

*Town of Wareham
Zoning Board of Appeals*

APPLICATION FOR COMPREHENSIVE PERMIT

*Villages 801 Main
Villages 801 Main Street LLC
Wareham, MA*

July 5, 2022

TOWN OF WAREHAM ZONING BOARD OF APPEALS

COMPREHENSIVE PERMIT APPLICATION

pursuant to M.G.L. Ch. 40B, §§ 20-23

APPLICANT: Villages 801 Main Street LLC
SUBJECT PROPERTY: 801 Main Street, Wareham
Assessors Map 81, Lot 1011/A
PROJECT NAME: Villages 801 Main

An Original and seven (7) copies

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TOWN OF WAREHAM

ZONING BOARD OF APPEALS

APPLICATION FOR A PUBLIC HEARING FOR A VARIANCE/SPECIAL PERMIT – COMPREHENSIVE PERMIT
M.G.L. c. 40B, §21

Certain uses are allowed in several zoning districts only by means of a Variance and/or Special Permit from the Zoning Board of Appeals. Those uses are indicated in the Wareham Zoning By-Laws. To apply for a Variance/Special Permit from the Zoning Board of Appeals, please do the following:

- o Complete this form.
- o Complete information packets. (Directions attached)
- o Submit application form and packet to Town Clerk for signature.
- o Submit application form and packet to Town Collector for signature.
- o Submit completed form, packets, and appropriate fees** to the Zoning Board of Appeals secretary.

**Permits may be issued only after a public hearing. There is a filing fee of \$300.00 per lot, per application for all non-conforming residential lots, whether built upon or not. There is a filing fee of \$750.00 per lot, per application for all commercial applications. In the case of a multi-family development, the fee is \$300.00 plus an additional \$50.00 for every unit over two (2). Please make check

payable to the Town of Wareham.

40 B app. \$1000.00

***A check to cover two (2) legal advertisements for the public hearing should be made payable to Wareham Week in the amount of \$100.00.

**The applicant will also be responsible for the costs of sending out abutter notifications by Certified Mail. The cost is \$6.90 per certified letter to each abutter. Please see Zoning Board secretary for cost of mailings. Please make check payable to the Town of Wareham.

I hereby apply for a Variance/Special Permit for a use to be made of the following described place:

STREET & NUMBER: 801 Main Street LOT: 1011/A MAP: 88

ZONING DISTRICT: MR30

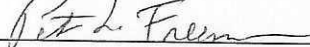
USE REQUESTED: Comprehensive Permit M.G.L. c. 40B, §21; see Comprehensive Permit Application filed herewith

OWNER OF LAND & BUILDING: Villages 801 Main Street LLC TEL.# c/o Peter L. Freeman, Esq. 508-362-4700

ADDRESS OF OWNER: 15 Fernwood Road, North Falmouth MA 02556

PERSON(S) WHO WILL UTILIZE PERMIT: Applicant

ADDRESS: same as above _____

DATE: July 5, 2022 SIGNATURE: 

Peter L. Freeman, Esq. – Attorney-in-fact
86 Willow Street
Yarmouthport, MA 02675
508-362-4700
pfreeman@freemanlawgroup.com

This application was received on the date stamped here:

Town Clerk: _____ Date: _____



This form was received on the date stamped here:

TOWN OF WAREHAM

ZONING BOARD OF APPEALS APPLICATION FOR A:

- VARIANCE
- SPECIAL PERMIT
- SITE PLAN REVIEW
- APPEAL

Certain uses are allowed in zoning districts only by means of a Variance and/or Special Permit from the Zoning Board of Appeals. Those uses are indicated in the Wareham Zoning By-Laws. Permits may be issued only after a public hearing. To apply for a public hearing for a Permit from the Zoning Board of Appeals, please do the following:

- o Complete this form.
- o Read information packets. (Directions attached)
- o Submit application form and packet of information to Town Clerk for signature.
- o Submit application form to Town Collector for signature.
- o Submit completed form, packets, and appropriate fees** to the Planning and Community Development Office.

** See Directions for fees, or ask at the Planning and Community Development Office.

I hereby apply for a [check applicable]: _____ Variance _____ Special Permit _____ Site Plan
_____ Appeal for a use at the following place: comprehensive permit under M.G.L. c. 40B, § 21

STREET & NUMBER: 801 Main Street MAP: 81 LOT: 1011/A

ZONING DISTRICT: MR-30

USE REQUESTED: 40B affordable rental apartments - 8 units

OWNER OF LAND & BUILDING: Villages 801 Main Street LLC

ADDRESS OF OWNER: 15 Fernwood Rd., N. Falmouth, MA 02556

PERSON(S) WHO WILL UTILIZE PERMIT: Applicant/owner

ADDRESS: Same as above

DATE: July 5, 2022 SIGNATURE: Patricia Fenner, Esq Attorney-in-Fact

Town Clerk: _____ Date: _____
 Tax Collector: _____ Date: _____
 Planning/Zoning Dept.: _____ Date: _____
 Application fee paid: _____ Check #: _____ Receipt: _____
 Advertising fee paid: _____ Check #: _____ Receipt: _____
 Abutters fee paid: _____ Check #: _____ Receipt: _____

TOWN OF WAREHAM

APPLICANT/CONTRACTOR/REPRESENTATIVE INFORMATION SHEET

Check One: Variance Special Permit Site Plan Appeal

Comprehensive Permit M.G.L. c. 40B, §21

Date stamped in: _____ Date decision is due _____

Applicant's Name: Villages 801 Main Street LLC

Applicant's Address: 15 Fernwood Road, North Falmouth MA 02556

Telephone Number: Cell Phone Number: 508-295-3598

Email Address: Nperkins@wingatecompanies.com

Address of Property/Project: 801 Main Street, Wareham MA

Landowner's Name: Villages 801 Main Street LLC

Owner's Address: 15 Fernwood Road, North Falmouth MA 02556

Telephone Number: c/o Peter L. Freeman, Esq. 508-362-4700

Contact Person: Peter L. Freeman Telephone Number: 508-362-4700

Email Address: Nperkins@wingatecompanies.com

Map 88 Lot 1011A Zone MR30

Date Approved _____ Date Denied _____

Comments: See Comprehensive Permit Application filed herewith

TOWN OF WAREHAM ZONING BOARD OF APPEALS

**COMPREHENSIVE PERMIT APPLICATION
pursuant to M.G.L. Ch. 40B, §§ 20-23**

APPLICANT: Villages 801 Main Street LLC
SUBJECT PROPERTY: 801 Main Street, Wareham
Assessors Map 88, Lot 1011/A
PROJECT NAME: Villages 801 Main

NARRATIVE APPLICATION AND DESCRIPTION

INTRODUCTION: M.G.L. Chapter 40B, §§ 20-23 (“the statute”):

Villages 801 Main Street LLC (the “Applicant”) is submitting this application pursuant to M.G.L. Chapter 40B, §21 for a Comprehensive Permit for property located at 801 Main Street, Wareham as shown on Assessors Map 88 as Lot 1011A, hereinafter described (the “Project Site”). The proposed project is called “Villages 801 Main” and consists of eight (8) rental apartments with seven (7) affordable units and one (1) market unit, and related parking and infrastructure. The 7 affordable units will be for households earning no more than eighty (80%) percent of the Area Median Income, in accordance with applicable state regulations and guidelines.

Under M.G.L. Chapter 40B, when there is a substantial need for low and moderate income housing in a community, the statute essentially creates a state mandate to local cities and towns to allow the construction of low and moderate income housing that requires relief from otherwise applicable local requirements and regulations, including but not limited to zoning bylaws, subdivision rules and regulations, and local regulations that exceed state requirements under the Wetlands Protection Act. A Zoning Board of Appeals can insist on full compliance with local requirements and regulations only if they are, in the words of the statute, “consistent with local needs.” Local requirements and regulations will be considered “consistent with local needs” if they are reasonable, taking into account the “regional need for low and moderate income housing considered with the number of low income persons in the city or town affected and the need to protect the health or safety of the occupants of the proposed housing or of the city or town, to promote better site and building design in relation to the surroundings, or to preserve open space” and if they outweigh the regional need for affordable housing.

The statute and the regulations have established a Subsidized Housing Inventory (“SHI”) maintained by the Massachusetts Department of Housing and Community Development (“DHCD”) that lists each municipality’s percentage of low and moderate- income units. The Town of Wareham falls short of the state threshold of 10%: the Town has 7.5% based on DHCD SHI list dated December 21, 2020 and the applicant believes that none of the other regulatory Safe Harbors have been met. The Applicant believes, for all the reasons hereinafter set forth, that the project meets all of the requirements for a Comprehensive Permit under the statute, that it will be a benefit to the Town of Wareham, and that a Comprehensive Permit should be issued.

STANDING AND STATUS:

Applicant meets the jurisdictional requirements of the regulations and has standing before the Zoning Board of Appeals, based on the following:

a) Limited Dividend Organization

The Applicant is a Massachusetts limited liability company (see copy of Massachusetts Corporations Division Business Entity Summary filed herewith) which agrees and intends to enter into a standard Regulatory Agreement with the Massachusetts Department of Housing and Community Development (“DHCD”) under the Housing Stabilization Fund Program (“HSF”) and agrees to abide by the requisite limitation on profits. Therefore, pursuant to the statute, and the regulations, 760 CMR 56.04(1)(a), the Applicant is an eligible Applicant for a Comprehensive Permit.

b) Control of the Land

The Applicant owns the Project Site; see deed November 29, 2021 filed herewith. Thus, the Applicant has control of the land, as required by the regulations, 760 CMR 56.04(1)(c).

c) Project Eligibility

The applicant has received a Project Eligibility Letter dated June 9, 2022 from the DHCD under HSF which confirms the project’s eligibility and suitability of the Site. See copy of said Letter filed herewith¹. Therefore, the Applicant fulfills the requirement of 760 CMR 56.04(1)(b), which states: “The project shall be fundable under a subsidizing agency under a low and moderate income subsidy program”. See 760 CMR 54.04(1), which states that compliance with the project eligibility requirements shall be established by issuance of a written determination of Project Eligibility by the Subsidizing Agency.

¹ This letter states mistakenly that there will be 8 affordable units, but DHCD will issue a corrected one stating 7 affordable units and one market unit.

PROJECT DESCRIPTION:

The Project will provide a small, new, and energy efficient rental neighborhood where residents can feel safe and sound knowing that their home was built with care and a commitment to our planet.

Situated next to the 49 unit affordable rental project at 815 Main Street (also developed by John Scanlan, the principal of the Applicant), the site presently consists of one single family house and a barn which were constructed in 1890, and which will be incorporated into the project as described below. The location of these buildings at the very front corner of the property leaves ample room to add new modular environmentally and energy smart affordable housing units towards the rear of the property.

