

TOWN OF WAREHAM
ZONING BOARD OF APPEALS

APPLICATION FOR A PUBLIC HEARING FOR A VARIANCE/SPECIAL PERMIT

Certain uses are allowed in several zoning districts only by means of a Variance and/or Special Permit from the Zoning Board of Appeals. Those uses are indicated in the Wareham Zoning By-Laws. To apply for a Variance/Special Permit from the Zoning Board of Appeals, please do the following:

- Complete this form.
- Complete information packets. (Directions attached)
- Submit application form and packet to Town Clerk for signature.
- Submit application form and packet to Town Collector for signature.
- Submit completed form, packets, and appropriate fees** to the Zoning Board of Appeals secretary.

**Permits may be issued only after a public hearing. There is a filing fee of \$300.00 per lot, per application for all non-conforming residential lots, whether built upon or not. There is a filing fee of \$750.00 per lot, per application for all commercial applications. In the case of a multi-family development, the fee is \$300.00 plus an additional \$50.00 for every unit over two (2). Please make check payable to the Town of Wareham.

**A check to cover two (2) legal advertisements for the public hearing should be made payable to Wareham Week in the amount of \$80.00.

**The applicant will also be responsible for the costs of sending out abutter notifications by Certified Mail. The cost is \$6.11 per certified letter to each abutter. Please see Zoning Board secretary for cost of mailings. Please make check payable to the Town of Wareham.

I hereby apply for a Variance/Special Permit for a use to be made of the following described place:

STREET & NUMBER: 38 Agawam Dr LOT: 53 MAP: 129/B
ZONING DISTRICT: R130
USE REQUESTED: Raise roof 3'8"
OWNER OF LAND & BUILDING: Alova Hashem TEL. # 774-260-7168
ADDRESS OF OWNER: 166 Marion Rd Middleboro, Ma 02346
PERSON(S) WHO WILL UTILIZE PERMIT: Alova Hashem
ADDRESS: 166 Marion Rd Middleboro Ma 02346
DATE: 11/24/20 SIGNATURE: Alova Hashem

This application was received on the date stamped here:

Town Clerk: _____ Date: _____
Tax Collector: Alova Hashem Date: 12-1-2020
Planning/Zoning Dept.: _____ Date: _____
Application Fee Paid: _____ Check #: _____ Receipt: _____
Abutter Fee Paid: _____ Check # _____ Receipt: _____
Advertising Fee Paid: _____ Check # _____ Receipt: _____



CHARGE-POND-ROAD

ROUTE-25

MAPLE-SPRINGS-ROAD

GLEN-CHARLE-ROAD

ROUTE-25

ROUTE-25

25

6

28

25

6

6

6

The data shown on this site are provided for informational and planning purposes only. The user is responsible for the nature or misrepresentation of the data.

2900 5800 ft

Printed on 11/16/2020 at 10:34 AM

MapOnline by PeopleGIS

- MA Places
 - Fire Station
 - Police Station
 - Town Hall
 - Public Library
 - School
- Buildings
- Parcels
- Town Boundary
- MA Highways
 - Interstate
 - US Highway
 - Numbered Ro
- Streets
- Bathymetry
 - 0-5.0 ft
 - 5.0-10.0 ft
 - 10-15 ft
 - 15-20 ft
 - 20-30 ft
 - 30-40 ft
 - 40-50 ft
 - 50-60 ft
 - 60-70 ft
 - 70+ ft
- Abutting Town Labels
- Abutting Towns

TOWN OF WAREHAM

APPLICANT/CONTRACTOR/REPRESENTATIVE INFORMATION SHEET

Check One: Variance Special Permit Site Plan Appeal

Date stamped in: _____ Date decision is due _____

Applicant's Name: Alexa Hashem

Applicant's Address: 166 Marion Rd Middleboro, Ma 02346

Telephone Number: 774-260-7168

Cell Phone Number: _____

Email Address: hashemalex@gmail.com

Address of Property/Project: 38 Agawan Dr.

