

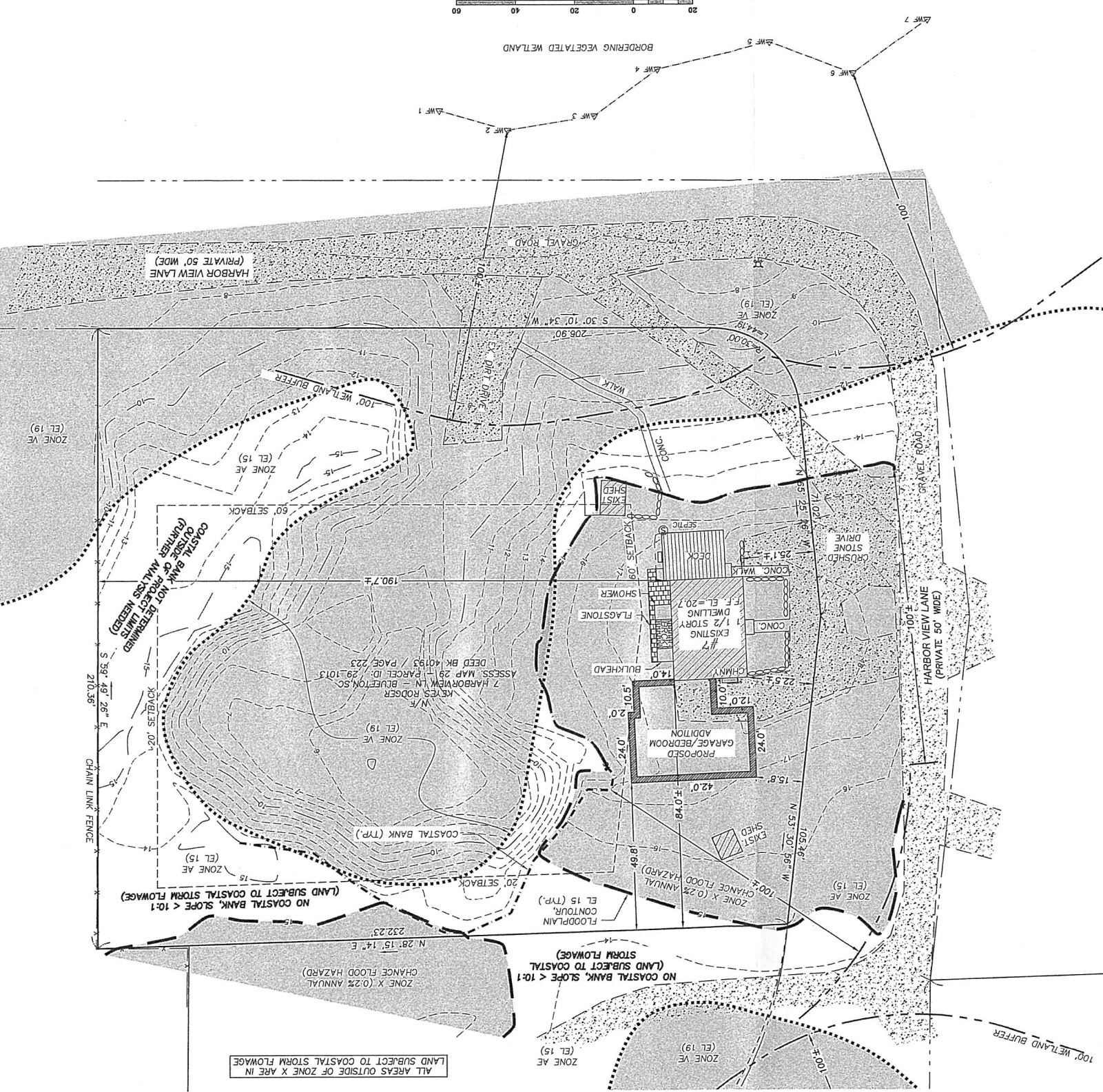
ZONING SUMMARY TABLE			
ZONING DISTRICT: RESIDENTIAL 60 (R-60)			
ASSESSORS ID 29-1013			
DIMENSIONAL REQUIREMENTS		EXISTING	PROPOSED
LOT AREA (S.F.)	60,000	NA	NA
FRONTAGE (FT.)	427.57	NA	NA
FRONT SETBACK (FT.)	60	22.5	GARAGE 34.1
SIDE SETBACK (FT.)	84.0	20	GARAGE 139.6
REAR SETBACK (FT.)	190.7	20	GARAGE 114.0
MAX. BUILDING COVERAGE (%)			
NR			

REGISTERED PROFESSIONAL LAND SURVEYOR  
 FOR ALPHA SURVEY GROUP, LLC  
 DATE 8/7/2020

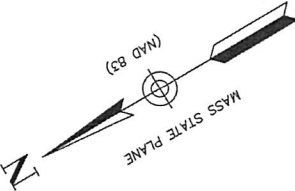


NOTES:  
 (1) THE INFORMATION SHOWN HEREON IS BASED ON AN ON-THE-GROUND SURVEY PERFORMED ON SEPTEMBER 25 AND OCTOBER 2, 2019, AND JULY 31, 2020 BY ALPHA SURVEY GROUP, LLC.  
 (2) THE HORIZONTAL DATUM FOR THIS PROJECT IS THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM REFERRED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83). CORRS ADJUSTMENT (NA2011/GEOD 120) AS DETERMINED BY REDUNDANT GPS OBSERVATIONS MADE ON SEPTEMBER 13, 2017 UTILIZING KEystone PRECISION INSTRUMENTS KEYNET (VRS) NETWORK.  
 (3) THE VERTICAL DATUM FOR THIS PROJECT IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88). CORRS ADJUSTMENT (NA2011/GEOD 120) AS DETERMINED BY REDUNDANT GPS OBSERVATIONS MADE ON SEPTEMBER 13, 2017 UTILIZING KEystone PRECISION INSTRUMENTS KEYNET (VRS) NETWORK.  
 (4) THE WETLAND DELINEATION WAS PERFORMED BY SABATIA INC. IN SEPTEMBER 2019. PRIOR TO THE COMMENCEMENT OF THE FIELD SURVEY.  
 (5) THE FEMA FLOOD ZONES SHOWN HEREON ARE FROM FEMA MAP 25023C081K, WITH AN EFFECTIVE DATE OF 2/5/2014.  
 (6) NO SUBSURFACE UTILITY RESEARCH AND COMPILATION WAS PERFORMED. BEFORE DESIGNING, EXCAVATING, BLASTING, INSTALLING, BACK FILLING, GRADING, PAVEMENT RESTORATION OR REPAIRING, ALL UTILITY COMPANIES, PUBLIC & PRIVATE, MUST BE NOTIFIED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN. SEE CHAPTER 370, ACTS OF 1963, MASSACHUSETTS. ALPHA SURVEY GROUP, LLC ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INADEQUATELY SHOWN. BEFORE FUTURE CONNECTIONS, THE APPROPRIATE UTILITY ENGINEERING DEPARTMENTS MUST BE CONSULTED. CALL "DIG SAFE" AT 811.  
 (7) SEE PLAN TITLED "PLAN TO ACCOMMODATE NO. 7 HARBOR VIEW LANE WAREHAM, MA 02571", BY ALPHA SURVEY GROUP, LLC, DATED OCTOBER 23, 2020, FOR MORE FLOOD ZONE, COASTAL BANK, AND PROPERTY LINE MONUMENTATION.

