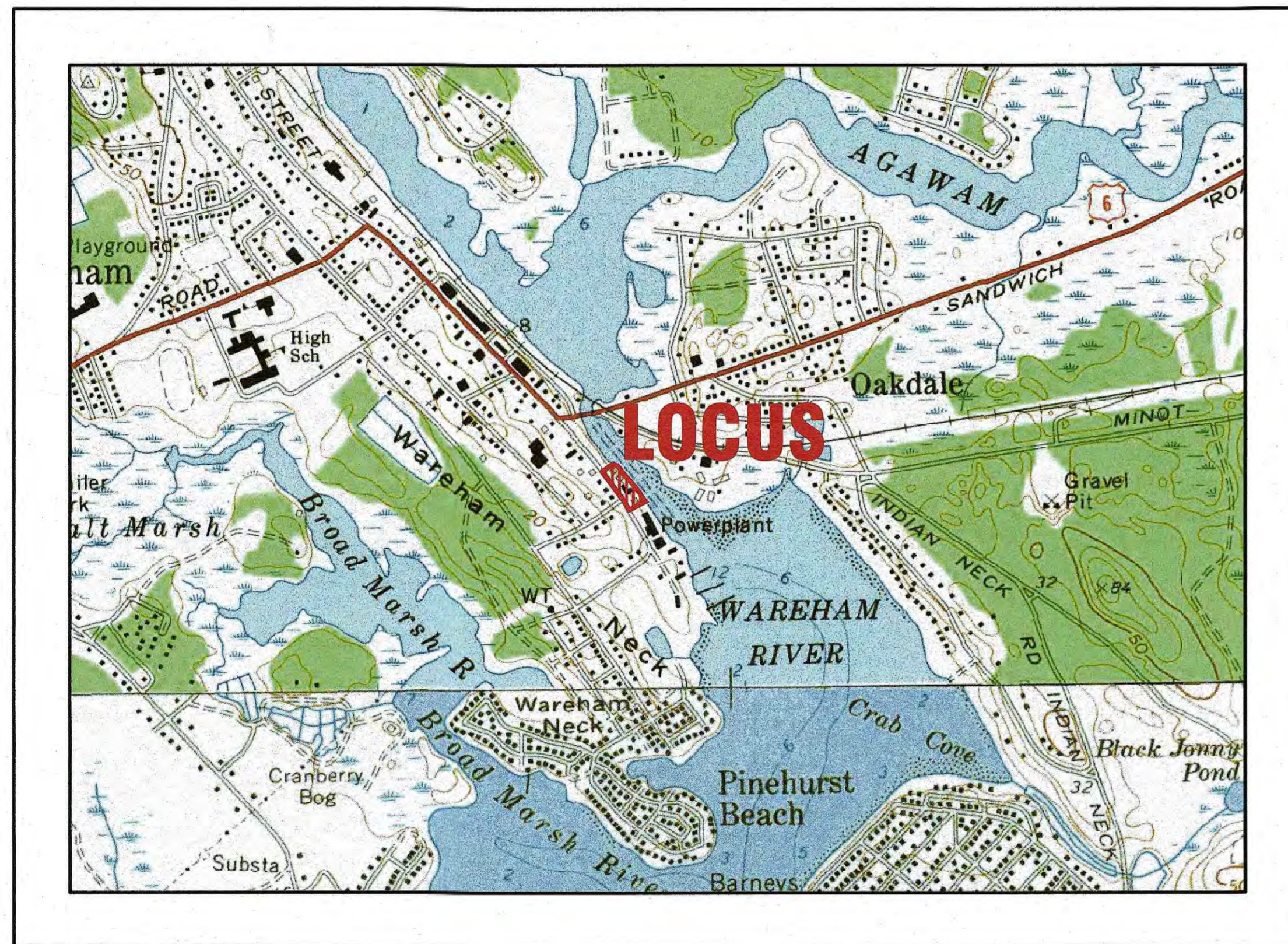


# MAJOR MODIFICATION SITE DEVELOPMENT PLAN

59 MAIN STREET  
WAREHAM, MASSACHUSETTS

OWNER: WARREN QOZB, LLC  
P.O. BOX 1206  
CARVER, MA 02330

APPLICANT: WARREN QOZB, LLC  
P.O. BOX 1206  
CARVER, MA 02330



— U.S.G.S. LOCUS PLAN —  
SCALE: 1"=1000'



— AERIAL OVERVIEW —  
SCALE: 1"=200'

**ZONING DATA:**

ZONE: WAREHAM VILLAGE 1 (WV1)  
(WAREHAM VILLAGE 1 REINVESTMENT SUBDISTRICT)

SETBACKS:  
MINIMUM LOT AREA: 5,000 S.F.  
MINIMUM FRONTAGE: 75'  
MINIMUM FRONT SETBACK: \*  
MINIMUM SIDE SETBACK: 10'  
MINIMUM REAR SETBACK: 10'  
MAXIMUM BUILDING HEIGHT: 40'  
MAXIMUM BUILDING COVERAGE: 30%  
MAXIMUM IMPERVIOUS SURFACE: 70%  
LANDSCAPE BUFFER: AS SHOWN ON PLANS

\*THE FRONT SETBACKS IN VILLAGE DISTRICTS  
SHALL BE THE AVERAGE SETBACKS OF FIVE (5)  
RESIDENTIAL STRUCTURES ON EITHER SIDE OF THE  
SUBJECT PROPERTY.

**ZONING DATA TABLE:**

ZONING TABLE	ALLOWED	PROVIDED
* LOT AREA:	5,000 S.F.	61,187± S.F.
* FRONT SETBACK:	*	53.5'
SIDE SETBACK:	10'	11.3'
REAR SETBACK:	10'	29.5'±
BUILDING COVERAGE:	30%	18.8%±
IMPERVIOUS SURFACE:	70%	62.9%±

**PARKING DATA:**

REQUIRED:  
MARINA: 0.5 SPACE PER SLIP  
24 SLIPs x 0.5 SPACE = 12 SPACES

RESTAURANT/FUNCTION HALL: 1 SPACE PER 5 SEATS  
150 SEATS / 1 PER 5 SEATS = 30 SPACES

RESTAURANT W/O SEATING = 3 SPACES

OFFICE: 1 SPACE PER 250 S.F. GFA  
1,040 S.F. / 250 = 5 SPACES

TOTAL NUMBER OF PARKING SPACES REQUIRED: 50

TOTAL PROVIDED: 46 SPACES



**G. A. F. ENGINEERING, INC.**  
PROFESSIONAL ENGINEERS & LAND SURVEYORS  
266 MAIN STREET, WAREHAM, MA 02571  
TEL: (508) 295-6600 FAX: (508) 295-6634  
E-MAIL: info@gafenginc.com

NOVEMBER 22, 2021

**PLAN INDEX:**  
**SHEET NO.:**

- 1
- 2
- 3
- 4
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- 6
- 7
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- 9
- 10
- 11

**DESCRIPTION:**

- COVER SHEET
- GENERAL NOTES & LEGEND
- EX. CONDITIONS & DEMOLITION
- LAYOUT PLAN
- UTILITIES PLAN
- GRADING & DRAINAGE PLAN
- LANDSCAPING PLAN
- EROSION CONTROL PLAN
- DETAIL SHEET 1
- DETAIL SHEET 2
- DETAIL SHEET 3

**FLOOD ZONE DATA:**

THE PROJECT IS LOCATED IN FLOOD ZONE AE-16 AS SHOWN ON  
THE FEMA FLOOD INSURANCE RATE MAP NUMBER 25023C0489L,  
DATED JULY 6, 2021. THE PROJECT IS ALSO WITHIN THE LIMIT  
OF MODERATE WAVE ACTION (LMWA) AREA.

REV.	DATE	BY	APPD	DESCRIPTION
6	11/8/23	JMP	WFM	MAJOR MODIFICATION
5	7/5/23	JMP	WFM	SITE PLAN REVISIONS
4	6/23/22	JMP	WFM	SITE PLAN REVISIONS
3	2/15/22	JMP	WFM	REV. ZONING DATA TABLE
2	1/16/22	JMP	WFM	PER PEER REVIEW COMMENTS
1	1/4/22	JMP	WFM	REV. BLDG. & IMPERV. SURFACE COVERAGES

DATE: NOV. 22, 2021  
DRAWN BY: JMP  
CHECKED BY: WFM  
JOB NO.: 20-9438  
SCALE: AS NOTED

APPROVED BY:  
11/9/23  
  
Warden

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MAJOR MODIFICATION  
SITE DEVELOPMENT PLAN  
COVER SHEET  
59 MAIN STREET  
WAREHAM, MA  
PREPARED FOR:  
WARREN QOZB, LLC  
P.O. BOX 1206  
CARVER, MA

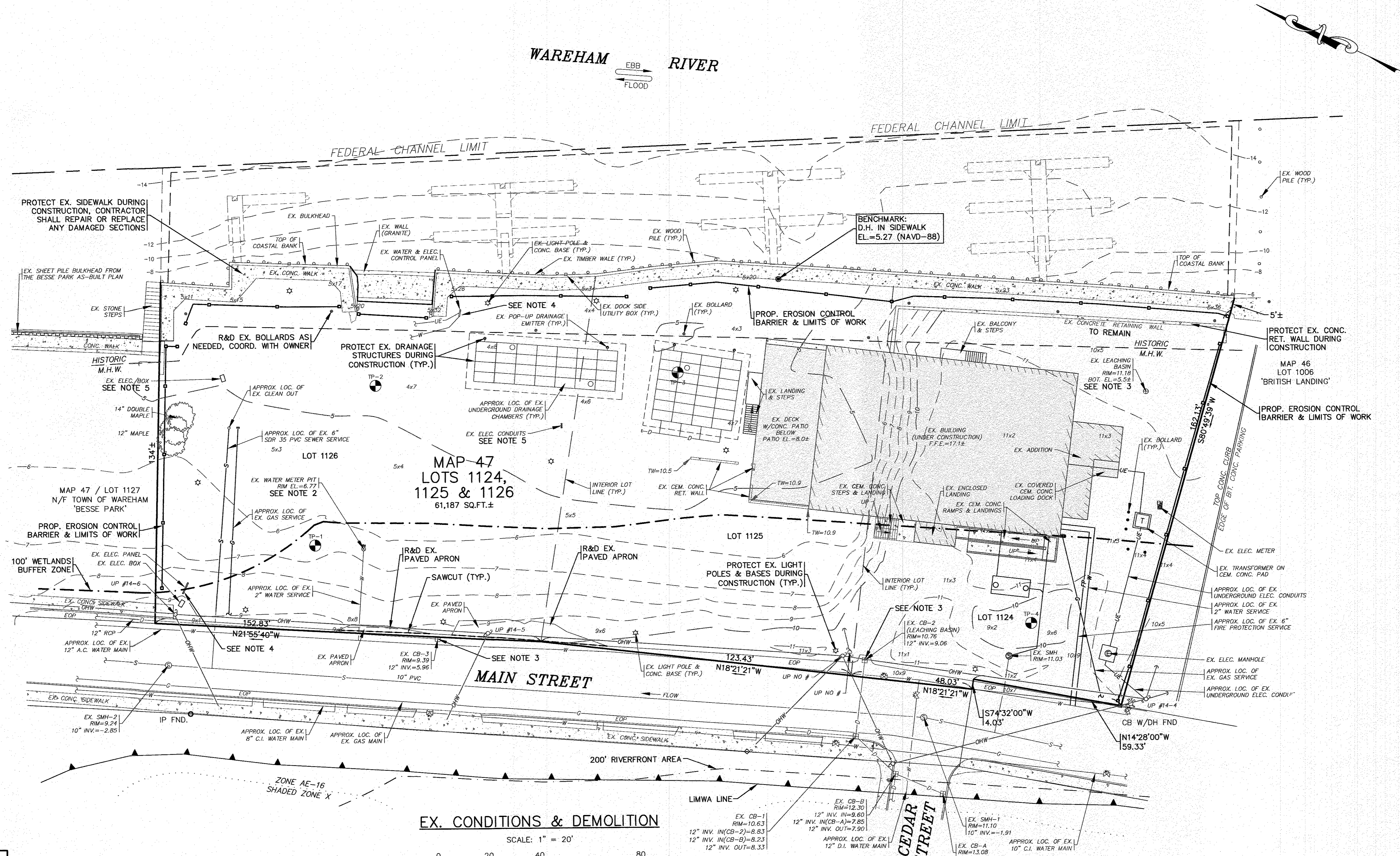
JOB NO.: 20-9438  
DWG. 1 OF 11

PERMIT SET  
(NOT FOR CONSTRUCTION)



**NOTES:**

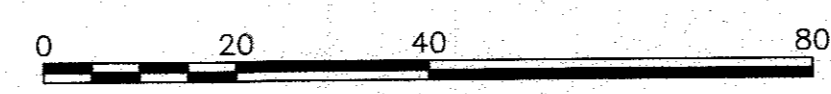
- CONTRACTOR SHALL PROVIDE AND MAINTAIN DOUBLE STAKED HAY BALES WITH SILT FENCE EROSION CONTROL BARRIER AS SHOWN ON THE PLANS. EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL ALL VEGETATION IS ESTABLISHED.
- CONTRACTOR SHALL CONFIRM LOCATION AND CONDITION OF EXISTING WATER METER PIT AND COORDINATE WITH THE TOWN OF WAREHAM WATER DEPARTMENT PRIOR TO CONSTRUCTION. PROVIDE NEW H.D.C.I. FRAME AND COVER TO FINISHED GRADE, COVER TO READ 'WATER'. CONTRACTOR SHALL PROTECT EXISTING WATER METER PIT DURING CONSTRUCTION.
- EXISTING CATCH BASINS SHALL HAVE A TEMPORARY SILT SACK OR AN APPROVED EQUAL INSTALLED WITHIN PRIOR TO CONSTRUCTION. CONTRACTOR SHALL REMOVE AND DISPOSE OF THE SILT SACKS AT THE COMPLETION OF CONSTRUCTION.
- CONTRACTOR SHALL CONFIRM THE LOCATIONS OF ALL EXISTING ABOVE OR UNDERGROUND UTILITIES, INCLUDING WATER, SEWER, GAS AND ELECTRIC. CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO CONSTRUCTION. PROTECT EXISTING UTILITIES DURING CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE WITH ELECTRICAL SUB CONTRACTOR FOR RELOCATING THE EXISTING ELECTRIC BOX AND ANY ELECTRIC CONDUITS.
- ALL DEBRIS FROM DEMOLITION SHALL BE REMOVED FROM THE SITE AND NOT STOCKPILED.
- ANY EXCAVATION/REMOVAL OF EXISTING FEATURES BELOW ADJACENT GRADE SHALL BE FILLED WITH STRUCTURAL FILL AND COMPACTED.



WAREHAM RIVER  
EBB  
FLOOD

FEDERAL CHANNEL LIMIT

EX. CONDITIONS & DEMOLITION  
SCALE: 1" = 20'



DATE	BY	DESCRIPTION
11/8/23	JMP	WFM
7/5/23	JMP	WFM
6/23/22	JMP	WFM
2/15/22	JMP	WFM
1/18/22	JMP	WFM
1/4/22	JMP	WFM
REV.	DATE	BY

MAJOR MODIFICATION	DESCRIPTION
ADDED AS-BUILT ELEC. & TRANSFORMER LOCATIONS	
SITE PLAN REVISIONS	
NO CHANGE THIS SHEET	
PER PEER REVIEW COMMENTS	
ADDED TEST PIT LOCATIONS	

DATE: NOV. 22, 2021	APPROVED BY:
DRAWN BY: JMP	
CHECKED BY: WFM	
JOB NO.: 20-9438	
SCALE: 1" = 20'	

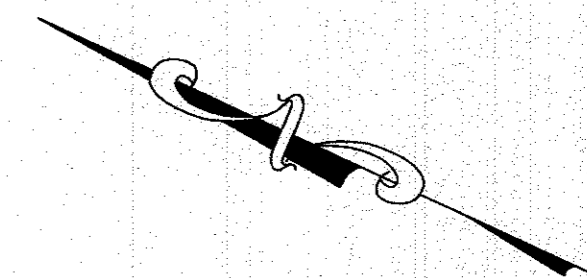
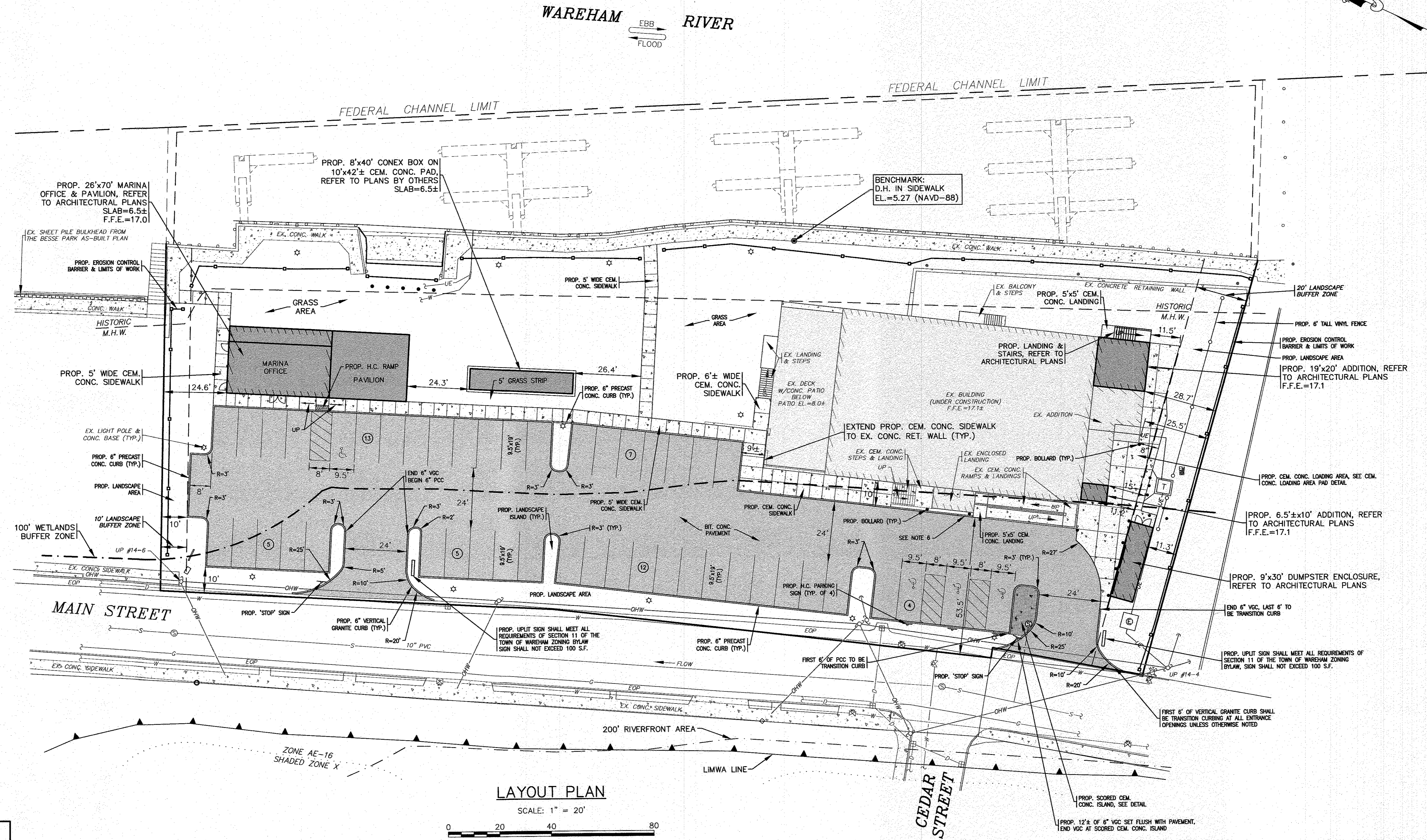
<b>G.A.F. ENGINEERING, INC.</b> PROFESSIONAL ENGINEERS & LAND SURVEYORS 266 MAIN STREET - WAREHAM, MA 02571 TEL: (508) 295-6800 FAX: (508) 295-6634 E-MAIL: info@gafenginc.com	PREPARED FOR: <b>WARREN QOZB, LLC</b> 59 MAIN STREET WAREHAM, MA CARVER, MA P.O. BOX 1206
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MAJOR MODIFICATION SITE DEVELOPMENT PLAN EX. CONDITIONS & DEMOLITION	JOB NO.: 20-9438 DWG. 3 OF 11
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NOTES:

- REFER TO ARCHITECTURAL PLANS BY OTHERS FOR COMPLETE DIMENSIONS, CONSTRUCTION SPECIFICATIONS AND DETAILS OF THE PROPOSED MARINA OFFICE & PAVILION AND THE PROPOSED BUILDING ADDITIONS. CONTRACTOR SHALL CONFIRM FINISHED FLOOR ELEVATION WITH OWNER AND ARCHITECT PRIOR TO CONSTRUCTION. ALL CONSTRUCTION SHALL COMPLY WITH ALL ASCE 24, MASSACHUSETTS AND INTERNATIONAL BUILDING CODE REQUIREMENTS, AS APPLICABLE FOR CONSTRUCTION IN FLOOD ZONES. REFER TO ARCHITECTURAL & STRUCTURAL PLANS BY OTHERS.
- REFER TO PLANS BY OTHERS FOR COMPLETE DIMENSIONS, CONSTRUCTION SPECIFICATIONS AND DETAILS OF THE PROPOSED 8'x40' CONEX BOX. ALL CONSTRUCTION SHALL COMPLY WITH ALL ASCE 24, MASSACHUSETTS AND INTERNATIONAL BUILDING CODE REQUIREMENTS, AS APPLICABLE FOR CONSTRUCTION IN FLOOD ZONES.
- REFER TO ARCHITECTURAL PLANS BY OTHERS FOR COMPLETE DIMENSIONS, CONSTRUCTION SPECIFICATIONS AND DETAILS OF THE PROPOSED DUMPSTER ENCLOSURE. CONTRACTOR SHALL CONFIRM SLAB ELEVATION WITH OWNER AND ARCHITECT PRIOR TO CONSTRUCTION. ALL CONSTRUCTION SHALL COMPLY WITH ALL ASCE 24, MASSACHUSETTS AND INTERNATIONAL BUILDING CODE REQUIREMENTS, AS APPLICABLE FOR CONSTRUCTION IN FLOOD ZONES.
- REFER TO ARCHITECTURAL PLANS BY OTHERS FOR ALL PROPOSED HANDICAP RAMPS & LANDINGS DIMENSIONS, CONSTRUCTION SPECIFICATIONS AND DETAILS. ALL PROPOSED RAMPS & LANDINGS SHALL BE PROVIDED WITH HANDRAILS PER ADA AND BUILDING CODE REGULATIONS. ALL PROPOSED HANDICAP RAMPS & LANDINGS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ALL ADA AND BUILDING CODE REGULATIONS.
- REFER TO PLANS BY OTHERS FOR COMPLETE DIMENSIONS, CONSTRUCTION SPECIFICATIONS AND DETAILS OF ALL THE PROPOSED STAIRS AND LANDINGS. ALL CONSTRUCTION SHALL COMPLY WITH ALL ASCE 24, MASSACHUSETTS AND INTERNATIONAL BUILDING CODE REQUIREMENTS, AS APPLICABLE FOR CONSTRUCTION IN FLOOD ZONES.
- THE LAST 6' OF CURBING SHALL BE TRANSITION CURBING.
- TRANSFORMER ON CEMENT CONCRETE PAD, CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY FOR FINAL LOCATION, SIZE, CONFIGURATION AND ALL CONSTRUCTION DETAILS OF TRANSFORMER. TRANSFORMER SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH ALL FLOOD ZONE SPECIFICATIONS AND REGULATIONS, COORDINATE WITH LOCAL UTILITY COMPANY.



DATE: NOV. 22, 2021	APPROVED BY:	MAJOR MODIFICATION	
DRAWN BY: J.M.P.	W.F.M.	SITE PLAN REVISIONS	
CHECKED BY: W.F.M.	W.F.M.	SITE PLAN REVISIONS	
JOB NO.: 20-9438	W.F.M.	INCREASED NW DRIVEWAY TO 24' WIDE	
SCALE: 1" = 20'	W.F.M.	PER PEER REVIEW COMMENTS	
	W.F.M.	PER REV. BLDG. PLANS/TOWN COMMENTS	
	BY: APP'D	DESCRIPTION	
	REV.	DATE	
6	11/8/23	J.M.P.	
5	7/5/23	J.M.P.	
4	6/23/22	J.M.P.	
3	2/15/22	J.M.P.	
2	1/18/22	J.M.P.	
1	1/4/22	J.M.P.	