Landowner's Name: Alexa Hashem

Owner's Address: 166 Marion Rd Middleboro, Ma 02346

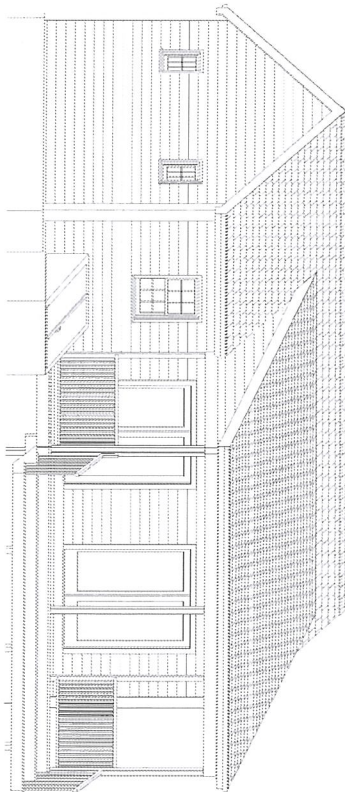
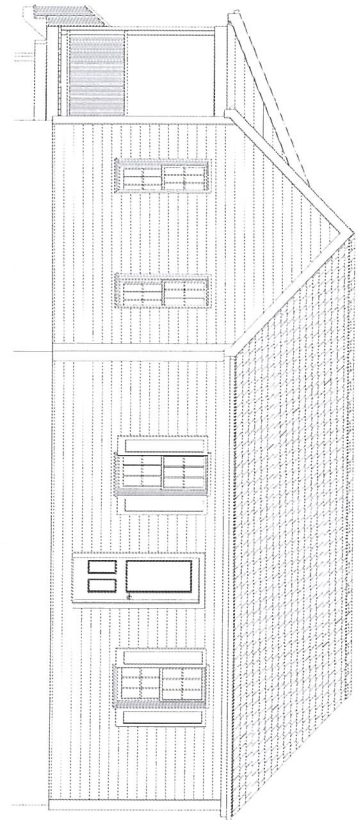
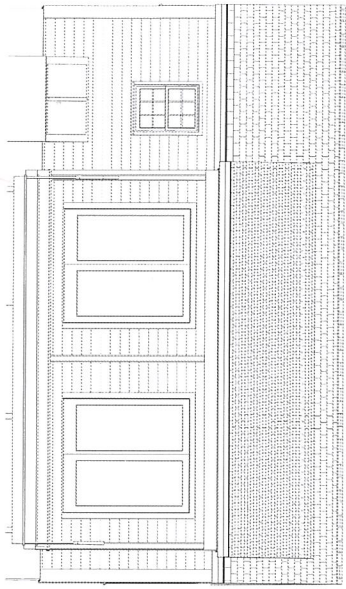
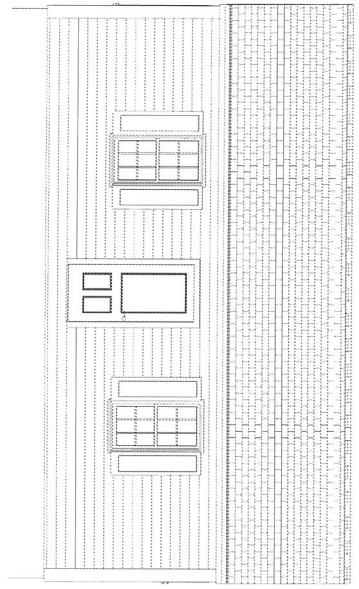
Telephone Number: 774-260-7168