- DRAWING LEGEND
- \* FIRE HYDRANT
  - UTILITY POLE
  - ◎ TREE (SIZE INCHES)
  - ◎ BUSH (SIZE FEET)
  - △ WETLAND FLAG
  - TREELINE
  - CONCRETE BOUND
  - DRILL HOLE
  - IRON PIPE
  - IRON ROD
  - ZONE VE (EL 19)
  - ZONE X
  - STONE/GRAVEL DRIVE
  - COASTAL BANK
  - VELOCITY ZONE
  - FLOOD PLAN
  - FLOOD PLAN EL 15



1" = 20'



19154-PERMIT PLAN

PREPARED BY  
 ALPHA SURVEY GROUP, LLC  
 699 WAREHAM STREET  
 MIDDLEBOROUGH, MA 02346  
 T: (508) 282-5839  
 F: (508) 282-5833

ALPHA SURVEY GROUP  
 Agency | Experience | Quality

SPECIAL PERMIT PLAN FOR BUILDING ADDITION  
 7 HARBOR VIEW LANE  
 WAREHAM, MA 02571

DATE	REVISION

TOWN OF WAREHAM

APPLICANT/CONTRACTOR/REPRESENTATIVE INFORMATION SHEET

Check One:  Variance  Special Permit  Site Plan  Appeal

Date stamped in: \_\_\_\_\_ Date decision is due \_\_\_\_\_

Applicant's Name: Walter Alexander - Vintage Carpentry

Applicant's Address: 12 Kirby St. S Dartmouth, MA 02748

Telephone Number: 508-961-9900

Cell Phone Number: 508-961-9900

Email Address: vintacarp@yahoo.com

Address of Property/Project: 7 Harborview lane

Landowner's Name: Rodger & Shannon Keyes

Owner's Address: 7 Harborview Lane Wareham MA 02571

Telephone Number: 843-298-0454

Contact Person: Rodger Keyes Telephone Number: 843-298-0454

Map 29 Lot 1013 Zone R-60

Date Approved \_\_\_\_\_ Date Denied \_\_\_\_\_

Comments: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

TOWN OF WAREHAM  
ZONING BOARD OF APPEALS

APPLICATION FOR A PUBLIC HEARING FOR A VARIANCE/SPECIAL PERMIT

Certain uses are allowed in several zoning districts only by means of a Variance and/or Special Permit from the Zoning Board of Appeals. Those uses are indicated in the Wareham Zoning By-Laws. To apply for a Variance/Special Permit from the Zoning Board of Appeals, please do the following:

- Complete this form.
- Complete information packets. (Directions attached)
- Submit application form and packet to Town Clerk for signature.
- Submit application form and packet to Town Collector for signature.
- Submit completed form, packets, and appropriate fees\*\* to the Zoning Board of Appeals secretary.

\*\*Permits may be issued only after a public hearing. There is a filing fee of \$300.00 per lot, per application for all non-conforming residential lots, whether built upon or not. There is a filing fee of \$750.00 per lot, per application for all commercial applications. In the case of a multi-family development, the fee is \$300.00 plus an additional \$50.00 for every unit over two (2). Please make check payable to the Town of Wareham.

\*\*A check to cover two (2) legal advertisements for the public hearing should be made payable to Wareham Week in the amount of \$80.00.

\*\*The applicant will also be responsible for the costs of sending out abutter notifications by Certified Mail. The cost is \$6.11 per certified letter to each abutter. Please see Zoning Board secretary for cost of mailings. Please make check payable to the Town of Wareham.

I hereby apply for a Variance/Special Permit for a use to be made of the following described place:

STREET & NUMBER: 7 Harborview Lane LOT: 1013 MAP: 29  
ZONING DISTRICT: R-60  
USE REQUESTED: residential  
OWNER OF LAND & BUILDING: Rodger Keyes TEL.# 843-298-0454  
ADDRESS OF OWNER: 7 Harborview Lane Wareham MA 02571  
PERSON(S) WHO WILL UTILIZE PERMIT: Walter Alexander  
ADDRESS: 12 Kirby St. S. Dartmouth MA 02748  
DATE: 08-10-20 SIGNATURE: [Signature]

This application was received on the date stamped here:

Town Clerk: \_\_\_\_\_ Date: \_\_\_\_\_  
Tax Collector: \_\_\_\_\_ Date: \_\_\_\_\_  
Planning/Zoning Dept.: \_\_\_\_\_ Date: \_\_\_\_\_  
Application fee paid: \_\_\_\_\_ Check #: \_\_\_\_\_ Receipt: \_\_\_\_\_  
Advertising fee paid: \_\_\_\_\_ Check # \_\_\_\_\_ Receipt: \_\_\_\_\_  
Abutters fee paid: \_\_\_\_\_ Check # \_\_\_\_\_ Receipt: \_\_\_\_\_



2011 00060382

Bk: 40193 Pg: 223 Page: 1 of 3

Recorded: 08/04/2011 02:57 PM

ATTEST: John R. Buckley, Jr. Register

Plymouth County Registry of Deeds

Recording requested by: Rodger A. Keyes Space above reserved for use by Recorder's Office  
 When recorded, mail to: \_\_\_\_\_ Document prepared by:  
 Name: Rodger & Shannon Keyes Name Rodger A. Keyes  
 Address: PO Box 305 Address PO Box 305  
 City/State/Zip: Bluffton SC 29910 City/State/Zip Bluffton SC 29910  
 Property Tax Parcel/Account Number: \_\_\_\_\_

### Quitclaim Deed

This Quitclaim Deed is made on July 27, 2011, between  
Rodger A. Keyes, Grantor, of 35 Crystal Beach Circle  
 \_\_\_\_\_, City of Bluffton, State of SC 29910  
 and Rodger & Shannon Keyes, Grantee, of 35 Crystal Beach Circle  
 \_\_\_\_\_, City of Bluffton, State of SC 29910.

