

CONSTRUCTION OF THE WAREHAM DOG PARK

74 MAPLE SPRINGS RD
WAREHAM, MA 02538

TOWN OF WAREHAM, MASSACHUSETTS

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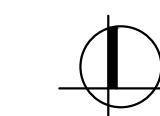


- FOR ILLUSTRATION PURPOSES ONLY -

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Locus Map



DOG PARK VICINITY MAP
WAREHAM, MA 02538







BID DOCUMENTS

MARCH 2022

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design studio

L001

LEGEND

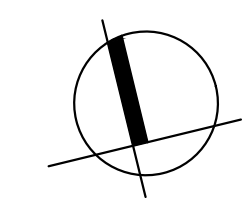
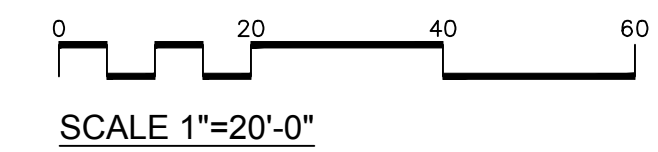
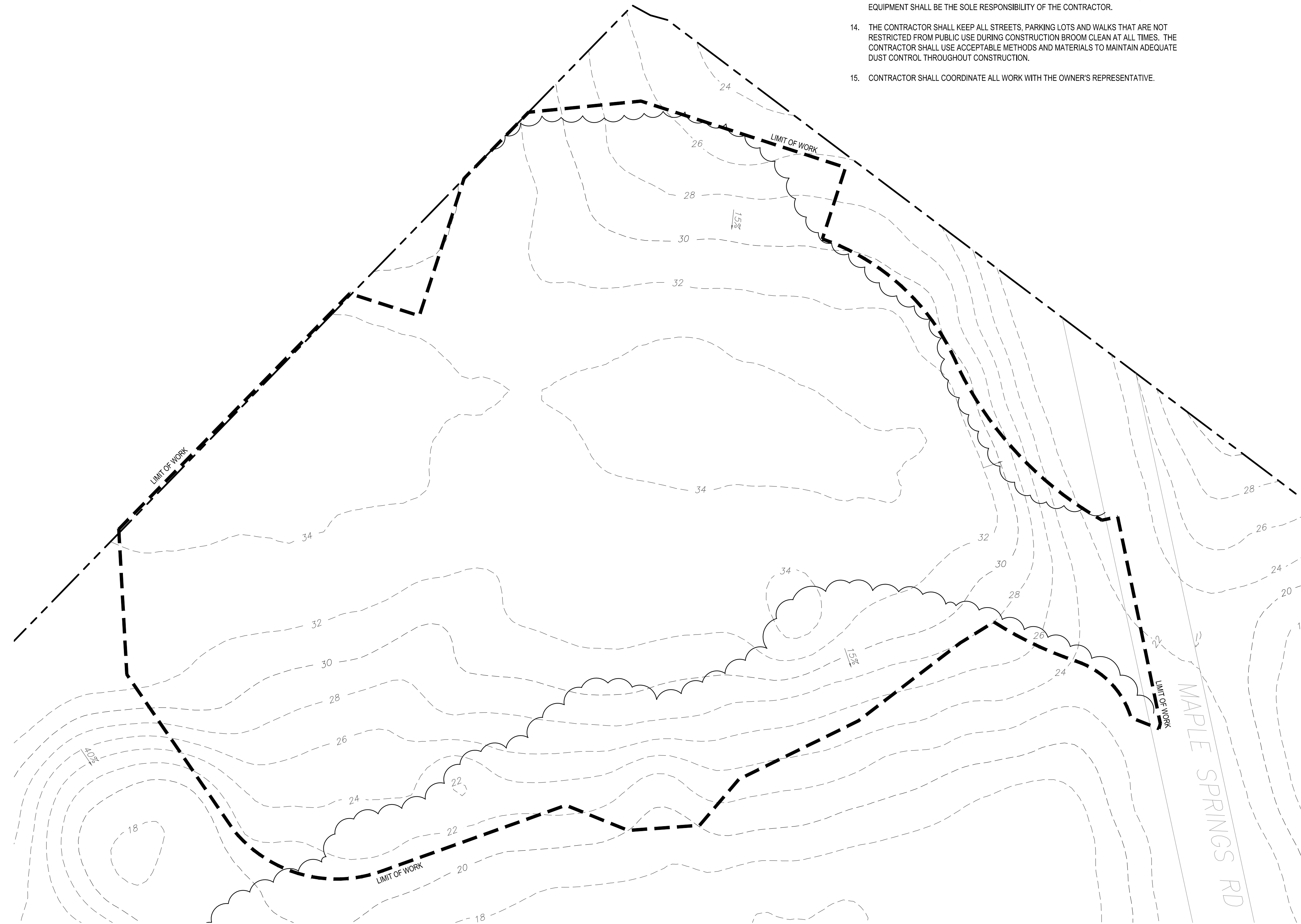
-  PROPERTY LINE
-  LIMIT OF WORK
-  APPROXIMATE EXISTING FOREST
-  EXISTING MINOR CONTOUR LINE
-  EXISTING MAJOR CONTOUR LINE
-  EXISTING SLOPE