Contact Person: Alexa Telephone Number: 774-260-7168

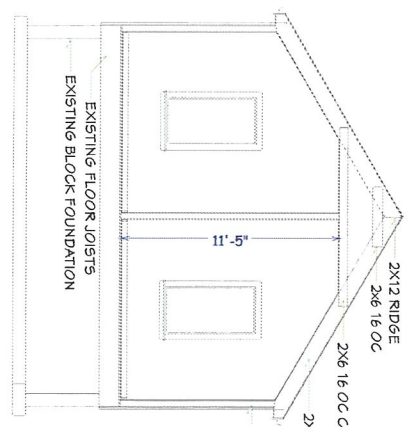
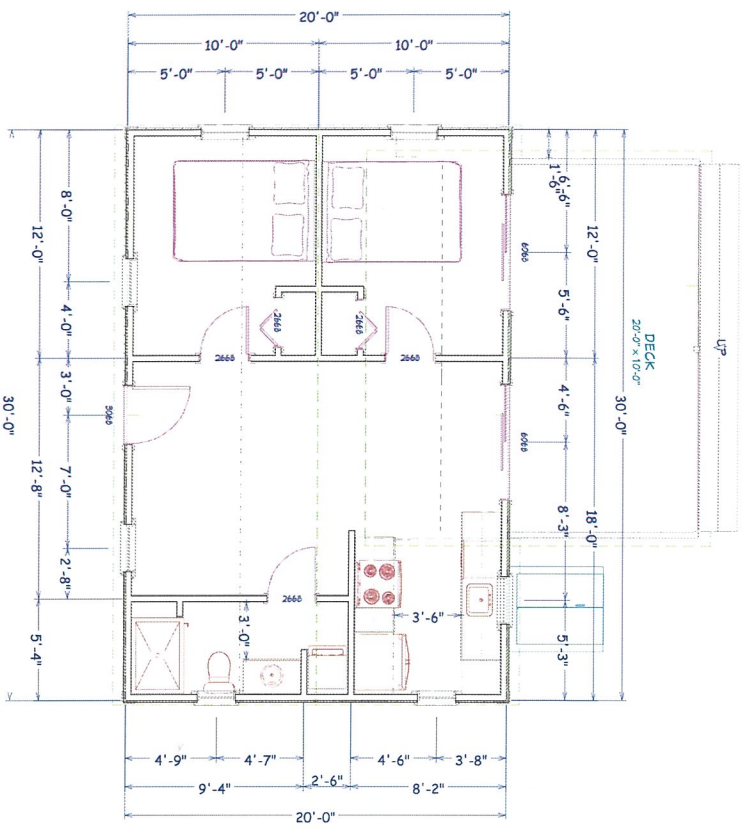
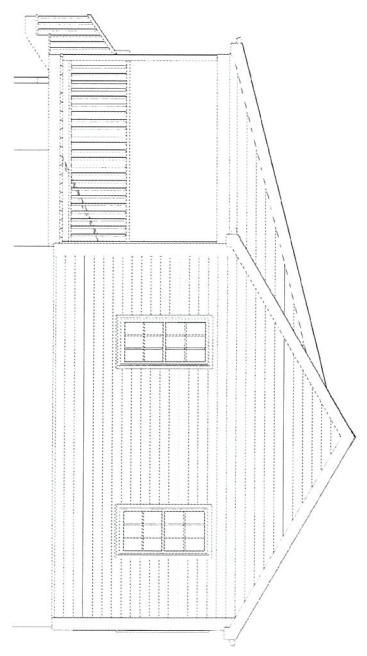
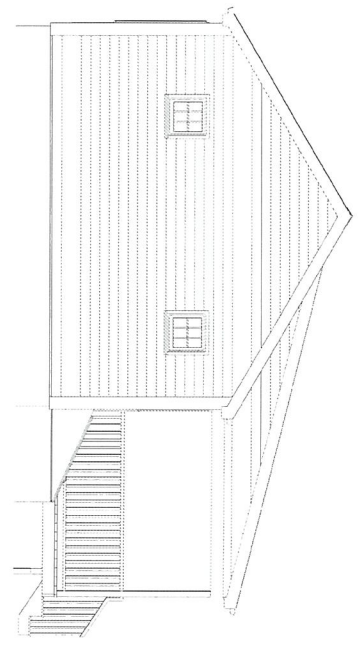
Map 129/B Lot 53 Zone R-130