The unit mix will be as follows:

- 3 one bedroom affordable units;
- 2 two bedroom affordable units;
- 2 three bedroom affordable units; and
- 1 three bedroom market unit.

The vision for the Project is to rehabilitate the existing home into one market-rate rental unit with 3 bedrooms, using safe, energy smart technology including getting away from oil and moving to sustainable electric energy. Within the structure known as “the barn”, two 1-bedroom affordable apartments will be created, with the same energy efficient technology. Around the corner, tucked in yet facing towards each other, will be 3 newly constructed modular buildings. These 3 new buildings will add 5 new affordable rental units, again using the same energy efficient technology: 1 ranch-style one bedroom unit (ADA compliant); 2 two bedroom units; and 2 three bedroom units. The community will thus have 7 affordable rental units and 1 market rate unit.

This small project will create a pocket neighborhood of much needed rental housing which fits into this area of West Wareham.

DEVELOPMENT TEAM:

APPLICANT / DEVELOPER

Villages 801 Main Street, LLC
John K. Scanlan, Principal
15 Fernwood Road
North Falmouth, MA 02556
johnscanlan@industriaenergy.com

ATTORNEY

Freeman Law Group LLC
Peter L. Freeman, Partner
86 Willow Street
Yarmouth Port, MA 02675
508-362-4700
pfreeman@freemanlawgroup.com

ARCHITECT

RESCOM Architectural, Inc.
Gregory B. Siroonian
President
118 Waterhouse Road
Bourne, MA 02532
gbs@rescomarch.com

CIVIL ENGINEER

Atlantic Design Engineers, Inc.
Rich Tabaczynski
P.O. Box 1051
Sandwich, MA 02563
rtab@atlanticcompanies.com

40B FINANCIAL CONSULTANT

Eisenberg Consulting
Charles Eisenberg
4 Ashford Road
Newton Center, MA 02459
ceisenberg@comcast.net

REQUESTED RELIEF FROM LOCAL BY-LAWS, RULES AND REGULATIONS:

See Requested Waivers submitted herewith.

COMMUNITY BENEFITS:

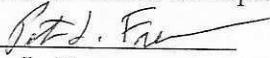
The Project will bring much needed affordable rental housing to Wareham. The Project has received community support, as follows:

1. Letter from Wareham Board of Selectmen to DHCD dated June 7, 2022; see copy filed herewith
2. Letter from Wareham Affordable Housing Trust to DHCD dated May 18, 2022; see copy filed herewith; and
3. Memorandum from Wareham Community Preservation Committee to DHCD dated May 19, 2022 awarding a \$300,000.00 CPA Grant to the Project (which has subsequently been voted and approved by Town Meeting; see copy filed herewith.

CONCLUSION:

For all the above reasons, the Applicant respectfully submits that the relief requested should be granted and that a Comprehensive Permit should be issued as requested in the Application.

Dated: July 5, 2022

By: 
Peter L. Freeman
Freeman Law Group LLC
86 Willow Street, Suite 6
Yarmouth Port, MA 02632
Attorney-in-fact for Applicant

TOWN OF WAREHAM ZONING BOARD OF APPEALS

**COMPREHENSIVE PERMIT APPLICATION
pursuant to M.G.L. Ch. 40B, §§ 20-23**

APPLICANT: Villages 801 Main Street LLC
SUBJECT PROPERTY: 801 Main Street, Wareham
Assessors Map 81, Lot 1011/A
PROJECT NAME: Villages 801 Main

REQUESTED WAIVERS¹

The Applicant seeks waivers from the Wareham local Bylaws, rules and regulations, as shown below.

The Applicant also requests that waivers be granted from any requirements to apply to the Town or other municipal Boards or departments, including but not limited to the Wareham Board of Health, Board of Selectmen, Historic Commission, Planning Board, Conservation Commission, Department of Public Works and Water and Sewer Department (if applicable) and/or Commissioners, if normally required; and the Applicant requests that the Comprehensive Permit be issued in lieu of all of the aforementioned permits, inclusively, including but not limited to the permits and approvals to connect to the municipal water system (please note that the Applicant will comply with all technical requirements related to the municipal water system).

If in the course of the hearings it is determined that there are other local by-laws, rules and regulations that would otherwise be applicable to this development that have not been requested in this application, the Applicant reserves the right to so amend the Requested Waivers.

ZONING BYLAW

ARTICLE 3 USE REGULATIONS

¹ Pursuant to 760 CMR 56.05(7), waivers are not needed from Special Permit provisions of a zoning bylaw, but only from the requirements of the underlying as of right zoning provisions.

Section 351 – Multiple Principle Uses and Structures

Waive the provision that requires a Special Permit from the ZBA for more than one principle building on a lot.

ARTICLE 6 DENSITY AND DEVELOPMENT REGULATIONS

Section 613 – One Principal Residential Building per Lot

Waive the provision that requires a Special Permit from the ZBA for more than one principal building on a lot.

Section 621 – Table of Dimensional Regulations – Residential Districts

Waive the minimum front setback of 20 feet and the side and rear setbacks of 10 feet to allow what is shown on the site plan.

Section 820 – Multiple Family and Apartment Dwellings

Waive to allow the lot and buildings as shown on the site plan and building plans

ARTICLE 9 PARKING

Section 933 – Parking Space Dimensions

Waive the requirement of 9.5 feet wide by 19 feet long parking spaces to allow what is shown on the plans (9 feet by 18 feet)

ARTICLE 10 LANDSCAPING

Section 1043.2 – Buffers for Residential Development

Waive the requirement for a 40-foot buffer between residential development and a Collector Street.

ARTICLE 12 PERFORMANCE STANDARDS

This Article appears to require a Special Permit for certain developments, including one with over 5 residential units. As stated above, waivers are not required under the Chapter 40B Regulations from Special Permit provisions of a zoning bylaw. To the extent, that this Article is deemed applicable, request is made to waive the Article in its entirety.

ARTICLE 15 SITE PLAN REVIEW

Section 1520 – Applicability

Waive the requirement for Site Plan Review.

MISCELLANEOUS

Fees

Waive all local filing fees, building permit fees, water connection fees, review fees and inspection fees for the affordable units.

BOARD OF WATER AND SEWER COMMISSIONERS,
WATER DEPARTMENT

The Applicant requests that any permits or approvals required to connect to the municipal water system be granted by the Zoning Board of Appeals as part of the Comprehensive, and that any requirement to apply to the Board of Water and Sewer Commissioners, the Water Department, including the Water Department, (or any other board or commission related to the water system) be waived.

Likewise, waivers are requested from any bylaws, rules or regulations related to the foregoing, other than technical engineering matters for the design and construction of the and water system for the project.

BY-LAWS OF THE TOWN OF WAREHAM

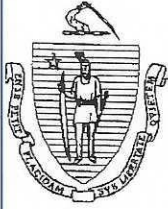
Division IV

Article II – Street Regulations Governing Construction Rules and Regulations for Construction within the Streets under Jurisdiction of the Town of Wareham Permits

Sections 1

Applicant requests a waiver from requirement of obtaining a permit from the Board of Selectmen for construction within the street layouts of the Town of Wareham and request any permits or approvals required for construction within the street layouts be granted by the Zoning Board of Appeals.

Additionally, waivers are requested from any bylaws, rules or regulations related to the construction within the street layouts, other than technical engineering matters for the design and construction of same, for the project.



Commonwealth of Massachusetts
**DEPARTMENT OF HOUSING &
COMMUNITY DEVELOPMENT**

Charles D. Baker, Governor ♦ Karyn E. Polito, Lt. Governor ♦ Jennifer D. Maddox, Undersecretary

June 9, 2022

Ms. Nanette Perkins
Villages 801 Main Street, LLC
815 Main Street
Wareham, Massachusetts 02571

RE: 801 Main Street, Wareham, Massachusetts
Determination of Project Eligibility under the Housing Stabilization Fund (HSF)

Dear Ms. Perkins:

I am pleased to inform you that your application for project eligibility under the Housing Stabilization Fund (HSF) for the proposed 801 Main Street project has been approved. This approval is based on your application that sets forth a plan for the development of eight rental units. The proposed rents for the HSF units are generally consistent with the standards for affordable housing to be included in a community's Chapter 40B affordable housing stock.

This approval does not constitute a guarantee that HSF funds will be allocated to the 801 Main Street project, but it does create a presumption of fundability under 760 CMR 56.04 and allows the Villages 801 Main Street, LLC to apply to the Wareham Zoning Board of Appeals for a comprehensive permit. The sponsor should note that a One Stop submission for funding for this project must conform to all Department of Housing and Community Development (DHCD) program limits and requirements in effect at the time of submission.

As part of the review process, the Department of Housing and Community Development staff has performed an on-site inspection of the proposed project sites and has made the following findings:

1. The proposed project appears generally eligible under the requirements of HSF, subject to final program review and approval;
2. The site of the proposed project is generally appropriate for residential development;
3. The conceptual plan is generally appropriate for the site on which the project is located;
4. The proposed project appears financially feasible in the context of the Wareham housing market;
5. The project sponsor and the development team meet the general eligibility standards of HSF; and,
6. The applicant has provided a copy of the recorded quitclaim deed as evidence of site control.

The proposed project must comply with all state and local codes not specifically exempted by a comprehensive permit.

As stated in the application, the 801 Main Street project will consist of eight units, all of which will be affordable; all will be eligible for inclusion in the town's subsidized housing inventory. The affordable units will be marketed and rented to eligible households whose annual income may not exceed 80% of area median income, adjusted for household size, as determined by the U.S. Department of Housing and Urban Development.

Please note that, after reviewing the request and supporting documentation submitted by the town of Wareham, DHCD has agreed to waive the requirement for an appraisal (Comprehensive Permit Guidelines, Section IV.B.1.b).

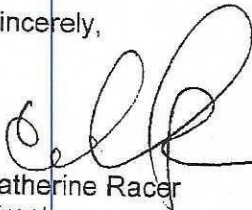
If a comprehensive permit is granted, construction of this project may not commence without DHCD's issuance of final approval pursuant to 760 CMR 56.04 (7) and an award of HSF funds. This project eligibility determination letter is not transferable to any other project sponsor or housing program without the express written consent of DHCD. When construction is complete, a Chapter 40B cost certification and an executed and recorded 40B regulatory agreement in compliance with DHCD's requirements pertaining to Chapter 40B must be submitted and approved by DHCD.

As the 801 Main Street project nears completion of construction, DHCD staff may visit the site to ensure that the development meets program guidelines.

This letter shall expire two years from this date or on June 9, 2024, unless a comprehensive permit has been issued.

We congratulate the town of Wareham and Villages 801 Main Street, LLC on your efforts to work together to increase the Town's supply of affordable housing. If you have any questions as you proceed with the project, please call Alana Murphy at 617-573-1301.