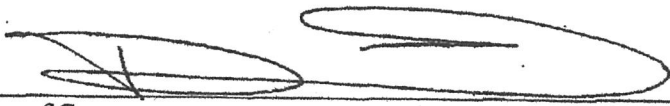
one dollar (\$1) & love and affection  
 For valuable consideration, the Grantor hereby quitclaims and transfers all right, title, and interest held by  
 the Grantor in the following described real estate and improvements to the Grantee, and his or her heirs  
 and assigns, to have and hold forever, located at 7 Harbor View Lane  
 \_\_\_\_\_, City of Wareham, State of MA 02571 :

*See Exhibit A*

Subject to all easements, rights of way, protective covenants, and mineral reservations of record, if any.  
 Taxes for the tax year of 2011 shall be prorated between the Grantor and Grantee as of the date of  
 recording of this deed.

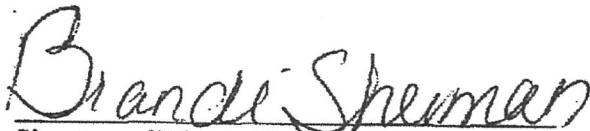


Dated: 8 4 2011



Signature of Grantor

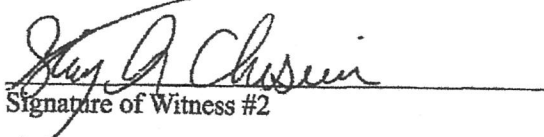
RODGER A KEYES.  
Name of Grantor



Signature of Witness #1

Brandi Sherman

Printed Name of Witness #1



Signature of Witness #2

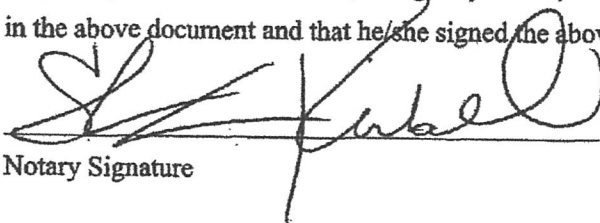
Stacy L Chisner

Printed Name of Witness #2

State of Massachusetts County of Plymouth

On 4th of August 2011, the Grantor, Rodger A Keyes,

personally came before me and, being duly sworn, did state and prove that he/she is the person described in the above document and that he/she signed the above document in my presence.



Notary Signature

Notary Public,

In and for the County of Plymouth State of MASSACHUSETTS

My commission expires: \_\_\_\_\_ Seal

Send all tax statements to Grantee.



SHARON A. KIMBALL  
Notary Public  
Commonwealth of Massachusetts

My Commission Expires November 8, 2013 \*NOVA Quitclaim Deed Pg.2 (07-09)

11/8/13

Exhibit A

The land in that part of Wareham known as Great Neck containing 1.14 acres more or less as shown on a plan entitled: "Plan of Land Surveyed for Ethel H. Burgess, Great Neck, Wareham, Mass." Scale 1"=100', dated August 17, 1962, recorded in the Plymouth Registry of Deeds, Book 2968, Page 69 together with the right to pass and repass in common with others over a 50 ft. right of way shown on a plan entitled: "Plan of Land Surveyed for Ethel H. Burgess, Great Neck, Wareham, Mass." Scale 1"=100', dated August 18, 1961, approved by the Wareham Planning Board, October 3, 1961, recorded in the Plymouth Registry of Deeds, Book 2911, Page 86, being more particularly bounded and described as follows:

Beginning at a concrete bound at the most easterly corner of the lot to be described, said point being about 520 feet southeasterly of Great Neck Road measured along the northerly side of the right of way above referred to; thence

SOUTH 45° 29' 50" WEST in line of said right of way, Two hundred six and 90/100 (206.90) feet; thence by a curve to the right having a radius of 30.00 feet a distance of 44.19 feet, again in line of said right of way; thence

NORTH 50° 06' 10" WEST again in line of said right of way, seventy-one and 02/100 (71.02) feet; thence

NORTH 38° 11' 40" WEST again in line of said right of way, one hundred five and 46/100 (105.46) feet to a stake; thence

NORTH 43° 34' 30" EAST in line of land now or formerly of Laurence A. and Evelyn L. Savary, Two hundred one and 58/100 (201.58) feet to a stake; thence continuing in the same course, Thirty and 78/100 (30.78) feet to a stake; thence

SOUTH 44° 30' 10" EAST in line of land of Howard Cushman, et al, two hundred ten and 37/100 (210.37) feet to a concrete bound first mentioned and point of beginning.

ALSO

A right of way over a certain parcel of land in Wareham to pass and repass by foot to the beach for recreational purposes. Said right of way is appurtenant to the above mentioned land and is more particularly bounded and described as follows:

Beginning at the southeasterly corner of land described in a deed from Ethel H. Burgess recorded with said deeds in Book 2399, Page 203, thence

SOUTH 52° 38' 10" WEST Four hundred twenty-seven (427) feet, more or less to land formerly of said Ethel H. Burgess and now of Helen B. Huxtable through a concrete bound to mean low water line of Little Harbor; thence

NORTHWESTERLY by said low water line ten (10) feet, more or less to a corner; thence

NORTH 52° 38' 10" EAST in a line parallel to and ten (10) feet distant from the first course hereinbefore mentioned, four hundred twenty-seven (427) feet, more or less to the southwesterly side of a Way shown on a plan entitled "Plan of Land Surveyed for Ethel H. Burgess, Great Neck, Wareham, Mass." Scale 1"=100', August 18, 1961, Walter E. Rowley & Associates, West Wareham, Mass. Plan 61'-57"; thence

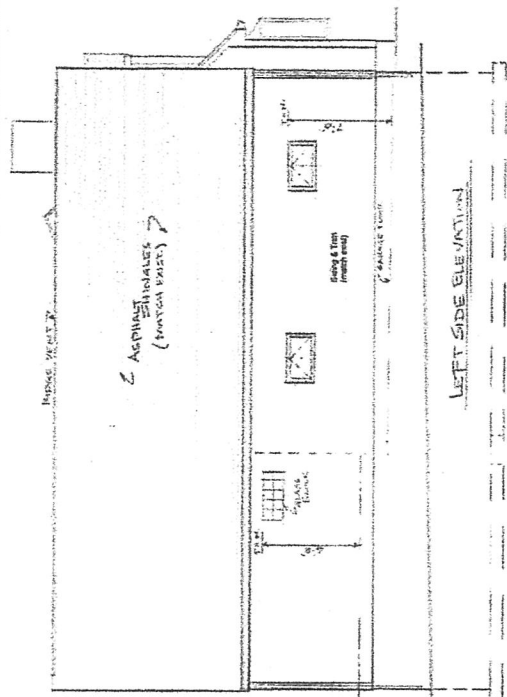
SOUTHWESTERLY by said Way, Ten (10) feet, more or less to the point of beginning.