APPROVED BY:   
W. J. Warren  
Professional Engineer  
No. 20889

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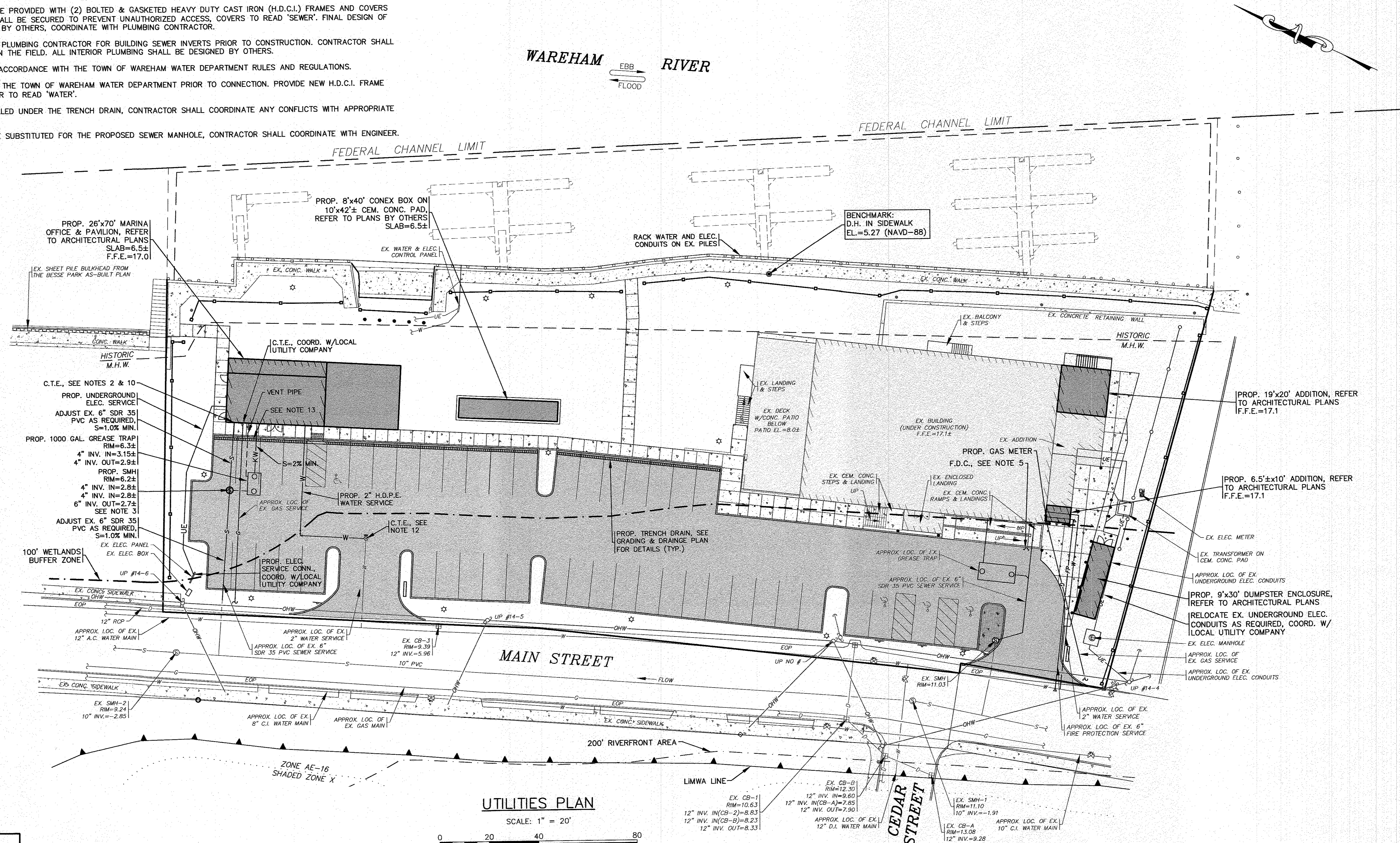
MAJOR MODIFICATION SITE DEVELOPMENT PLAN LAYOUT PLAN  
WAREHAM, MA  
PREPARED FOR: WARREN QOZB, LLC  
P.O. BOX 1206  
CARVER, MA

PERMIT SET  
(NOT FOR CONSTRUCTION)

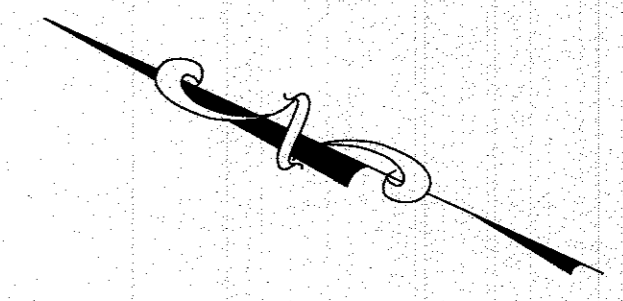
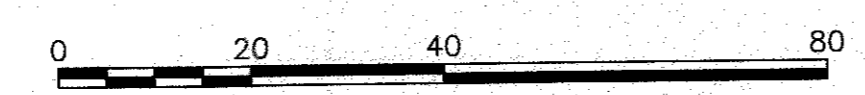
H:\CAF DRAWINGS\2020 DRAWINGS\20-9438 (DANNY WARREN)\9438.dwg SITE PLAN 2023.dwg

**NOTES:**

- EXTEND UTILITY SERVICES TO PROPOSED CONEX BOX AS REQUIRED. CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE SUB CONTRACTOR FOR DETAILS.
- CONTRACTOR SHALL CONFIRM EXISTING 6" SDR 35 PVC SEWER LOCATION & ELEVATION PRIOR TO CONSTRUCTION. EXISTING 6" SEWER SHALL BE ADJUSTED AS REQUIRED, MAINTAIN 1.0% SLOPE TO EXISTING STUB.
- ALL SEWER WORK SHALL BE DONE IN ACCORDANCE WITH THE TOWN OF WAREHAM SEWER COMMISSIONERS RULES AND REGULATIONS.
- CONTRACTOR SHALL CONFIRM THE LOCATIONS OF ALL EXISTING ABOVE OR UNDERGROUND UTILITIES, INCLUDING WATER, SEWER, GAS AND ELECTRIC. WHEN REQUIRED THE CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE SUB CONTRACTOR PRIOR TO RELOCATING ANY EXISTING UTILITY.
- CONTRACTOR TO COORDINATE WITH THE FIRE PROTECTION CONTRACTOR FOR ALL DETAILS ON THE PROPOSED BUILDING FIRE PROTECTION SYSTEM AND THE FIRE DEPARTMENT CONNECTION (F.D.C.).
- CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY FOR FINAL LOCATION AND ALL CONSTRUCTION DETAILS OF THE ELECTRIC SERVICE CONNECTION. REFER TO ELECTRICAL PLANS BY OTHERS FOR FINAL LOCATIONS AND ALL CONSTRUCTION DETAILS ON THE PROPOSED UNDERGROUND ELECTRIC.
- THE FINAL LOCATIONS AND CONSTRUCTION DETAILS OF THE PROPOSED GAS METER SHALL BE DETERMINED BY THE LOCAL GAS COMPANY. CONTRACTOR SHALL COORDINATE WITH LOCAL GAS COMPANY PRIOR TO CONSTRUCTION.
- IF REQUIRED, AT ANY WATER AND SEWER LINE CROSSING ONE FULL LENGTH OF SEWER PIPE SHALL BE 200 PSI PRESSURE RATED PIPE CENTERED OVER WATER LINE MEETING LATEST AWWA STANDARDS AND SHALL BE PRESSURE TESTED TO ENSURE WATER TIGHTNESS. WATER AND SEWER LINES SHALL HAVE A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN PIPES.
- THE PROPOSED GREASE TRAP SHALL BE PROVIDED WITH (2) BOLTED & GASKETED HEAVY DUTY CAST IRON (H.D.C.I.) FRAMES AND COVERS TO GRADE AS SHOWN. ALL COVERS SHALL BE SECURED TO PREVENT UNAUTHORIZED ACCESS. COVERS TO READ 'SEWER'. FINAL DESIGN OF PROPOSED GREASE TRAPS AND VENTS BY OTHERS. COORDINATE WITH PLUMBING CONTRACTOR.
- CONTRACTOR SHALL COORDINATE WITH PLUMBING CONTRACTOR FOR BUILDING SEWER INVERTS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY CONFLICTS IN THE FIELD. ALL INTERIOR PLUMBING SHALL BE DESIGNED BY OTHERS.
- ALL WATER WORK SHALL DONE BE IN ACCORDANCE WITH THE TOWN OF WAREHAM WATER DEPARTMENT RULES AND REGULATIONS.
- CONTRACTOR SHALL COORDINATE WITH THE TOWN OF WAREHAM WATER DEPARTMENT PRIOR TO CONNECTION. PROVIDE NEW H.D.C.I. FRAME AND COVER TO FINISHED GRADE, COVER TO READ 'WATER'.
- ALL PROPOSED UTILITIES TO BE INSTALLED UNDER THE TRENCH DRAIN, CONTRACTOR SHALL COORDINATE ANY CONFLICTS WITH APPROPRIATE SUB CONTRACTOR.
- A DOGHOUSE SEWER MANHOLE MAY BE SUBSTITUTED FOR THE PROPOSED SEWER MANHOLE, CONTRACTOR SHALL COORDINATE WITH ENGINEER.



**UTILITIES PLAN**  
SCALE: 1" = 20'



DATE: NOV. 22, 2021		APPROVED BY:		MAJOR MODIFICATION	
DRAWN BY: JMP		DATE: 11/8/23		JMP	
CHECKED BY: WFM		DATE: 7/5/23		WFM	
JOB NO.: 20-9438		DATE: 6/23/22		JMP	
SCALE: 1" = 20'		DATE: 2/15/22		JMP	
		DATE: 1/18/22		WFM	
		DATE: 1/4/22		WFM	
		DATE:		BY	
		REV.		APPD	
		DESCRIPTION			
		PER PLAN REVISIONS			
		SITE PLAN REVISIONS			
		INCREASED NW DRIVEWAY TO 24' WIDE			
		PER PEER REVIEW COMMENTS			
		PER REV. BLDG. PLANS/TOWN COMMENTS			

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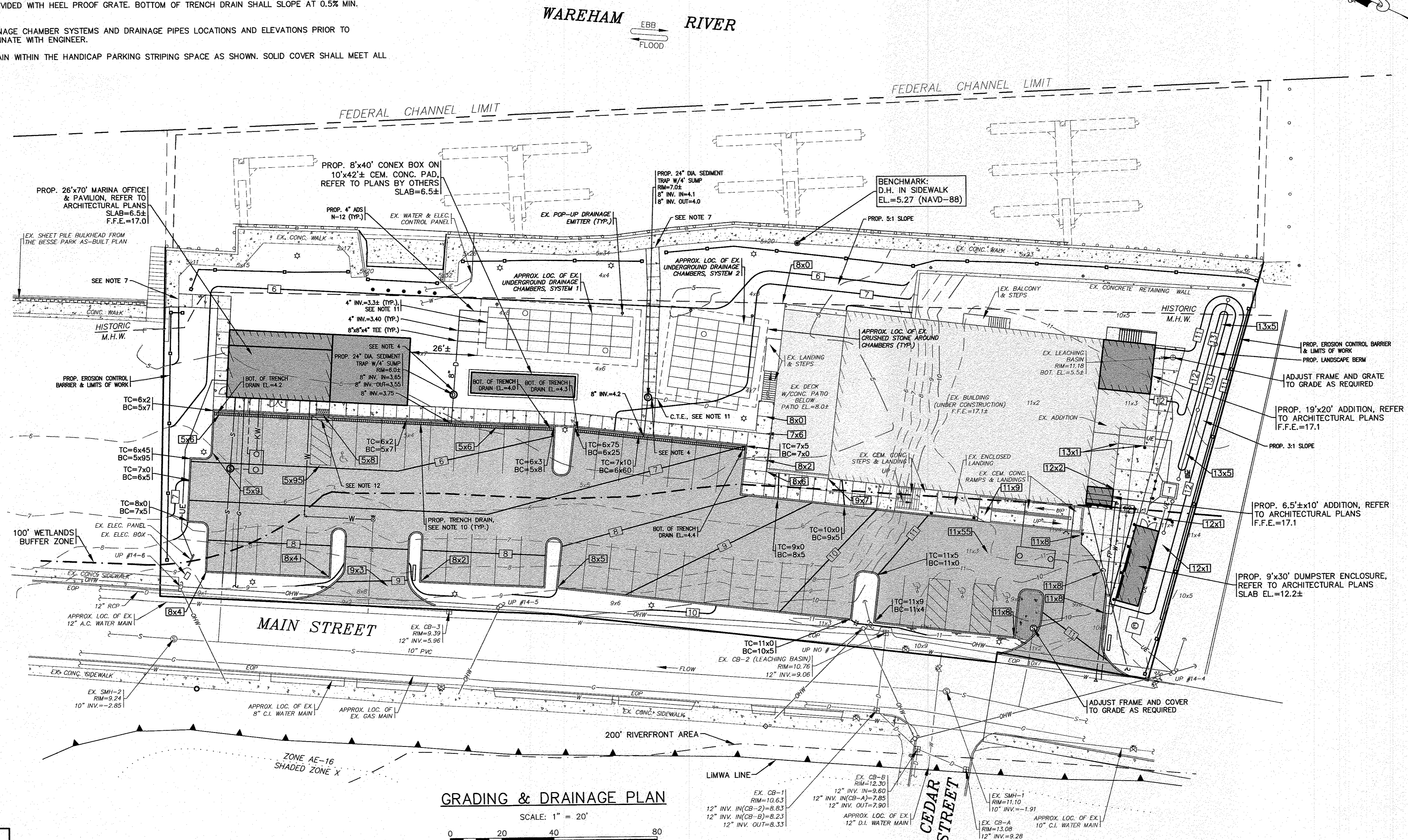
**MAJOR MODIFICATION SITE DEVELOPMENT PLAN UTILITIES PLAN**

WARREN QOZB, LLC  
69 MAIN STREET WAREHAM, MA  
PREPARED FOR:  
WARREN QOZB, LLC  
CARRER, MA  
P.O. BOX 1206

JOB NO.: 20-9438  
DWG. 5 OF 11

**NOTES:**

- REFER TO ARCHITECTURAL PLANS BY OTHERS FOR COMPLETE DIMENSIONS, CONSTRUCTION SPECIFICATIONS AND DETAILS OF THE PROPOSED MARINA OFFICE & PAVILION AND THE PROPOSED BUILDING ADDITIONS. CONTRACTOR SHALL CONFIRM FINISHED FLOOR ELEVATION WITH OWNER AND ARCHITECT PRIOR TO CONSTRUCTION. ALL CONSTRUCTION SHALL COMPLY WITH ALL ASCE 24, MASSACHUSETTS AND INTERNATIONAL BUILDING CODE REQUIREMENTS, AS APPLICABLE FOR CONSTRUCTION IN FLOOD ZONES. REFER TO ARCHITECTURAL & STRUCTURAL PLANS BY OTHERS.
- REFER TO PLANS BY OTHERS FOR COMPLETE DIMENSIONS, CONSTRUCTION SPECIFICATIONS AND DETAILS OF THE PROPOSED 8'x40' CONEX BOX. ALL CONSTRUCTION SHALL COMPLY WITH ALL ASCE 24, MASSACHUSETTS AND INTERNATIONAL BUILDING CODE REQUIREMENTS, AS APPLICABLE FOR CONSTRUCTION IN FLOOD ZONES.
- REFER TO ARCHITECTURAL PLANS BY OTHERS FOR COMPLETE DIMENSIONS, CONSTRUCTION SPECIFICATIONS AND DETAILS OF THE PROPOSED DUMPSTER ENCLOSURE. CONTRACTOR SHALL CONFIRM SLAB ELEVATION WITH OWNER AND ARCHITECT PRIOR TO CONSTRUCTION. ALL CONSTRUCTION SHALL COMPLY WITH ALL ASCE 24, MASSACHUSETTS AND INTERNATIONAL BUILDING CODE REQUIREMENTS, AS APPLICABLE FOR CONSTRUCTION IN FLOOD ZONES.
- PROPOSED 24" DIA. SEDIMENT TRAP WITH 4" SUMP SHALL BE PROVIDED WITH BOLTED & GASKETED H.D.C.I. FRAME AND COVER TO FINISHED GRADE, COVER TO READ "DRAIN". ALL COVERS SHALL BE SECURED TO PREVENT UNAUTHORIZED ACCESS. ALL OUTLET PIPES SHALL BE PROVIDED WITH A NYLOPLAST ENVIROHOOD OR AN APPROVED EQUAL.
- WATER MAIN/SERVICES SHALL BE INSTALLED A MINIMUM OF 18" BELOW ALL PROPOSED DRAINAGE LINES.
- DOWNPOUTS ON FRONT & BACK OF THE EXISTING BUILDING SHALL BE PIPED TO THE INFILTRATION DRAINAGE SYSTEM #2. DOWNPOUTS ON THE FRONT & BACK OF THE PROPOSED MARINA OFFICE & PAVILION BUILDING SHALL BE PIPED TO THE INFILTRATION DRAINAGE SYSTEM #1. REFER TO ARCHITECTURAL PLANS FOR ALL DOWNPOUT LOCATIONS AND SIZES.
- ALL STONE AROUND PRECAST CEMENT CONCRETE LEACHING CHAMBERS SHALL BE 1.5"-2" DOUBLE WASHED CRUSHED STONE.
- MATCH PROPOSED SIDEWALK INTO EXISTING SIDEWALK LINE AND GRADE.
- FOR COMPLETE DRAINAGE OPERATION AND MAINTENANCE NOTES SEE SHEET 2.
- PROPOSED TRENCH DRAIN SHALL BE PROVIDED WITH HEEL PROOF GRATE. BOTTOM OF TRENCH DRAIN SHALL SLOPE AT 0.5% MIN. TOWARDS OUTLET PIPES.
- CONTRACTOR TO CONFIRM EXISTING DRAINAGE CHAMBER SYSTEMS AND DRAINAGE PIPES LOCATIONS AND ELEVATIONS PRIOR TO CONNECTION. CONTRACTOR SHALL COORDINATE WITH ENGINEER.
- PROVIDE SOLID COVER OVER TRENCH DRAIN WITHIN THE HANDICAP PARKING STRIPING SPACE AS SHOWN. SOLID COVER SHALL MEET ALL ADA REGULATIONS.



**GRADING & DRAINAGE PLAN**  
SCALE: 1" = 20'  
0 20 40 80

PERMIT SET  
(NOT FOR CONSTRUCTION)

DATE	NOV. 22, 2021	APPROVED BY:	MAJOR MODIFICATION
DRAWN BY:	JMP		SITE PLAN REVISIONS
CHECKED BY:	WFM		SITE PLAN REVISIONS
JOB NO.:	20-9438		INCREASED NW DRIVEWAY TO 24' WIDE
SCALE:	1" = 20'		PER PEER REVIEW COMMENTS
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TEL: (508) 295-6600 FAX: (508) 295-6634  
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**WARREN QOZB, LLC**  
59 MAIN STREET WAREHAM, MA  
PREPARED FOR:  
P.O. BOX 1206 CARVER, MA

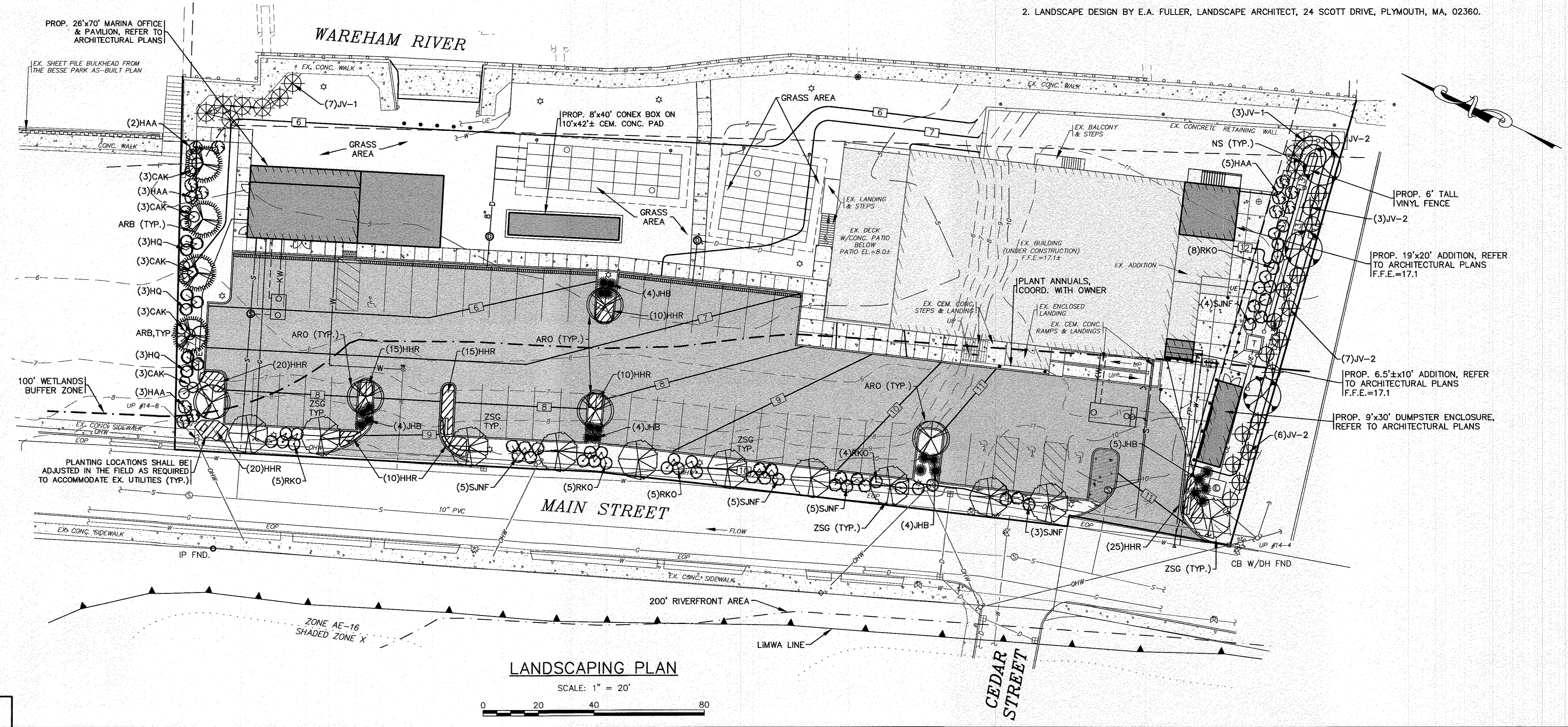
JOB NO.: 20-9438  
DWG. 6 OF 11

**PLANTING STANDARDS:**

- THE LANDSCAPE CONTRACTOR SHALL FURNISH AND INSTALL AND/OR DIG, BALL, BURLAP, AND TRANSPLANT ALL PLANT MATERIALS LISTED ON THE PLANT SCHEDULE. BARE-ROOT IS TYPICALLY NOT PERMITTED FOR ANY TREE.
- PLANT MATERIALS SHALL CONFORM TO THE REQUIREMENTS DESCRIBED IN THE LATEST EDITION OF AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. PLANTS SHALL BE NURSERY GROWN.
- PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED IN THE PLANT SCHEDULE.
  - CALIPER MEASUREMENTS SHALL BE TAKEN SIX (6) INCHES ABOVE GRADE FOR TREES UNDER FOUR (4) INCHES IN DIAMETER AND TWELVE (12) INCHES ABOVE GRADE FOR TREES FOUR (4) INCHES IN DIAMETER AND LARGER.
  - MINIMUM BRANCHING HEIGHT FOR ALL SHADE TREES SHALL BE SIX (6) FEET.
  - MINIMUM SIZE FOR SHADE TREES SHALL BE TWO AND ONE HALF (2.5) INCHES IN DIAMETER AND TWELVE (12) FEET IN HEIGHT.
  - MINIMUM SIZE FOR EVERGREEN TREES SHALL BE BETWEEN SIX (6) AND EIGHT (8) FEET IN HEIGHT
  - MINIMUM SIZE FOR SHRUBS SHALL BE THREE (3) FEET IN HEIGHT
- A PROFESSIONAL HORTICULTURIST/NURSERYMAN SHALL BE CONSULTED TO DETERMINE THE PROPER TIME TO MOVE AND INSTALL PLANT MATERIAL SO THAT DISTRESS TO THE PLANT IS MINIMIZED. PLANTING OF DECIDUOUS MATERIAL MAY BE CONTINUED DURING WINTER MONTHS PROVIDED THERE IS NO FROST IN THE GROUND AND FROST-FREE TOPSOIL PLANTING MIXTURES ARE USED.
- A LANDSCAPE CONTRACTOR SHALL EXCAVATE ALL PLANT PITS, VINE PITS, HEDGE TRENCHES, AND SHRUB BEDS AS FOLLOWS:
  - ALL PITS SHALL BE GENERALLY CIRCULAR IN OUTLINE, WITH VERTICAL SIDES. THE TREE PIT SHALL BE DEEP ENOUGH TO ALLOW ONE-EIGHTH (1/8) OF THE BALL TO BE ABOVE THE EXISTING GRADE. PLANTS SHALL REST ON UNDISTURBED EXISTING SOIL OR WELL COMPACTED BACKFILL ON EVERY SIDE, THE TREE PITS MUST BE A MINIMUM OF 2 TIMES THE ROOT BALL DIAMETER.
  - IF AREAS ARE DESIGNATED AS SHRUB BEDS OR HEDGE TRENCHES, THEY SHALL BE CULTIVATED TO AT LEAST EIGHTEEN (18) INCHES IN DEPTH. AREAS DESIGNATED FOR GROUND COVERS AND VINES SHALL BE CULTIVATED TO AT LEAST TWELVE (12) INCHES IN DEPTH.
- EACH TREE, SHRUB, OR VINE SHALL BE PRUNED IN AN APPROPRIATE MANNER IN ACCORDANCE WITH ACCEPTED STANDARD PRACTICE.
- ALL TRENCHES AND SHRUB BEDS SHALL BE EDGED AND CULTIVATED TO THE LINES SHOWN ON THE DRAWING. THE AREAS AROUND ISOLATED PLANTS SHALL BE EDGED AND CULTIVATED TO THE FULL DIAMETER OF THE PIT. SOIL THAT HAS BEEN REMOVED AND STACKED SHALL BE USED TO TRIM THE EDGES OF ALL EXCAVATED AREAS TO THE NEAT LINES OF THE PLANT PIT SAUCERS, THE EDGE OF SHRUB AREAS, HEDGE TRENCHES AND VINE POCKETS.
- AFTER CULTIVATION, ALL PLANT MATERIALS SHALL BE MULCHED WITH A LAYER BETWEEN TWO (2) AND THREE (3) INCHES DEEP OF HEMLOCK / SPRUCE MULCH OVER THE ENTIRE AREA OF THE BED OR SAUCER.
- A TWO (2) YEAR GUARANTEE SHALL BE PROVIDED ON ALL NEW PLANT MATERIAL. IF ANY TREE OR SHRUB DIES WITHIN THIS PERIOD OF TIME, IT SHALL BE REPLACED.
- ALL AREAS THAT ARE NOT LANDSCAPED SHALL BE LOAMED AND SEEDED.