SPECIAL NOTES:

1. GENERAL CONTRACTOR (G.C.) SHALL VISIT THE SITE AND VERIFY EXACT SITE CONDITIONS AND EXTENT OF WORK COMPLETED BY THE TOWN PRIOR TO COMMENCING WORK.
2. EXISTING CONDITIONS INFORMATION IS COMPILED BASED ON GIS INFORMATION TO REPRESENT ESTIMATED CURRENT CONDITIONS AT THE SITE.
3. IT IS IMPORTANT TO NOTE, THIS EXISTING CONDITIONS INFORMATION IS NOT EXACT AND IS BASED UPON UNVERIFIED PLAN INFORMATION. ALL INFORMATION SHOWN IS APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD BY CONTRACTOR.

GENERAL NOTES:

1. ALL BIDDERS ARE EXPECTED TO INSPECT THE PROJECT SITE IN ITS ENTIRETY PRIOR TO SUBMITTING THEIR BID, AND BECOME FAMILIAR WITH ALL CONDITIONS AS THEY MAY AFFECT THEIR BID. CONTRACTOR AND SUB-CONTRACTOR SHALL BE FAMILIAR WITH ALL DRAWINGS AND SPECIFICATIONS PRIOR TO COMMENCING THE CONSTRUCTION.
2. LOCATIONS OF ANY UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF SUCH UTILITIES, PROTECTING ALL EXISTING UTILITIES AND REPAIRING ANY DAMAGE DONE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ON-SITE COORDINATION WITH UTILITY COMPANIES AND PUBLIC AGENCIES AND FOR OBTAINING ALL REQUIRED PERMITS AND PAYING ALL REQUIRED FEES. IN ACCORDANCE WITH M.G.L. CHAPTER 82, SECTION 40, INCLUDING AMENDMENTS, CONTRACTORS SHALL NOTIFY ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES IN WRITING PRIOR TO EXCAVATION. CONTRACTOR SHALL ALSO CALL "DIG SAFE" AT (888) 344-7233 NO LESS THAN 72 HOURS, (EXCLUSIVE OF WEEKENDS AND HOLIDAYS), PRIOR TO SUCH EXCAVATION. DOCUMENTATION OF REQUESTS SHALL BE PROVIDED TO OWNERS REPRESENTATIVE PRIOR TO EXCAVATION WORK.
3. ANY DISCREPANCIES OR CONFLICTS BETWEEN THE DRAWINGS AND EXISTING CONDITIONS, EXISTING CONDITIONS TO REMAIN, TEMPORARY CONSTRUCTION, PERMANENT CONSTRUCTION AND WORK OF ADJACENT CONTRACTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE BEFORE PROCEEDING. ITEMS ENCOUNTERED IN AREAS OF EXCAVATION THAT ARE NOT INDICATED ON THE DRAWINGS, BUT ARE VISIBLE ON SURFACE, SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE REMOVED AT NO ADDITIONAL COST TO THE OWNER.
4. ANY ALTERATIONS TO THESE DRAWINGS MADE IN THE FIELD DURING CONSTRUCTION SHALL BE RECORDED BY THE GENERAL CONTRACTOR ON "AS-BUILT" DRAWINGS.
5. ALL AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS OUTSIDE THE PROJECT LIMITS, SHALL BE RESTORED TO THE ORIGINAL CONDITION BY THE CONTRACTOR AT NO ADDITIONAL COST AND TO THE SATISFACTION OF THE OWNER.
6. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT HIS EMPLOYEES, AS WELL AS PUBLIC USERS FROM INJURY DURING THE ENTIRE CONSTRUCTION PERIOD USING ALL NECESSARY SAFEGUARDS, INCLUDING BUT NOT LIMITED TO, THE ERECTION OF TEMPORARY FENCES, WALKS, STRUCTURES, PROTECTIVE BARRIERS, OR COVERING AS NEEDED.
7. THE CONTRACTOR SHALL SUPPLY THE OWNER WITH THE NAME OF THE OSHA "COMPETENT PERSON" PRIOR TO CONSTRUCTION.
8. FILLING OF EXCAVATED AREAS SHALL NOT TAKE PLACE WITHOUT THE PRESENCE OR PERMISSION OF THE OWNER'S REPRESENTATIVE.
9. EXISTING TREES TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES. NO STOCKPILING OF MATERIAL, EQUIPMENT OR VEHICULAR TRAFFIC SHALL BE ALLOWED WITHIN THE DRIP LINE OF TREES TO REMAIN. NO GUIDES SHALL BE ATTACHED TO ANY TREE TO REMAIN. WHEN NECESSARY OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE, THE CONTRACTOR SHALL ERECT TEMPORARY BARRIERS FOR THE PROTECTION OF EXISTING TREES DURING CONSTRUCTION.
10. NO FILLING SHALL OCCUR AROUND EXISTING TREES TO REMAIN WITHOUT THE APPROVAL OF THE OWNER OR OWNER'S REPRESENTATIVE.
11. ALL EXISTING DRAINAGE FACILITIES TO REMAIN SHALL BE MAINTAINED FREE OF DEBRIS, SOIL, SEDIMENT, AND FOREIGN MATERIAL AND OPERATIONAL THROUGHOUT THE LIFE OF THE CONTRACT. REMOVE ALL SOIL, SEDIMENT, DEBRIS AND FOREIGN MATERIAL FROM ALL DRAINAGE STRUCTURES, INCLUDING BUT NOT LIMITED TO, DRAINAGE INLETS, MANHOLES AND CATCH BASINS WITHIN THE LIMIT OF WORK AND DRAINAGE STRUCTURES OUTSIDE THE LIMIT OF WORK THAT ARE IMPACTED BY THE WORK FOR THE ENTIRE DURATION OF CONSTRUCTION.
12. CONTRACTOR'S STAGING AREA MUST BE WITHIN THE PROPERTY LIMIT LINE AND IN AREAS APPROVED BY OWNER OR OWNER'S REPRESENTATIVE. ANY OTHER AREAS THAT THE CONTRACTOR MAY WISH TO USE FOR STAGING MUST BE COORDINATED WITH THE OWNER OR OWNER'S REPRESENTATIVE.
13. THE STORAGE OF MATERIALS AND EQUIPMENT WILL BE PERMITTED AT LOCATIONS DESIGNATED BY OWNER OR OWNER'S REPRESENTATIVE. PROTECTION OF STORED MATERIALS AND EQUIPMENT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
14. THE CONTRACTOR SHALL KEEP ALL STREETS, PARKING LOTS AND WALKS THAT ARE NOT RESTRICTED FROM PUBLIC USE DURING CONSTRUCTION BROOM CLEAN AT ALL TIMES. THE CONTRACTOR SHALL USE ACCEPTABLE METHODS AND MATERIALS TO MAINTAIN ADEQUATE DUST CONTROL THROUGHOUT CONSTRUCTION.
15. CONTRACTOR SHALL COORDINATE ALL WORK WITH THE OWNER'S REPRESENTATIVE.