Sincerely,

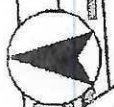


Catherine Racer
Director

cc: Kenneth Buckland, Director of Planning and Community Development
Derek Sullivan, Town Administrator
Nazih Elkallassi, Zoning Board of Appeals
Office of the Chief Counsel, DHCD



- MA Places
 - Fire Station
 - Police Station
 - Town Hall
 - Public Library
 - School
- Buildings
- Parcels
- Town Boundary
- MA Highways
 - State
 - US Highway
 - Numbered Route
- Streets
 - Bathymetry
 - 0-5 ft
 - 5-10 ft
 - 10-15 ft
 - 15-20 ft
 - 20-30 ft
 - 30-40 ft
 - 40-50 ft
 - 50-60 ft
 - 60-70 ft
 - 70+ ft
- Abutting Town Labels
- Abutting Towns



The data shown on this site are provided for informational and planning purposes only. The Town and its consultants are not responsible for the misuse or misrepresentation of the data.

640 1280 ft

Printed on 06/27/2022 at 09:29 AM

MASSACHUSETTS EXCISE TAX
Plymouth District ROD #11 001
Date: 12/02/2021 08:57 AM
Ctrl# 152545 02068
Fee: \$1,436.40 Cons: \$315,000.00

GRANTOR: ROBERT F KEARNES
LOCUS: 801 MAIN ST., WAREHAM

MASSACHUSETTS QUITCLAIM DEED

I, **Robert F. Kearnes**, being unmarried, of Wareham, Massachusetts, for consideration paid and in full consideration of

Three Hundred Fifteen Thousand and 00/100 Dollars (\$315,000.00), grant to

Villages 801 Main Street, LLC, a Massachusetts limited liability company with a principal place of business located at 15 Fernwood Road, N. Falmouth, MA 02556,

with quitclaim covenants

The land with the buildings thereon, situated in Wareham, Plymouth County, Massachusetts, being more particularly described as **Lot 1011A** as shown on a plan of land entitled "Approval Not Required Plan of Land at 801 Main Street, Wareham, MA., Prepared for: Arda A. Melanson, Prepared by: JC Engineering, Inc, 2854 Cranberry Highway, East Wareham, MA 02538, Scale: 1" = 20', August 21, 2018" which plan is recorded with the Plymouth County Registry of Deeds as Plan No. 626 of 2018 at Plan Book 63, Page 63. Containing 32,772 square feet more or less, according to said plan.

Together with and subject to the reservation of rights and easements as shown on said Plan and further described in a deed from Arda A. Melanson dated November 30, 2018 and recorded in the Plymouth County Registry of Deeds in Book 50576, 234.

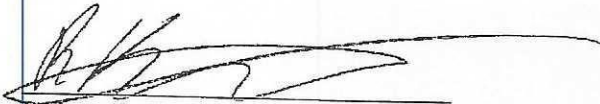
The granted premises are conveyed subject to and with the benefit of any and all rights, restrictions, easements and appurtenances of record insofar as they are in force and applicable.

The Grantors hereby release any and all rights of homestead in the property and certify under the pains and penalties of perjury that there are no beneficiaries, spouses, former spouses, partners or former partners in a civil union who occupy or intend to occupy the premises as their principal residence nor any other person who has homestead rights in the property.

Meaning and intending to convey the same premises conveyed to this Grantor by deed November 30, 2018 and recorded in the Plymouth County Registry of Deeds in Book 50576, 234.

Property Address: 801 Main Street, Wareham, MA 02571

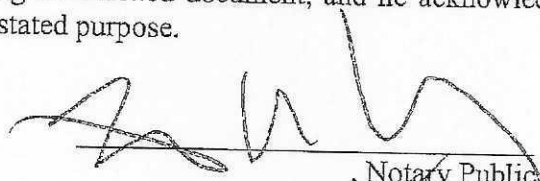

Witness my hand and seal this 29th day of November, 2021.

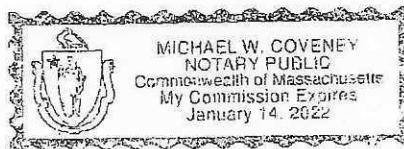

Robert F. Kearnes

COMMONWEALTH OF MASSACHUSETTS

Plymouth, ss.

On this 29th day of November, 2021, before me, the undersigned notary public, personally appeared Robert F. Kearnes, who proved to me through satisfactory evidence of identification, which was Massachusetts driver's license, to be the person whose name is signed on the preceding or attached document, and he acknowledged to me that he signed it voluntarily for its stated purpose.


_____, Notary Public
My Commission Expires: 



Corporations Division

Business Entity Summary

ID Number: 001543261

[Request certificate](#)

[New search](#)

Summary for: VILLAGES 801 MAIN STREET LLC

The exact name of the Domestic Limited Liability Company (LLC): VILLAGES 801 MAIN STREET LLC

Entity type: Domestic Limited Liability Company (LLC)

Identification Number: 001543261

Date of Organization in Massachusetts:
11-10-2021

Last date certain:

The location or address where the records are maintained (A PO box is not a valid location or address):

Address: 15 FERNWOOD ROAD

City or town, State, Zip code, Country: N. FALMOUTH, MA 02556 USA

The name and address of the Resident Agent:

Name: JOHN K. SCANLAN

Address: 15 FERNWOOD ROAD

City or town, State, Zip code, Country: N. FALMOUTH, MA 02556 USA

The name and business address of each Manager:

Title	Individual name	Address
MANAGER	JOHN K SCANLAN	15 FERNWOOD ROAD N. FALMOUTH, MA 02556 USA

In addition to the manager(s), the name and business address of the person(s) authorized to execute documents to be filed with the Corporations Division:

Title	Individual name	Address

The name and business address of the person(s) authorized to execute, acknowledge, deliver, and record any recordable instrument purporting to affect an interest in real property:

Title	Individual name	Address
REAL PROPERTY	JOHN K SCANLAN	15 FERNWOOD ROAD N FALMOUTH, MA 02556 USA

Consent
 Confidential Data
 Merger Allowed
 Manufacturing

View filings for this business entity:



Town of Wareham
54 Marion Road
Wareham, MA 02571

SELECTMEN'S OFFICE
Phone: 508.291.3100
Fax: 508.291.3116
E-mail: selectmen@wareham.ma.us

Board of Selectmen
Judith Whiteside, Chair
Patricia Wurts, Clerk
Ronald Besse
Jared Chadwick
Alan H. Slavin

June 7, 2022

DHCD
100 Cambridge St #300
Boston, MA 02114

RE: The 801 Village Project

To Whom It May Concern:

The Wareham Board of Selectmen have reviewed the plans and met with the proponents of The 801 Village. This affordable rental project is located beside another project, 815 Main, which has been an exemplary project. We anticipate a similar high quality, albeit smaller, project at 801 Main.

Like many communities, Wareham struggles to provide quality rental housing to residents and employees of local businesses. We appreciate responsible developers producing rental housing for our residents and employees.

Thank you for your support to this project. We stand ready to provide further support necessary to see this project come to fruition.

Sincerely,


Judith Whiteside
Chair, Wareham Board of Selectmen

cc: Planning Director
Town Administrator



Town of Wareham
54 Marion Road
Wareham, MA 02571

Wareham Affordable Housing Trust

Phone: 508.291.3100
Fax: 508.291.3116
E-mail: cas3.waht@pm.me

Trustees

Carl Schulz, Chairman
Sandra Slavin
Missy Dziecik
Heidi Churchill

May 18, 2022

Massachusetts Department of Housing and Community Development
100 Cambridge Street, Suite 300
Boston, MA 02114

Re: The 801 Village Project in Wareham

To Whom It May Concern:

The Wareham Affordable Housing Trust met with Ms. Perkins and reviewed the plans for this project. Based on our meetings, the members of the Trust want to communicate our support for the proposed application to redevelop the property to provide affordable units. We encourage you to approve the Site Eligibility Application.

Wareham is working to provide quality affordable housing to its residents and employees of local business. The Affordable Housing Trust supports that goal by working with developers and project sponsors to provide for the preservation and creation of affordable housing in the Town of Wareham for the benefit of low- and moderate-income households. This development is clearly aligned with our mission and will provide a high-quality housing alternative for our residents and business employees.

Thank you for taking time to review the application as well as considering our support on this project. When built, this development will add to the community in many ways.

Sincerely:

Carl Schulz
Chair
Wareham Affordable Housing Trust



TOWN OF WAREHAM
54 Marion Rd, Wareham, MA 02571

TO: Department of Housing & Community Development
FROM: Joan Kinniburgh, Wareham Community Preservation Committee
DATE: May 19, 2022
RE: Letter of Support for The 801 Village

Department of Housing & Community Development:

I am writing in support of The 801 Village.

The 801 Village is a proposed development, adjacent to the Village at 815 Main Street, of 3 new buildings and a renovated barn, for a total of 7 new units of affordable housing, of which 2 of the 7 units are fully handicap accessible. The Community Preservation Committee voted unanimously to support a CPA-funded grant of \$300,000.00 for this project.

The Village at 815 Main Street is a small, neighborhood of 49 affordable housing units that is a beautiful development that's meticulously maintained. The 801 Village's 7 units will continue on those same lines and be an additional valuable source of needed affordable housing for Wareham, and for which the owner is placing a deed restriction in perpetuity to benefit the community.

This proposal will add 7 additional affordable housing units to help meet Wareham's State quota in a small development that helps to maintain the character and charm of our community.

Best regards,

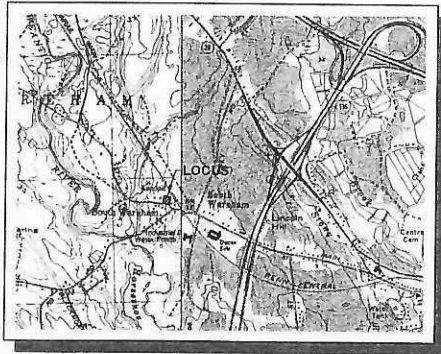
Joan Kinniburgh, Chair
Wareham Community Preservation Committee

PRELIMINARY SITE PLANS

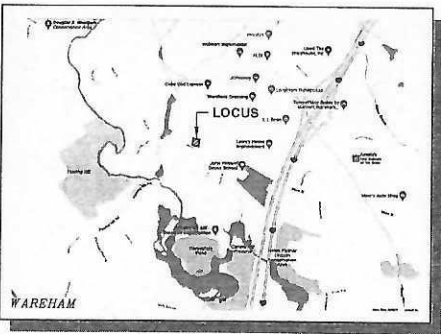
FOR

801 VILLAGE

LOCATED AT
801 MAIN STREET
WAREHAM, MASSACHUSETTS 02571
DATE: JUNE 30, 2022



VICINITY MAP
SCALE: 1" = 1,500'



LOCUS MAP
SCALE: 1" = 1,500'



OVERALL LOCATION PLAN
SCALE: 1" = 100'

INDEX OF PLANS		
SHEET NO.	TITLE	SCALE
1	COVER SHEET	1" = 100'
2	PRELIMINARY SITE PLAN	1" = 20'
3	PRELIMINARY DETAILS PLAN	N.T.S.