PLANT LIST						
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS	REMARKS
SHRUBS						
HAA	13	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE WHITE HYDRANGEA	24"-30" HT.	5 GAL. NATIVE SPECIES	PLANT 5' O.C.
HQ	9	HYDRANGEA QUERCIFOLIA	OAK LEAF HYDRANGEA	24"-30" HT.	5 GAL. NATIVE SPECIES	PLANT 5' O.C.
JHB	21	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR GROUND JUNIPER	18"-24" SPR.	3 GAL. NATIVE SPECIES	PLANT 4' O.C.
JV-1	10	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	7"-8" HT.	B & B NATIVE SPECIES	PLANT 6' O.C.
JV-2	17	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	8"-10" HT.	B & B NATIVE SPECIES	PLANT 8' O.C.
RKO	27	ROSA HYBRID-'KNOCK OUT'	HYBRID SHRUB ROSE 5 WHITE & 10 RED	18"-24" HT.	3 GAL. NON-INVASIVE	PLANT 3' O.C.
SJNF	18	SPIRAEA JAPONICA 'NEON FLASH'	NEON FLASH SPIREA	18"-24" HT.	3 GAL. NON-INVASIVE	PLANT 3' O.C.
SHADE & ORNAMENTAL TREES						
ARO	5	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	3" CAL.	B & B NATIVE SPECIES	PLANT AS SHOWN
ARB	4	ACER RUBRUM 'BOWHALL'	BOWHALL COLUMNAR SWAMP RED MAPLE	3" CAL.	B & B NATIVE SPECIES	PLANT AS SHOWN
NS	3	NYSSA SYLVATICA	BLACK GUM	3" CAL.	B & B NATIVE SPECIES	PLANT AS SHOWN
ZSG	11	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	3" CAL.	B & B	PLANT AS SHOWN
ORNAMENTAL GRASSES & PERENNIALS						
CAK	15	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	1 GAL.	36" HT. NON-INVASIVE	18" O.C.
HHR	135	HEMEROCALIS 'HAPPY RETURNS'	HAPPY RETURNS DWARF YELLOW DAYLILY	1 GAL.	18" HT. NON-INVASIVE	12" O.C.

NOTES:  
 1. ALL PLANT SPECIES PLANTED WITHIN THE 100' WETLAND BUFFER LINE ARE NATIVE OR CONSIDERED NON-INVASIVE SPECIES.  
 2. LANDSCAPE DESIGN BY E.A. FULLER, LANDSCAPE ARCHITECT, 24 SCOTT DRIVE, PLYMOUTH, MA, 02360.



**LANDSCAPING PLAN**  
 SCALE: 1" = 20'  
 0 20 40 80

PERMIT SET  
 (NOT FOR CONSTRUCTION)

DATE: NOV. 22, 2021	APPROVED BY: [Signature]
DRAWN BY: JMF/JH	MAJOR MODIFICATION
CHECKED BY: EAF	SITE PLAN REVISIONS
JOB NO.: 20-9438	SITE PLAN REVISIONS
SCALE: 1" = 20'	INCREASED NW DRIVEWAY TO 24' WIDE
	PER PEER REVIEW COMMENTS
	PER REV. BLDG. PLANS/TOWN COMMENTS
	DATE
	REV.
	BY
	APP'D

**G.A.F. ENGINEERING, INC.**  
 PROFESSIONAL ENGINEERS & LAND SURVEYORS  
 266 MAIN STREET - WAREHAM, MA 02571  
 TEL: (508) 295-6600 FAX: (508) 295-6634  
 E-MAIL: info@gafenginc.com

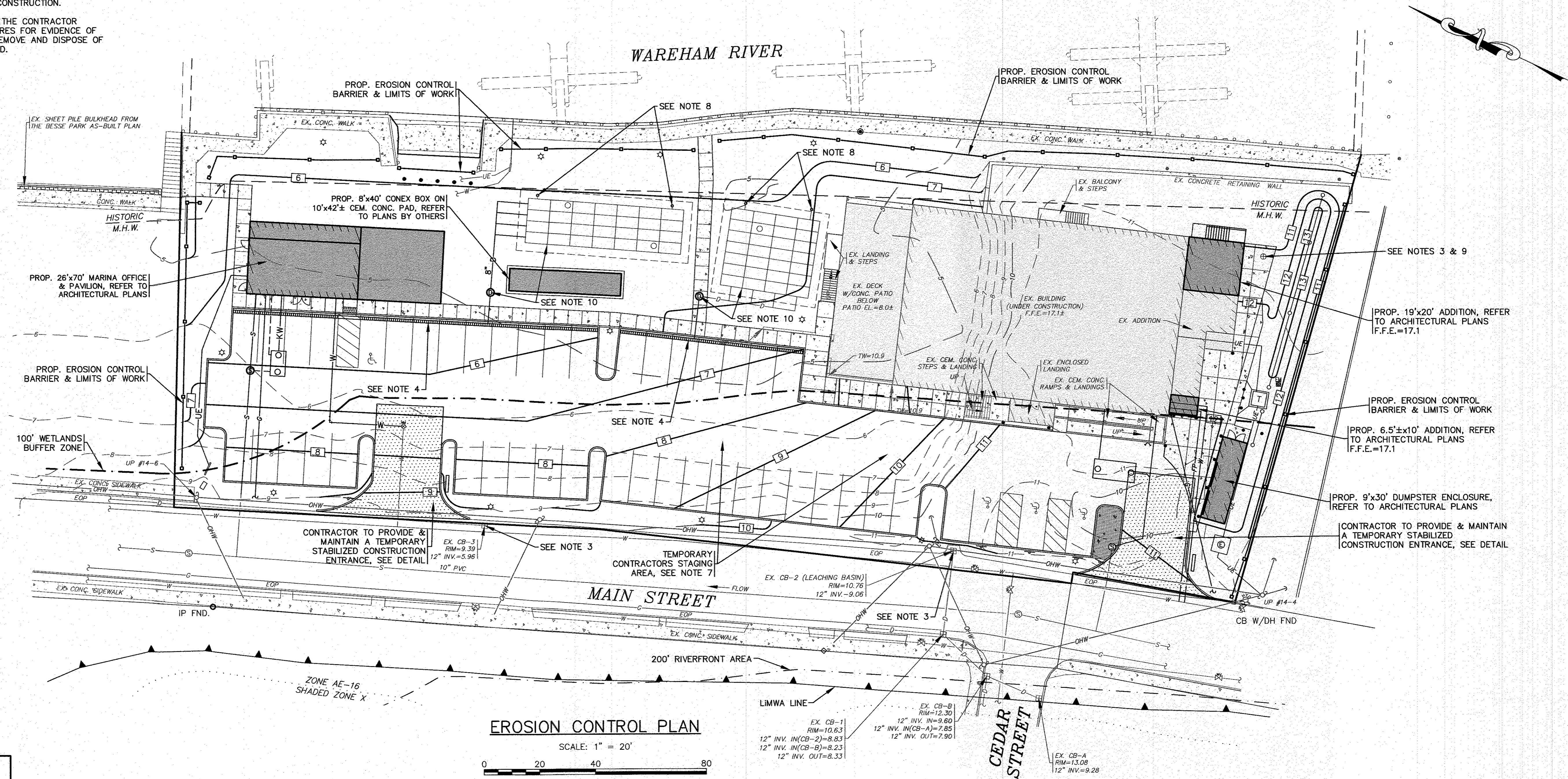
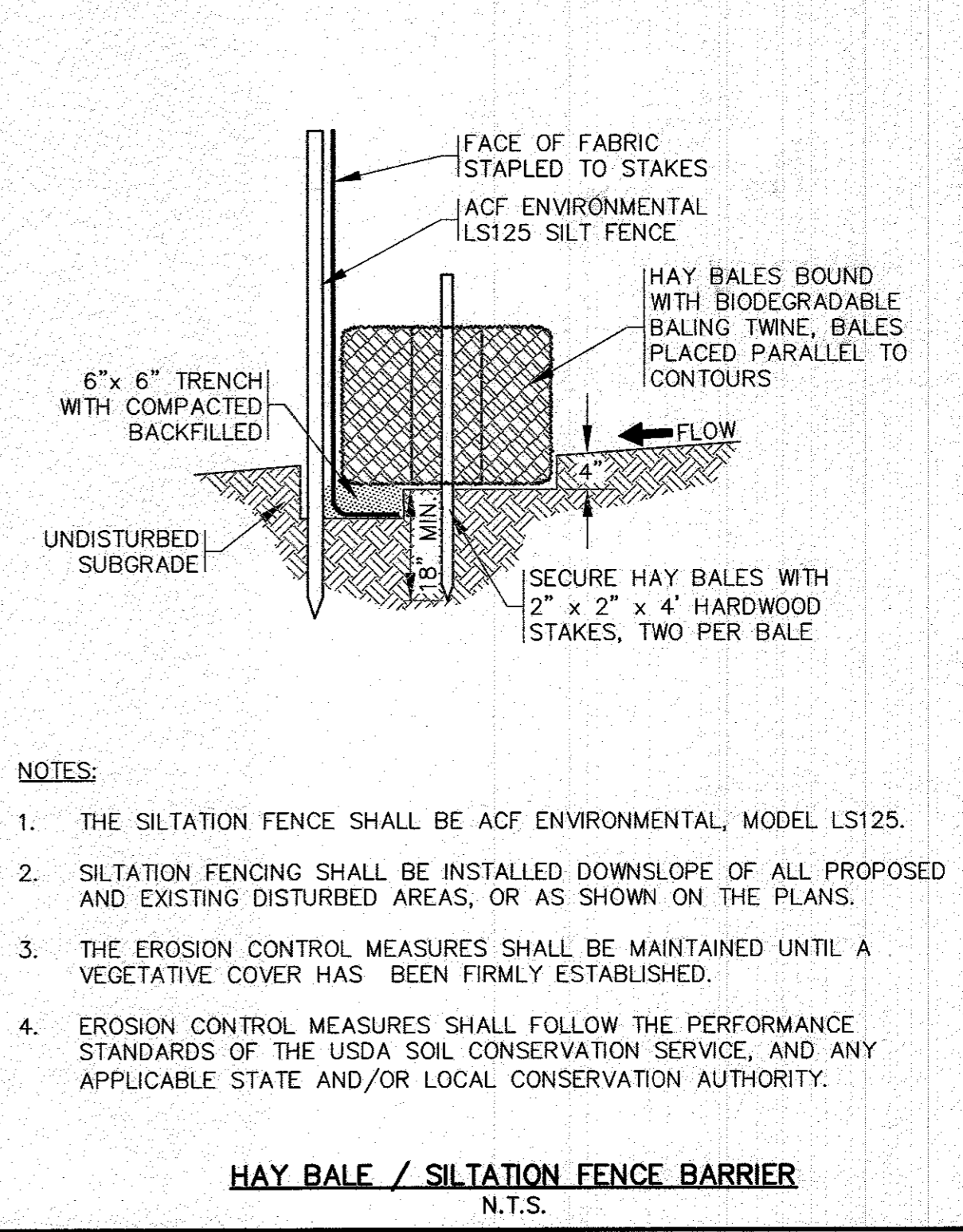
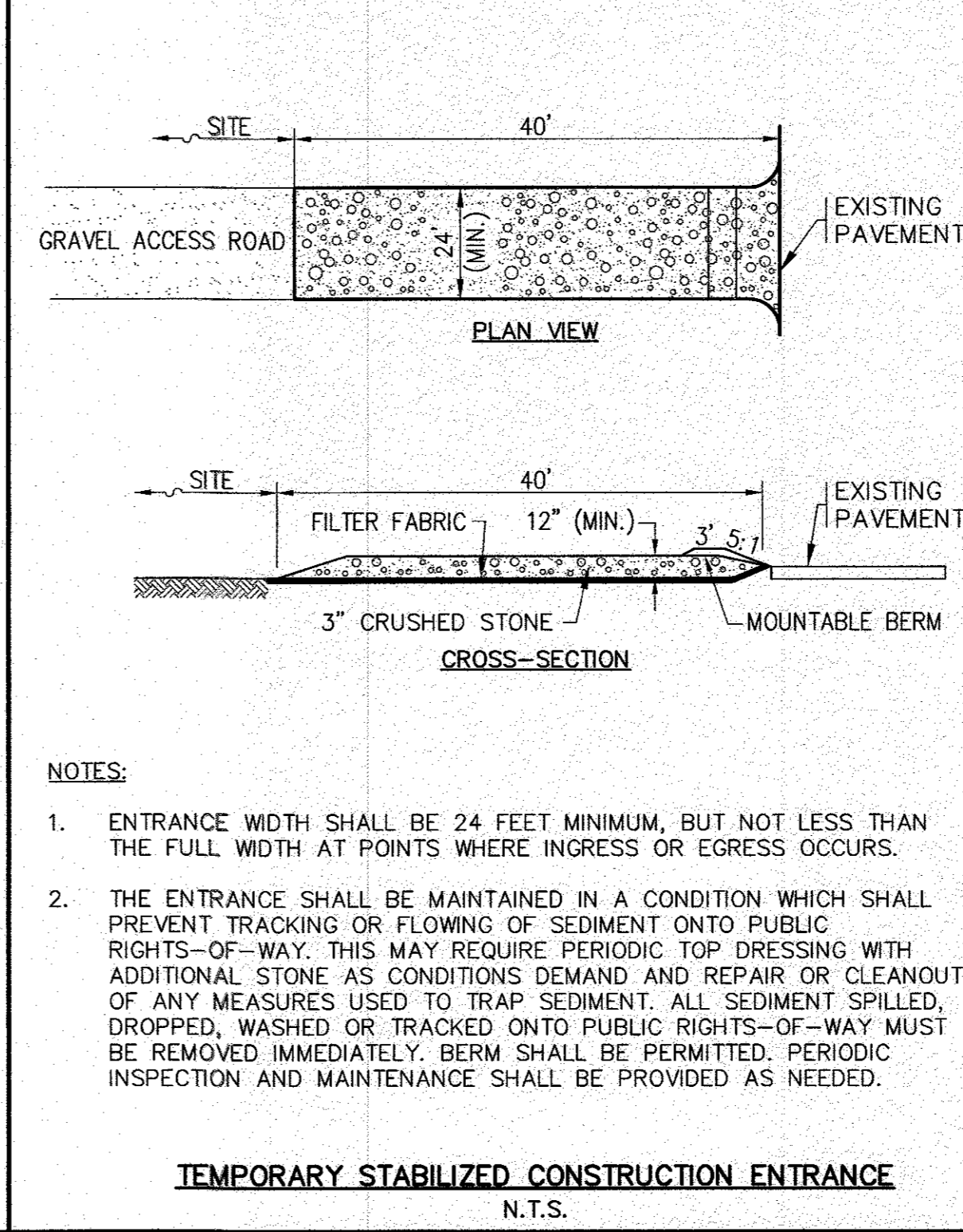
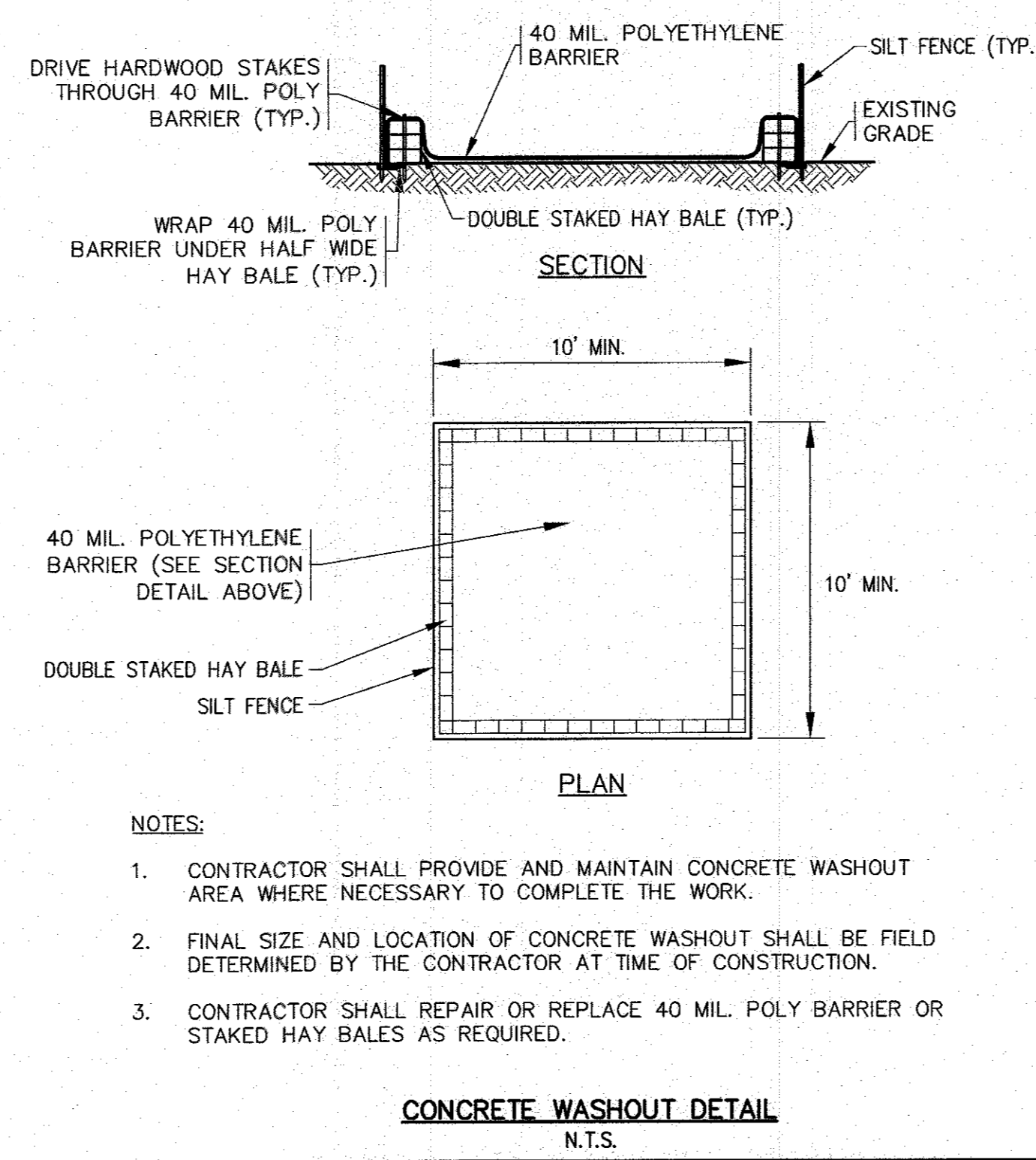
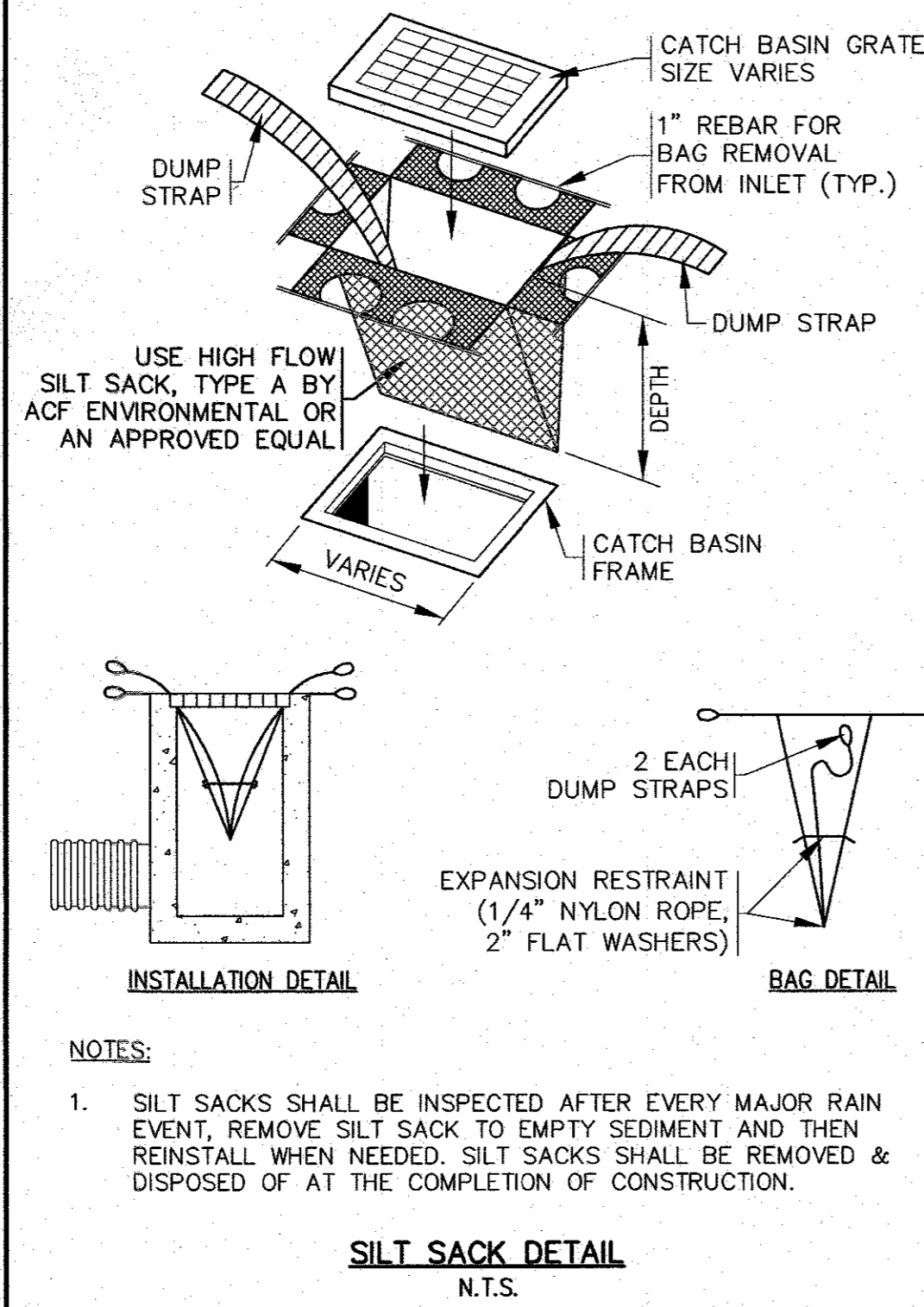
**WARREN GOZB, LLC**  
 59 MAIN STREET WAREHAM, MA  
 CARVER, MA  
 P.O. BOX 1206