Date Approved _____ Date Denied _____

Comments: _____

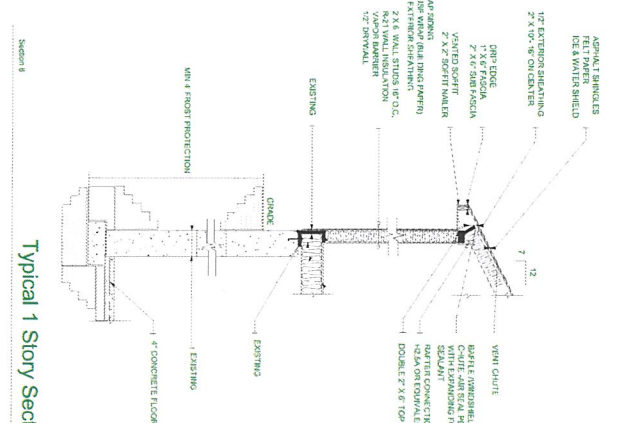
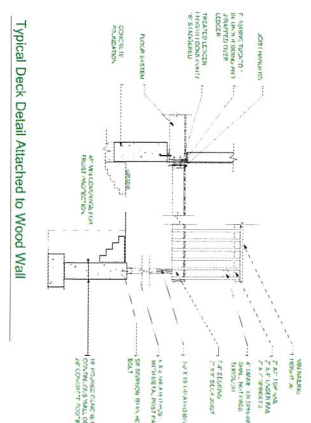


CUSTOMER		Alexa Hashem	
LOCATION		38 Agawam Dr. Warcham	
Gave Corp. P.O. Box 1492 Middleboro Ma. 02346		Scale	Date
		1/4" = 1'	10/27/20
		PAGE	1



CUSTOMER		Alexa Hashem	
LOCATION		38 Agawan Dr. Wrentham	
GIVE CORP. P.O. Box 1482 Middleboro Ma. 02346		Scale	Date
		1/4"=1'	10/27/20
		PAGE	2

