

LOT DATA ;

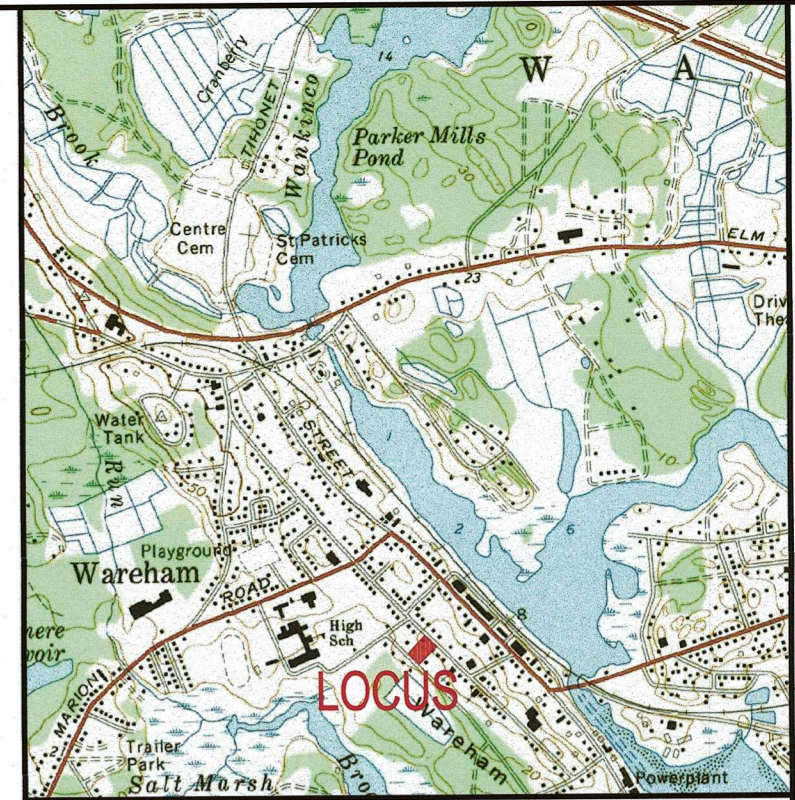
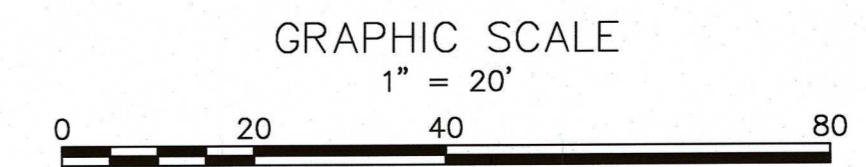
WAREHAM MAP 47
 LOTS 1023-A, 1023-B & 1023-C
 OWNER: CHRISTOPHER OLSON, TRUSTEE
 108 HIGH STREET REALTY TRUST
 DEED REFERENCE: 55264/272
 PLAN REFERENCE: 2938/273
 1962 WALTER E. ROWLEY PLAN
 PREPARED FOR W. ENOS PHILLIPS
 LOTS SHOWN HEREON ARE SERVICED
 BY MUNICIPAL WATER & SEWER

ZONING DATA ;

WAREHAM VILLAGE 2 (WV2)
 MINIMUM LOT AREA = 15,000 SQ.FT.
 MINIMUM FRONTAGE = 75'
 MINIMUM FRONT SETBACK = *
 MINIMUM SIDE SETBACK = 10'
 MINIMUM REAR SETBACK = 10'
 * THE FRONT SETBACKS IN VILLAGE
 DISTRICTS SHALL BE THE AVERAGE
 OF THE SETBACKS OF FIVE (5)
 RESIDENTIAL STRUCTURES ON EITHER
 SIDE OF THE SUBJECT PROPERTY

FLOOD ZONE DATA ;

LOTS 1023-A, 1023-B & 1023-C ARE
 WITHIN ZONE X, (NOT A FLOOD HAZARD
 ZONE) AS SHOWN ON THE F.E.M.A.
 FLOOD INSURANCE RATE MAPS. REFER
 TO PANEL NUMBER 25023C0489L,
 DATED JULY 6, 2021.