JOB NO.: 20-9438  
 DWG. 7 OF 11

H:\GAF DRAWINGS\2020 DRAWINGS\20-9438 (BARRY WAREHAM)\S438.dwg (S438) SITE PLAN\_2021.dwg

**NOTES:**

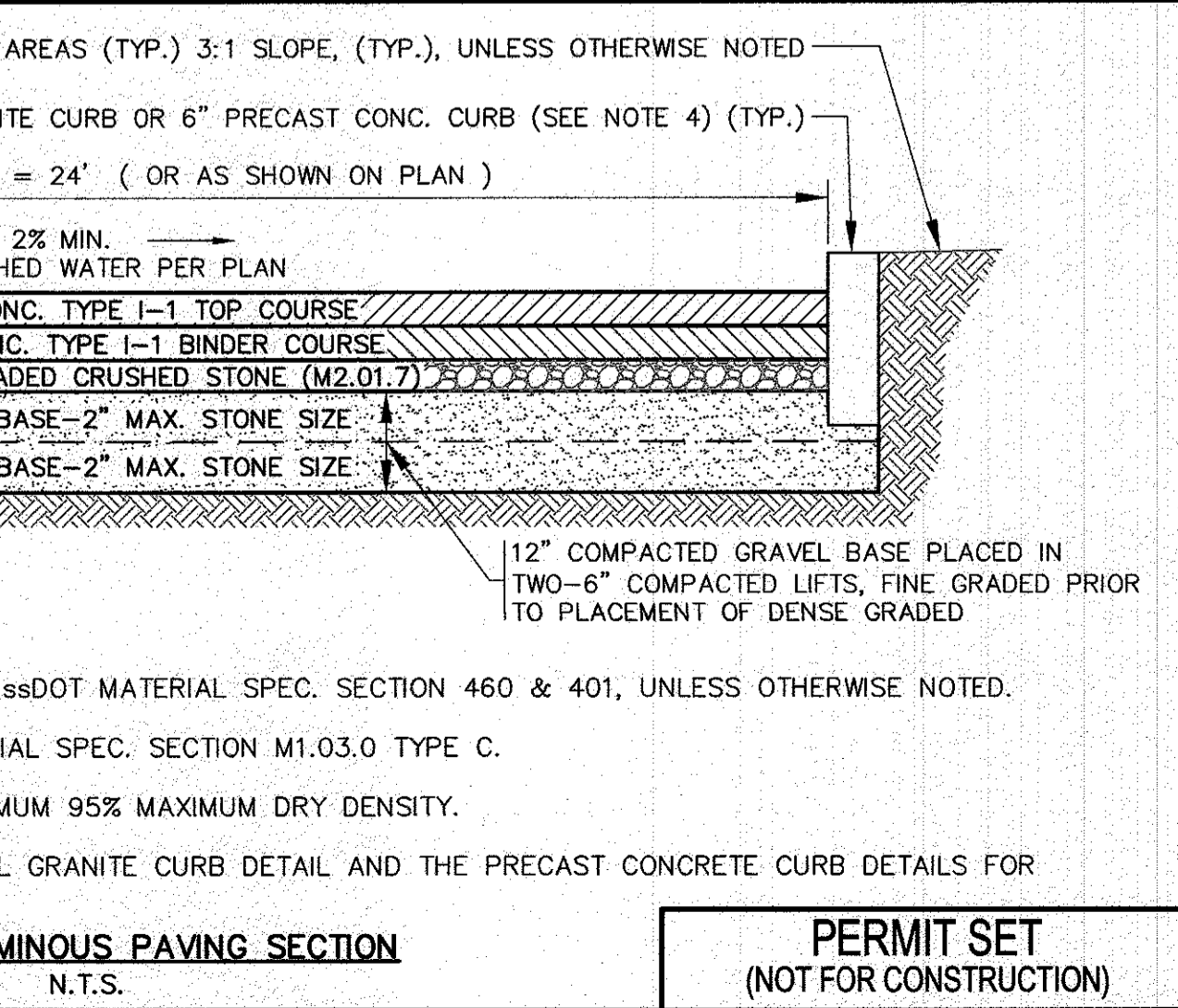
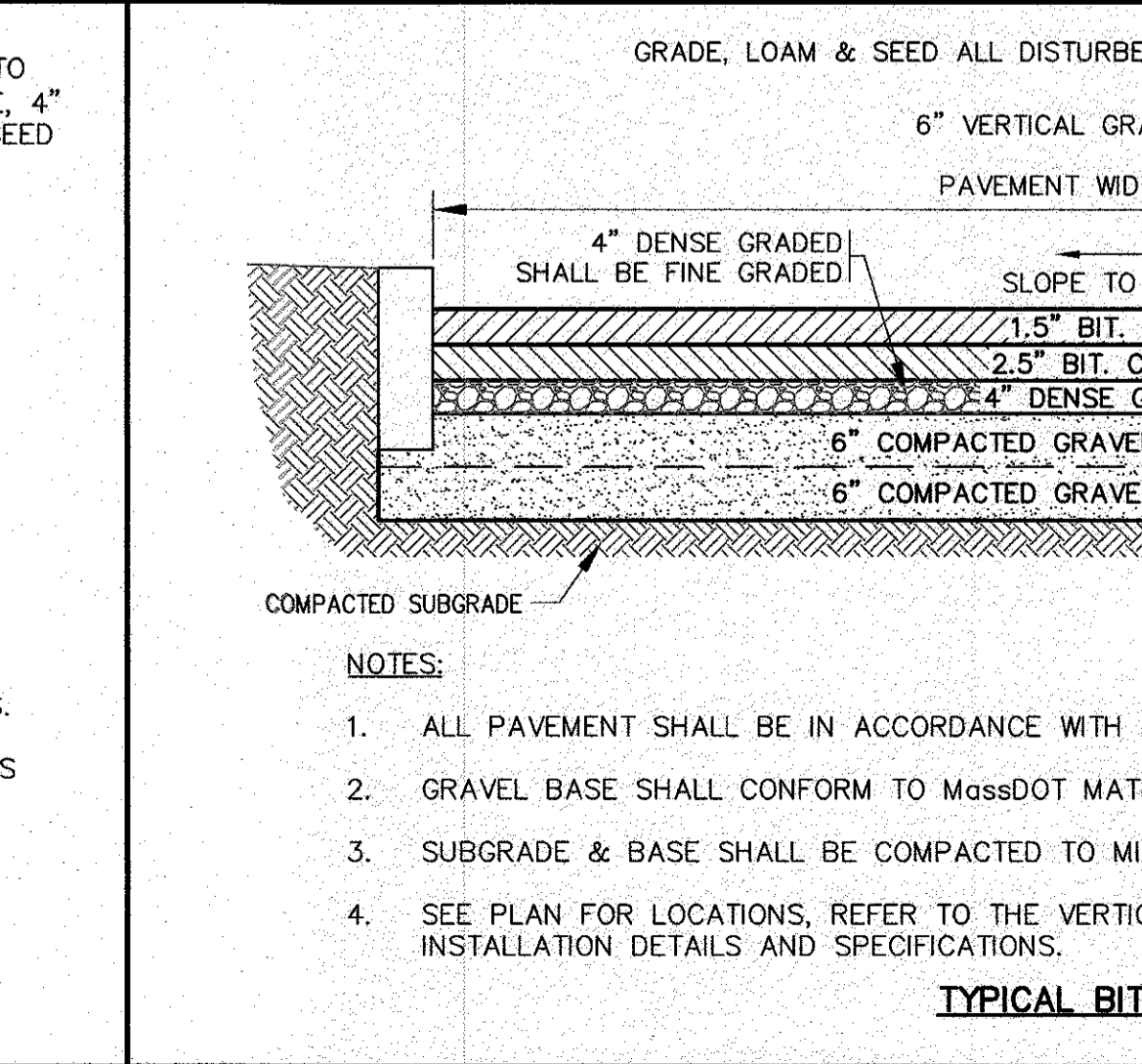
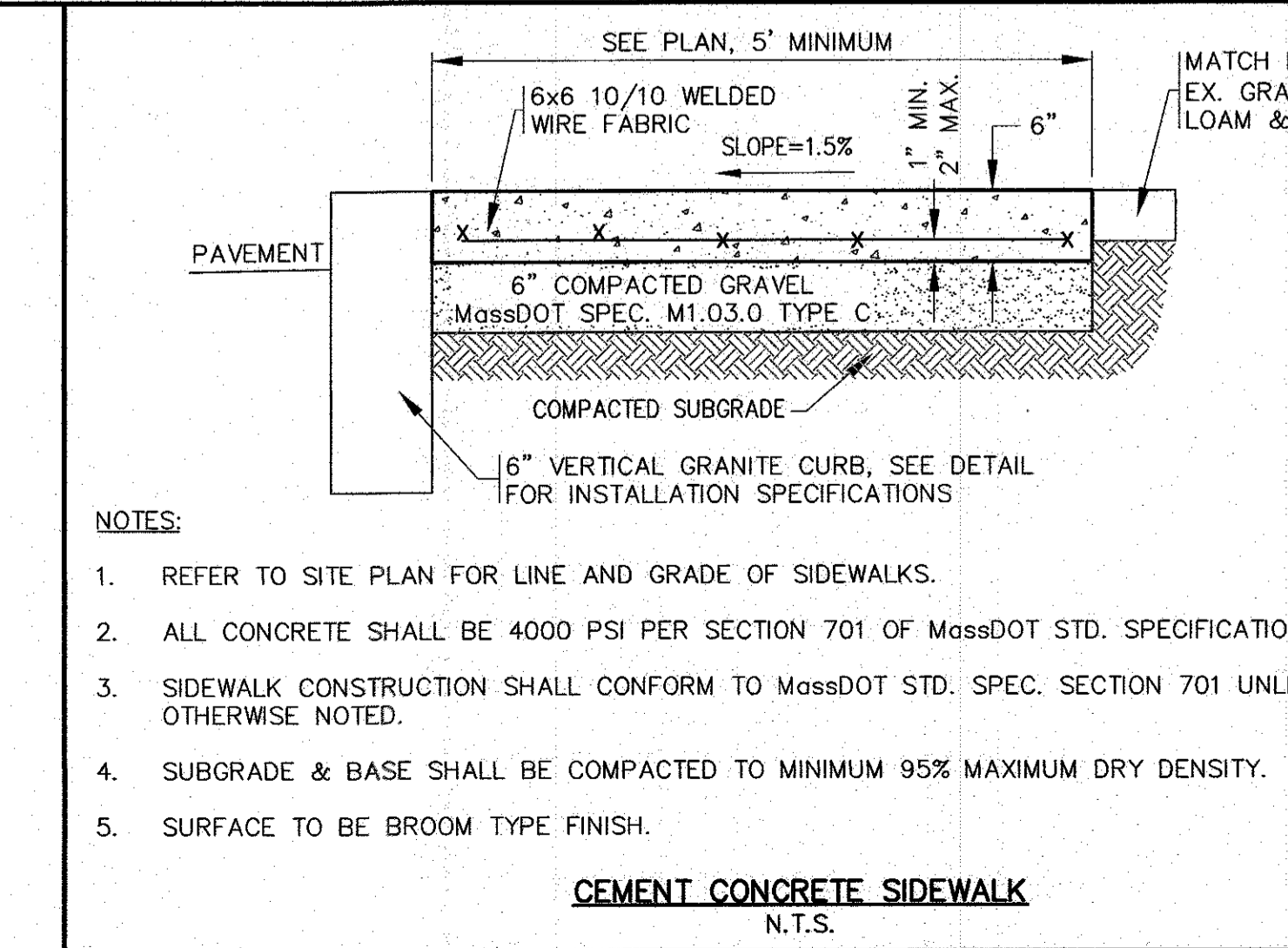
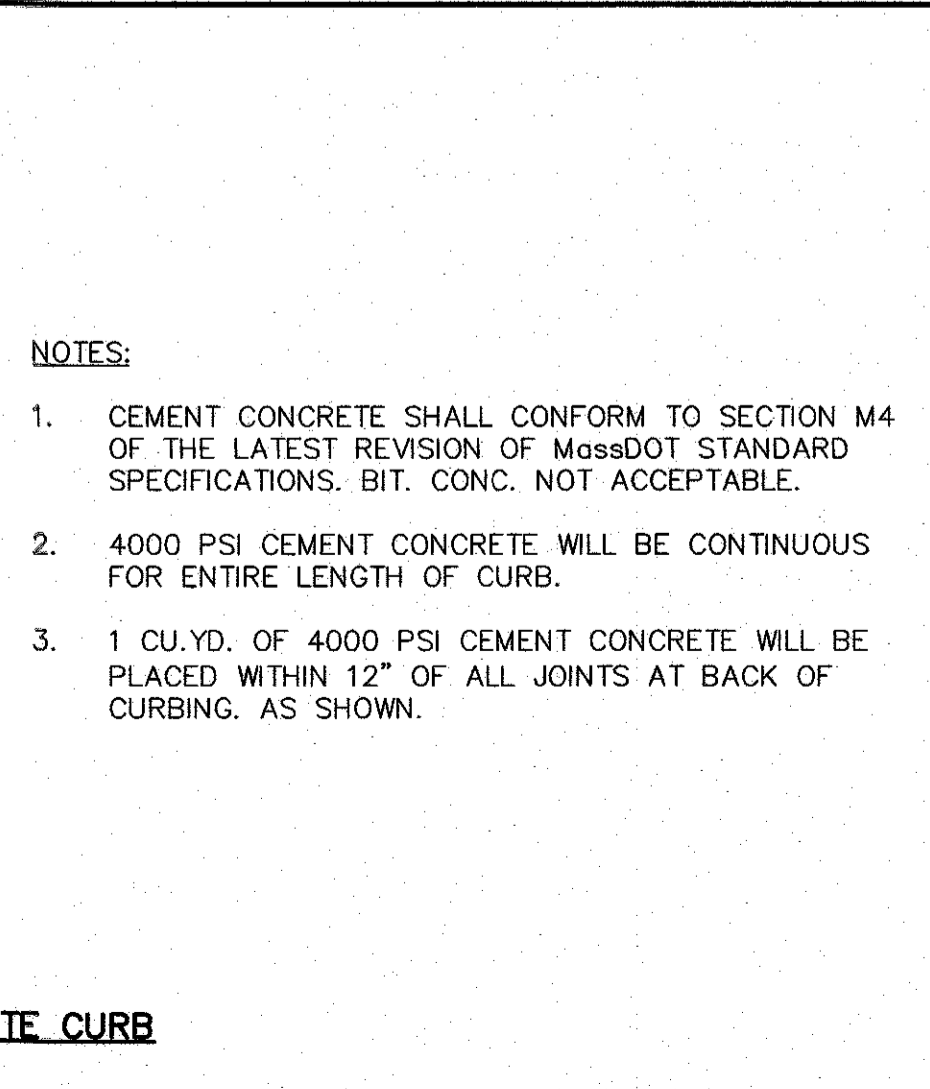
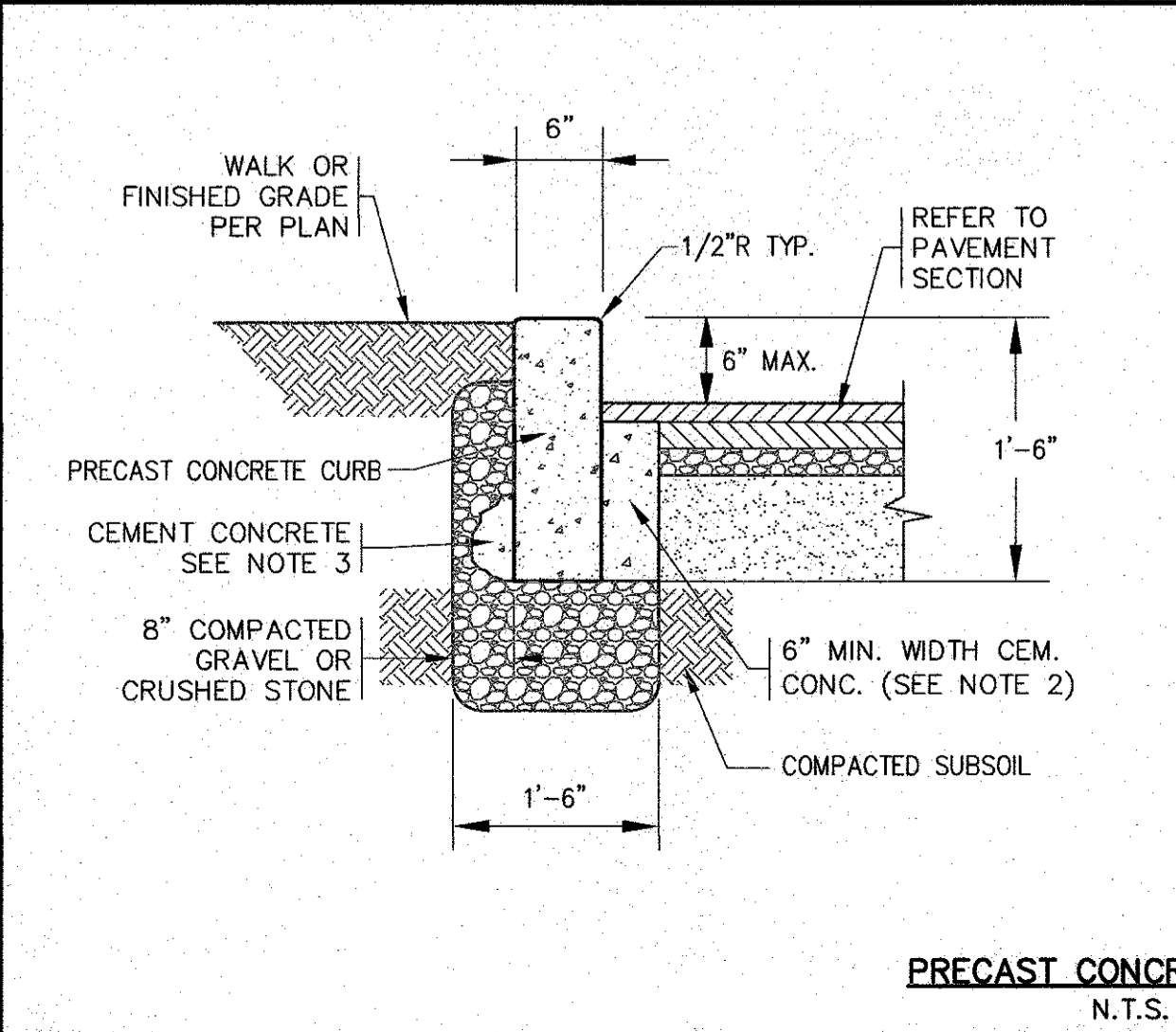
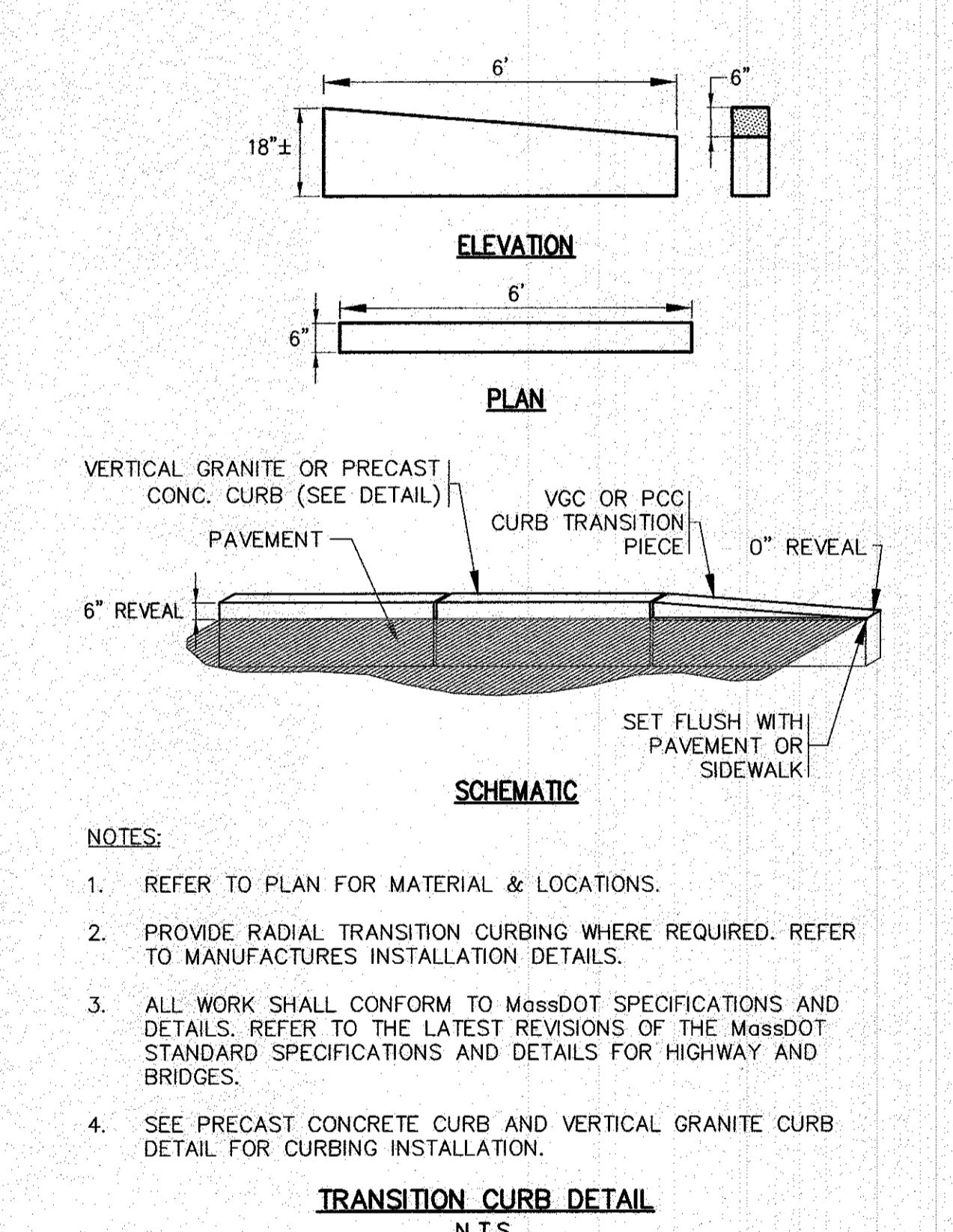
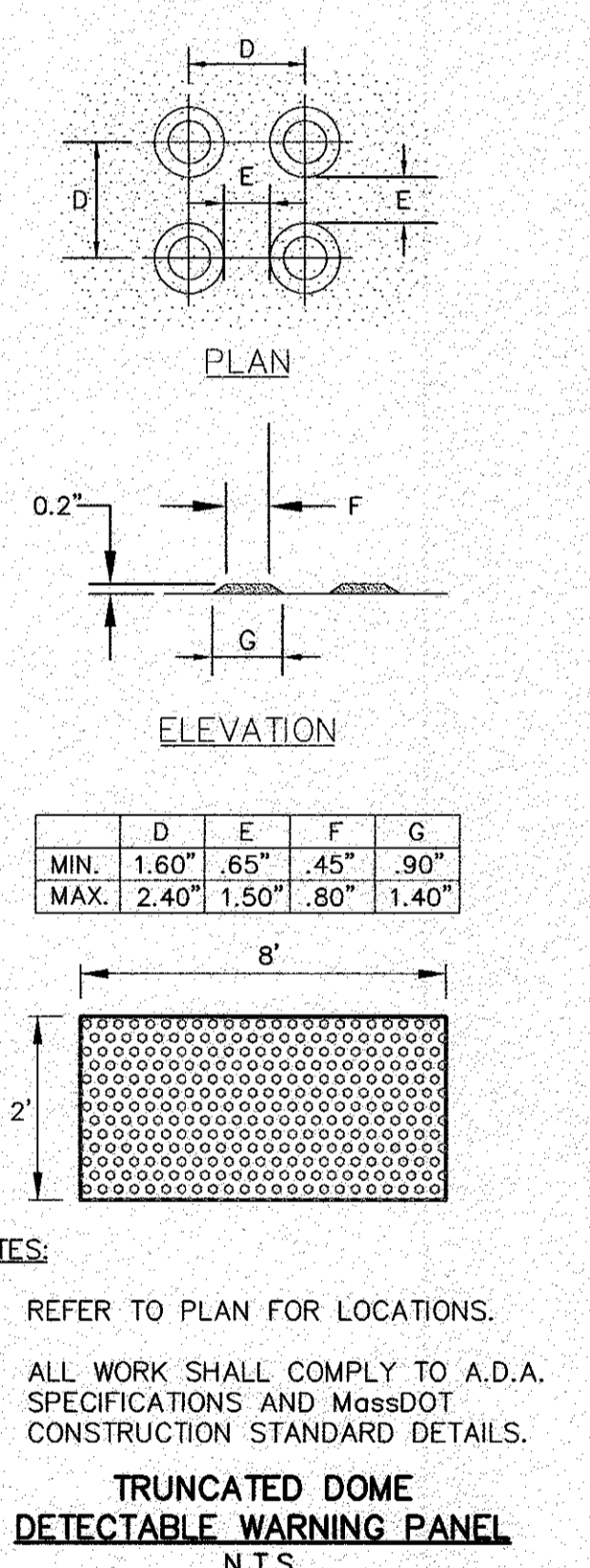
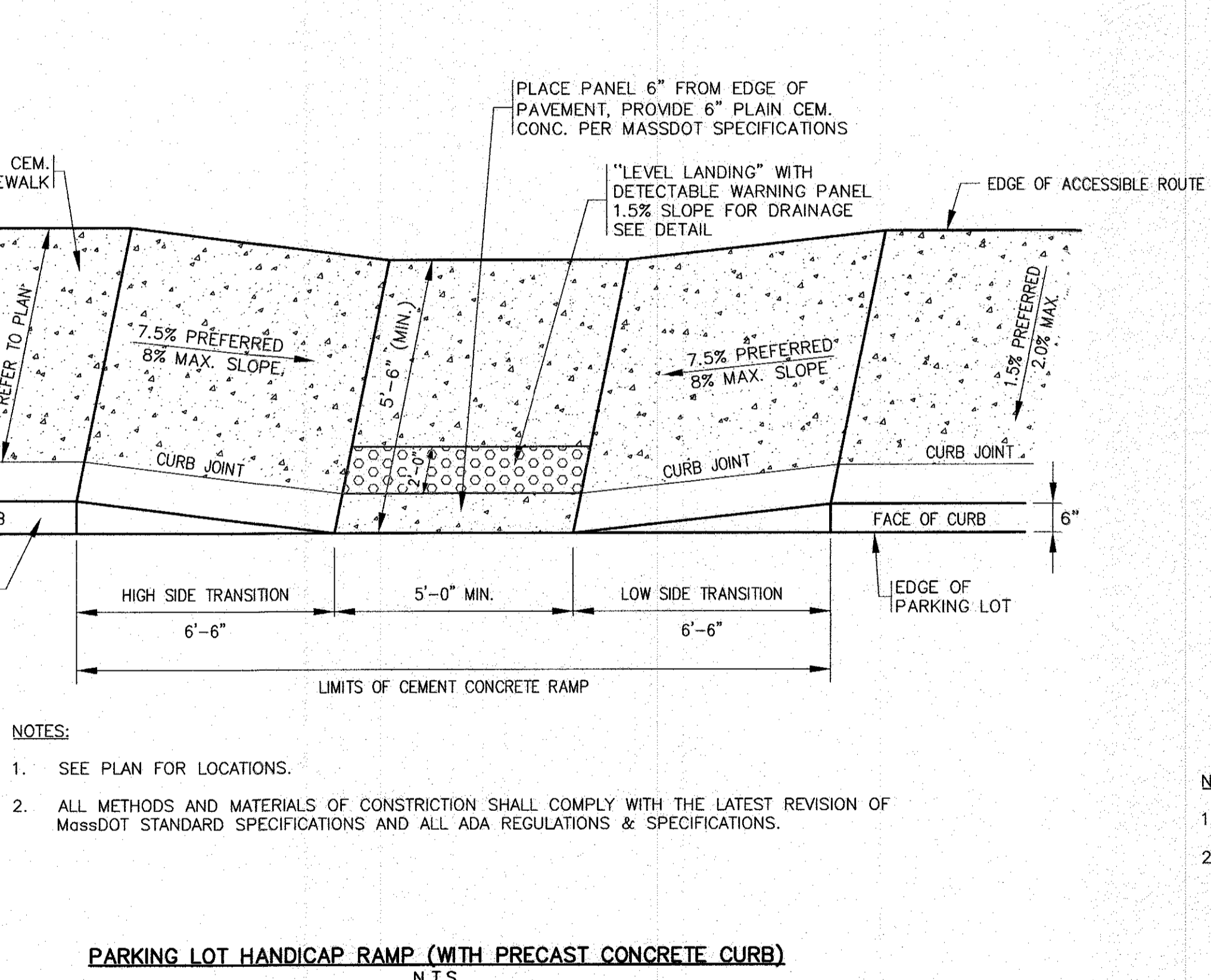
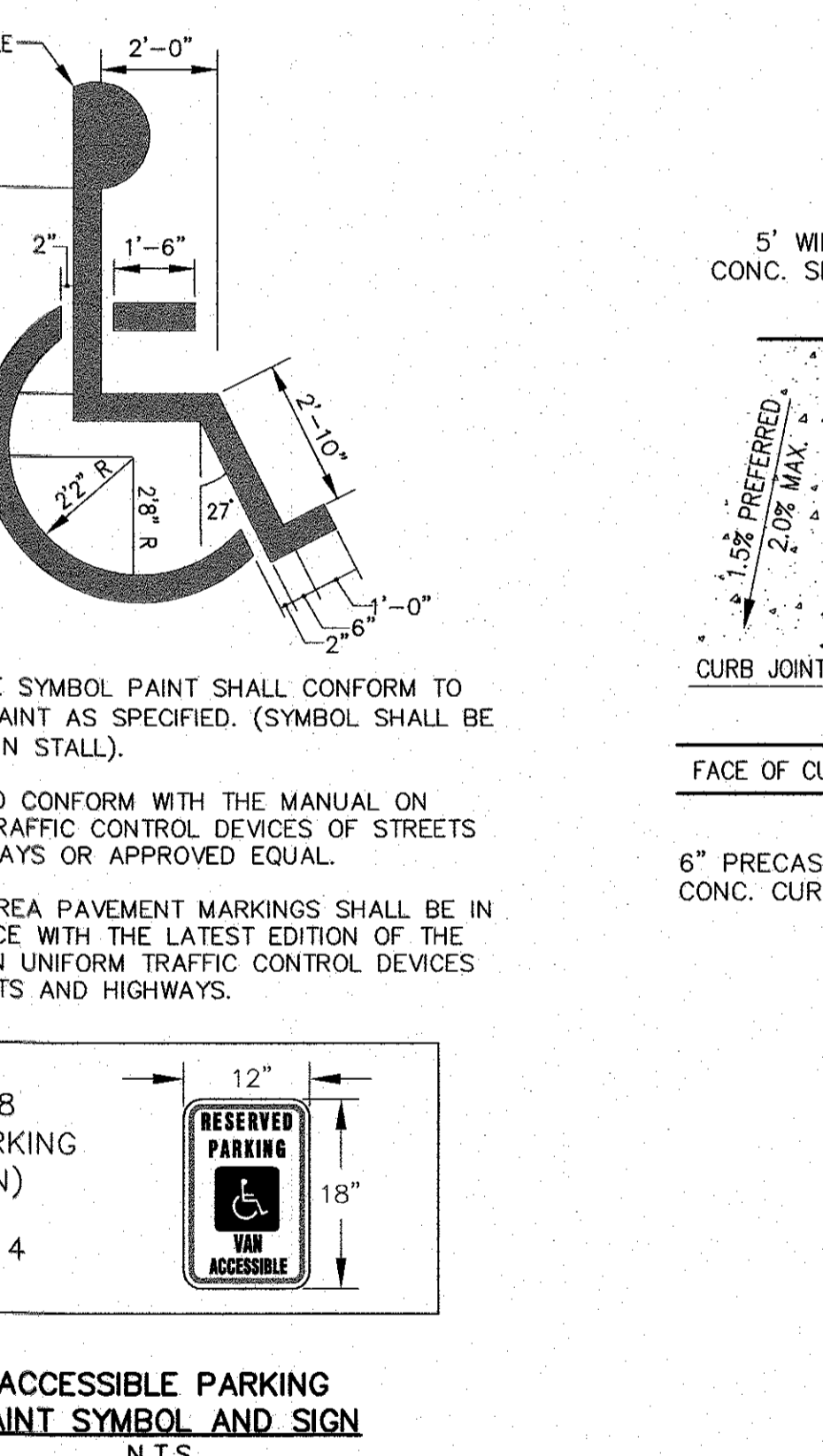
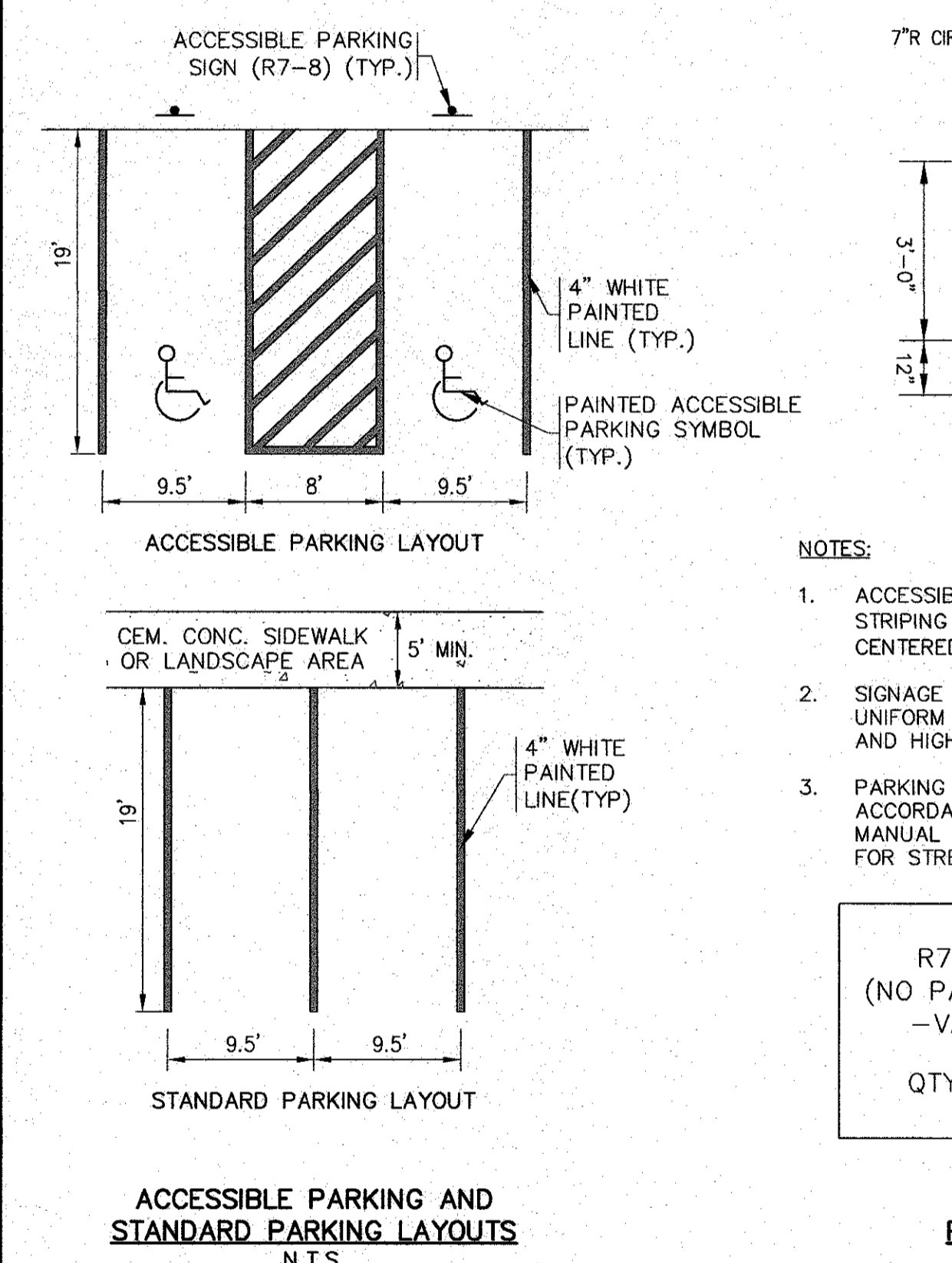
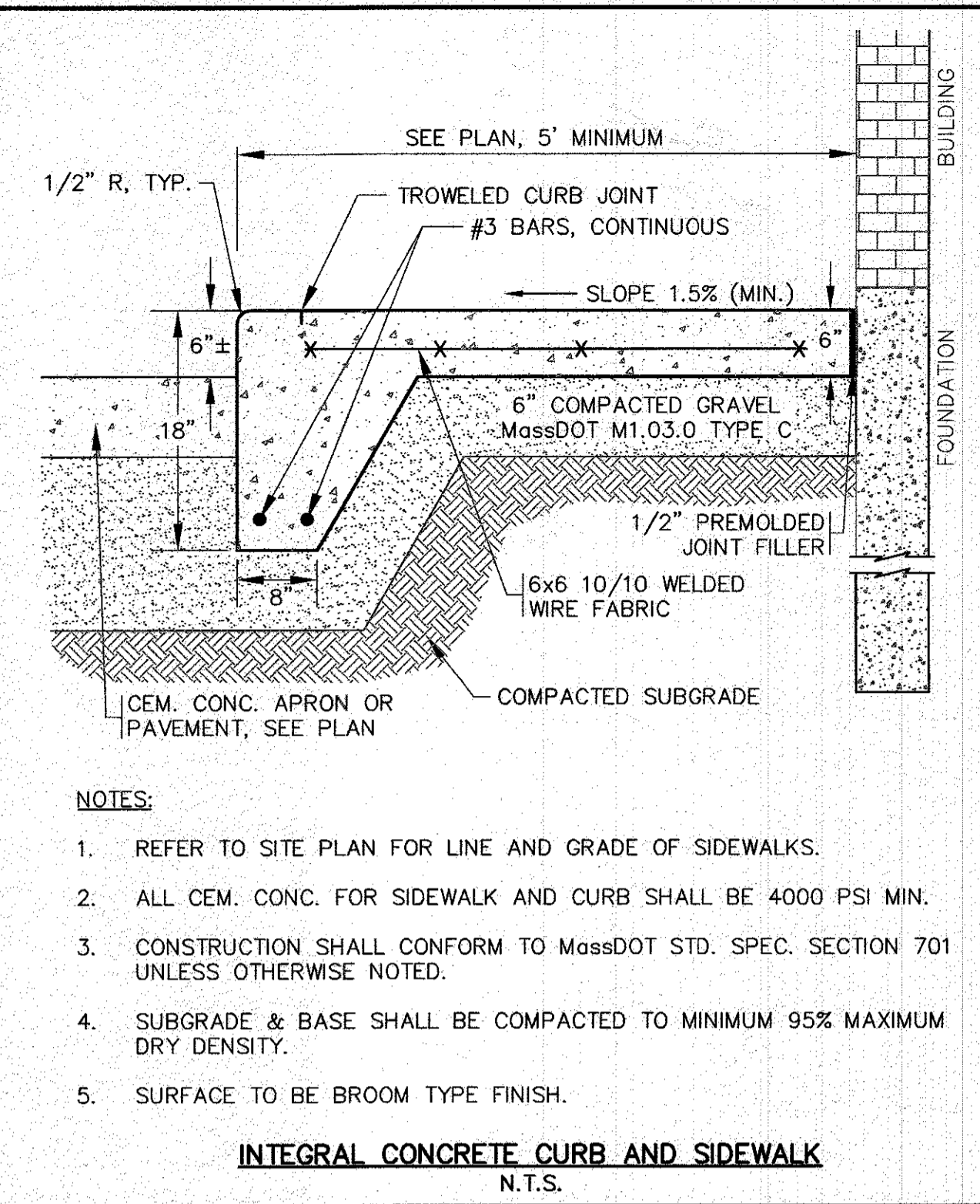
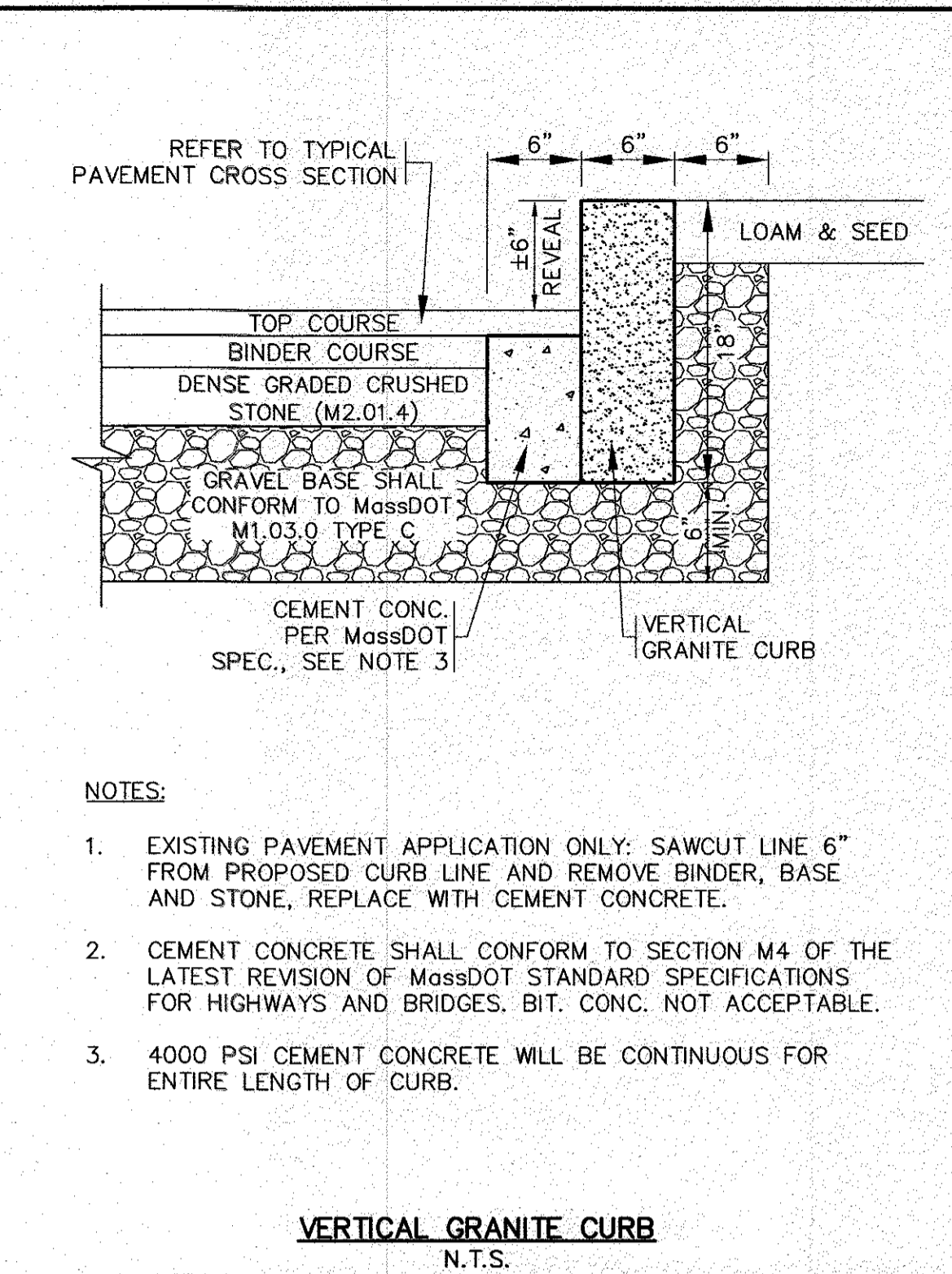
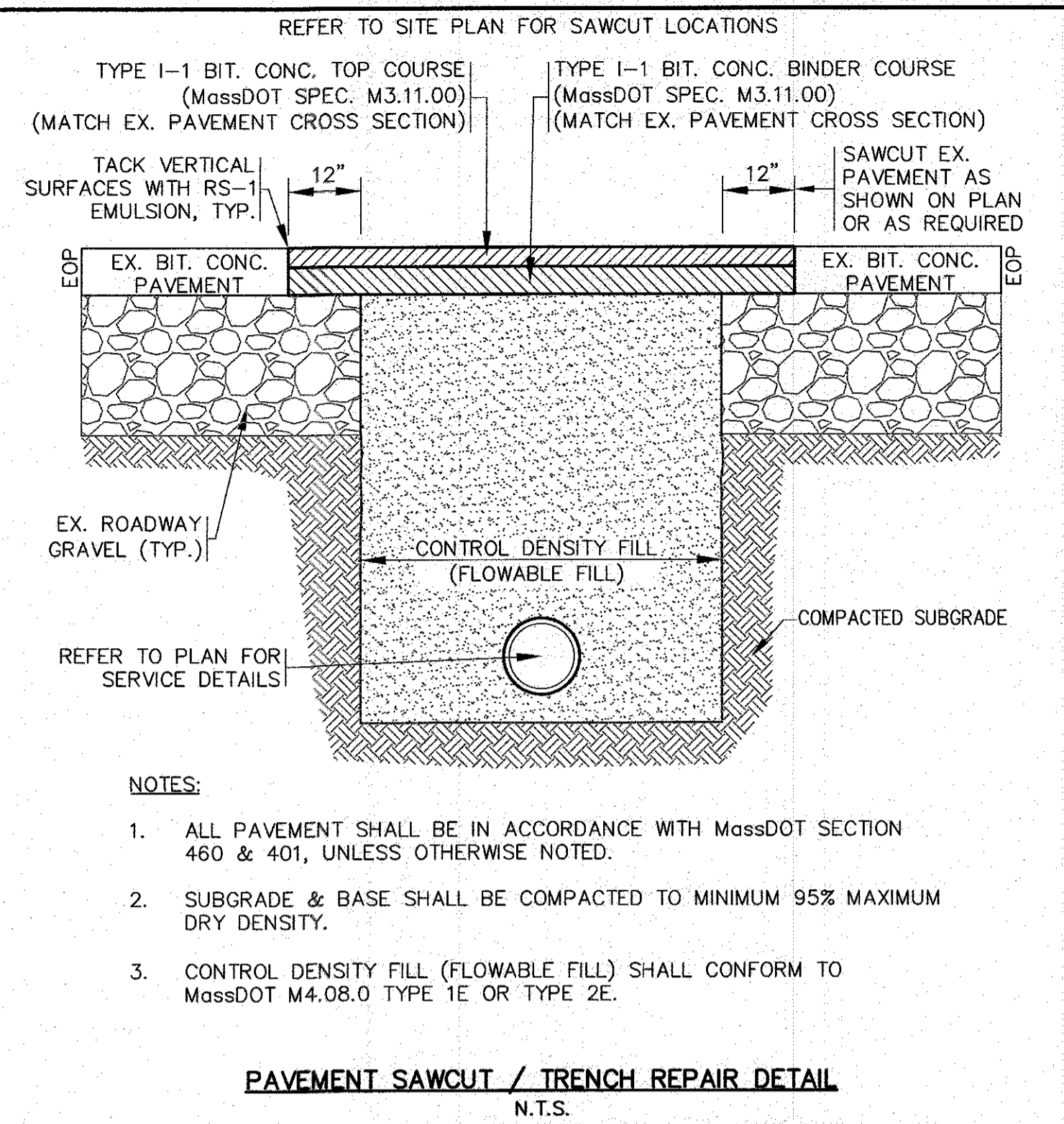
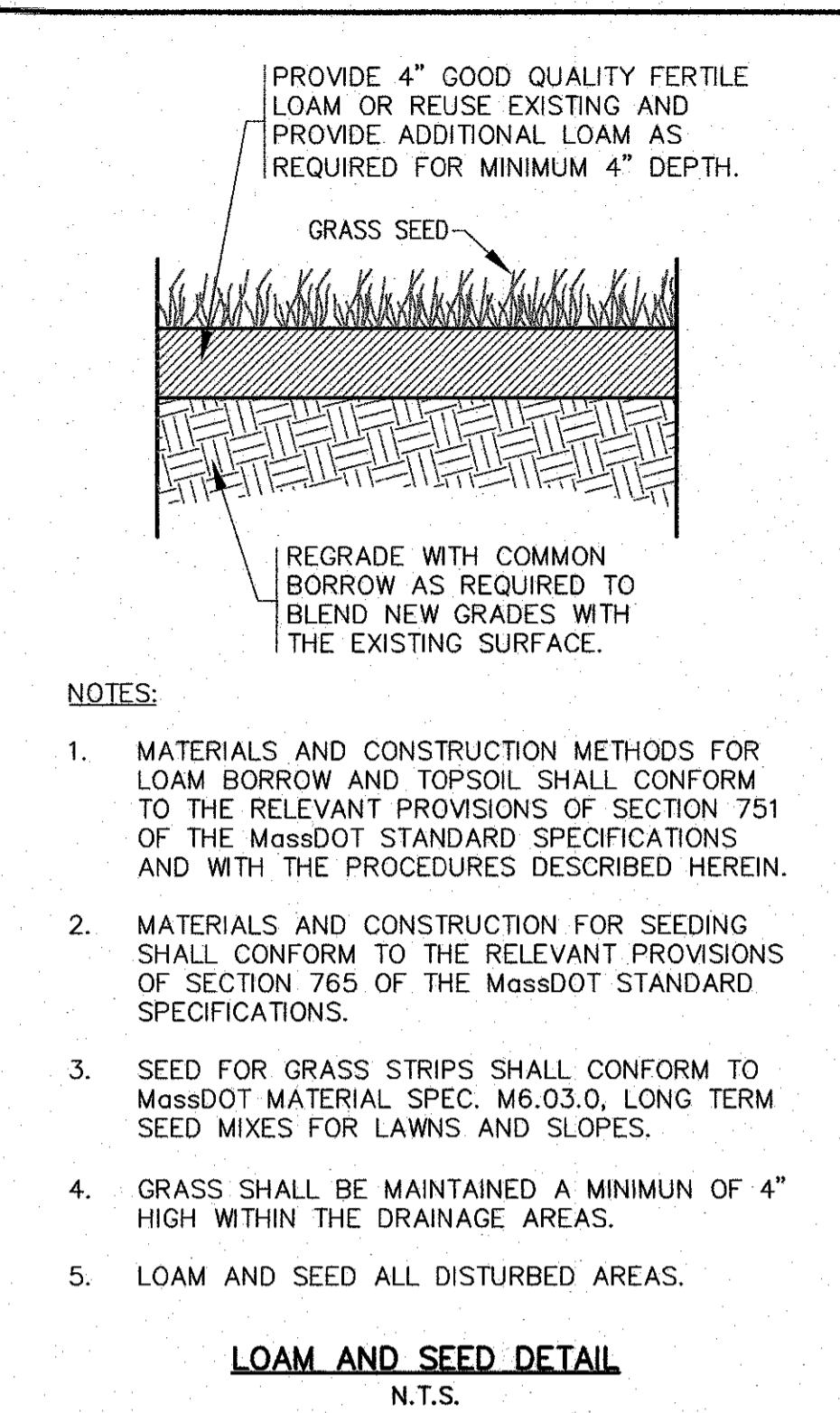
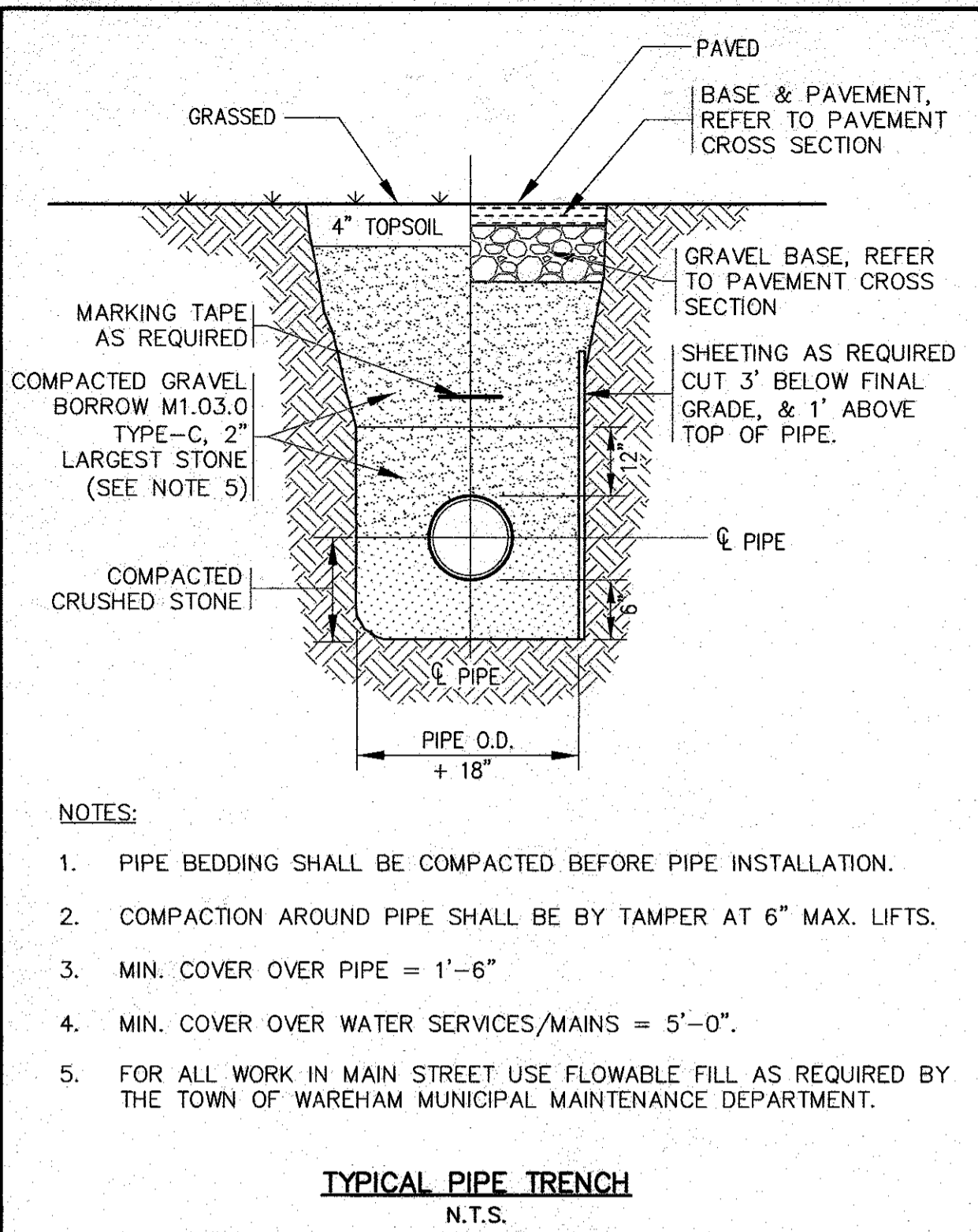
1. A CONSTRUCTION ENTRANCE WILL NEED TO BE INSTALLED BEFORE ANY CONSTRUCTION ACTIVITY OCCURRING ON-SITE.
2. CONTRACTOR SHALL PROVIDE AND MAINTAIN DOUBLE STAKED HAY BALES WITH SILT FENCE EROSION CONTROL BARRIER AS SHOWN ON THE PLANS. EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL ALL VEGETATION IS ESTABLISHED.
3. EXISTING CATCH BASINS SHALL HAVE A TEMPORARY SILT SACK OR AN APPROVED EQUAL INSTALLED WITHIN PRIOR TO CONSTRUCTION. CONTRACTOR SHALL REMOVE AND DISPOSE OF THE SILT SACKS AT THE COMPLETION OF CONSTRUCTION.
4. ALL TRENCH DRAINS SHALL BE INSPECTED WEEKLY DURING CONSTRUCTION. IF THERE IS ANY SEDIMENT BUILDUP, THE AFFECTED STRUCTURES SHALL BE CLEANED IMMEDIATELY, AND ALL MATERIAL REMOVED SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.
