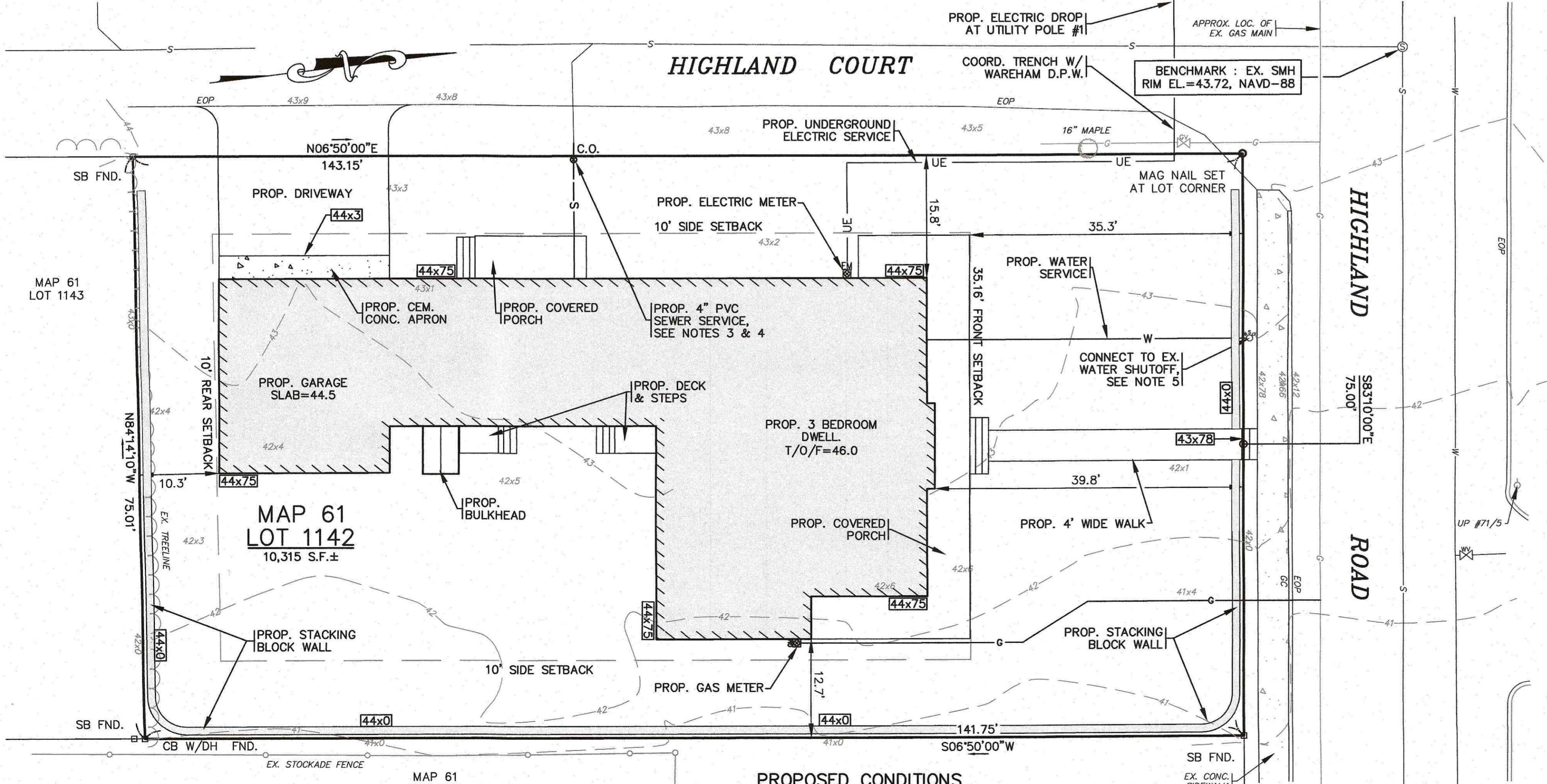
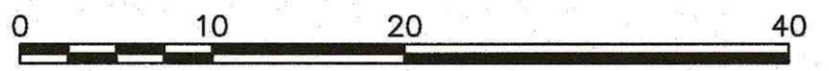


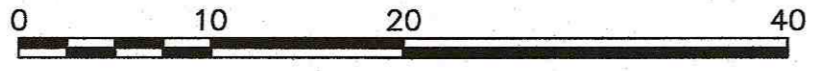
EX. CONDITIONS & DEMOLITION

SCALE: 1"=10'