Together with all rights, privileges and easements connected therewith and subject to restrictions and easements of record and are hereby conveyed subject to any building and zoning law requirements which may be in force and applicable.

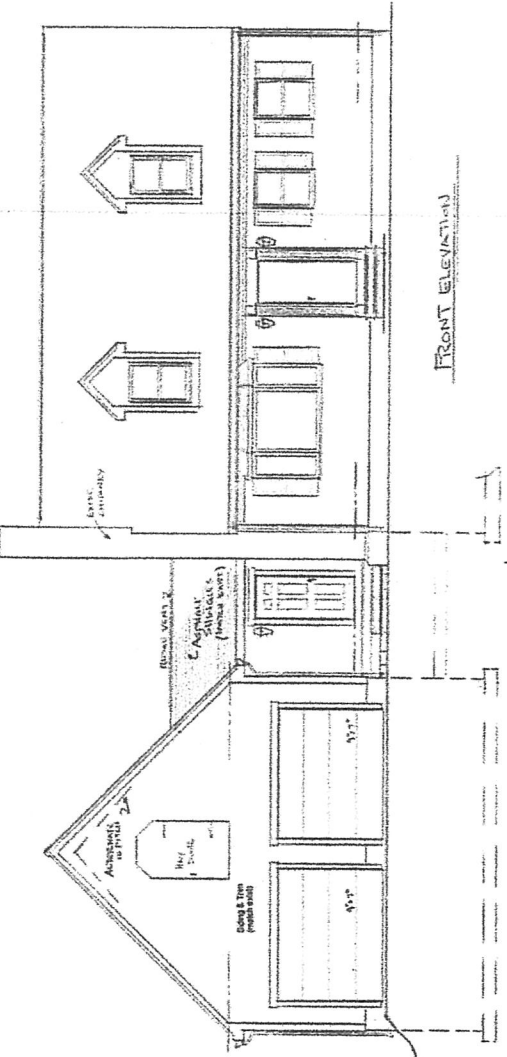
For my title see deed of James J. Keyes, et ux to James J. Keyes et ux and Rodger Keyes dated March 11, 1993 and recorded at Plymouth County Registry of Deeds in Book 11959 Page 050. Also see Plymouth County Probate Docket number 97P0057-EPI.