5. CONTRACTOR SHALL SIZE, PROVIDE AND MAINTAIN DEWATERING EQUIPMENT FOR THE CONTROL, COLLECTION AND DISPOSAL OF GROUND AND SURFACE WATER WHERE NECESSARY TO COMPLETE THE WORK. DEWATERING IF REQUIRED SHALL BE DIRECTED TO A DEWATERING BASIN OR A DIRTBAG. FINAL SIZE AND LOCATION OF DEWATERING EQUIPMENT SHALL BE DETERMINED BY THE CONTRACTOR AT TIME OF CONSTRUCTION.
6. CEMENT CONCRETE WASHOUT AREA SHALL BE A RING OF DOUBLE STAKED HAY BALES WITH SILTATION FENCE AND LINED WITH A 40 MIL. POLYETHYLENE BARRIER. SEE DETAIL. FINAL WASHOUT SIZE AND LOCATION SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR AT TIME OF CONSTRUCTION.
7. THE FINAL LOCATION OF CONTRACTORS STAGING AREA SHALL BE DETERMINED BY THE CONTRACTOR AT TIME OF CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH OWNER.
8. PROTECT THE POP-UP DRAINAGE EMITTER DURING CONSTRUCTION WITH A 12" PERFORATED PIPE PLACE AROUND THE UNIT DURING CONSTRUCTION.
9. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL INSPECT THE EXISTING LEACHING BASIN FOR ANY DEBRIS OR SEDIMENT ACCUMULATION. REMOVE AND DISPOSE OF ANY DEBRIS AND SEDIMENT AS REQUIRED. EXISTING LEACHING BASIN SHALL BE PUMPED CLEAN UPON COMPLETION OF CONSTRUCTION.
10. AT THE COMPLETION OF CONSTRUCTION THE CONTRACTOR SHALL INSPECT ALL DRAINAGE STRUCTURES FOR EVIDENCE OF SEDIMENT OR DEBRIS ACCUMULATION. REMOVE AND DISPOSE OF ANY DEBRIS AND SEDIMENT AS REQUIRED.