APPLICANT:

VILLAGES 801 MAIN STREET, LLC
815 MAIN STREET - MGMT. OFFICE
WAREHAM, MASSACHUSETTS 02571

OWNER:

VILLAGES 810 MAIN STREET, LLC
15 FERNWOOD ROAD
N. FALMOUTH, MASSACHUSETTS 02566

ENGINEER:

Atlantic[®]
DESIGN ENGINEERS, INC.
P.O. Box 1051, Sandwich, MA 02563
(508) 888 - 9282



FILE: 2271.00-SITE-2
Sheet 1 of 3
JOB NUMBER
3271.00



PROPOSED SITE/AREA SUMMARY	
TOTAL SITE AREA = 0.75 ACRES	
16.0% OF SITE OCCUPIED BY BUILDINGS* AREA = 0.12 ACRES	
22.7% OF SITE OCCUPIED BY PAVED ROADWAY/DRIVEWAYS/DRIVELAND AREAS = 0.17 ACRES	
61.3% OF SITE OCCUPIED BY WOODS/GRASS/SEDGE GRAVEL AREAS AREA = 0.48 ACRES	

PARKING REQUIREMENTS			
DWELLING:	AREA	REQUIRED	PROVIDED
2 SPACES/UNIT	8 UNIT	16.0 SPACES	19 SPACES
TOTAL:		16.0 SPACES	19 SPACES*

*INCLUDES (1) HANDICAPPED ACCESSIBLE PARKING SPACE

SITE INFORMATION	
TOTAL AREA OF DEVELOPMENT = 0.75 ACRES	
TOTAL AREA OF WETLAND = N/A	
TOTAL NUMBER OF UNITS = 8	
NUMBER OF PARKING SPACES = 19	

PROPOSED BUILDING/UNIT TABULATION						
BUILDING TYPE	STORIES	NUMBER OF BUILDINGS	NUMBER OF UNITS	NUMBER OF AFFORDABLE UNITS	BEDROOMS	HEIGHT
ATTACHED AND DETACHED CONDOMINIUM UNIT	2	5	8	7	3 - 1 BEDROOM 3 - 2 BEDROOM 3 - 3 BEDROOM TOTAL ON SITE=16	± 20 FT.

ZONING REQUIREMENTS		
TOWN OF WAREHAM ZONING BYLAWS, REVISED OCTOBER 9, 2019 MULTIPLE RESIDENCE 30 (MR-30)		
MINIMUM LOT SIZE	REQUIRED	PROPOSED
MINIMUM LOT FRONTAGE	30,000 SF	32,771 SF
MINIMUM YARDS:	150 FEET	179 FEET
FRONT YARD	10 FEET	12.0 FEET
SIDE YARD	20 FEET	14.7 FEET
REAR YARD	10 FEET	10.0 FEET
MAXIMUM BUILDING HEIGHT	35 FEET	35 FEET
MAXIMUM % OF LOT COVERED BY BUILDINGS	NR	25%
MAXIMUM % OF LOT COVERED BY IMPERVIOUS AREA	NR	NR
ACCESSORY BUILDINGS:		
FRONT YARD	10 FEET	N/A
SIDE YARD	15 FEET	N/A
REAR YARD	20 FEET	N/A
HEIGHT		

- GENERAL NOTES:**
- OWNER OF RECORD:
 - THE SUBJECT PROPERTY IS IDENTIFIED AS LOT 1011-A, ON THE TOWN OF WAREHAM ASSESSOR MAP 88 TOTAL LAND AREA IS 0.75± ACRES.
 - BASED UPON A REVIEW OF THE TOWN OF WAREHAM ZONING MAP AND PROPERTY CARDS, THE SUBJECT PROPERTY LIES WITHIN THE MULTIPLE RESIDENCE 30 (MR-30) DISTRICT AND DOES NOT LIE WITHIN ANY OVERLAY DISTRICTS.
 - THE PROPERTY LINES SHOWN HEREON, ARE BASED UPON PLAN ENTITLED "APPROVAL NOT REQUIRED PLAN OF LAND AT 801 MAIN STREET, WAREHAM, MA" PREPARED BY JC ENGINEERING, INC. DATED AUGUST 21, 2018, RECORDED AT THE PLYMOUTH COUNTY REGISTRY OF DEEDS IN PLAN BOOK 53, PAGE 83, DEEDS OF RECORD AND A FIELD SURVEY BY ATLANTIC DESIGN ENGINEERS IN JANUARY AND FEBRUARY OF 2022 AND ARE BASED UPON THE NORTH AMERICAN DATUM OF 1983 (NAD83).
 - EXISTING CONDITIONS DEPICTED HEREON ARE BASED FIELD SURVEYS BY ATLANTIC DESIGN ENGINEERS IN JANUARY AND FEBRUARY OF 2022. ELEVATIONS ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
 - THE PROPERTY LIES WITHIN A FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) BASED UPON A REVIEW OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 25023C0469K, DATED JULY 6, 2021.
 - THE PROPERTY IS NOT LOCATED WITHIN A ZONE II OR AN INTERM WELHEAD PROTECTION AREA BASED UPON A REVIEW OF THE MASSACHUSETTS GEOGRAPHIC INFORMATION SYSTEM AND TOWN ZONING MAP.
 - THE PROPERTY DOES NOT LIE WITHIN AN ESTIMATED HABITAT OF RARE WILDLIFE AND/OR A PRIORITY HABITAT OF RARE SPECIES BASED UPON A REVIEW OF THE NATURAL HERITAGE AND ENDANGERED SPECIES PROGRAM MAPS OBSERVED ON THE MASSACHUSETTS GEOGRAPHIC INFORMATION SYSTEM.
 - THE PROPERTY DOES NOT LIE WITHIN AN AREA OF CRITICAL ENVIRONMENTAL CONCERN (ACEC) BASED UPON A REVIEW OF THE MASSACHUSETTS GEOGRAPHIC INFORMATION SYSTEM.
 - ALL UNITS TO BE SERVED BY TOWN WATER AND A COMMON ON-SITE SEPTIC SYSTEM.

Atlantic DESIGN ENGINEERS, INC.
P.O. Box 1051, Sandwich, MA 02563 (508) 888 - 9282

Designed by: _____
 Drawn by: _____
 Checked by: _____
 Survey chk by: _____
 Approved by: _____

SCALE
 SCALE 1" = 20'
 DATE _____

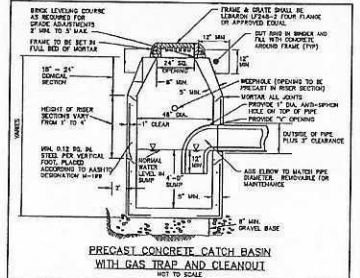
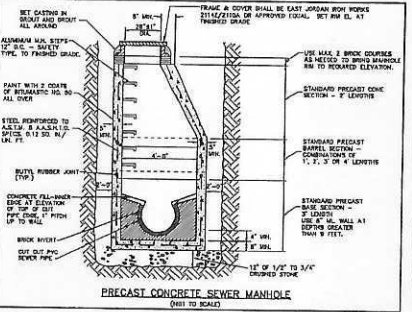
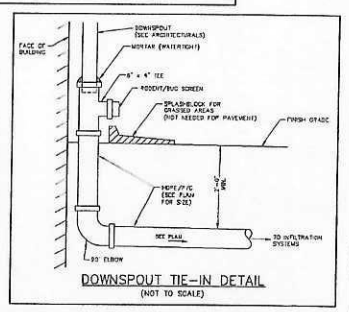
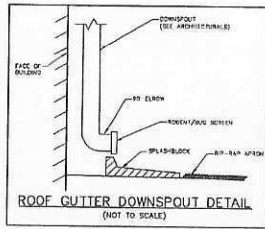
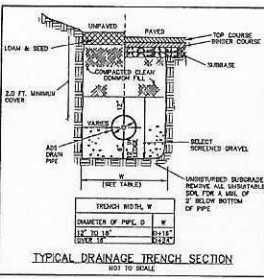
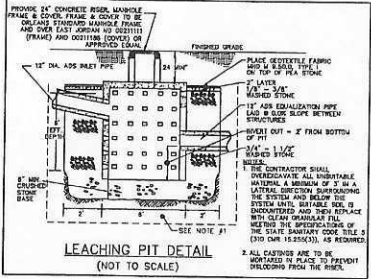
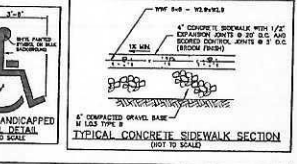
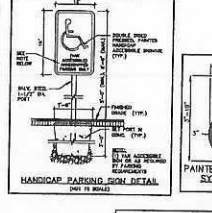
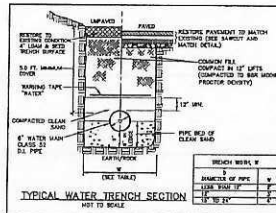
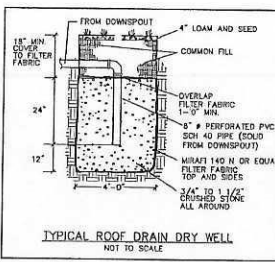
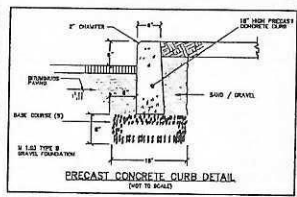
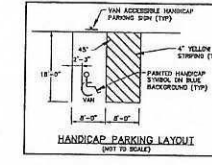
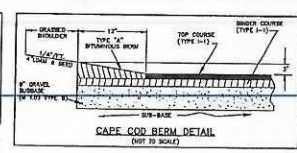
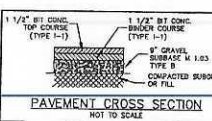
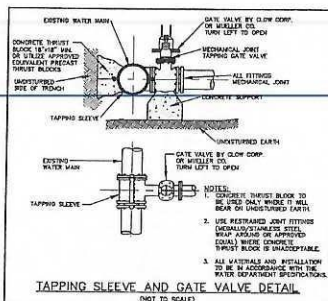
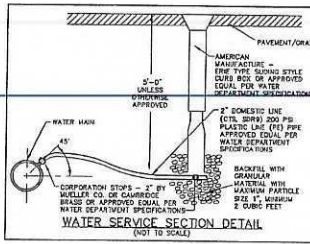
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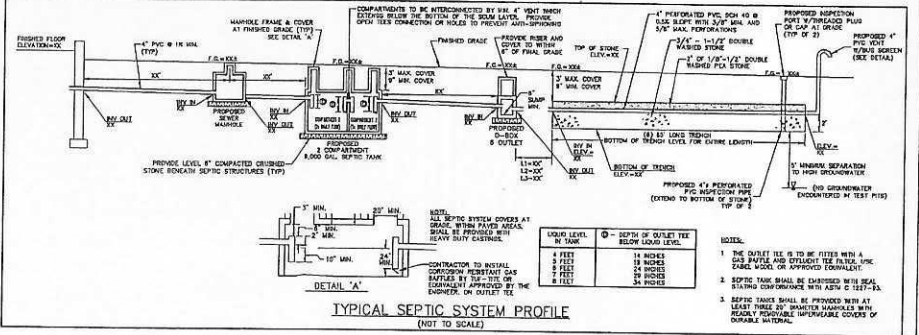
APPLICANT:
VILLAGES 801 MAIN STREET, LLC
 815 MAIN STREET - MGMT. OFFICE
 WAREHAM, MASSACHUSETT 02571