NO TITLE WORK DONE

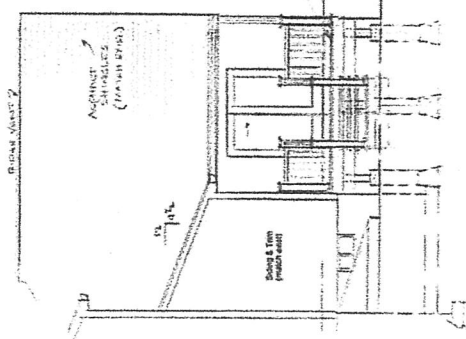
See Deed BK 20923 PG 342



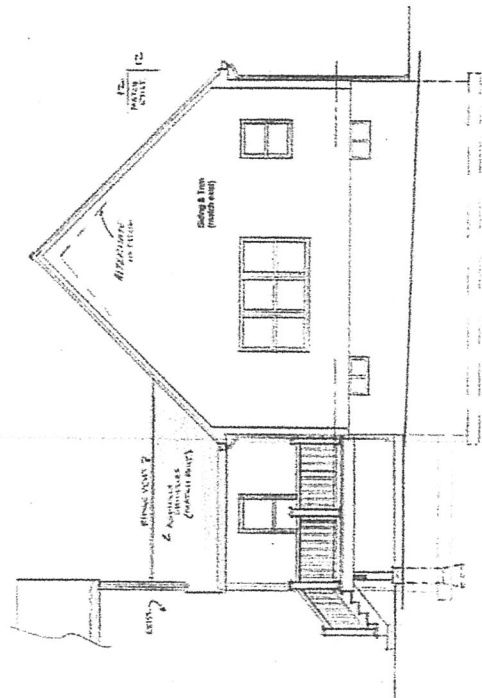
LEFT SIDE ELEVATION



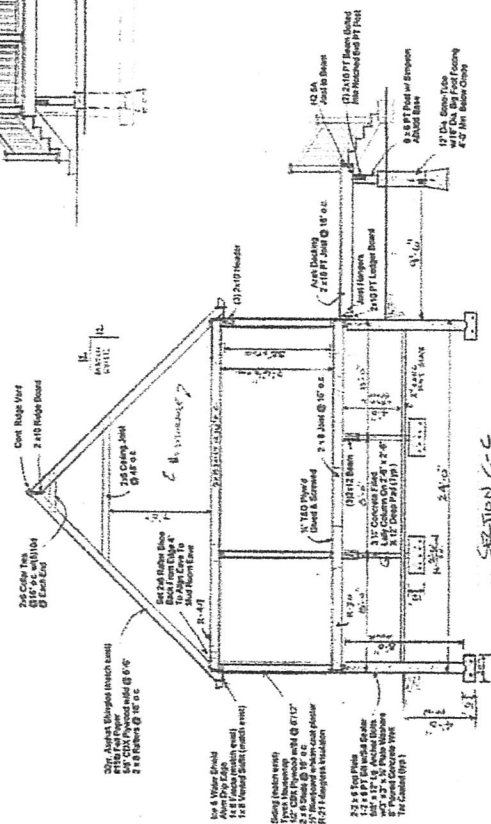
FRONT ELEVATION



RIGHT SIDE ELEVATION



PARTIAL REAR ELEVATION



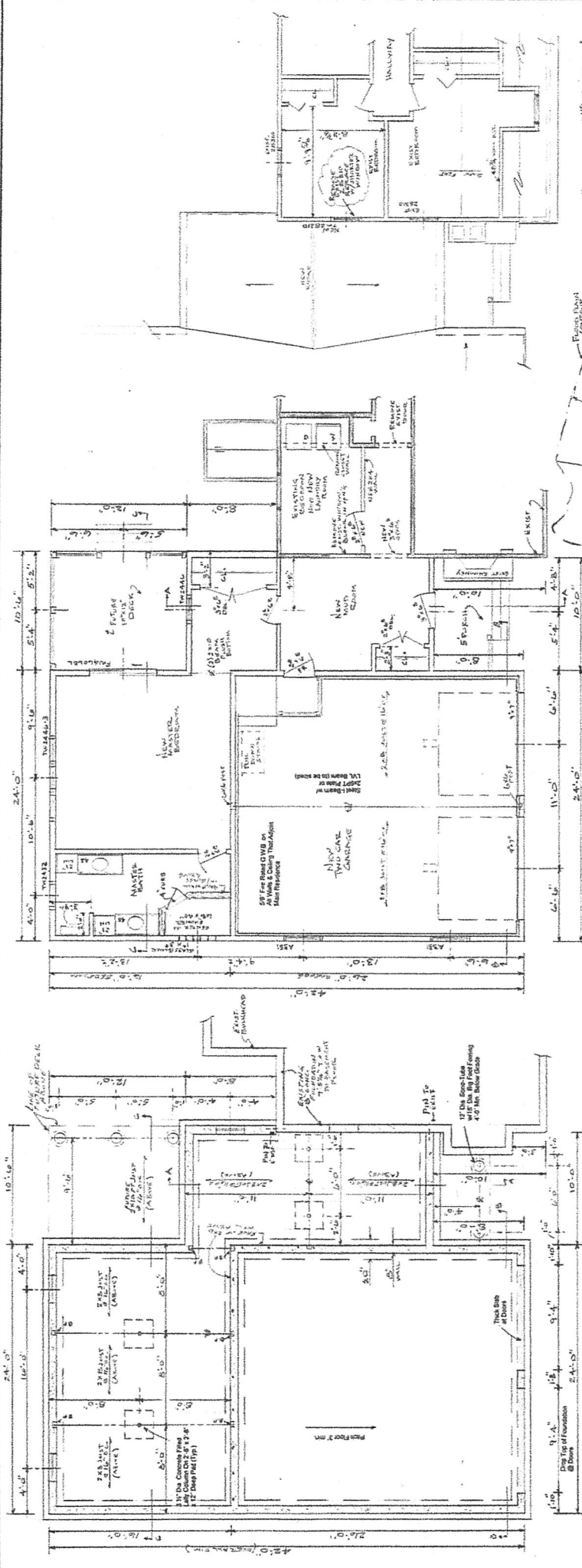
ADDITION TO BE BUILT IN ACCORDANCE WITH WFCM EXPOSURE "B"

ELEVATIONS & SECTION	
DATE: 04/11/20	SCALE: AS SHOWN
PROJECT: WINDY HILLS	CLIENT: WINDY HILLS
DESIGNER: WINDY HILLS	CONTRACTOR: WINDY HILLS
ADDRESS: WINDY HILLS, MN	
ARCHITECT: WINDY HILLS	
PROJECT NO: 2020-001	

Note:  
 1. All work to be done in accordance with the current Minnesota Building Code (MBC) and all applicable codes.  
 2. All work to be done in accordance with the current Minnesota Building Code (MBC) and all applicable codes.  
 3. All work to be done in accordance with the current Minnesota Building Code (MBC) and all applicable codes.  
 4. All work to be done in accordance with the current Minnesota Building Code (MBC) and all applicable codes.  
 5. All work to be done in accordance with the current Minnesota Building Code (MBC) and all applicable codes.  
 6. All work to be done in accordance with the current Minnesota Building Code (MBC) and all applicable codes.  
 7. All work to be done in accordance with the current Minnesota Building Code (MBC) and all applicable codes.  
 8. All work to be done in accordance with the current Minnesota Building Code (MBC) and all applicable codes.  
 9. All work to be done in accordance with the current Minnesota Building Code (MBC) and all applicable codes.  
 10. All work to be done in accordance with the current Minnesota Building Code (MBC) and all applicable codes.

These plans are intended to provide the basic information for construction. It is the responsibility of the contractor to verify all dimensions and conditions on the job site and to make any necessary adjustments to the drawings. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable codes and regulations. The contractor shall be responsible for the safety of all workers and for the protection of the environment. The contractor shall be responsible for the quality of all work and for the completion of the project on time and within budget. The contractor shall be responsible for the payment of all bills and for the resolution of any disputes. The contractor shall be responsible for the maintenance of all records and for the archiving of all documents. The contractor shall be responsible for the disposal of all waste and for the recycling of all materials. The contractor shall be responsible for the protection of all utilities and for the restoration of all areas affected by construction. The contractor shall be responsible for the cleanup of all construction sites and for the removal of all debris. The contractor shall be responsible for the maintenance of all equipment and for the safety of all workers. The contractor shall be responsible for the training of all workers and for the supervision of all construction activities. The contractor shall be responsible for the coordination of all construction activities and for the communication with all stakeholders. The contractor shall be responsible for the management of all construction risks and for the mitigation of all potential hazards. The contractor shall be responsible for the monitoring of all construction progress and for the reporting of all issues. The contractor shall be responsible for the evaluation of all construction quality and for the correction of all deficiencies. The contractor shall be responsible for the completion of all construction activities and for the handover of the project to the owner. The contractor shall be responsible for the maintenance of all construction records and for the archiving of all documents. The contractor shall be responsible for the disposal of all waste and for the recycling of all materials. The contractor shall be responsible for the protection of all utilities and for the restoration of all areas affected by construction. The contractor shall be responsible for the cleanup of all construction sites and for the removal of all debris. The contractor shall be responsible for the maintenance of all equipment and for the safety of all workers. The contractor shall be responsible for the training of all workers and for the supervision of all construction activities. The contractor shall be responsible for the coordination of all construction activities and for the communication with all stakeholders. The contractor shall be responsible for the management of all construction risks and for the mitigation of all potential hazards. The contractor shall be responsible for the monitoring of all construction progress and for the reporting of all issues. The contractor shall be responsible for the evaluation of all construction quality and for the correction of all deficiencies. The contractor shall be responsible for the completion of all construction activities and for the handover of the project to the owner.

