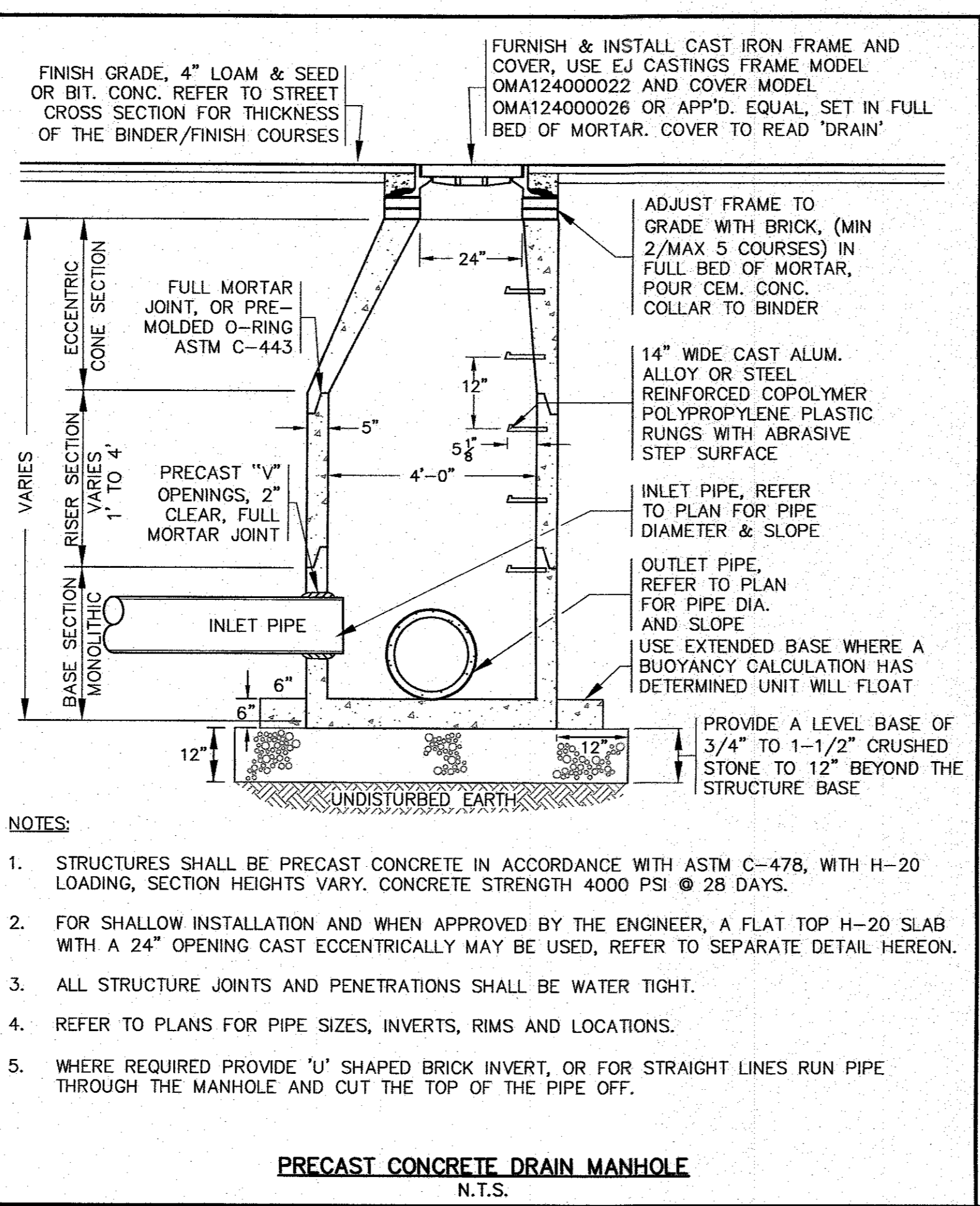
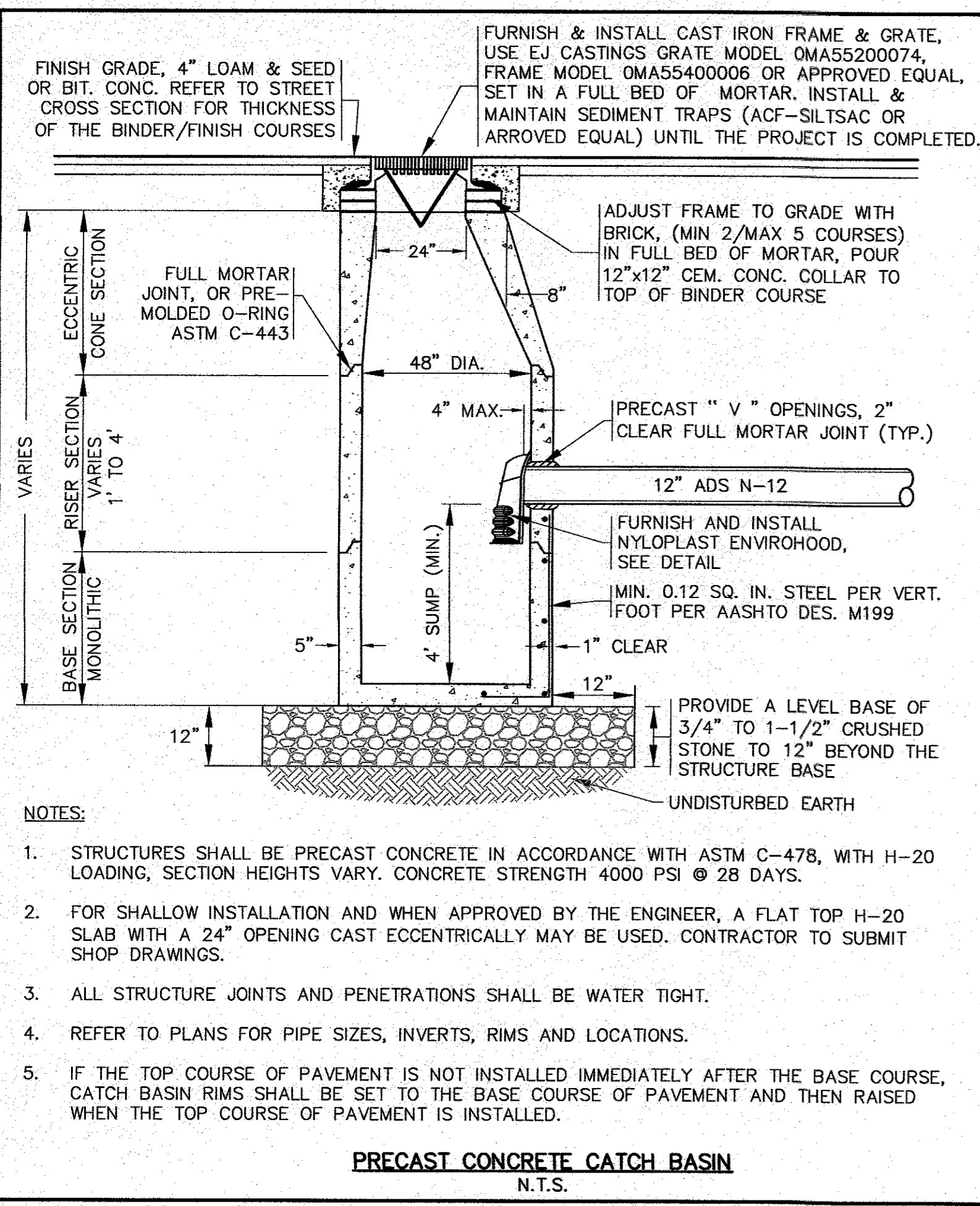
1. SEE PLAN FOR LOCATIONS.
2. ALL METHODS AND MATERIALS OF CONSTRUCTION SHALL COMPLY WITH THE LATEST REVISION OF MassDOT STANDARD SPECIFICATIONS.

BITUMINOUS CONCRETE SIDEWALK
N.T.S.



G.A.F. ENGINEERING, INC.
PROFESSIONAL ENGINEERS & LAND SURVEYORS
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TEL: (508) 295-6600 FAX: (508) 295-6634
E-MAIL: info@gafengrinc.com

A.D. MAKEPEACE COMPANY, INC.
WAREHAM, MA
158 THONET ROAD



PERMIT SET
(NOT FOR CONSTRUCTION)

DATE: NOV. 2, 2021
 DRAWN BY: JMP
 CHECKED BY: WFM
 JOB NO.: 21-9681
 SCALE: AS NOTED

APPROVED BY:

G.A.F. ENGINEERING, INC.
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 WAREHAM, MA
 158 THONET ROAD

DEFINITIVE SUBDIVISION PLAN
"150 THONET ROAD"
CONSTRUCTION DETAILS SHEET 2

PREPARED FOR:
A.D. MAKEPEACE COMPANY, INC.
 WAREHAM, MA
 158 THONET ROAD

JOB NO.: 21-9681
 DWG. 7 OF 7