PRELIMINARY SITE PLAN
 OF
801 VILLAGE
 WAREHAM, MASSACHUSETTS
 JUNE 30, 2022

Sheet of
2 3
 JOB NUMBER
3271.00



DESIGN FORMULA:			
SYSTEM	NO. GARAGES/DRIVER ALLOWED WITH THIS DESIGN	DAYS DESIGN	REQUIRED PROVIDED
DAILY FLOW:	18 BEDROOMS @ 110 GPD/BEDROOM		1760 GPD
LEACHING AREA:	(5) 65' x 2' LEACHING TRENCHES 2' EFFECTIVE DEPTH		1005 SF
SIDEWALL: (2) 4' x (85' x 23') = 8			780 SF
BOTTOM: (85' x 2') = 8			1760 SF
TOTAL:			3358 SF
LEACHING CAPACITY:			1160 GPD
SIDEWALL: 1005 SF @ 0.74 GAL/SF			722.2 GPD
BOTTOM: 780 SF @ 0.74 GAL/SF			577.2 GPD
TOTAL:			1299.4 GPD
SEPTIC TANK (2 COMPARTMENTS):			1760 GPD
1ST COMPARTMENT - 2 x DAILY FLOW			3,520 GAL
2ND COMPARTMENT - 1 x DAILY FLOW			1,760 GAL
TOTAL:			5,280 GAL



Atlantic DESIGN ENGINEERS, INC.
P.O. Box 1051, Sandwich, MA 02563 (508) 888 - 9282

Designed by _____
Drawn by _____
Checked by _____
Survey chkr. by _____
Approved by _____

SCALE
AS NOTED

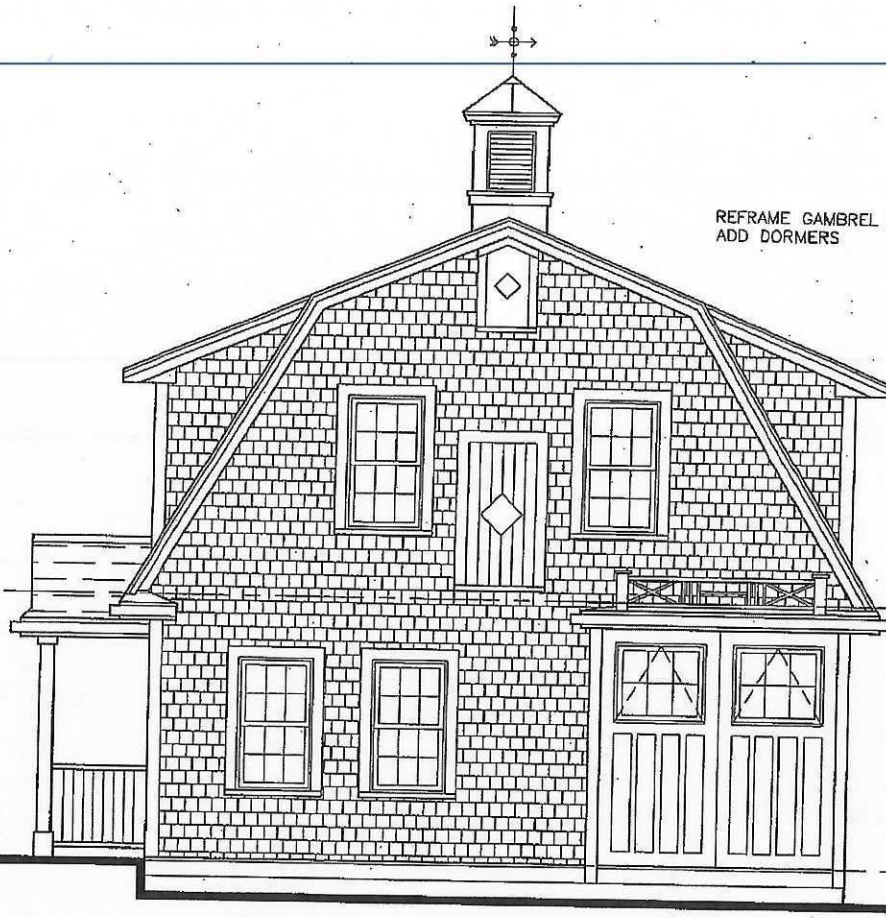


DATE _____ NO. BY DATE REVISION _____

APPLICANT:
VILLAGES 801 MAIN STREET, LLC
815 MAIN STREET - MGMT. OFFICE
WAREHAM, MASSACHUSETT 02571

PRELIMINARY DETAILS PLAN
of
801 VILLAGE
WAREHAM, MASSACHUSETTS
JUNE 30, 2022

P.L. 3271.00-SHE-2
Sheet 3 of 3
JOB NUMBER
3271.00



REFRAME GAMBREL ROOF,
ADD DORMERS

FRONT ELEVATION

1/4" = 1'-0"

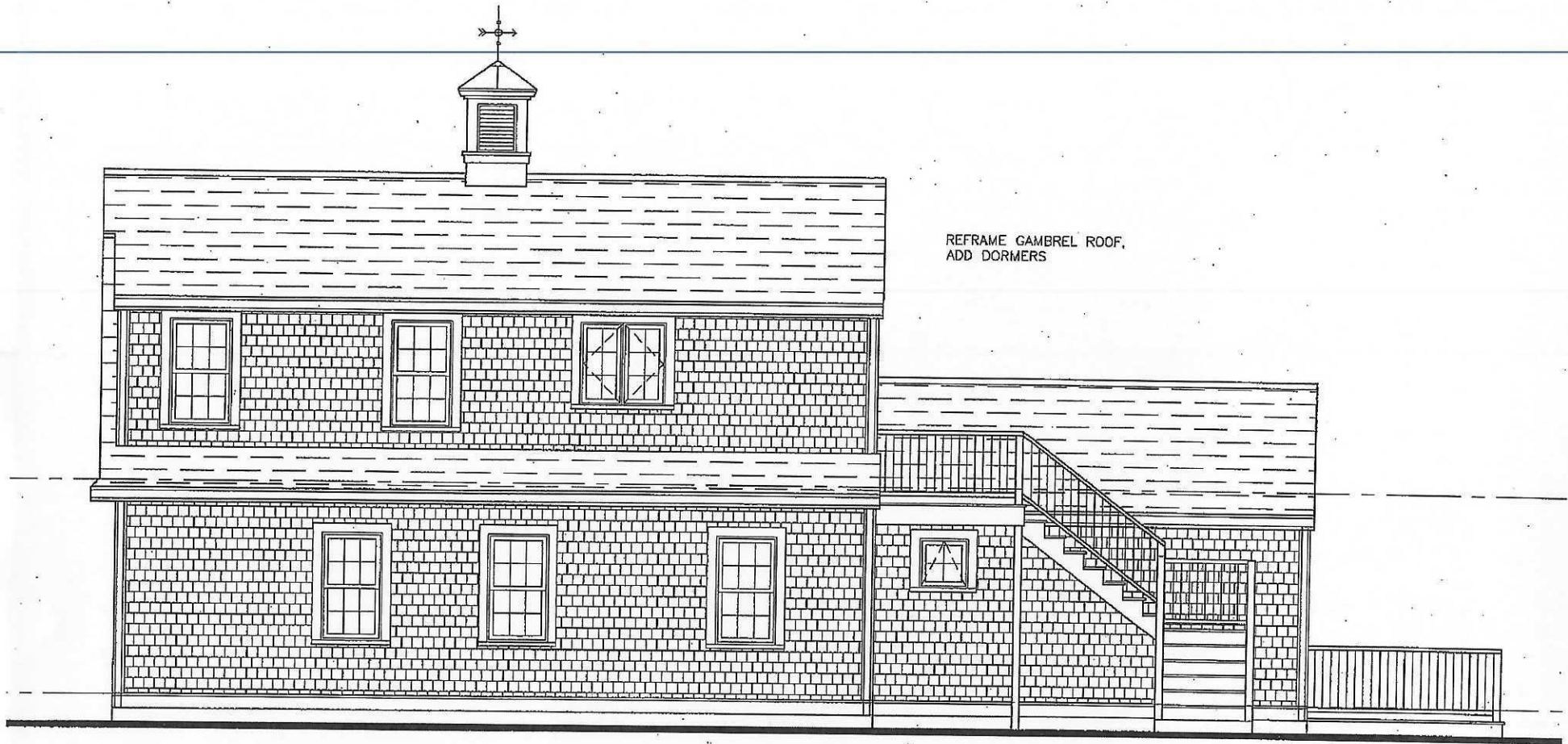
RESCOM
ARCHITECTURAL, INC

801 VILLAGES BARN RENOVATION

MAIN STREET, WAREHAM, MASSACHUSETTS

04-14-22

SK3



REFRAME GAMBREL ROOF,
ADD DORMERS

LEFT SIDE ELEVATION

1/4" = 1'-0"

RESCOM ARCHITECTURAL, INC	801 VILLAGES BARN RENOVATION MAIN STREET, WAREHAM, MASSACHUSETTS	04-14-22 SK5
-------------------------------------	--	------------------------



RIGHT SIDE ELEVATION

1/4" = 1'-0"