PROPOSED CONDITIONS

SCALE: 1"=10'



DEMOLITION NOTES:

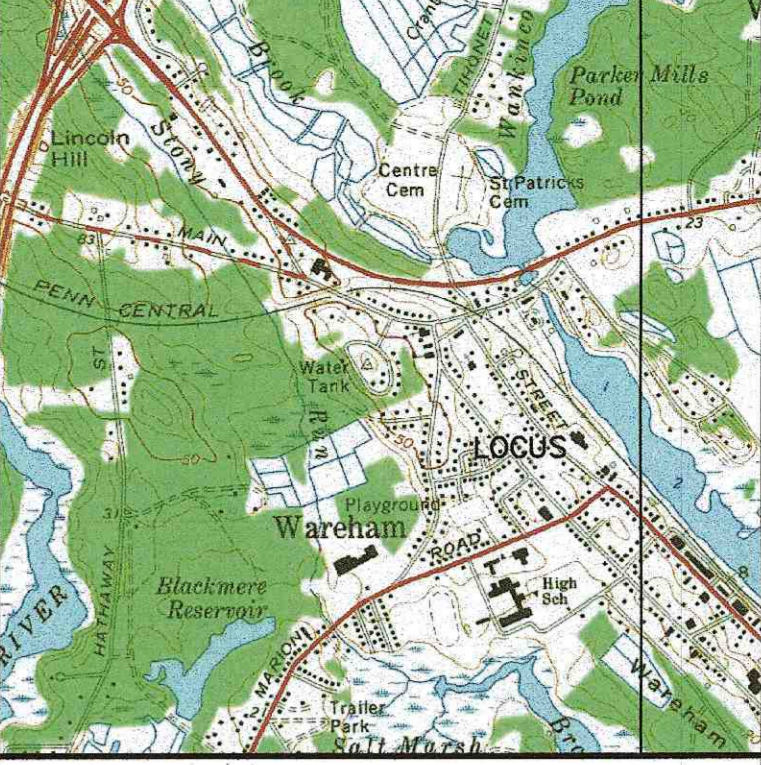
- EXISTING DWELLING IS TO BE RAZED. REMOVE DWELLING, FOUNDATION, LANDING, STEPS AND UTILITIES. DISPOSE OF ALL DEMOLITION DEBRIS IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL LAWS.
- EXISTING WATER, SEWER, AND UTILITY SERVICES TO BE REMOVED AND REPLACED WITH NEW SERVICES. COORDINATE WITH APPROPRIATE UTILITY COMPANIES.
- ALL UNDERGROUND UTILITIES SHOWN OR NOT SHOWN WERE COMPILED ACCORDING TO AVAILABLE RECORD PLANS AND IN PART FROM FIELD SURVEY AND ARE APPROXIMATE ONLY. ACTUAL LOCATIONS MUST BE DETERMINED IN THE FIELD, BEFORE EXCAVATING, INSTALLING, BACK FILLING OR GRADING. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN. G.A.F. ENGINEERING, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN.
- THE CONTRACTOR SHALL NOTIFY DIG-SAFE (1-888-344-7233 OR 811) AS WELL AS THE WAREHAM DEPARTMENT OF MUNICIPAL MAINTENANCE PRIOR TO ANY EXCAVATION, DEMOLITION OR OTHER SITE WORK. REPORT ANY DISCREPANCIES TO THE DESIGN ENGINEER.
- THE CONTRACTOR SHALL FIELD VERIFY, PRIOR TO DEMOLITION ALL EXISTING UNDERGROUND UTILITY LOCATIONS AND POINTS OF INTERCONNECTION.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS AND FURNISH ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND APPARATUS NECESSARY AND SHALL DO ALL WORK REQUIRED TO COMPLETE THE DEMOLITION AND REMOVAL OF THE EXISTING DWELLING, FOUNDATION, LANDING, STEPS AND UTILITIES.
- ALL EXCAVATIONS SHALL BE BACKFILLED WITH SUITABLE MATERIAL, FREE FROM CLAY, FINES, ORGANICS, DEMOLITION DEBRIS, OR OTHER UNSUITABLE MATERIAL.
- ALL DEMOLITION AND REMOVAL OF EXISTING STRUCTURES AND UTILITIES SHALL BE ACCOMPLISHED WITHOUT DAMAGING THE INTEGRITY OF EXISTING UTILITY SHUTOFFS, STUBS, ADJACENT WAYS OR ENCRANCHING ONTO ADJACENT PROPERTIES.
- THE CONTRACTOR SHALL PROMPTLY REPAIR ANY DAMAGES CAUSED BY DEMOLITION OPERATIONS TO ADJACENT FACILITIES AT NO COST TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AN EXCAVATION AND TRENCH PERMIT PURSUANT TO 520 CMR 14.00 AS APPLICABLE.