SECTION C-C



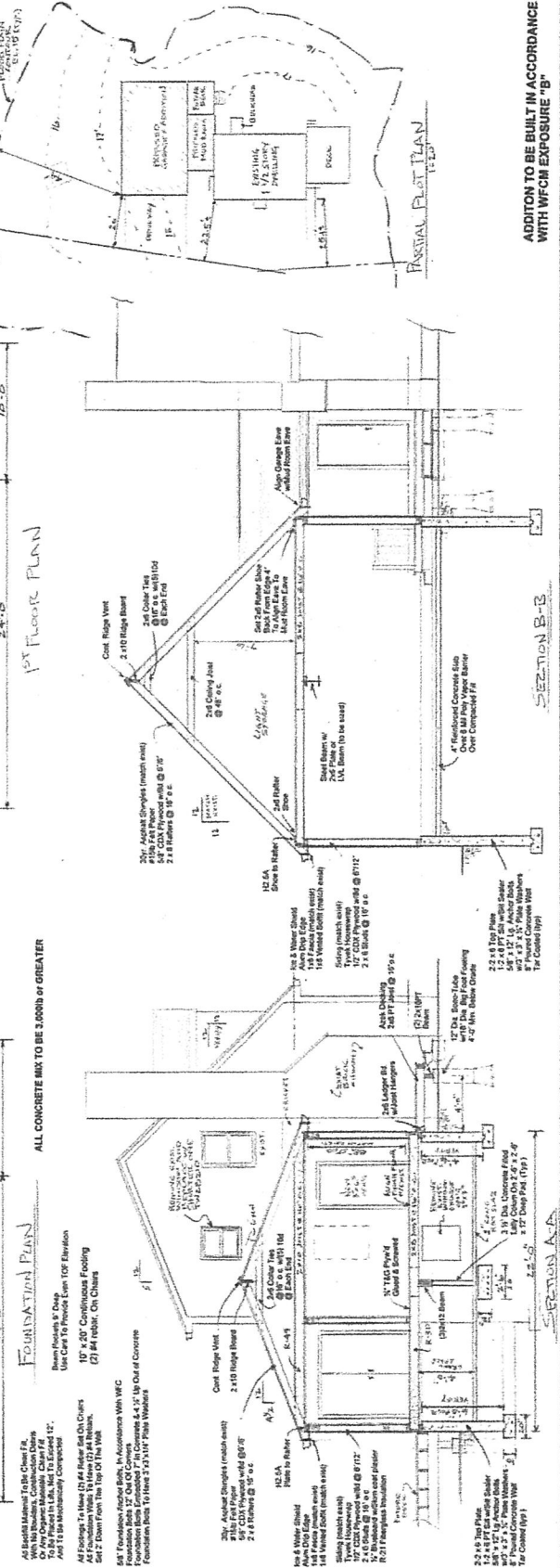
**EXISTING 2ND FLOOR PLAN**

Note:  
 1. To Verify All Existing  
 2. To Verify All Existing  
 3. To Verify All Existing  
 4. To Verify All Existing

**FOUNDATION PLAN**

ALL CONCRETE MIN TO BE 3,000 PSI OR GREATER

Notes:  
 1. All concrete shall be 3,000 psi or greater.  
 2. All concrete shall be 3,000 psi or greater.  
 3. All concrete shall be 3,000 psi or greater.  
 4. All concrete shall be 3,000 psi or greater.



**SECTION A-A**

Notes:  
 1. All concrete shall be 3,000 psi or greater.  
 2. All concrete shall be 3,000 psi or greater.  
 3. All concrete shall be 3,000 psi or greater.  
 4. All concrete shall be 3,000 psi or greater.

NO.	DATE	DESCRIPTION
1	1/15/20	FOUNDATION PLAN, 1ST FLOOR PLAN, 2ND FLOOR PLAN
2	2/10/20	FOUNDATION PLAN, 1ST FLOOR PLAN, 2ND FLOOR PLAN
3	2/10/20	FOUNDATION PLAN, 1ST FLOOR PLAN, 2ND FLOOR PLAN
4	2/10/20	FOUNDATION PLAN, 1ST FLOOR PLAN, 2ND FLOOR PLAN
5	2/10/20	FOUNDATION PLAN, 1ST FLOOR PLAN, 2ND FLOOR PLAN
6	2/10/20	FOUNDATION PLAN, 1ST FLOOR PLAN, 2ND FLOOR PLAN
7	2/10/20	FOUNDATION PLAN, 1ST FLOOR PLAN, 2ND FLOOR PLAN
8	2/10/20	FOUNDATION PLAN, 1ST FLOOR PLAN, 2ND FLOOR PLAN
9	2/10/20	FOUNDATION PLAN, 1ST FLOOR PLAN, 2ND FLOOR PLAN
10	2/10/20	FOUNDATION PLAN, 1ST FLOOR PLAN, 2ND FLOOR PLAN

**FOUNDATION PLAN, 1ST FLOOR PLAN, 2ND FLOOR PLAN**

DATE: 2/10/20

PROJECT: 2020-0000

PREPARED BY: [Name]

CHECKED BY: [Name]

SCALE: AS SHOWN

**SECTION B-B**

Notes:  
 1. All concrete shall be 3,000 psi or greater.  
 2. All concrete shall be 3,000 psi or greater.  
 3. All concrete shall be 3,000 psi or greater.  
 4. All concrete shall be 3,000 psi or greater.

**SECTION A-A**

Notes:  
 1. All concrete shall be 3,000 psi or greater.  
 2. All concrete shall be 3,000 psi or greater.  
 3. All concrete shall be 3,000 psi or greater.  
 4. All concrete shall be 3,000 psi or greater.

**ADDITION TO BE BUILT IN ACCORDANCE WITH WFCM EXPOSURE "B"**



# Site photos 7 Harborview lane



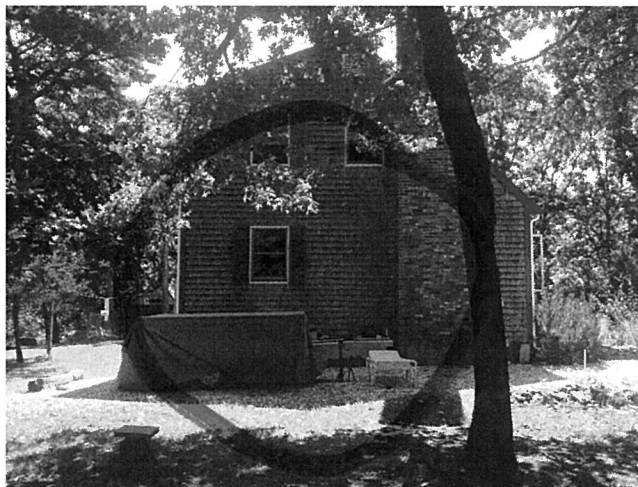
Left view



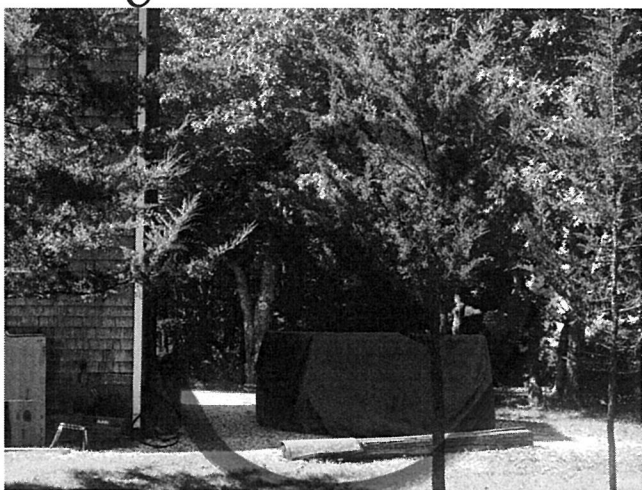
left view



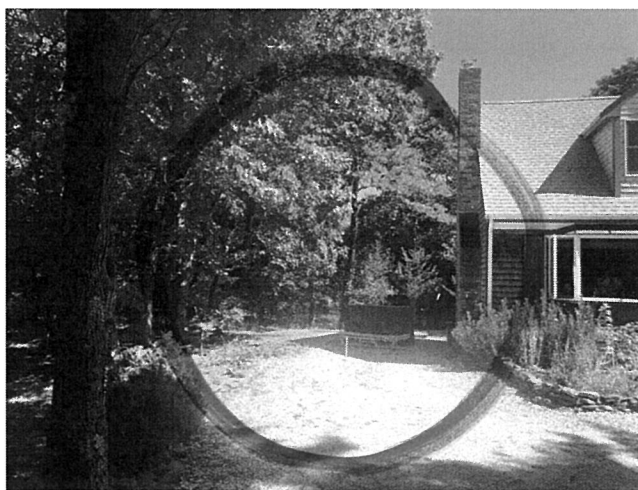
Right side site location



side view site location



Rear site view



front site view

August 9, 2020

Attention Town of Wareham Zoning Board of Appeals:

We, being the owners of record for 7 Harborview Lane Wareham, (Bk: 40193 Pg:223 Plymouth County ROD), are hereby petitioning the Board for a special permit to build an addition to our current dwelling. The addition would include a mudroom, a two car garage with open attic space and a first floor bedroom and bath. We request special permission to build our addition, as presented. (see exhibit 1 which shows what it will look like finished). This is the only place we can build the addition for cost effectiveness and to adhere to the Town of Wareham Conservation Requirements.

We need this addition for winter storage to accommodate our vehicle as well as recreational watercraft and our camper.

My husband has disabilities due to an accident that required an anterior fusion of his C-7 vertebrae. Repercussions of which are making it very difficult to continue climbing stairs. The addition would allow us one level living, ie: Kitchen, bath, bedroom, laundry, living room all on one level. (Presently, we have to climb 14 stairs up to the bedroom and another 14 steps down the cellar to the laundry room).

History: Our home, 7 Harborview Lane, was the second house built in this neighborhood. The home was purchased in 1979 by my in-laws and has been our seasonal residence for the past ten years. The original owner of the property, Ethel Burgess, owned the entire parcel which makes up the Harborview Lane neighborhood.

There are currently seven homesites, all improved upon, on Harborview Lane. Our house is the smallest structure and one of only two without a two or three car garage. We feel that the addition would be a welcome improvement and conform nicely with the homes in our area..

As for any encroachments along Harborview Lane, every homeowner abutting Harborview Lane, has unobstructed ingress and egress to their properties, as do emergency, maintenance and delivery vehicles.

We feel that any previously established encroachments have not in any way interfered with the rights of neighboring property owners. We are not asking for extensions of our property lines, only that we be allowed to continue the addition along the same lines as our dwelling so as not to force us into a floodplain area.

Thank you for your consideration,  
Rodger and Shannon Keyes

# Exhibit 1



This is what finished project will look like  
except on opposite side of dwelling.



# TOWN of WAREHAM

*Massachusetts*

## BUILDING DEPARTMENT

David Morris  
Director of Inspectional Services

---

Walter Alexander  
Vintage Carpentry Inc.  
12 Kirby St.  
S. Dartmouth, MA 02748

July 30, 2020

**RE:** 7 Harborview Ln.

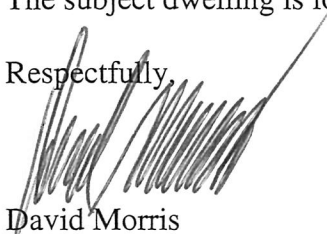
I have reviewed your proposal for an addition of a two car garage with mud room and master bedroom to your existing dwelling. I must deny your application at this time. According to the Town of Wareham Zoning Bylaws, the addition increases the non-conforming nature of the structure. The proposal requires a Special Permit from the Wareham Zoning Board of Appeals. If the zoning board determines that the addition will increase the non-conforming nature of the structure or that it will be substantially more detrimental to the neighborhood, a Variance will be required.

Your proposal for an addition does not conform to the following requirements of the Wareham Zoning by-law:

- **Article 6, Table 621, Residential Districts,** The proposed addition does not meet the current setback requirements.
- **Article 1352, Line 2,**The structure continues on the same line as an existing encroachment without increasing the encroachment.
- **Article 13, Section 1361,** A Special Permit is required unless the zoning board finds that the addition increases the non-conforming nature of the structure or that it will be substantially more detrimental to the neighborhood in which case a Variance will be required.

The subject dwelling is located in Zoning district R-60.

Respectfully,

  
David Morris

**In accordance with the provisions of MGL chapter 40A §§ 15, you may apply to the Zoning Board of Appeals for the above noted relief within thirty (30) days of receipt of this letter.**



MAP & LOT	OWNER	CO-OWNER	STREET ADDRESS	TOWN	STATE	ZIP CODE
TOWN OF WAREHAM ABUTTERS						
MAP 29 LOT 1013						
OWNERS RODGER A & SHANNON KEYES						
29-1004	TOWN OF WAREHAM		TOWN HALL	WAREHAM	MA	02571
29-1005	FINN JO-ANN H TRUSTEE	1011-V. JO-ANN H FINN DEC OF TRUST 2003	PO BOX 349	WAREHAM	MA	02571
29-1001/B2	SANTOS ROBERT	MONSOUR MARYANNE	4 CLIFF'S RD	WAREHAM	MA	02571
29-1014	KENYON MELANIE S	5 Harborview	PO BOX 306	WAREHAM	MA	02571
29-1001/B3	BENARD DONNA L TRUSTEE	DONNA L BENARD REV TRUST	3 HARBORVIEW LN	WAREHAM	MA	02571
29-1001/B1	RASCIUS VIRGINIUS		274 ROSEMARY ST	NEEDHAM	MA	02494
29-1015/B	DEMERS MARK A TRUSTEE	THE DEMERS TRUST	171A GREAT NECK RD	WAREHAM	MA	02571
29-1015/C	NILSON DAVID E & HOLLY M TRS	NILSON FAMILY TRUST	171B GREAT NECK RD	WAREHAM	MA	02571
29-1015/A	MACKENZIE WILLIAM D	MACKENZIE PAMELA J CO-TRS	2 HARBORVIEW LN	WAREHAM	MA	02571
29-1003	GALAVOTTI MICHAEL		8 SEA MEADOW LN	WAREHAM	MA	02571
29-1006	RUTSCHMANN ANNE E	12 Harborview	PO BOX 814	E WAREHAM	MA	02538
29-1001/A	DELUCA CHRISTOPHER	DELUCA HELENKA	11 HARBORVIEW LN	WAREHAM	MA	02571
CETIFIED ABUTTERS AS						
THEY APPEAR ON OUR TAX ROLLS						
AS OF 12/31/1019						
ASSESSORS OFFICE						
REQUESTED BY						
RODGER & SHANNON KEYES						
HILTONHEAD123@AOL.COM						

CURRENT OWNER		TOPO	UTILITIES	STRT./ROAD	LOCATION	CURRENT ASSESSMENT	
KEYES RODGER	KEYES SHANNON	2 Above Street	2 Public Water	3 Unpaved	2 Suburban	Code	Assessed Value
PO BOX 305		4 Rolling	6 Septic			1010	213,400
BLURFTON, SC 29910						1010	174,400
Additional Owners:						1010	1,000
Other ID:		Plan #		ASSOC PID#		Total	
		1.14		M. 268720 831645		388,750	
Total Ac		1.14				388,800	
District		10					
S.C.E.							