- GENERAL**
1. STRUCTURAL DRAWINGS ARE TO BE USED WITH DESIGN, FABRICATION, AND ERECTION SHALL BE IN ACCORDANCE WITH THE ENTIRE SET OF DRAWINGS.
 2. ALL SAFETY REGULATIONS ARE TO BE STRICTLY OBSERVED BY ALL PERSONNEL INVOLVED IN THE ERECTION OF STRUCTURAL MEMBERS AND THE CONTRACTOR'S RESPONSIBILITY.
 3. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN OF ALL CONNECTIONS AND THE REQUIREMENTS TO SUBCONTRACTORS.
 4. REASONABLE CARE HAS BEEN TAKEN IN THE DESIGN OF ALL CONNECTIONS. THE CONTRACTOR SHALL CHECK ALL DIMENSIONS AND DETAILS TO VERIFY ALL CONDITIONS, DIMENSIONS, AND MATERIALS. ALL DIMENSIONS AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
 5. THE CONTRACTOR SHALL SUBMIT COMPLETE SHOP DRAWINGS FOR ALL CONNECTIONS, REINFORCING, ALL STRUCTURAL STEEL, AND BOTH CALCULATIONS & SHOP DRAWINGS FOR ALL MANUFACTURED LUMBER PRODUCTS & FABRICATION.
- DESIGN CRITERIA**
- ALL CONSTRUCTION SHALL CONFORM TO THE DESIGN CRITERIA SET FORTH IN THE MASSACHUSETTS STATE BUILDING CODE AND THE A/FPA/AMC GUIDE FOR ONE- AND TWO-FAMILY DWELLING, 110 MPH, EXPOSURE B.
- STRUCTURAL STEEL**
1. ALL FRAMING LUMBER SHALL BE KILN DRIED 1924 MAXIMUM MOISTURE CONTENT SHALL BE NO. 2 SPUCE-PINE-FIR OR BETTER.
 2. ALL PASTERING OF FRAMING PLATES, SILLS, AND JOISTS SHALL BE IN ACCORDANCE WITH THE DETAILS SHOWN AND MINIMUM REQUIREMENTS OF THE MASSACHUSETTS STATE BUILDING CODE AND THE A/FPA/AMC GUIDE FOR ONE- AND TWO-FAMILY DWELLINGS, 110 MPH, EXPOSURE B.
 3. CONNECTIONS SHOWN ARE AS MANUFACTURED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE MANUFACTURER'S QUALITY CONTROL RECORDS AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE MANUFACTURER'S QUALITY CONTROL RECORDS.
 4. ALL CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI WITH A MINIMUM 5% AIR ENTRAINMENT FOR EXTERIOR CONCRETE EXPOSED TO MOISTURE.
 5. ALL REINFORCING SHALL BE STEEL CONFORMING TO ASTM A615, GRADE 60.
 6. CONCRETE COVER SHALL BE AS FOLLOWS:
 - a) 3" AT CONCRETE PLACED AGAINST EARTH
 - b) 2" AT ALL OTHER LOCATIONS
 7. ALL HORIZONTAL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE DETAILS SHOWN ON THE DRAWINGS OR ALLOWED IN WRITING BY THE ENGINEER.
 8. ALL EXPOSED FRAMING MEMBERS SHALL BE TREATED PER A/WPA C2/C3 OR CCA 0.25 & MEMBERS IN CONTACT WITH SOIL SHALL BE TREATED PER A/WPA C23/C24 CCA 0.60. JOB SITE CUTS & BORES SHALL BE TREATED IN ACCORDANCE WITH A/WPA STD. 48.
 9. ALL MANUFACTURED LVL WOOD FRAMING MEMBERS SHALL HAVE THE FOLLOWING PROPERTIES AS A MINIMUM (PSI):
 - E=2.0X10⁶ ; FB=2900, FV=240
 10. ALL POSTS NOT SHOWN SHALL BE EQUIVALENT TO A TIMBER 4X4 OR BETTER.
- FOUNDATIONS**
1. THE ALLOWABLE PRESUMED SOIL BEARING CAPACITY SHALL BE AS SHOWN ON THE FOUNDATION PLAN.
 2. FOOTINGS SHALL BE CARRIED TO LOWER BEARING CAPACITY.
 3. WALLS ACTING AS RETAINING WALLS SHALL NOT BE BACKFILLED WITHOUT BRACING UNTIL ALL SUPPORTING SOIL AND STRUCTURE ARE IN PLACE AND ADEQUATE CONCRETE STRENGTH HAS BEEN REACHED.
 4. COMPACT ALL FILL UNDER FOOTINGS AND SLABS TO THE SPECIFIED DENSITY AND VENTILATION.
 5. ALL WELDING SHALL BE BY CERTIFIED WELDERS AND SHALL BE IN CONFORMANCE WITH AWS D1.1 CODE FOR WELDING IN BUILDING STRUCTURES, LATEST EDITION.