CONSTRUCTION NOTES:

- IN GENERAL, THE PLANS ARE DIAGRAMMATIC AND ARE NOT INTENDED TO SHOW EVERY FITTING, CHANGE IN DIRECTION OR DETAIL OF CONSTRUCTION.
- THE LOCATION OF UTILITIES WERE OBTAINED FROM VARIOUS SOURCES OF INFORMATION. THE EXACT LOCATION AND COMPLETENESS IS NOT GUARANTEED. THE CONTRACTOR MUST NOTIFY DIG SAFE PRIOR TO THE START OF CONSTRUCTION (1-888-DIG-SAFE OR 811). G.A.F. ENGINEERING, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE SAFETY OF PERSONNEL AND PROTECTION OF PROPERTY AT THE SITE OR ADJACENT THERETO INCLUDING TREES, SHRUBS, LAWNS, PAVEMENTS, ROADWAYS, STRUCTURES AND UNDERGROUND UTILITIES NOT DESIGNED FOR REMOVAL, RELOCATION, OR REPLACEMENT.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION REQUIRED FOR THE INSTALLATION OF THIS WORK.
- ALL MATERIALS SHALL BE NEW AND FREE FROM DEFECTS AND OF GOOD QUALITY.
- THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM THE ACCUMULATION OF WASTE MATERIAL AND OTHER DEBRIS RESULTING FROM THIS WORK.
- THE CONTRACTOR SHALL INSTITUTE ALL SAFETY MEASURES NECESSARY TO PROTECT THE PUBLIC SAFETY. THIS SHALL INCLUDE, BUT NOT LIMITED TO, BARRICADES, SIGNS, LIGHTING, FENCES, POLICE DETAILS, AND ANY OTHER MEANS AS DIRECTED. NO TRENCHES ARE TO REMAIN OPEN OVERNIGHT.
- ELEVATIONS ARE IN FEET AND TENTHS AND ARE BASED ON THE DATUM OF NAVD-88.
- ALL SEWER AND PLUMBING WORK SHALL CONFORM WITH 248 CMR 10.00 UNIFORM STATE PLUMBING CODE AND THE TOWN OF WAREHAM SEWER DEPARTMENTS SPECIFICATIONS.
- ALL METHODS AND MATERIALS SHALL CONFORM WITH MassDOT STANDARDS AND SPECIFICATIONS, AND THE REQUIREMENTS OF THE TOWN OF WAREHAM MUNICIPAL MAINTENANCE DEPARTMENT.
- ALL UTILITY INSTALLATIONS SHALL BE IN CONFORMANCE WITH ALL APPLICABLE TOWN, STATE AND FEDERAL REQUIREMENTS & REGULATIONS.

NOTES:

- FOR COMPLETE DWELLING DIMENSIONS & CONSTRUCTION DETAILS REFER TO ARCHITECTURAL & STRUCTURAL PLANS BY OTHERS.
- ALL DEBRIS FROM DEMOLITION SHALL BE REMOVED FROM THE SITE AND NOT STOCKPILED.
- CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF THE EXISTING SEWER SERVICE PRIOR TO CONSTRUCTION. THE PROPOSED INVERT WILL BE DETERMINED BY THE CONTRACTOR AT TIME OF CONSTRUCTION. ALL SEWER WORK SHALL BE DONE IN ACCORDANCE WITH WAREHAM SEWER DEPARTMENTS RULES AND REGULATIONS.
- PROVIDE SEWER CLEANOUT AS SHOWN. CLEANOUT SHALL BE PROVIDED WITH A H.D.C.I. FRAME AND COVER TO FINISHED GRADE.
- CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF THE EXISTING WATER SHUTOFF PRIOR TO CONSTRUCTION. ALL WATER SERVICE INSTALLATION SHALL BE IN ACCORDANCE WITH THE WAREHAM WATER DEPARTMENTS RULES AND REGULATIONS.
- CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY FOR FINAL CONNECTION POINT FOR THE PROPOSED ELECTRIC SERVICE.
- PROVIDE A CEMENT CONCRETE LANDING AT ALL EXTERIOR DOORS. REFER TO ARCHITECTURALS FOR FINAL DOOR LOCATIONS.
- A MODULAR STAKING BLOCK WALL SHALL BE USED ALONG THE WESTERLY PROPERTY LINE TO ACCOMMODATE PROPOSED GRADING. ACTUAL LOCATION AND LENGTH OF THE WALL SHALL BE DETERMINED BY THE OWNER. THE PROPOSED WALL SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MANUFACTURERS INSTALLATION INSTRUCTIONS.
- REMOVE EXISTING TREES AS REQUIRED, CONTRACTOR SHALL COORDINATE WITH OWNER.
- LOAM AND SEED ALL AREAS DISTURBED BY CONSTRUCTION.