DATE: NOV. 22, 2021	APPROVED BY:			
DRAWN BY: JMP	MAJOR MODIFICATION			
CHECKED BY: WFM	DATE			
JOB NO.: 20-9438	REV			
SCALE: 1" = 20'	DESCRIPTION			
	NO. 1	DATE	BY	APP'D
	NO. 2	11/8/23	JMP	WFM
	NO. 3	7/5/23	JMP	WFM
	NO. 4	6/23/22	JMP	WFM
	NO. 5	2/15/22	JMP	WFM
	NO. 6	1/18/22	JMP	WFM
	NO. 7	1/4/22	JMP	WFM

PERMIT SET  
(NOT FOR CONSTRUCTION)





**APPROVED BY:**

**DATE:** NOV. 22, 2021

**DRAWN BY:** JMP

**CHECKED BY:** WFM

**JOB NO.:** 20-9438

**SCALE:** N.T.S.

**MAJOR MODIFICATION:** NO CHANGE THIS SHEET

**SITE PLAN REVISIONS:** NO CHANGE THIS SHEET

**PER PEER REVIEW COMMENTS:** NO CHANGE THIS SHEET

**DESCRIPTION:**

**REV. DATE BY APP'D**

**APPROVED BY:** [Signature]

**G.A.F. ENGINEERING, INC.**  
 PROFESSIONAL ENGINEERS & LAND SURVEYORS  
 266 MAIN STREET - WAREHAM, MA 02571  
 TEL: (508) 295-6600 FAX: (508) 295-6634  
 E-MAIL: info@gaf-engineering.com

**WARREN QOZB, LLC**  
 59 MAIN STREET WAREHAM, MA  
 P.O. BOX 1206 CARVER, MA

**MAJOR MODIFICATION SITE DEVELOPMENT PLAN DETAIL SHEET 1**

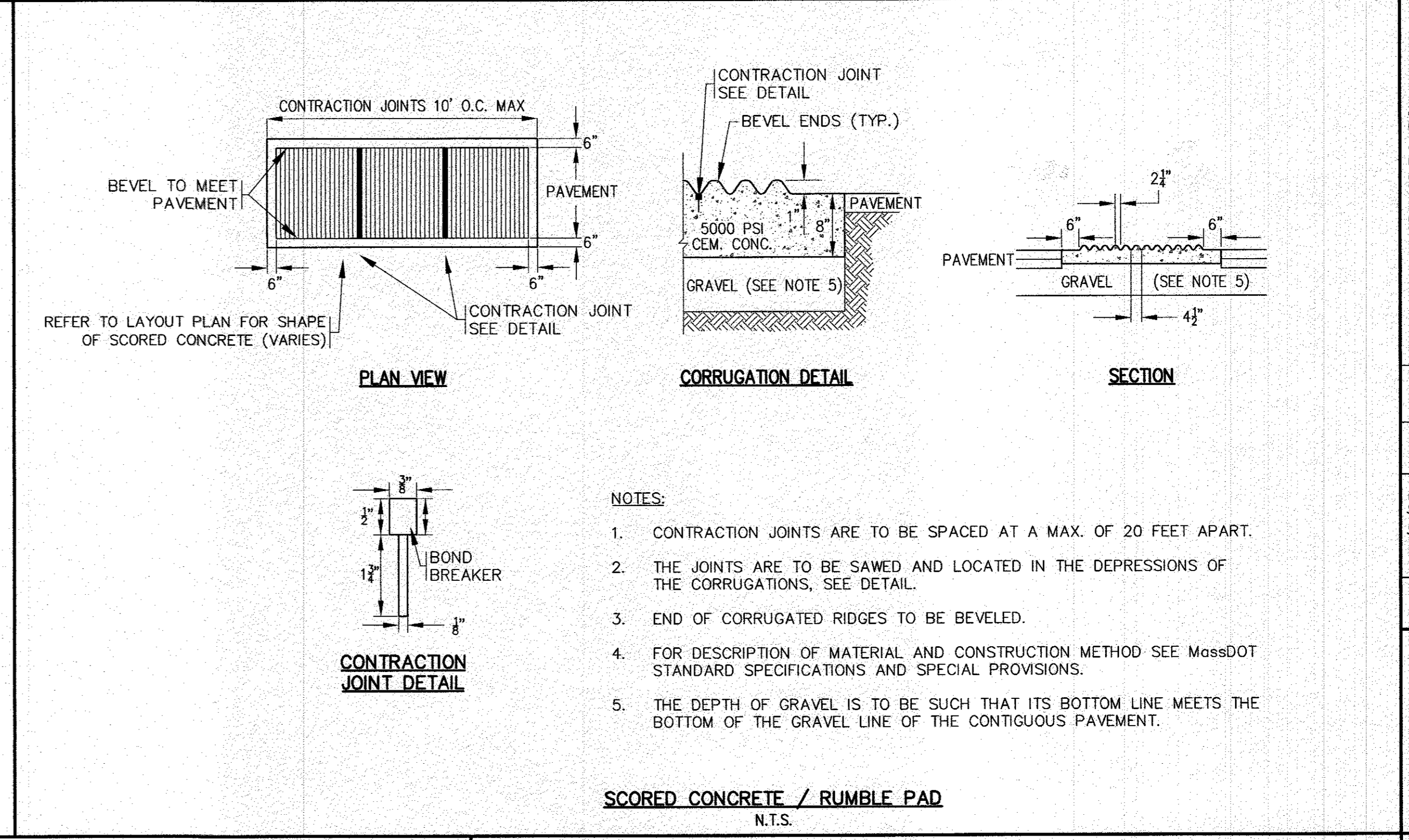
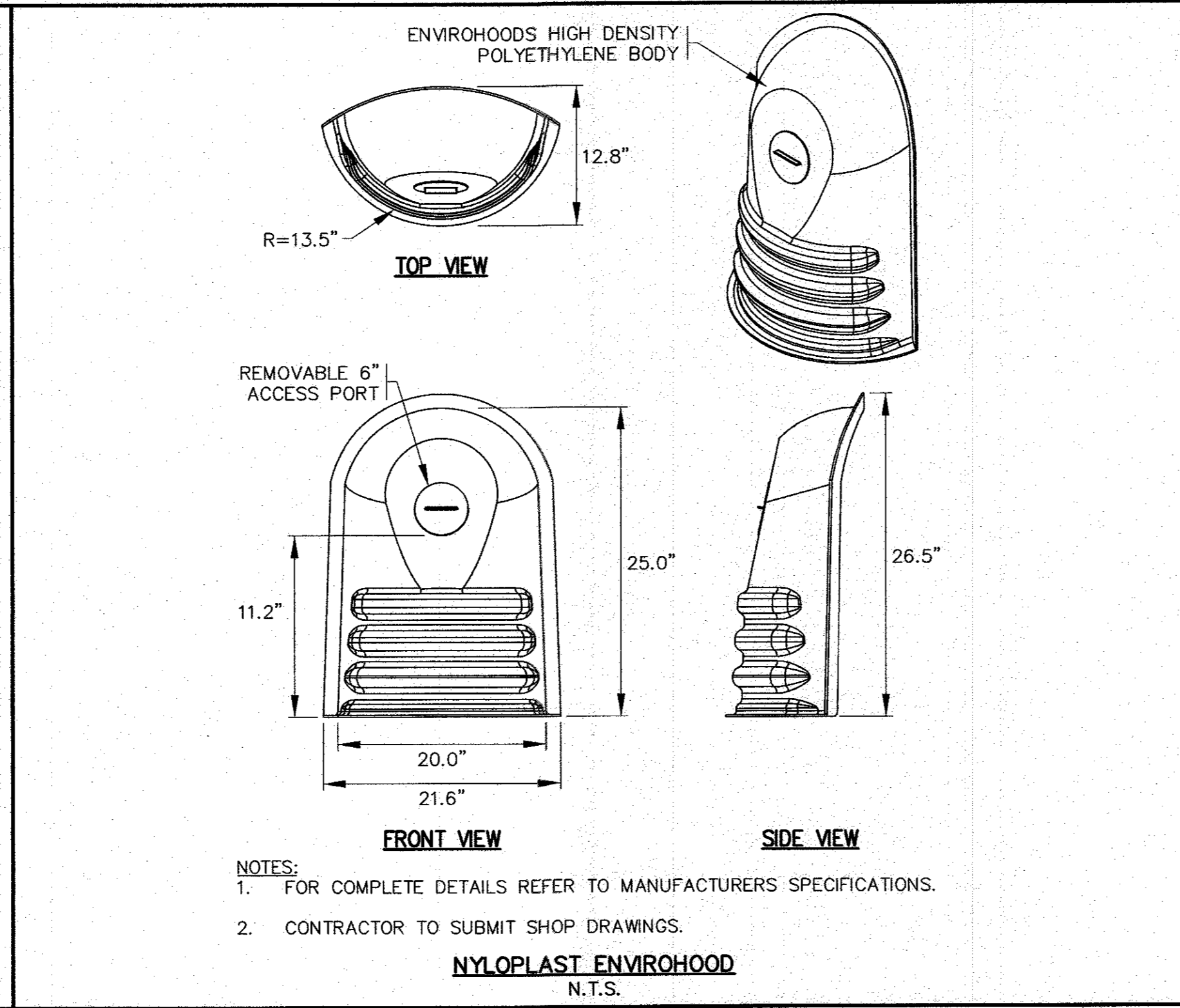
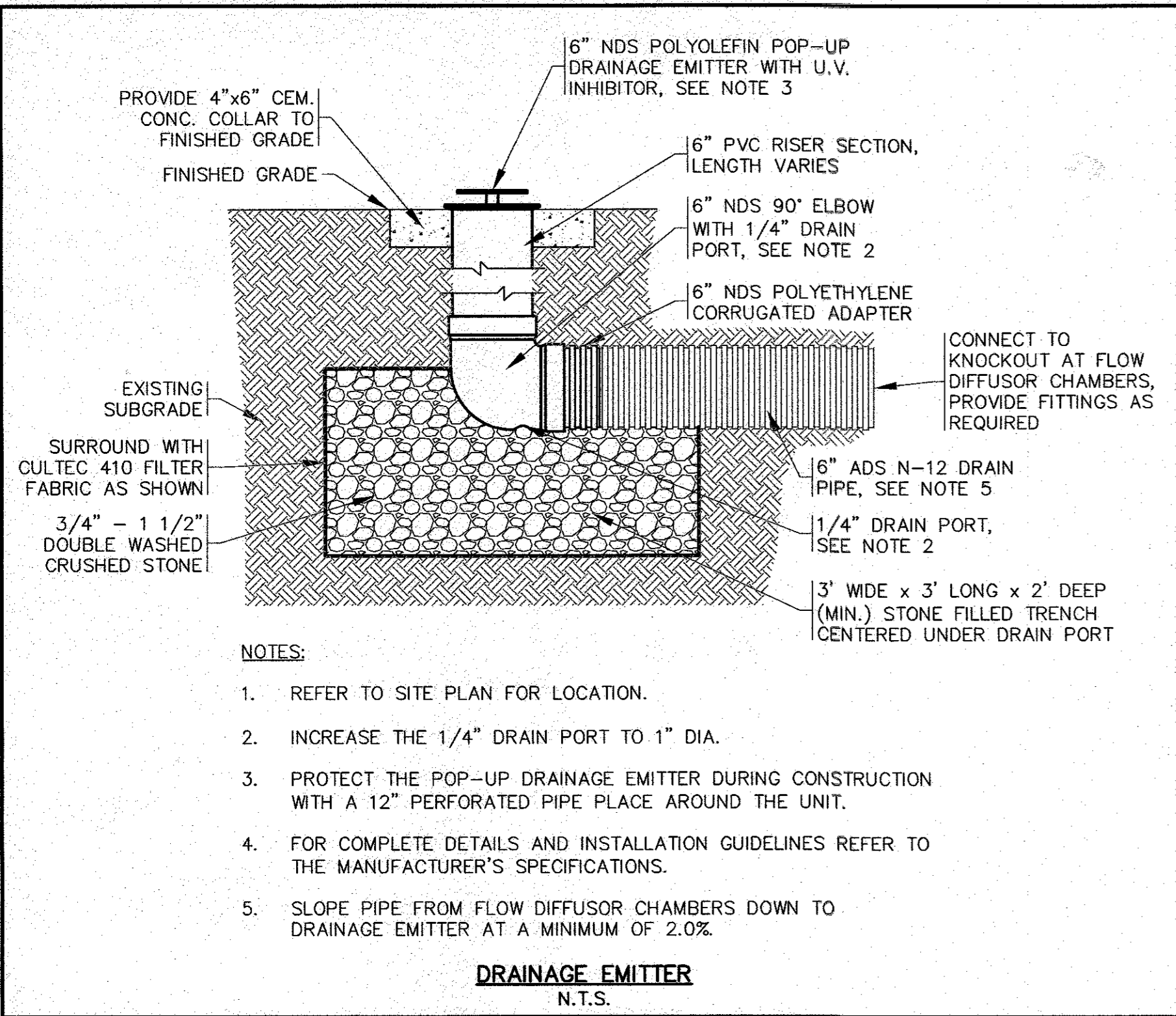
**WARREN QOZB, LLC**