 6. ANCHOR BOLTS SHALL CONFORM TO ASTM A307.
 7. CONNECTIONS NOT DETAILED SHALL BE DESIGNED FOR THE LOADS SHOWN ON THE DRAWINGS OR AS SPECIFIED BY THE ENGINEER AND SHALL BE IN ACCORDANCE WITH THE AISC 1309 THE SPAN, SECTION, & STRENGTH SPECIFIED.
 8. ELEVATIONS NOTED AS "TOP OF STEEL" REFER TO THE TOP FLANGE OF ROLLED SECTIONS.
 9. ALL HEADERS NOT SHOWN SHALL CONFORM TO TABLE 602.7.1(4&2) OF THE 2015 INTERNATIONAL RESIDENTIAL CODE FOR ONE- AND TWO-FAMILY DWELLINGS.
 10. ALL POSTS NOT SHOWN SHALL BE EQUIVALENT TO A TIMBER 4X4 OR BETTER.
- FRAMING LUMBER & CONNECTIONS**
1. ALL FRAMING LUMBER SHALL BE KILN DRIED 1924 MAXIMUM MOISTURE CONTENT SHALL BE NO. 2 SPUCE-PINE-FIR OR BETTER.
 2. ALL PASTERING OF FRAMING PLATES, SILLS, AND JOISTS SHALL BE IN ACCORDANCE WITH THE DETAILS SHOWN AND MINIMUM REQUIREMENTS OF THE MASSACHUSETTS STATE BUILDING CODE AND THE A/FPA/AMC GUIDE FOR ONE- AND TWO-FAMILY DWELLINGS, 110 MPH, EXPOSURE B.
 3. CONNECTIONS SHOWN ARE AS MANUFACTURED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE MANUFACTURER'S QUALITY CONTROL RECORDS AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE MANUFACTURER'S QUALITY CONTROL RECORDS.
 4. ALL CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI WITH A MINIMUM 5% AIR ENTRAINMENT FOR EXTERIOR CONCRETE EXPOSED TO MOISTURE.
 5. ALL REINFORCING SHALL BE STEEL CONFORMING TO ASTM A615, GRADE 60.
 6. CONCRETE COVER SHALL BE AS FOLLOWS:
 - a) 3" AT CONCRETE PLACED AGAINST EARTH
 - b) 2" AT ALL OTHER LOCATIONS
 7. ALL HORIZONTAL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE DETAILS SHOWN ON THE DRAWINGS OR ALLOWED IN WRITING BY THE ENGINEER.
 8. ALL EXPOSED FRAMING MEMBERS SHALL BE TREATED PER A/WPA C2/C3 OR CCA 0.25 & MEMBERS IN CONTACT WITH SOIL SHALL BE TREATED PER A/WPA C23/C24 CCA 0.60. JOB SITE CUTS & BORES SHALL BE TREATED IN ACCORDANCE WITH A/WPA STD. 48.
 9. ALL MANUFACTURED LVL WOOD FRAMING MEMBERS SHALL HAVE THE FOLLOWING PROPERTIES AS A MINIMUM (PSI):
 - E=2.0X10⁶ ; FB=2900, FV=240
 10. ALL POSTS NOT SHOWN SHALL BE EQUIVALENT TO A TIMBER 4X4 OR BETTER.
- CONCRETE**
1. ALL CONCRETE WORK AND WITH THE MOST RECENT VERSION OF THE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318).
 2. ALL CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI WITH A MINIMUM 5% AIR ENTRAINMENT FOR EXTERIOR CONCRETE EXPOSED TO MOISTURE.
 3. ALL REINFORCING SHALL BE STEEL CONFORMING TO ASTM A615, GRADE 60.
 4. CONCRETE COVER SHALL BE AS FOLLOWS:
 - a) 3" AT CONCRETE PLACED AGAINST EARTH
 - b) 2" AT ALL OTHER LOCATIONS
 5. ALL HORIZONTAL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE DETAILS SHOWN ON THE DRAWINGS OR ALLOWED IN WRITING BY THE ENGINEER.
 6. ALL EXPOSED FRAMING MEMBERS SHALL BE TREATED PER A/WPA C2/C3 OR CCA 0.25 & MEMBERS IN CONTACT WITH SOIL SHALL BE TREATED PER A/WPA C23/C24 CCA 0.60. JOB SITE CUTS & BORES SHALL BE TREATED IN ACCORDANCE WITH A/WPA STD. 48.
 7. ALL MANUFACTURED LVL WOOD FRAMING MEMBERS SHALL HAVE THE FOLLOWING PROPERTIES AS A MINIMUM (PSI):
 - E=2.0X10⁶ ; FB=2900, FV=240
 8. ALL POSTS NOT SHOWN SHALL BE EQUIVALENT TO A TIMBER 4X4 OR BETTER.