RESCOM
ARCHITECTURAL, INC

801 VILLAGES BARN RENOVATION

MAIN STREET, WAREHAM, MASSACHUSETTS

04-05-22

SK4

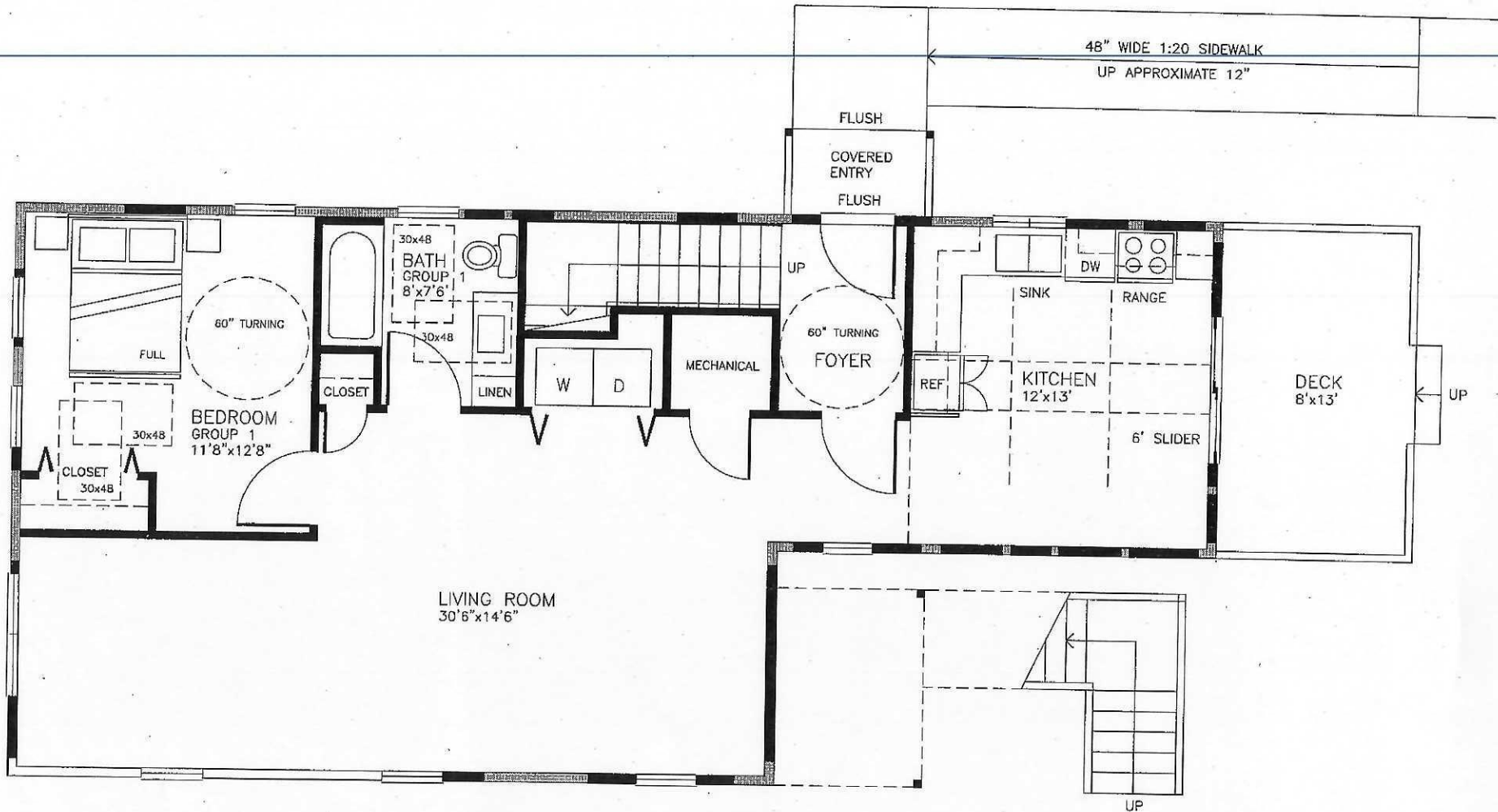


RESCOM
ARCHITECTURAL, INC

801 VILLAGES BARN RENOVATION
MAIN STREET, WAREHAM, MASSACHUSETTS

04-05-22



SK8



FIRST FLOOR PLAN

UNIT 888 SF (EXCLUDING STAIRS & FOYER)
 TOTAL AREA 976 SF

1/4" = 1'-0"

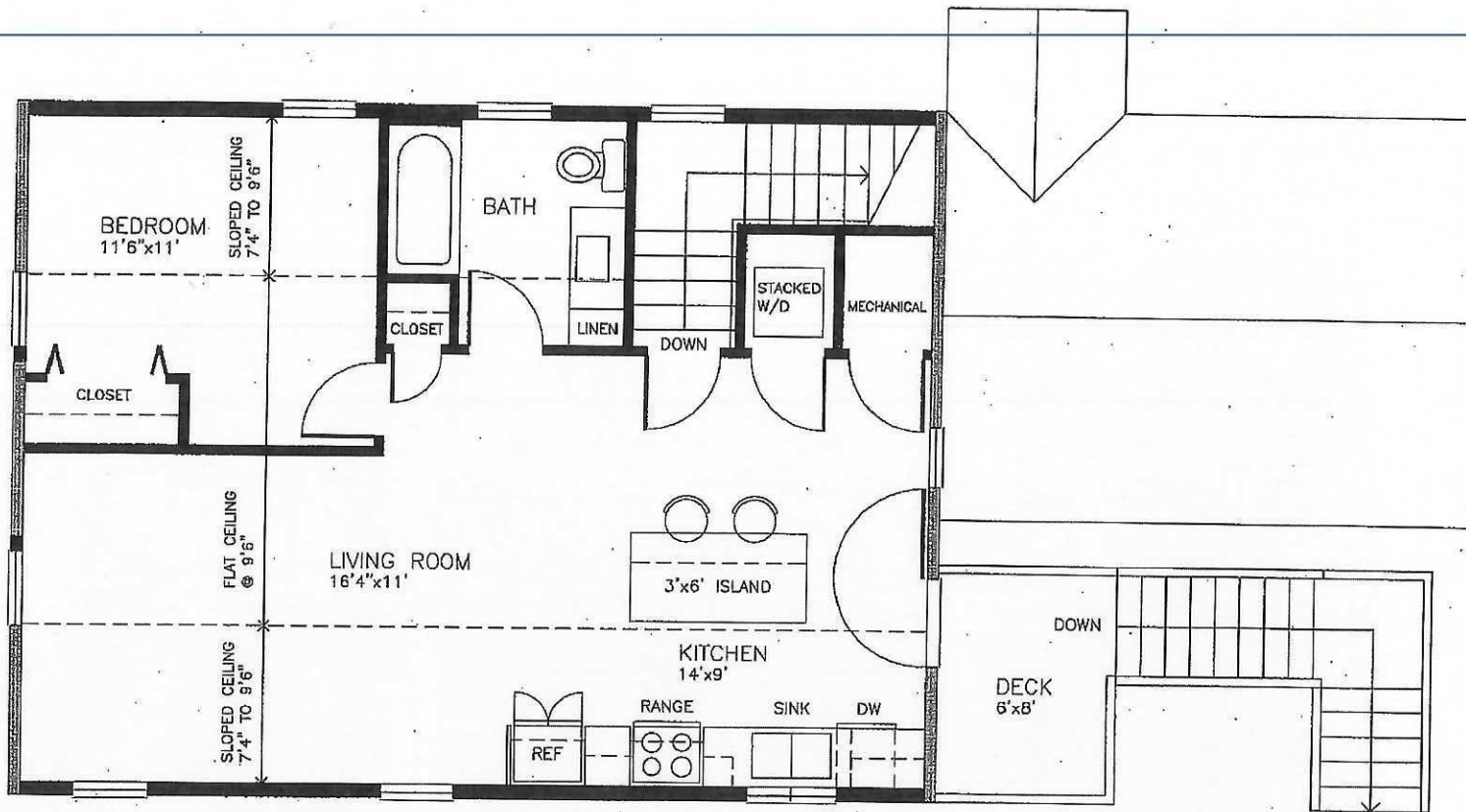
 EXISTING WALLS
 NEW WALLS

RESCOM
 ARCHITECTURAL, INC

801 VILLAGES BARN RENOVATION
 MAIN STREET, WAREHAM, MASSACHUSETTS



04-14-22

SK1



SECOND FLOOR PLAN

UNIT 675 SF (EXCLUDING STAIR) 1/4" = 1'-0"
 TOTAL AREA 730 SF

 EXISTING WALLS
 NEW WALLS

RESCOM
 ARCHITECTURAL, INC

801 VILLAGES BARN RENOVATION

MAIN STREET, WAREHAM, MASSACHUSETTS

04-14-22

SK2



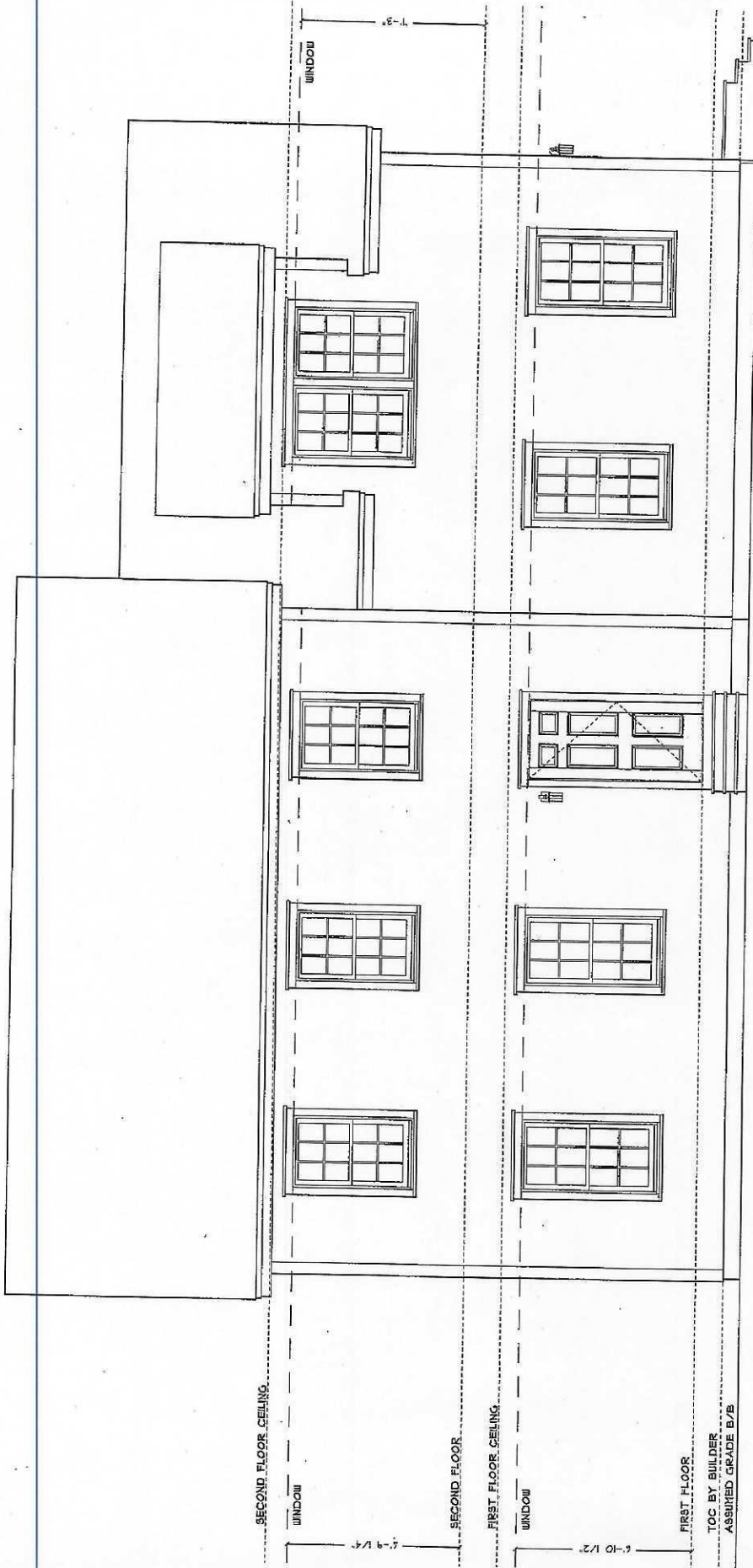
Simpson Duplex



Specs

- Floors:
- Bedrooms: **5**
- Bathrooms: **4**
- Sq. Feet: **2366**
- **Multi-Family**