**PREPARED FOR:**

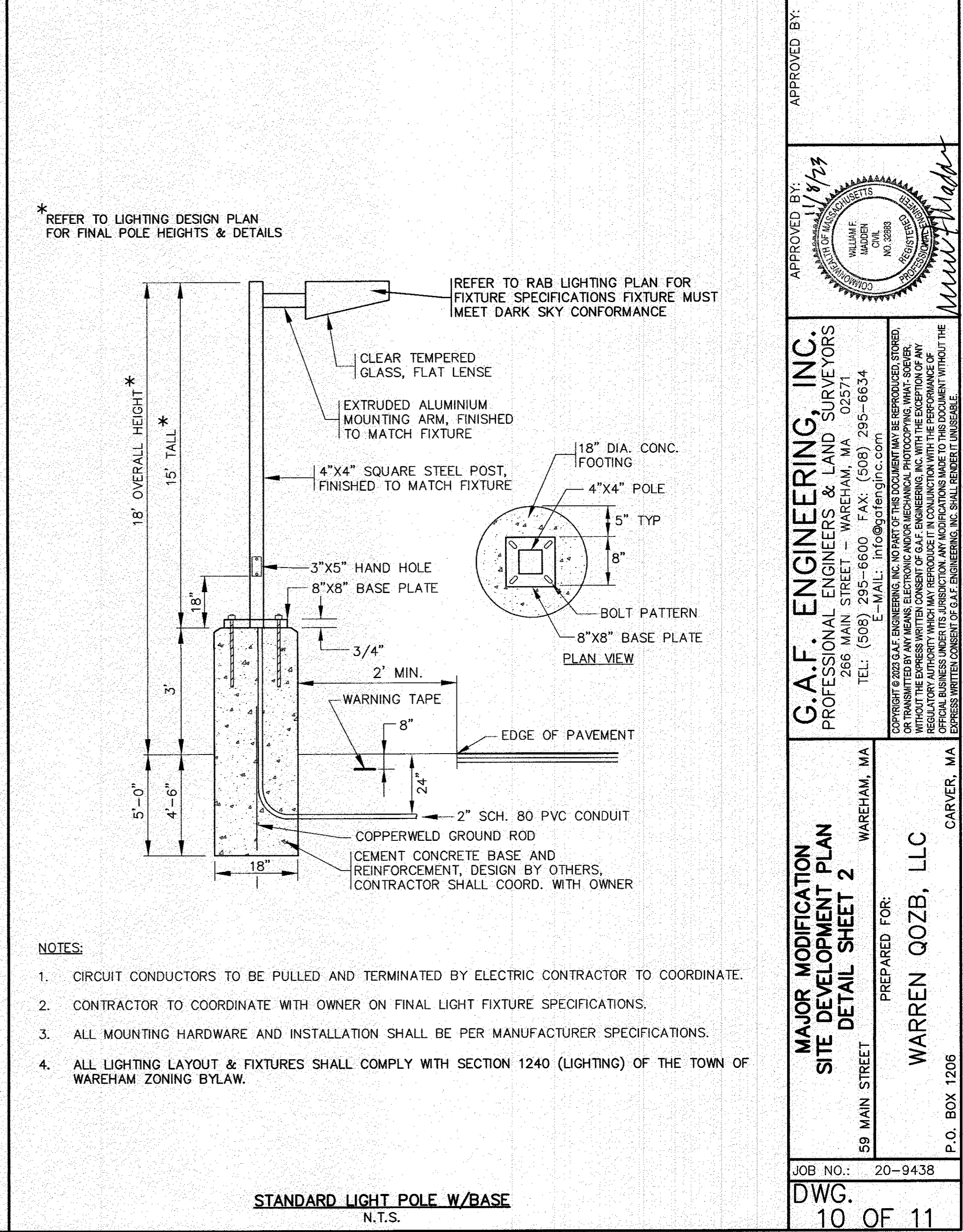
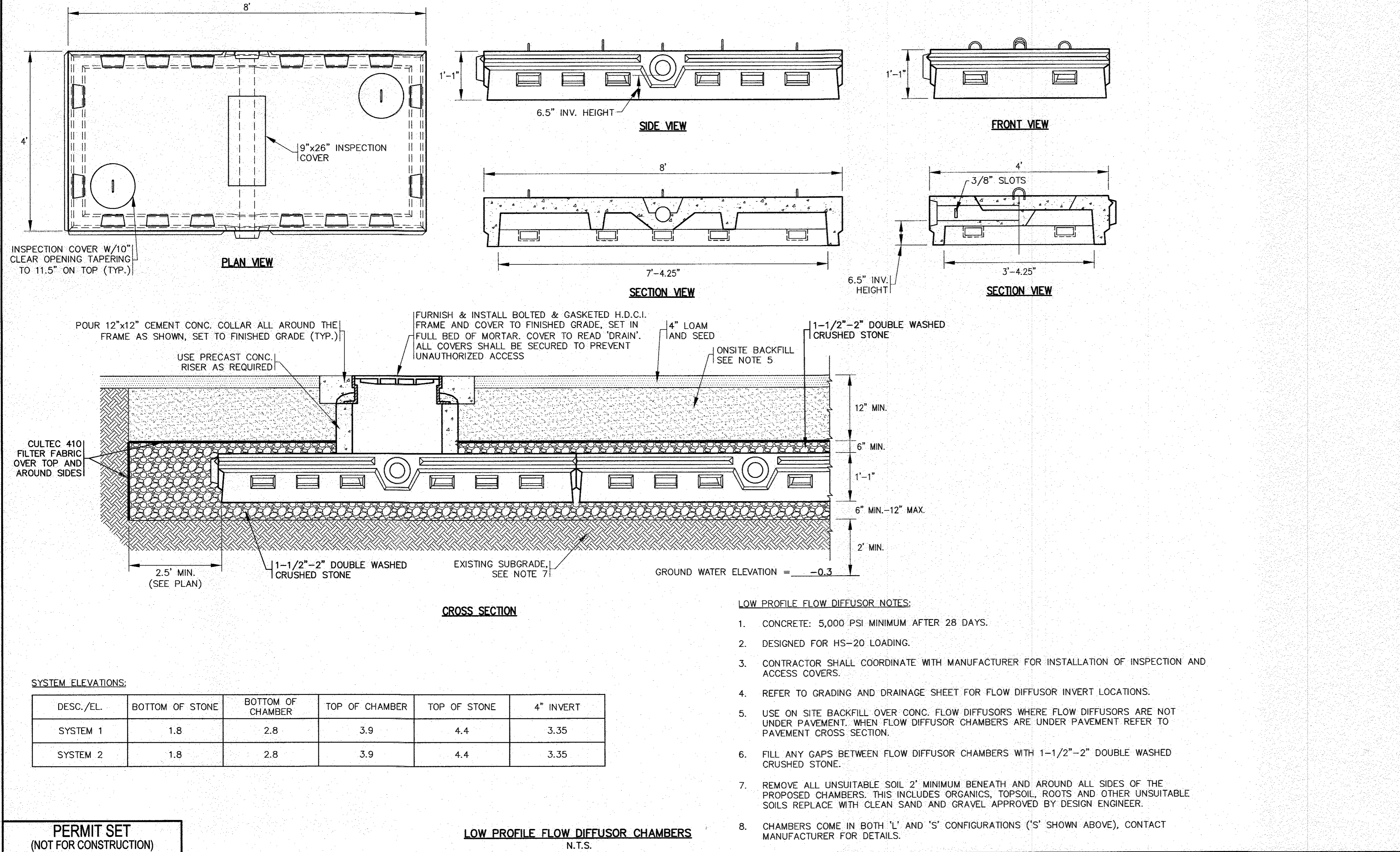
**JOB NO.:** 20-9438

**PERMIT SET (NOT FOR CONSTRUCTION)**

**DWG. 9 OF 11**



DATE	NOV. 22, 2021	MAJOR MODIFICATION
DRAWN BY	JMP	ADDED ENVROHOOD DETAIL, MISC. NOTES
CHECKED BY	WFM	SITE PLAN REVISIONS
JOB NO.	20-9436	PER PEER REVIEW COMMENTS
SCALE	N.T.S.	NO CHANGE THIS SHEET
REV	DATE	DESCRIPTION
6	11/8/23	JMP
5	7/5/23	JMP
4	6/23/22	JMP
3	2/15/22	WFM
2	1/18/22	JMP
1	1/4/22	JMP

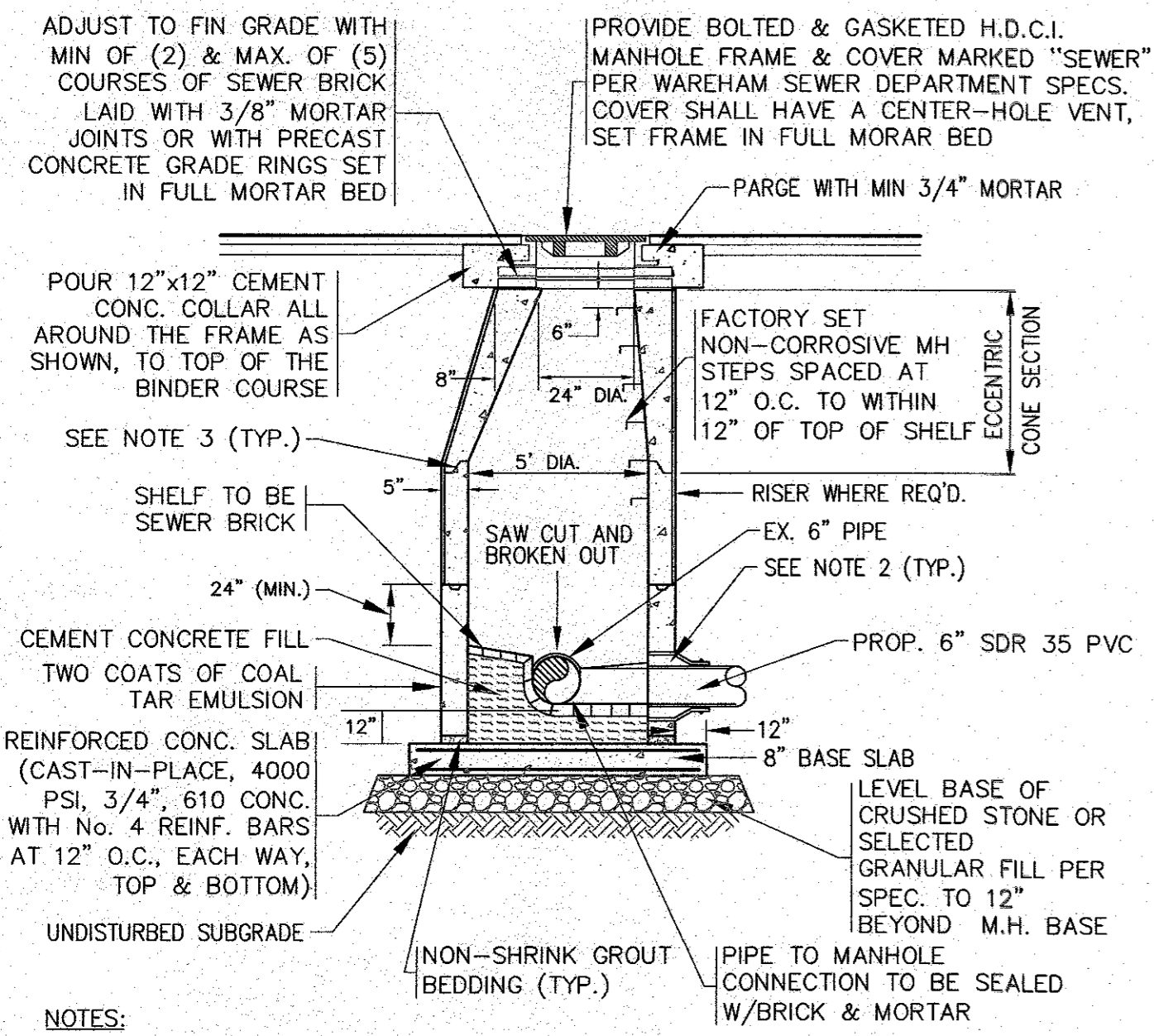


APPROVED BY: *William J. Quinn*  
11/8/23  
WILLIAM J. QUINN  
REGISTERED PROFESSIONAL ENGINEER  
NO. 23883  
STATE OF MASSACHUSETTS

**G.A.F. ENGINEERING, INC.**  
PROFESSIONAL ENGINEERS & LAND SURVEYORS  
286 MAIN STREET WAREHAM, MA 02571  
TEL: (508) 205-6600 FAX: (508) 295-6634  
E-MAIL: gaf@gef-engineering.com

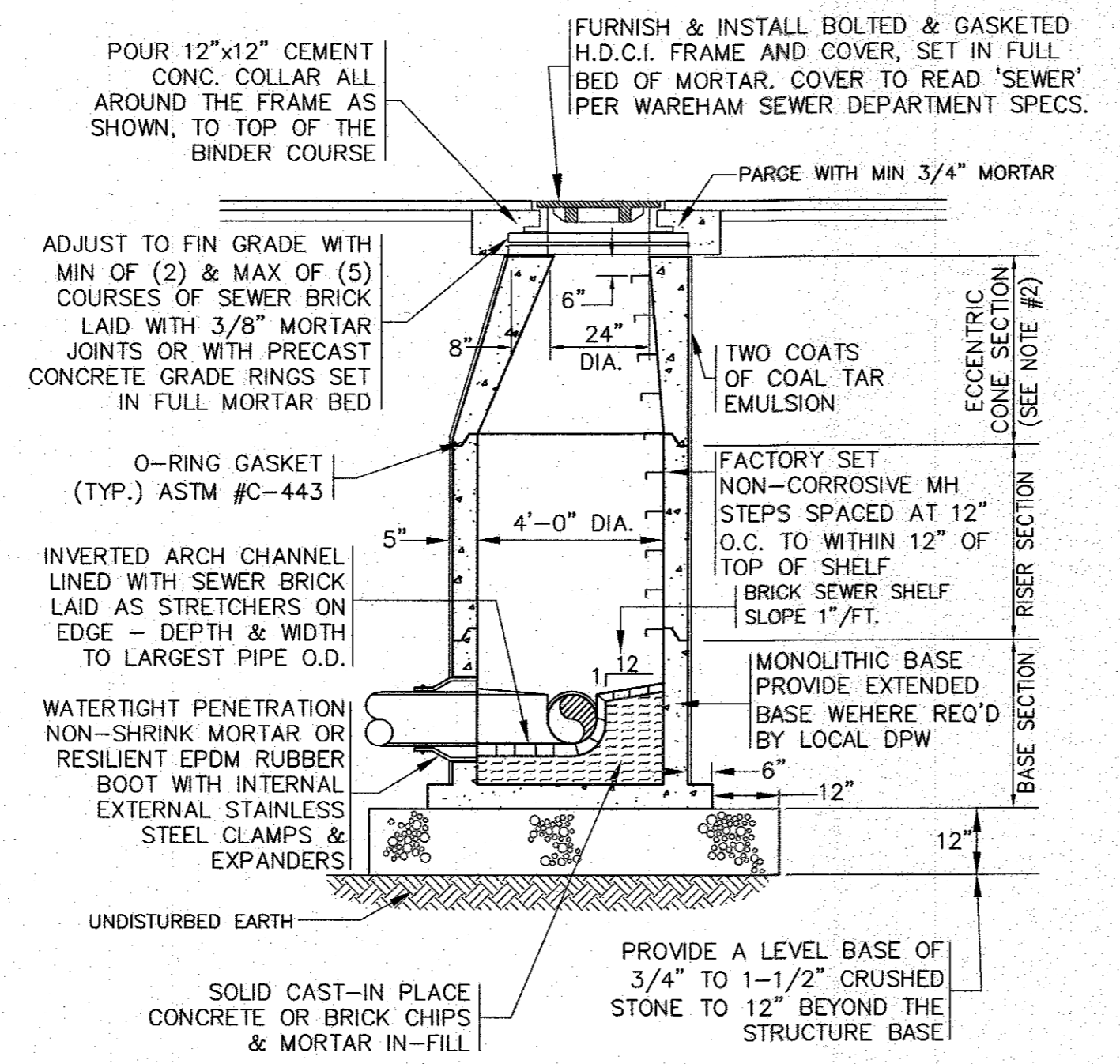
**WARREN QOZB, LLC**  
59 MAIN STREET WAREHAM, MA  
P.O. BOX 1206 CARYER, MA

MAJOR MODIFICATION SITE DEVELOPMENT PLAN DETAIL SHEET 2  
JOB NO.: 20-9438  
DWG. 10 OF 11



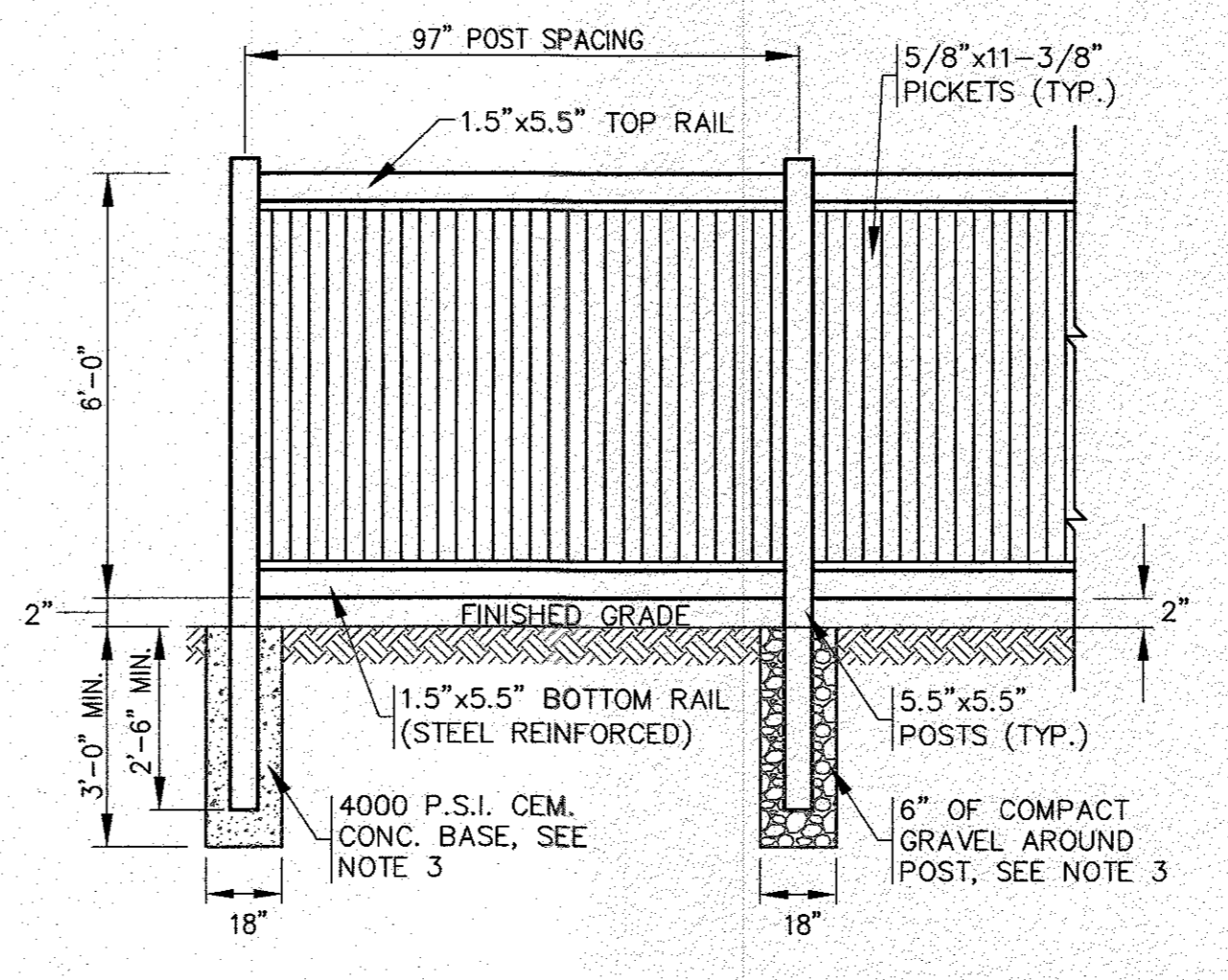
- NOTES:**
- ALL STRUCTURES SHALL BE PRECAST CONCRETE AND BE DESIGNED FOR HS-20 LOADING. SECTION HEIGHTS VARY.
  - USE WATERTIGHT PENETRATION NON-SHRINK MORTAR OR RESILIENT EPDM RUBBER BOOT WITH INTERNAL EXTERNAL STAINLESS STEEL CLAMPS & EXPANDERS.
  - ALL STRUCTURE JOINTS AND PENETRATIONS SHALL BE WATER TIGHT. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
  - REFER TO PLANS FOR PIPE SIZES, INVERTS, RIMS AND LOCATIONS.

**DOGHOUSE SEWER MANHOLE**  
N.T.S.



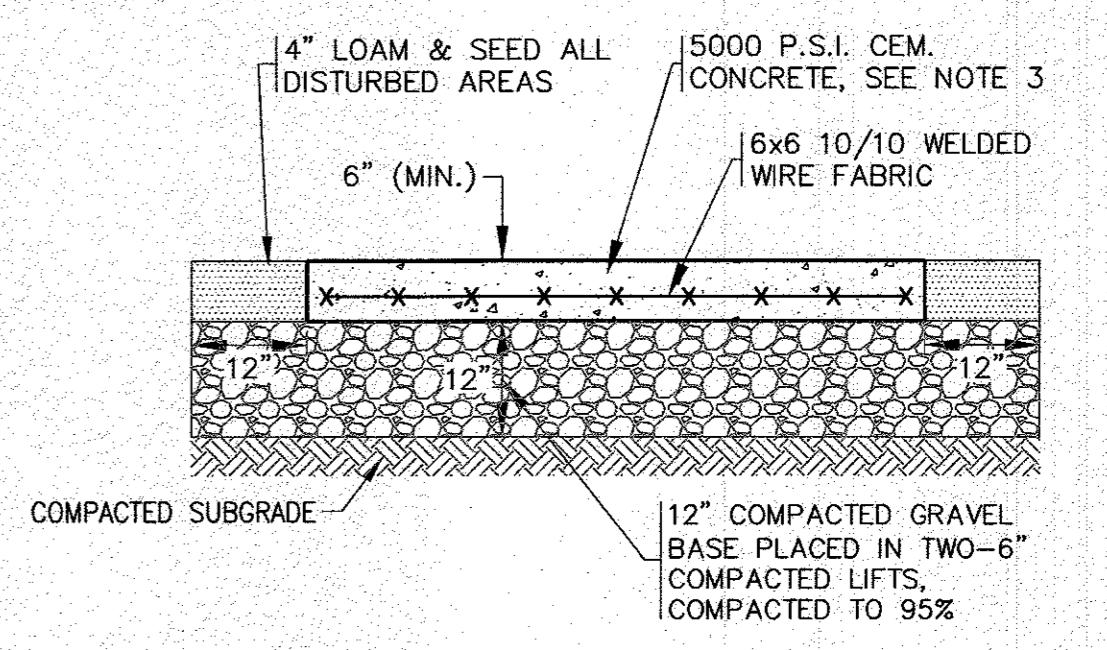
- NOTES:**
- ALL STRUCTURES SHALL BE PRECAST CONC. IN ACCORDANCE WITH ASTM C-478 WITH H-20 LOADING. SECTION HEIGHTS VARY.
  - FOR SHALLOW INSTALLATION AND WHEN APPROVED BY THE ENGINEER, FLAT TOP H-20 SLAB ALLOWED, SUBMIT SHOP DWGS.
  - ALL STRUCTURE JOINTS AND PENETRATIONS SHALL BE WATER TIGHT. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
  - REFER TO PLANS FOR PIPE SIZES, INVERTS, RIMS AND LOCATIONS.