RECORD OF OWNERSHIP		BK-VOL/PAGE	SALE DATE	U/I	SALE PRICE	V.C.	PREVIOUS ASSESSMENTS (HISTORY)	
KEYES RODGER		40193/ 223	08/04/2011	U	1	1A	Assessed Value	Yr. Code
KEYES RODGER		20923/ 342	11/19/2001	U	1	0 1A	213,400	2019 1010
KEYES MARION Y		12123/ 115	08/16/1993	Q	1		174,400	2018 1010
							184,400	2018 1010
							600	2018 1010
							600	2018 1010
							388,800	Total:
							364,000	Total:
							388,750	Total:

**EXEMPTIONS**

Year	Type	Description	Code	Amount	Number	Comm. Int.

ASSESSING NEIGHBORHOOD		NOTES	
NBHD/SUB	Street Index Name	Tracing	Batch
0080/A			
Appraised Bldg. Value (Card) 213,400 Appraised XF (B) Value (Bldg) 0 Appraised OB (L) Value (Bldg) 1,000 Appraised Land Value (Bldg) 174,350 Special Land Value 0 Total Appraised Parcel Value 388,750 Valuation Method: C Adjustment: 0 Net Total Appraised Parcel Value 388,750			

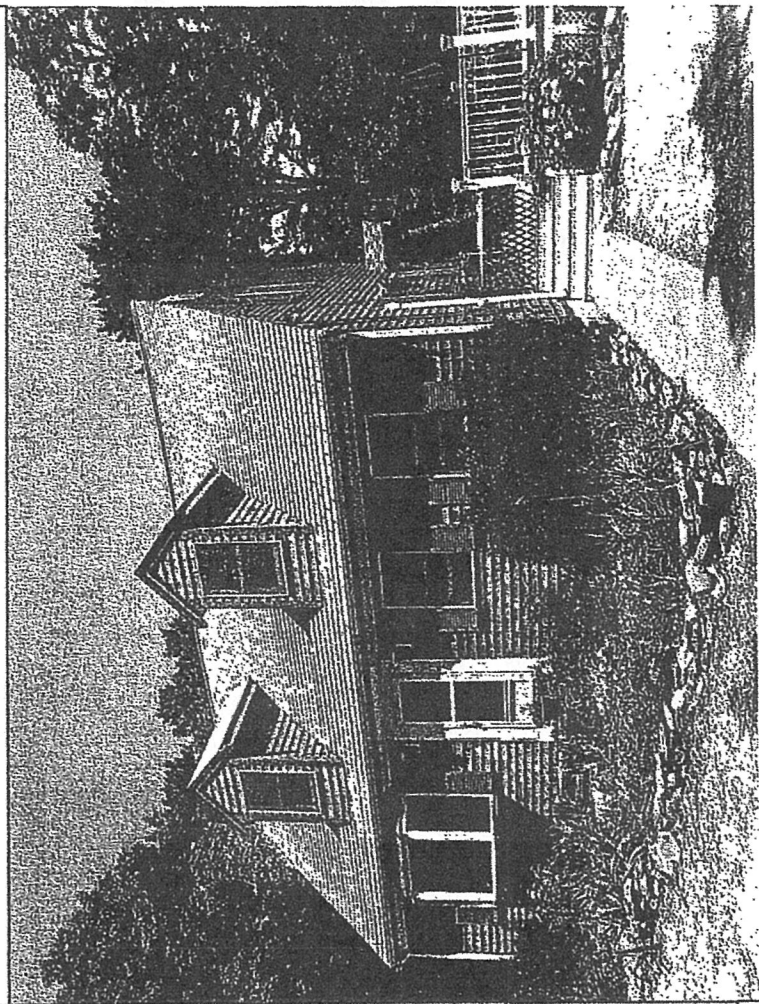
BUILDING PERMIT RECORD		VISIT/CHANGE HISTORY	
Permit ID	Issue Date	Type	Date
			07/08/2018
			06/17/2014
			07/15/2004
			09/30/1995

LAND LINE VALUATION SECTION		SPECIAL PRICING	
B Use #	Description	Zone	Depth
1	SINGLE FAMILY	R60	1
1	SINGLE FAMILY	R60	1

LAND LINE VALUATION SECTION		SPECIAL PRICING	
B Use #	Description	Zone	Depth
1	SINGLE FAMILY	R60	1
1	SINGLE FAMILY	R60	1

CONSTRUCTION DETAIL		CONSTRUCTION DETAIL (CONTINUED)	
Element	Cd	Ch	Description
Style	04		Cape Cod
Model	01		Residential
Grade	04		Avc
Stories	1.75		1 3/4 Stories
Occupancy	1		MIXED USE
Exterior Wall 1	14		Wood Shingle
Exterior Wall 2			
Roof Structure	03		Gable/Hip
Roof Cover	03		Asphalt Shing
Interior Wall 1	05		Drywall
Interior Wall 2			
Interior Flr 1	14		Carpet
Interior Flr 2	12		Hardwood
Heat Fuel	02		Oil
Heat Type	05		Hot Water
AC Type	03		Central
Total Bedrooms	04		4 Bedrooms
Total Bathrms	3		
Total Half Baths	0		
Total Xtra Fixtrs			
Total Rooms	6		6 Rooms
Bath Style	02		Average
Kitchen Style	02		Average
# of Fireplaces	1		
Fireplace Type	1		
Finish Bsmt SF	316		
Fin Bsmt Qual	2		
<b>OB-OUTBUILDING &amp; YARD ITEMS(L) / XF-BUILDING EXTRA FEATURES(B)</b>			
Code	Description	Sub	Unit Price
SHD1	SHED/FRAME	L	96
SHD1	SHED/FRAME	L	64
<b>BUILDING SUB-AREA SUMMARY SECTION</b>			
Code	Description	Living Area	Gross Area
BAS	First Floor	816	816
FBM	Finish Bsmt	0	816
TQS	3/4 Story Fin	571	816
WDK	Deck, Wood	0	256
		Unit Cost	Undeprac. Value
		2,704	138,125
		1,387	27,591
			96,653
			4,401
			266,770

TQS	34	16
BAS		16
FBM		16
WDK		16
	24	24
	34	16



TTL Gross Liv/Lease Area: 1,387

2,704

266,770