UNIT #2

UNIT #1

HUNTINGTON HOMES, INC.
 344 FASSETT RD, EAST NONPULVER, VERMONT 05551
 OFFICE (802) 478-3625 FAX (802) 478-0575

PROJECT: # 000A1
 SHEET SIZE: 11x17
 DRAWING NO: EL-1

SCALE
 1/4" = 1'-0"

SITE LOCATION: XXXX
 WIND SPEED: 101/ASD, XXXXPH/XXXPH
 EXPOSURE CATEGORY: X
 SNOW LOAD: 0.00/0.75/0.00, XXXX/XXX/XXX

FRONT ELEVATION

SIMPSON DUPLEX

PRELIMINARY PLANS
 NOT FOR CONSTRUCTION

DRAWN BY	DRAWING DATE
XXX	01/07/22

PROJECT PROFESSIONAL OF RECORD



UNIT #2

PROJECT PROFESSIONAL OF RECORD

DRAWN BY	CHECKED BY	DATE	REVISIONS
XXX		01/01/22	

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

SIMPSON DUPLEX RIGHT SIDE ELEVATION

SITE LOCATION: XXXX
WIND SPEED: 100 MPH / 150 MPH / 200 MPH
EXPOSURE CATEGORY: X
SNOW LOAD (GROUND/ASD): XXPSF/XXPSF

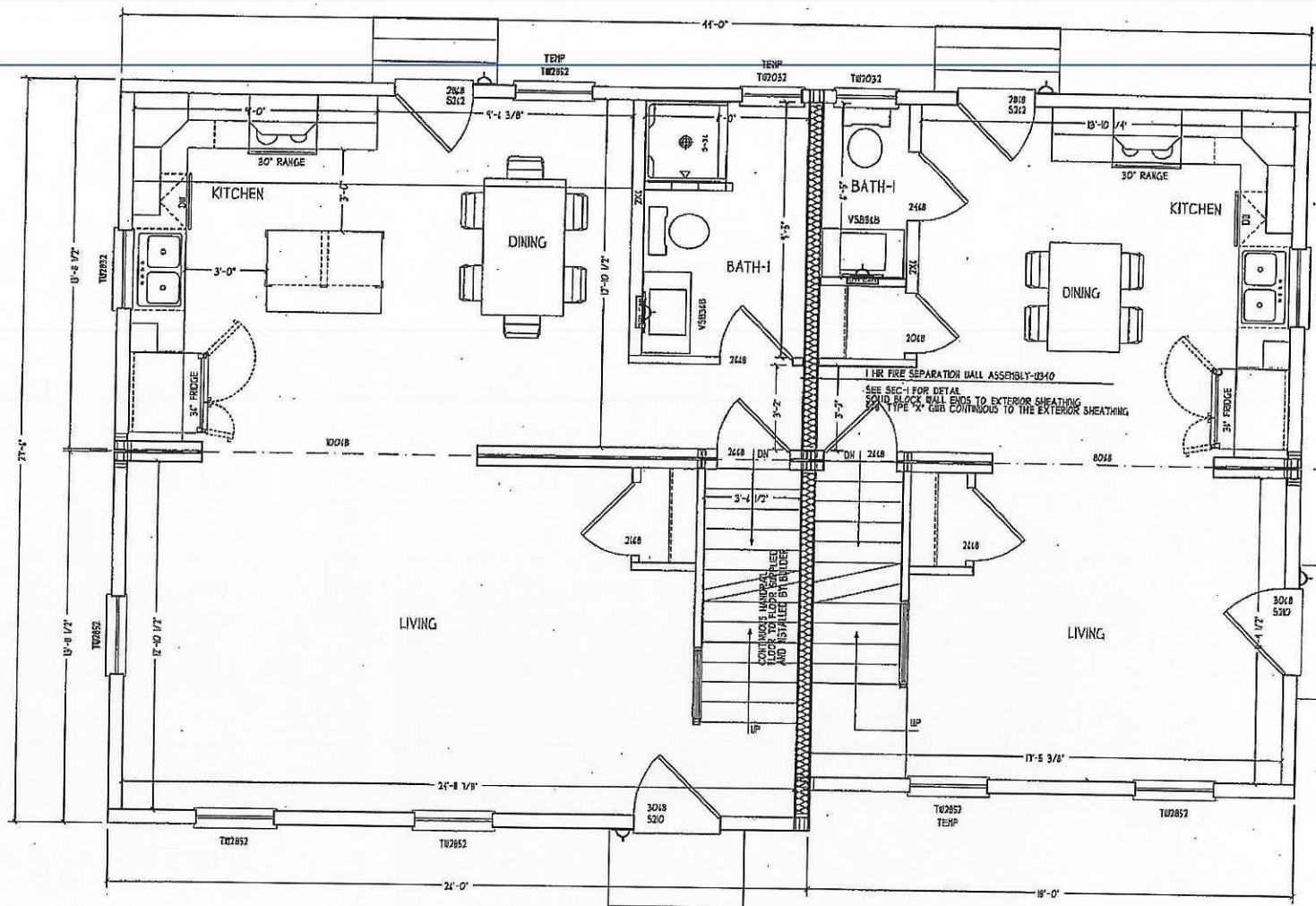
SCALE
1/4" = 1'-0"

PROJECT: # 000A1
SHEET SIZE: 11x17
DRAWING NO: EL-2

HUNTINGTON
HOMES, INC.
344 FASSETT RD, EAST MONTPELIER, VERMONT 05651
OFFICE (802) 479-3625 FAX (802) 479-0575

USE OF THESE PLANS WITHOUT WRITTEN PERMISSION FROM HUNTINGTON HOMES INC IS STRICTLY PROHIBITED

GENERAL PROJECT NOTES
AND SCHEDULES ARE ON G-1



UNIT #

FL-1: 1'-1 1/2" CEILING HT.
6'-10 1/2" WINDOW HT.

UNIT #2

**HUNTINGTON
HOMES, INC.**

344 FASSETT RD, EAST MONTPELIER, VERMONT 05651
OFFICE (802) 478-3525 FAX (802) 478-0575

PROJECT: # 000A1
SHEET SIZE: 11x17

DRAWN BY	DRAWING DATE
XXX	01/01/22

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

SIMPSON DUPLEX

FIRST FLOOR PLAN

SITE LOCATION: XXXX
WIND SPEED: 101/ASD, XXXRPH/XXXMPH
EXPOSURE CATEGORY: X
SNOW LOAD (GROUND/ASD): XXRSP/XXRSP

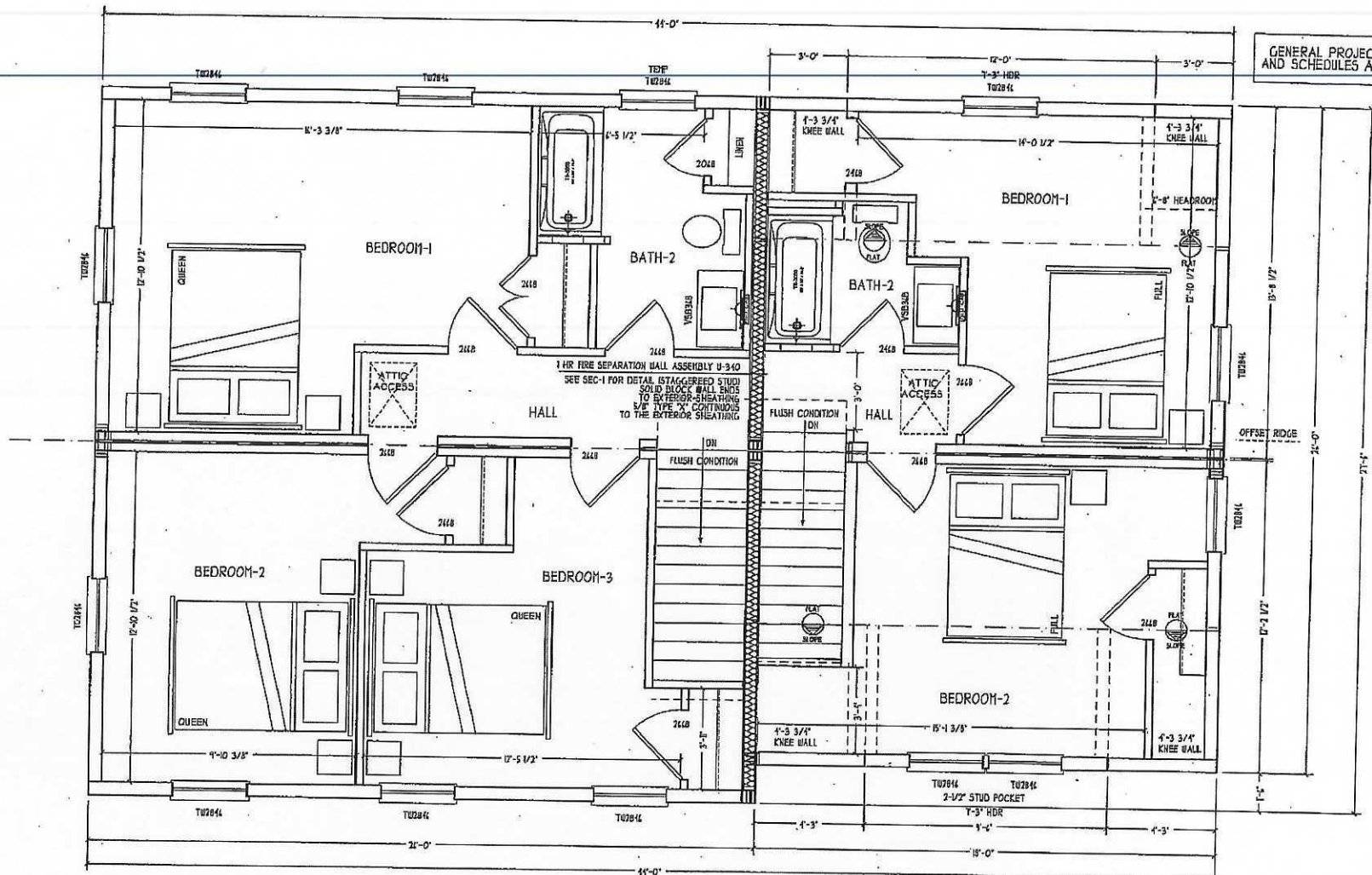
SCALE
1/4" = 1'-0"

DRAWING NO: **A-1**

PROJECT PROFESSIONAL OF RECORD

USE OF THESE PLANS WITHOUT WRITTEN PERMISSION FROM HUNTINGTON HOMES INC IS STRICTLY PROHIBITED

S:\DATA\CAD\B STOCK PLANS\0 DATA\CAD FILES\SIMPSON DUPLEX.AEC



GENERAL PROJECT NOTES
AND SCHEDULES ARE ON G-1

UNIT #

FL-2: 7'-1 1/2" CEILING HT.
8'-9 1/4" WINDOW HT.