LOCUS MAP : SCALE 1" = 2083'

DATE	BY	DESCRIPTION
JULY 16, 2021	JH	DRAWN BY
	RAB	CHECKED BY
		JOB NO.: 21-9684
		SCALE: 1" = 20'

FOR REGISTRY USE ONLY

"I CERTIFY THAT THIS PLAN WAS PREPARED
 IN CONFORMANCE WITH THE RULES AND
 REGULATIONS OF THE REGISTERS OF DEEDS."

THE CERTIFICATION MADE HEREON IS
 INTENDED TO MEET THE REGISTRY OF DEEDS
 REQUIREMENTS AND IS NOT A CERTIFICATION
 TO THE TITLE OR OWNERSHIP OF THE
 PROPERTY SHOWN.

ABUTTERS SHOWN ARE
 ACCORDING TO THE TOWN
 OF WAREHAM TAX
 ASSESSMENT RECORDS

Ritz/1/19/21
 ROBERT A. BRAMAN, JR.
 P.L.S. # 45850

APPROVED BY:

 APPROVED BY:

TOWN OF WAREHAM
 APPROVAL UNDER SUBDIVISION
 CONTROL LAW NOT REQUIRED

WAREHAM PLANNING BOARD

DATE _____
 THIS ENDORSEMENT OF THE PLANNING
 BOARD SHOULD NOT BE CONSTRUED TO BE
 A DETERMINATION OF CONFORMANCE WITH
 ZONING REGULATIONS FOR ALL LOTS
 AFFECTED.

THIS ENDORSEMENT OF THE PLANNING
 BOARD SHOULD NOT BE CONSTRUED TO BE
 A DETERMINATION OF CONFORMANCE WITH
 THE WAREHAM ZONING BY-LAWS IN
 ACCORDANCE WITH DIVISION VI, ARTICLE I
 AND ITS IMPLEMENTING WETLANDS
 PROTECTION REGULATIONS AS WELL AS
 MASSACHUSETTS WETLAND PROTECTION ACT,
 M.G.L. CH. 131, § 40 AND ITS IMPLEMENTING
 REGULATIONS, 310 CMR 10.00 FOR ALL LOTS
 AFFECTED.

THIS ENDORSEMENT OF THE PLANNING
 BOARD SHOULD NOT BE CONSTRUED TO BE
 A DETERMINATION OF CONFORMANCE WITH
 THE ZONING BY-LAWS RELATIVE TO
 IRREGULARLY SHAPED LOTS, UPLAND AREA,
 LOT WIDTH, OPEN SPACE AND LOT
 COVERAGE IN ACCORDANCE WITH ARTICLE 6,
 § 615, ARTICLE 6, § 612, ARTICLE 10,
 ARTICLE 6, § 620 FOR ALL LOTS AFFECTED.

THIS ENDORSEMENT OF THE PLANNING
 BOARD SHOULD NOT BE CONSTRUED TO BE
 A DETERMINATION OF CONFORMANCE WITH
 THE EARTH REMOVAL REGULATIONS IN
 ACCORDANCE WITH DIVISION IV, ARTICLE III
 OF THE TOWN BY-LAWS FOR ALL LOTS
 AFFECTED.

G.A.F. ENGINEERING, INC.
 PROFESSIONAL ENGINEERS & LAND SURVEYORS
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APPROVAL NOT REQUIRED
 PLAN OF LAND
 HIGH STREET AND CHURCH AVENUE WAREHAM, MA
 PREPARED FOR:
108 HIGH STREET REALTY TRUST
 NORTON, MA
 P.O. BOX 0

JOB NO.: 21-9684
DWG.
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