Project:
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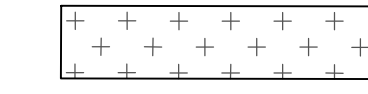
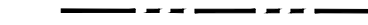


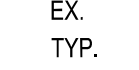

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Drawing Title:
**EXISTING
CONDITIONS PLAN**

Sheet Number:
L100

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LEGEND

-  PROPERTY LINE
-  LIMIT OF WORK
-  EXISTING FOREST
-  CLEAR AND GRUB, STRIP, SCREEN, AND STOCKPILE EXISTING TOPSOIL
-  COMPOST FILTER TUBE
-  CONSTRUCTION ENTRANCE
-  TREE PROTECTION
-  EX. TYP. R&D
-  EXISTING TYPICAL REMOVE & DISPOSE

EROSION AND SEDIMENT CONTROL NOTES:

1. THE TOWN SHALL PUT INTO PLACE ALL SEDIMENT AND EROSION CONTROL DEVICES PRIOR TO BEGINNING ANY CONSTRUCTION OR DEMOLITION. REFER TO SPECIFICATIONS AND DETAILS FOR TYPE OF EROSION AND SEDIMENT CONTROL.
2. UPON COMPLETE INSTALLATION BY THE TOWN AND UPON MOBILIZATION BY THE CONTRACTOR, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTINUAL MAINTENANCE OF ALL SEDIMENT CONTROL DEVICES THROUGHOUT THE DURATION OF THE PROJECT.
3. THE TOWN SHALL MEET ALL OF THE STATE OF MASSACHUSETTS D.E.P. AND THE TOWN OF WAREHAM ORDINANCE REGULATIONS FOR SEDIMENT AND EROSION CONTROL.
4. THE TOWN SHALL SURROUND EXCAVATED MATERIAL STOCKPILED ON THE SITE BY EROSION CONTROL FENCE. THE LIMITS OF ALL GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE APPROVED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THE LIMIT OF CONSTRUCTION SHALL REMAIN TOTALLY UNDISTURBED UNLESS OTHERWISE APPROVED BY OWNER'S REPRESENTATIVE.
5. THE TOWN SHALL PROTECT ALL CATCH BASINS AND DRAIN GRATES WITHIN LIMIT OF CONTRACT WITH FILTER FABRIC DURING THE ENTIRE DURATION OF CONSTRUCTION.
6. THE TOWN SHALL INSTALL EROSION CONTROL BARRIERS AT THE TOE OF SLOPES. SEE GRADING & DRAINAGE PLANS, NOTES, DETAILS AND SPECIFICATIONS.
7. THE CONTRACTOR SHALL PROVIDE DUST CONTROL FOR CONSTRUCTION OPERATIONS AS APPROVED BY OWNER OR OWNER'S REPRESENTATIVE.
8. UPON MOBILIZATION BY THE CONTRACTOR, THE CONTRACTOR SHALL MAINTAIN ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC/Private ROADS.