CUSTOMER		Alexa Hashem	
LOCATION	38 Agawam Dr. Weymouth	Scale	Date
		1/4"=1'	10/27/20
			PAGE
			3

Return To:
Cruz Medina, Esq.
498 E. Green St., Ste. 201
Middleboro, MA 02346



2020 00104171
Bk: 53699 Pg: 73 Page: 1 of 2
Recorded: 10/27/2020 11:30 AM
ATTEST: John R. Buckley, Jr. Register
Plymouth County Registry of Deeds

MASSACHUSETTS EXCISE TAX
Plymouth District ROD #11 001
Date: 10/27/2020 11:30 AM
Ctrl# 140014 21412
Fee: \$798.00 Cons: \$175,000.00

CANCELLED

MASSACHUSETTS QUITCLAIM DEED

Brian McClain, individually, being married, of 37 Weston Street, Carver, MA 02330

for consideration paid, and in full consideration of One Hundred Seventy-Five Thousand and 00/100 (\$175,000.00) Dollars

grant to **Alexa Hashem**, individually, of P.O. Box 265, Middleboro, MA 02346

with *quitclaim covenants*

The land, with the buildings thereon situated in Wareham, Plymouth County, Massachusetts, shown as Lot 53 on a Plan entitled, "Agawam Lake Shores, Parcel No. 2, East Wareham, Mass. owned by Prosperity Development Co., August 1945, By F.E. Friberg, Scale 1"=60', recorded with Plymouth County Registry of Deeds, Plan Book 7, Page 541, bounded and described as follows:

- NORTHWESTERLY by Lake Agawam as per plan hereinbefore mentioned, Forty and no/100 (40.00) feet more or less;
- NORTHEASTERLY by Lot 54, as per plan, One hundred eight and no/100 (108.00) feet;
- SOUTHEASTERLY by Agawam Drive, as per plan, Forty and no/100 (40.00) feet; and
- SOUTHWESTERLY by Lot 52, as per plan, One hundred six and no/100 (106.00) feet.

Together with all rights, privileges, and easements connected therewith and subject to restrictions and easements of record and are hereby conveyed subject to any building and zoning law requirements which may be in force and applicable.

The grantor hereby certifies under the pains and penalties of perjury that the granted premises is vacant and is not the homestead of the grantor any other person.

Meaning and intending to convey the same property conveyed to Marie A. Roy and Kenneth F. Roy by deed dated and recorded June 7, 1974, at the Plymouth County Registry of Deeds in Book 3993, Page 77. Kenneth F. Roy died on May 22, 2012 and

38 Agawam Drive, E. Wareham, MA 02538

Marie A. Roy died on February 5, 2018. See death certificate of Kenneth F. Roy recorded at the Plymouth County Registry of Deeds in Book 50531 Page 239 and death certificate of Marie A. Roy recorded at the Plymouth County Registry of Deeds in Book 50508, Page 48. Also see deed from Dorothy A. Bailey, PR, which deed is dated December 31, 2019 and recorded at the Plymouth County Registry of Deeds in Book 52194 Page 109 and confirmatory deed from Dorothy A. Bailey, PR, dated October 14, 2020 and recorded at the Plymouth County Registry of Deeds prior hereto.

PROPERTY ADDRESS: 38 Agawam Drive, E. Wareham, MA 02538

EXECUTED AS A SEALED INSTRUMENT THIS 27th day of OCTOBER, 2020:



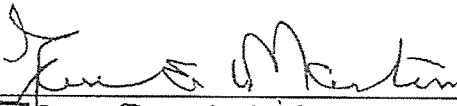
Brian McClain

Commonwealth of Massachusetts

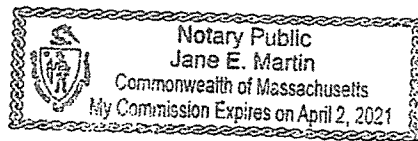
Plymouth, SS.

October 27, 2020

On this 27th day of October, 2020, before me, the undersigned Notary Public, personally appeared Brian McClain, who proved to me through satisfactory evidence of identification, which was a Massachusetts Driver's License, to be the person whose name is signed on the within, preceding or attached document, and acknowledged to me that he signed it voluntarily as his free act and deed.



JANE E. MARTIN - Notary Public
My commission expires: 4-2-21



To the Zoning Board of Appeals:

We are looking to replace the roof and rafters at 38 Agawam Dr. The roof is in dis repair and in need of replacing. While we are replacing the roof we were hoping to increase the pitch of the roof to an 8 pitch so it is not so flat and we are able to have cathedral inside the home. We are also asking to extend the existing covered roof over the deck 5' closer the end of the home. The existing roof over the deck is 6' in from the end of the house and we are looking to extend to within 1' of the house. The home is 4' off of the property line and the covered roof and deck will be 5'. We are also looking to extend the deck the same as the covered roof as you will see on the attached site plans.

Thank you for the consideration, Alexa Hashem