UNIT #2

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

SIMPSON DUPLEX

SECOND FLOOR PLAN

SITE LOCATION: XXXX
WIND SPEED: ALL/ASD; XXXXPH/XXXXPH
EXPOSURE CATEGORY: X
SHOW LOAD (GROUND/ASD); XXXSF/XXXSF

SCALE
1/4" = 1'-0"

HUNTINGTON
HOMES, INC.
344 FASSETT RD. EAST MONTPELIER, VERMONT 05651
OFFICE (802) 478-3625 FAX (802) 478-0575

PROJECT: # 000A1
SHEET SIZE: 11x17
DRAWINGS NO: A-2

DRAWN BY	DRAWING DATE
XXX	01/01/22

PROJECT PROFESSIONAL OF RECORD

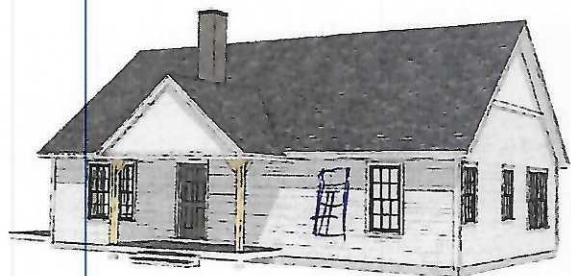
USE OF THESE PLANS WITHOUT WRITTEN PERMISSION FROM HUNTINGTON HOMES INC IS STRICTLY PROHIBITED

S:\DATACAD\B STOCK PLANS\O DATACAD FILES\SIMPSON DUPLEX.AEC



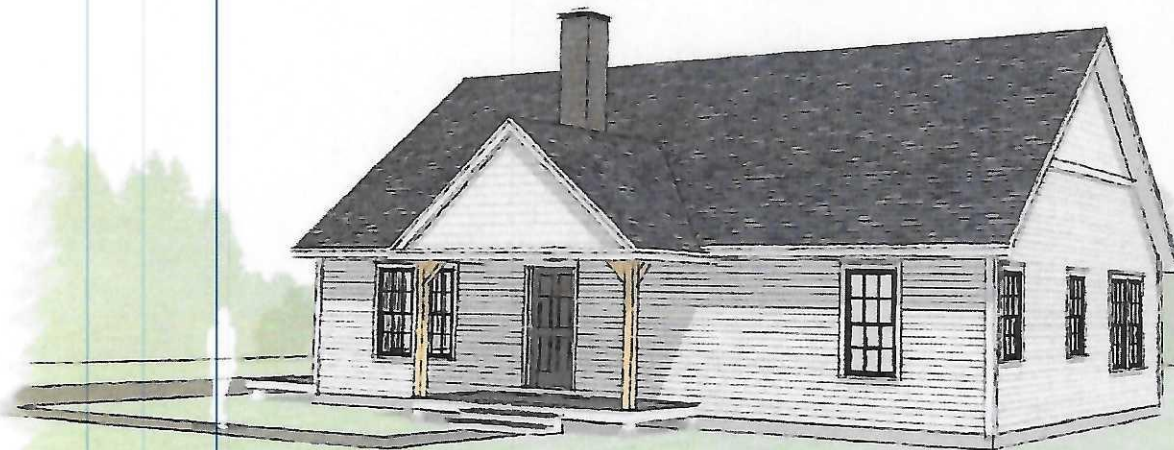
HUNTINGTON
HOMES SINCE 1978

Bridgewater



Specs

- Floors:
- Bedrooms: **1**
- Bathrooms: **1**
- Sq. Feet: **1232**



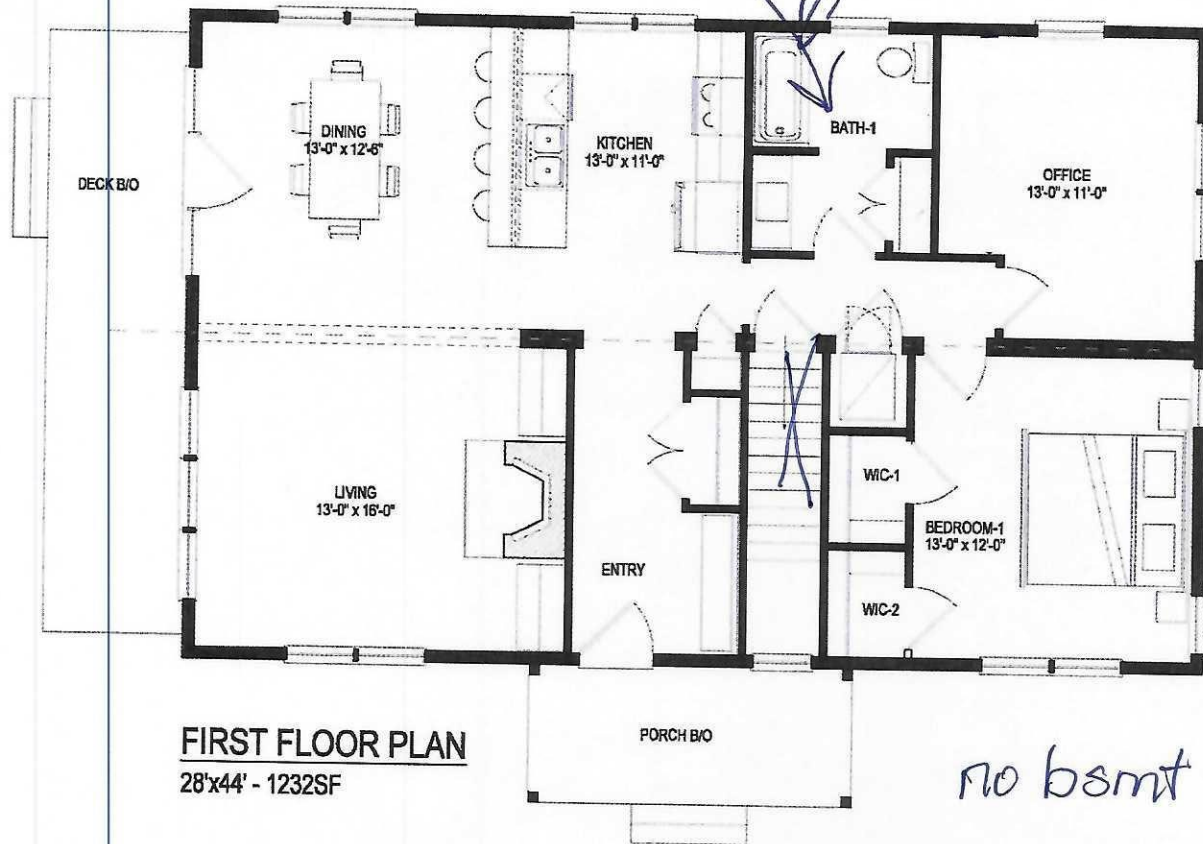
1 Bdrm HA

Huntington Homes



HUNTINGTON
HOMES SINCE 1978

Swing wheel chair needs to be ADA at



*needs side by side w/d storage
expand ba into ofc. space*



FIRST FLOOR PLAN
28'x44' - 1232SF

TOWN OF WAREHAM ABUTTERS

MAP 88 LOT 1011/A

OWNER VILLAGES 801 MAIN ST LLC

MAP & LOT	OWNER	CO-OWNER	STREET ADDRESS	TOWN	STATE	ZIP CODE
88-1009/B	JKS VILLAGE LLC		815 MAIN ST BLDG 2	WAREHAM	MA	02571
88-1010	YOUNG BRIAN		64 GIBBS AVE	WAREHAM	MA	02571
86-1018	SYLVIA GARY	SYLVIA PAMELA	810 MAIN ST	WAREHAM	MA	02571
86-1017	PITTSLEY ROBERT	PITTSLEY BOBBI JO	812 MAIN ST	WAREHAM	MA	02571
88-1016	JKS VILLAGE LLC		815 MAIN ST BLDG 2	WAREHAM	MA	02571
87-1001	COMM OF MASS	EXEC OFFICE OF TRANS & CONST	10 PARK PLAZA RM 3170	BOSTON	MA	02116
86-1019	U S BANK TRUST TRUSTEE	HUDSON HOME MANAGEMENT LLC	3701 REGENT BLVD SUITE 200	IRVING	TX	75063
87-1000/F	BUSS FAMILY FOUNDATION TO	C/O PETER LATHAM	PO BOX 721	WAREHAM	MA	02571
86-1020	LEGERE LEAH M		802 MAIN ST	WAREHAM	MA	02571
88-1011/A	VILLAGES 801 MAIN ST LLC		892 CENTER ST	MIDDLEBORO	MA	02346
86-1021	LEGERE LEAH M		802 MAIN ST	WAREHAM	MA	02571
88-1014/A	COURCY MICHAEL R	ODDI JENNIFER L	799 MAIN ST	WAREHAM	MA	02571
81-1017	HESELTON BRIAN C		907 MAIN ST	WAREHAM	MA	02576
88-1013	PROVOST WILFRED L	PROVOST JANET A	795 MAIN ST	WAREHAM	MA	02571
81-1020	SMITHERS WAREHAM REAL ESTATE	LLC	790 MAIN ST	WAREHAM	MA	02571
87-1000/E2	GIANCOLA MICHAEL S II TRUSTEE	JAM REALTY TRUST C/O EVERSOURCE ENERGY	247 STATION DR SE210	WESTWOOD	MA	02090
87-1000/D1	COMMERCE ROAD TERMINALS LLC		3901 WEST BROAD ST	RICHMOND	VA	23230

CERTIFIED ABUTTERS AS THEY APPEAR

ON OUR TAX ROLLS AS OF 6/27/2022

ASSESSORS OFFICE
W. James Adams

REQUESTED BY

MANETTE PERKINS

774 269-9115

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