**SEWER MANHOLE**  
N.T.S.



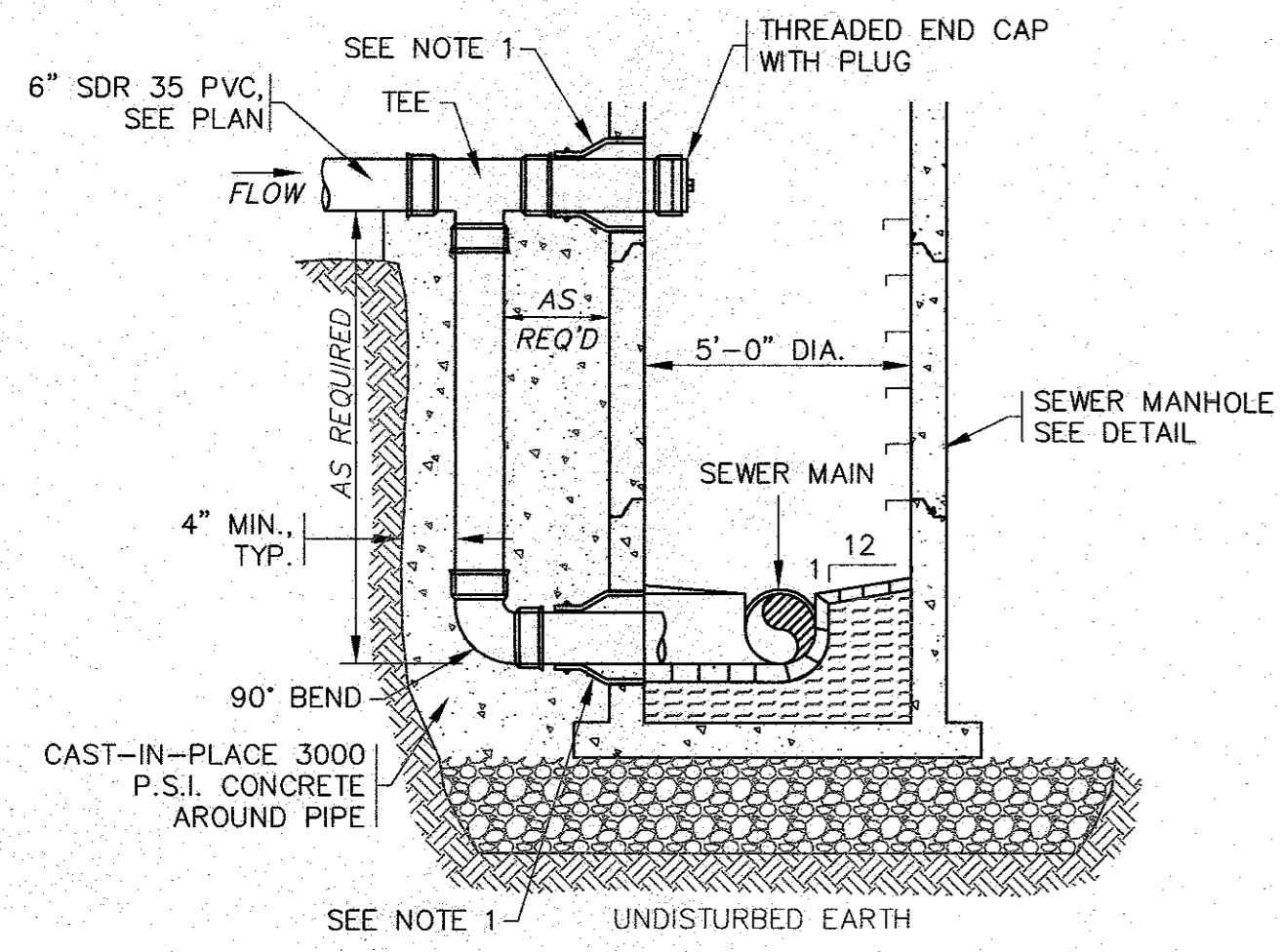
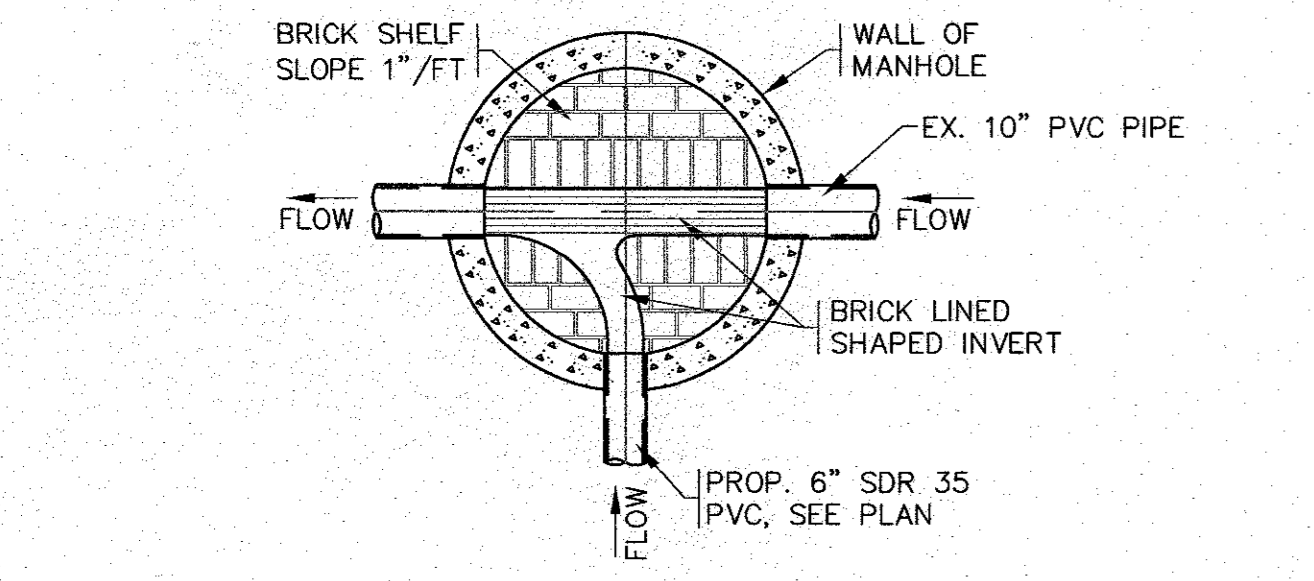
- NOTES:**
- REFER TO MANUFACTURERS SPECIFICATIONS FOR COMPLETE DETAILS AND INSTALLATION GUIDELINES.
  - REFER TO PLAN FOR LOCATIONS.
  - CEMENT CONCRETE BASE SHALL BE USED AT ALL ENDS, ANGLE POINTS AND GATE POSTS. POSTS SHALL BE INSTALLED TO A DEPTH OF 2'-6" MIN. OR TO A DEPTH AS REQUIRED FOR FROST ADEQUATE PROTECTION.

**VINYL FENCE DETAIL**  
N.T.S.



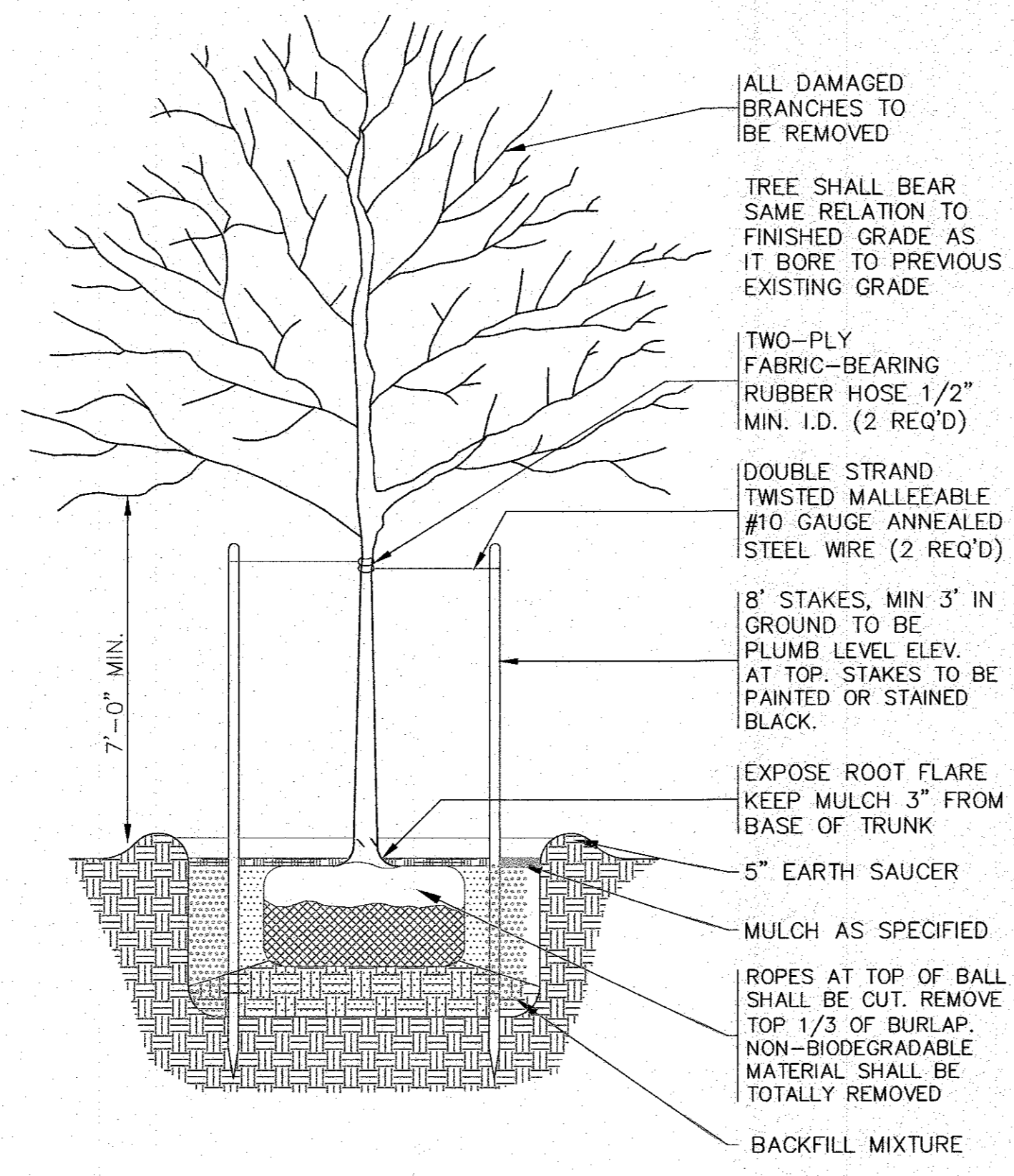
- NOTES:**
- CEMENT CONCRETE PAD SHALL BE 6" THICK.
  - CONSTRUCTION JOINTS TO BE SET AT INTERVALS OF 1/4 OF LENGTH.
  - STRENGTH OF THE CEMENT CONCRETE SHALL BE 5000 P.S.I. @ 28 DAYS.
  - SUBGRADE & BASE SHALL BE COMPACTED TO MINIMUM 95% MAXIMUM DRY DENSITY.
  - SEE PLAN FOR LOCATIONS.
  - SEE GRADING & DRAINAGE PLAN FOR ELEVATIONS.

**CEMENT CONCRETE LOADING AREA/DUMPSTER PAD**  
N.T.S.



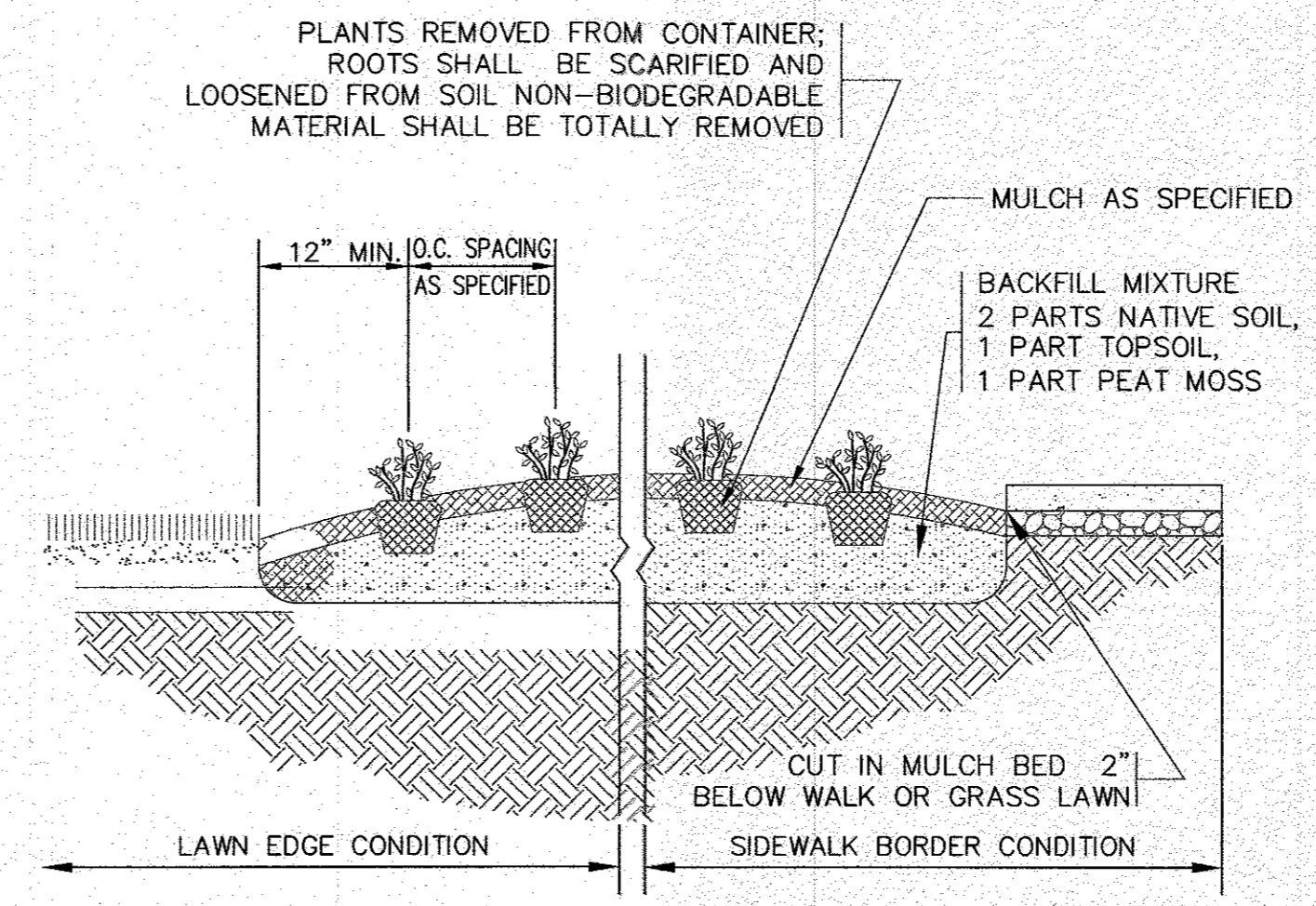
- NOTES:**
- USE WATERTIGHT PENETRATION NON-SHRINK MORTAR OR RESILIENT EPDM RUBBER BOOT WITH INTERNAL EXTERNAL STAINLESS STEEL CLAMPS & EXPANDERS.
  - ALL STRUCTURE JOINTS AND PENETRATIONS SHALL BE WATER TIGHT.
  - REFER TO PLANS FOR PIPE SIZES, INVERTS, RIMS AND LOCATIONS.

**OUTSIDE DROP - SEWER MANHOLE (IF REQUIRED)**  
N.T.S.

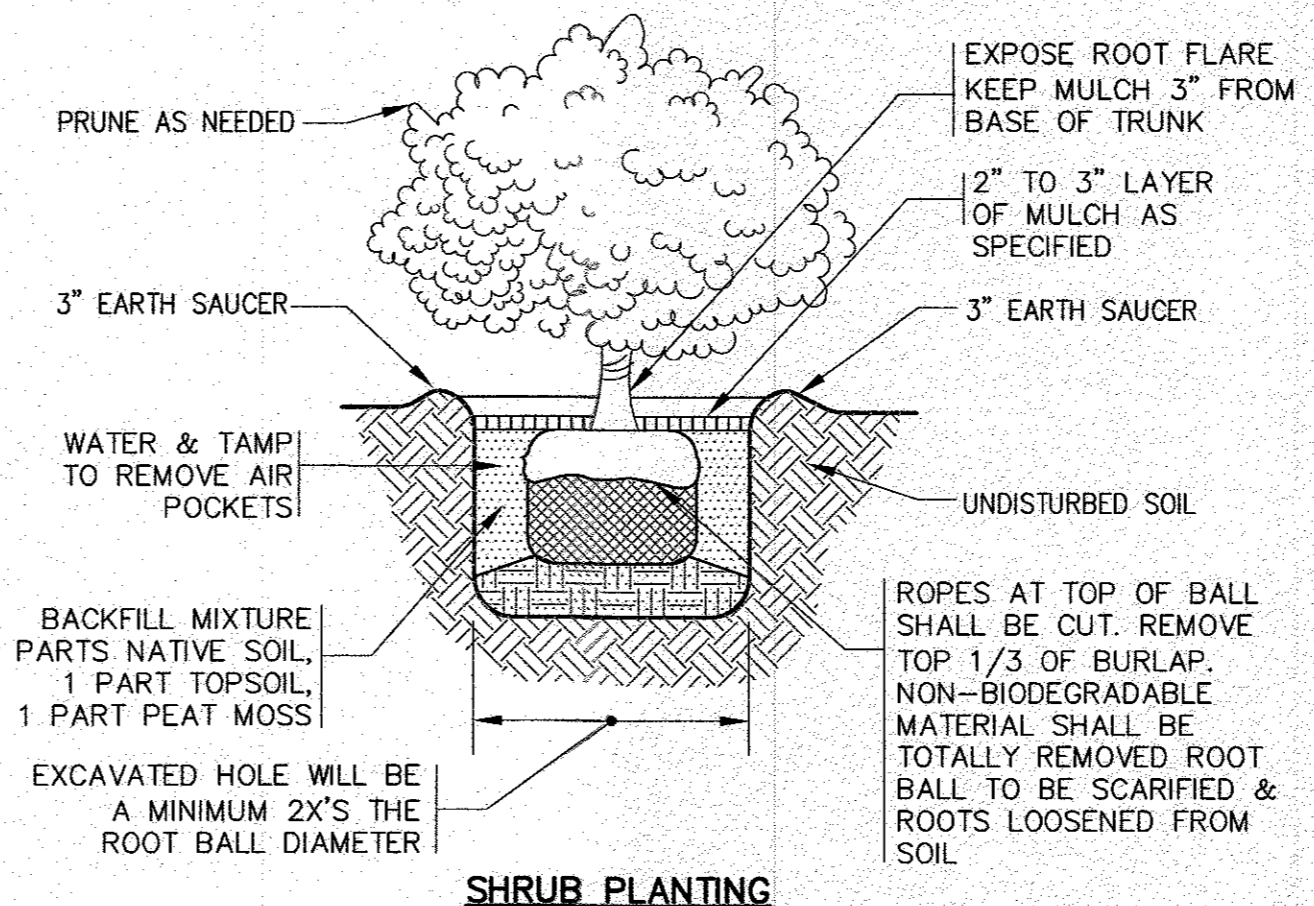


- NOTES:**
- REFER TO LANDSCAPING PLAN FOR PLANTING LOCATIONS.

**SHADE TREE PLANTING DETAIL**  
N.T.S.

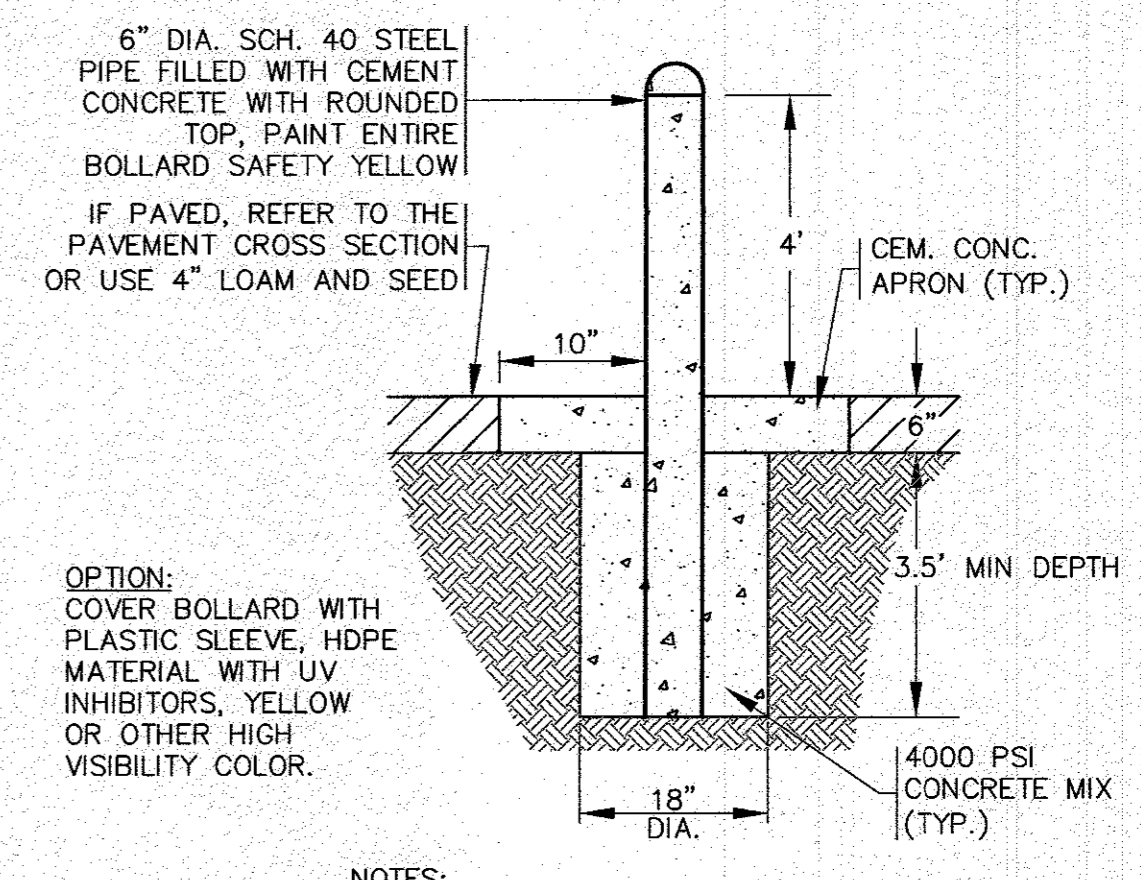


**GROUNDCOVER PLANTING DETAIL**  
N.T.S.



- NOTES:**
- ALL SIGNS, MARKINGS AND DIMENSIONS SHALL BE IN CONFORMANCE WITH THE MOST RECENT EDITIONS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), MISSDOT AND TOWN OF WAREHAM STANDARDS AND SPECIFICATIONS.
  - ALL HARDWARE USED SHALL BE CADMIUM OR ZINC PLATED.

**TYPICAL SIGN POST**  
N.T.S.

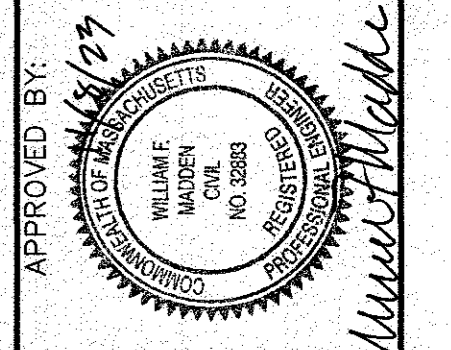


- NOTES:**
- SEE PLAN FOR LOCATIONS.

**TYPICAL BOLLARD DETAIL**  
N.T.S.

PERMIT SET  
(NOT FOR CONSTRUCTION)

NO.	DATE	BY	DESCRIPTION
6	11/9/23	JMP	MAJOR MODIFICATION
5	7/5/23	JMP	NO CHANGE THIS SHEET
4	6/23/22	JMP	SITE PLAN REVISIONS
3	2/15/22	WFM	ADDED CEM. CONC. LOADING AREA DETAIL
2	1/18/22	JMP	PER PEER REVIEW COMMENTS
1	1/4/22	JMP	NO CHANGE THIS SHEET
REV.	DATE	BY	APP'D



APPROVED BY: *[Signature]*

**G.A.F. ENGINEERING, INC.**  
PROFESSIONAL ENGINEERS & LAND SURVEYORS  
266 MAIN STREET - WAREHAM, MA 02571  
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MAJOR MODIFICATION  
SITE DEVELOPMENT PLAN  
DETAIL SHEET 3

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