LOCUS MAP : SCALE 1" = 2000'

LOT DATA:

ASSESSORS MAP 61 / LOT 1142
ADDRESS: 26 HIGHLAND ROAD
OWNER: ROBERT A. REED JR.
26 HIGHLAND ROAD, WAREHAM, MA 02571
DEED REF: BOOK 8588, PAGE 323

ZONING DATA:

ZONE: WAREHAM VILLAGE DISTRICT 2 (WV2)

SETBACKS:
MINIMUM LOT AREA: 15,000 S.F.
MINIMUM FRONTAGE: 75'
MINIMUM FRONT SETBACK: *
MINIMUM SIDE SETBACK: 10'
MINIMUM REAR SETBACK: 10'
MINIMUM BUILDING HEIGHT: 35'
MAXIMUM BUILDING COVERAGE: 20%
MAXIMUM IMPERVIOUS SURFACE: 50%

*THE FRONT SETBACKS IN VILLAGE DISTRICTS SHALL BE THE AVERAGE OF THE SETBACKS OF FIVE (5) RESIDENTIAL STRUCTURES ON EITHER SIDE OF THE SUBJECT PROPERTY. FIELD LOCATION FRONT SETBACKS OF FIVE (5) ADJACENT RESIDENTIAL STRUCTURES:
40.9'
34.1'
34.0'
32.1'
34.7'
= 175.8' DIVIDED BY 5 = 35.16'

EX. BUILDING COVERAGE: 14.8%
EX. IMPERVIOUS SURFACE: 19.2%
PROP. BUILDING COVERAGE: 32.4%
PROP. IMPERVIOUS SURFACE: 36.7%

ALLOWED FLOOR AREA RATIO = 17%
EX. FLOOR AREA RATIO = 10.2%
PROP. FLOOR AREA RATIO = 41.0%

FLOOD ZONE DATA:

THE PROJECT IS WITHIN FLOOD ZONE X. REFER TO COMMUNITY PLAN NUMBER 25023C0488J, DATED JULY 17, 2012.

LEGEND	
EXISTING	DESC.
	CONTOURS
	SPOT GRADES
	CATCH BASIN (CB)
	DRAIN MANHOLE (DMH)
	OVERHEAD WIRES
	UTILITY POLE
	GUY POLE
	WATER GATE VALVE
	WATER SHUTOFF/CURB STOP
	HYDRANT
	WATER LINE
	UNDERGROUND ELECTRIC SEWER MANHOLE (SMH)
	SEWER LINE
	TREE/BRUSH LINE
	LIGHT POST
	GAS LINE
	GAS GATE/VALVE
	GAS SHUTOFF
	GAS METER
	FENCE
	SIGN
	BOUND
	STONE WALL
	IRON PIPE (I.P.)
PROPOSED	
	CONTOURS
	SPOT GRADES
	EROSION CONTROL
	CHAIN LINK FENCE
	WATER LINE
	SEWER LINE
	UNDERGROUND ELECTRIC
	ELECTRIC METER

DATE: MAY 24, 2021
DRAWN BY: JH/JMP
CHECKED BY: WFM
JOB NO.: 17-9003
SCALE: 1" = 10'

APPROVED BY: [Signature]

APPROVED BY: [Signature]

G.A.F. ENGINEERING, INC.
PROFESSIONAL ENGINEERS & LAND SURVEYORS
266 MAIN STREET - WAREHAM, MA 02571
TEL: (508) 295-6600 FAX: (508) 295-6634
E-MAIL: gaf@eng.com

PERMIT SET
BUILDING PERMIT APPLICATION
WAREHAM, MA

PREPARED FOR:
ROBERT A. REED JR.
26 HIGHLAND ROAD
WAREHAM, MA

JOB NO.: 17-9003
DWG. 1 OF 1

11/24/17 (DWG) 11/24/17 (DWG) 11/24/17 (DWG) 11/24/17 (DWG) 11/24/17 (DWG)