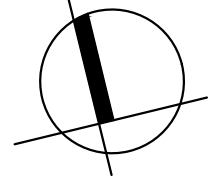
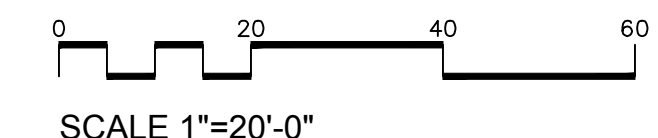
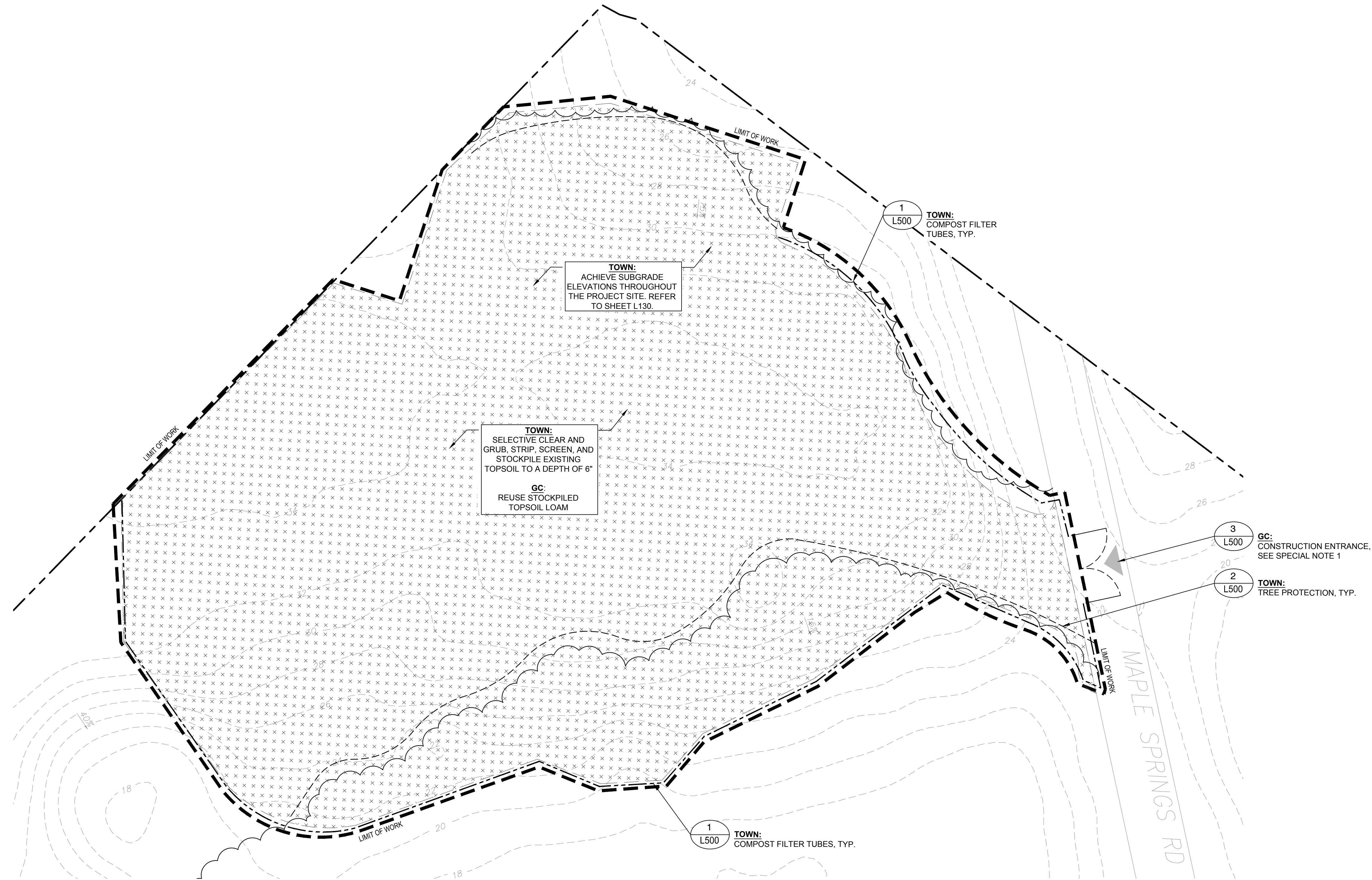
DEMOLITION & SITE PREPARATION NOTES:

1. THE TOWN SHALL BE RESPONSIBLE TO RESTORE SUCH ITEMS IF THEY ARE SCHEDULED TO REMAIN AS PART OF THE FINAL SITE IMPROVEMENTS. REFER TO PLANS TO COORDINATE EXCAVATION, DEMOLITION AND TO DETERMINE THE LOCATION OF THE PROPOSED SITE IMPROVEMENTS.
2. THE OWNER RESERVES THE RIGHT TO REVIEW ALL MATERIALS DESIGNATED FOR REMOVAL AND TO RETAIN OWNERSHIP OF SUCH MATERIALS. IF THE OWNER RETAINS ANY MATERIAL THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE OWNER TO HAVE THOSE MATERIALS REMOVED OFF SITE AT NO ADDITIONAL COST.
3. UNLESS SPECIFICALLY NOTED TO BE REMOVED AND STOCKPILED (R&S) OR REUSED AND RELOCATED (R&R), ALL SITE FEATURES CALLED TO BE REMOVED AND DEMOLISHED (R&D) SHALL BE REMOVED WITH THEIR FOOTINGS, ATTACHMENTS, BASE MATERIAL, ETC., TRANSPORTED FROM THE SITE TO BE DISPOSED OF IN A LAWFUL MANNER AT AN ACCEPTABLE DISPOSAL SITE AND AT NO COST TO THE OWNER.
4. THE CONTRACTOR SHALL PROTECT ALL EXISTING SITE FEATURES TO REMAIN THROUGHOUT THE CONSTRUCTION PERIOD. ANY FEATURES DAMAGED DURING CONSTRUCTION OPERATIONS SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST.
5. DURING EARTHWORK OPERATIONS, BOTH THE TOWN AND CONTRACTOR SHALL TAKE CARE TO NOT DISTURB EXISTING MATERIALS TO REMAIN, OUTSIDE THE LIMITS OF EXCAVATION AND BACKFILL AND SHALL TAKE WHATEVER MEASURES NECESSARY, AT THE CONTRACTOR'S EXPENSE, TO PREVENT ANY EXCAVATED MATERIAL FROM COLLAPSING. ALL BACKFILL MATERIALS SHALL BE PLACED AND COMPACTED AS SPECIFIED TO THE SUBGRADE REQUIRED FOR THE INSTALLATION OF THE REMAINDER OF THE CONTRACT WORK.

6. THE TOWN SHALL REMOVE ALL ITEMS CALLED FOR REMOVAL TO FULL DEPTH INCLUDING ALL FOOTINGS, FOUNDATIONS, AND OTHER APPURTENANCES, EXCEPT AS SPECIFICALLY NOTED OTHERWISE.
7. STRIP & STORE EXISTING TOPSOIL FOR LATER REUSE AS INDICATED ON PLANS WITH APPROPRIATE EROSION AND SEDIMENT CONTROLS. THE TOWN AND CONTRACTOR SHALL COORDINATE AND CONFIRM THAT THE SOIL IS SUITABLE FOR REUSE.
8. THE CONTRACTOR MAY REUSE LOAM BORROW/ TOPSOIL AS GENERAL FILL BUT SHALL BE BLENDED WITH SUITABLE BORROW MATERIAL AS SPECIFIED.
9. TOWN AND THE CONTRACTOR SHALL PROTECT EXISTING TREES AND OTHER PLANT MATERIALS TO REMAIN.

SPECIAL NOTE (SITE SECURITY):

1. THE CONTRACTOR SHALL OWN SITE SECURITY IN ITS ENTIRETY. THE CONTRACTOR SHALL PROTECT THE SITE FROM TRESPASSERS, VANDALS, AND ANY OTHER UNLAWFUL ACTIVITY BY THEIR OWN MEANS. PROTECTION MEASURES CAN INCLUDE BUT ARE NOT LIMITED TO 6' HT. CONSTRUCTION FENCE AT OBVIOUS SITE ACCESS POINTS AND/OR PROJECT SITE PERIMETER.



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SITE PREPARATION AND DEMOLITION PLAN

Sheet Number:
L110

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LEGEND

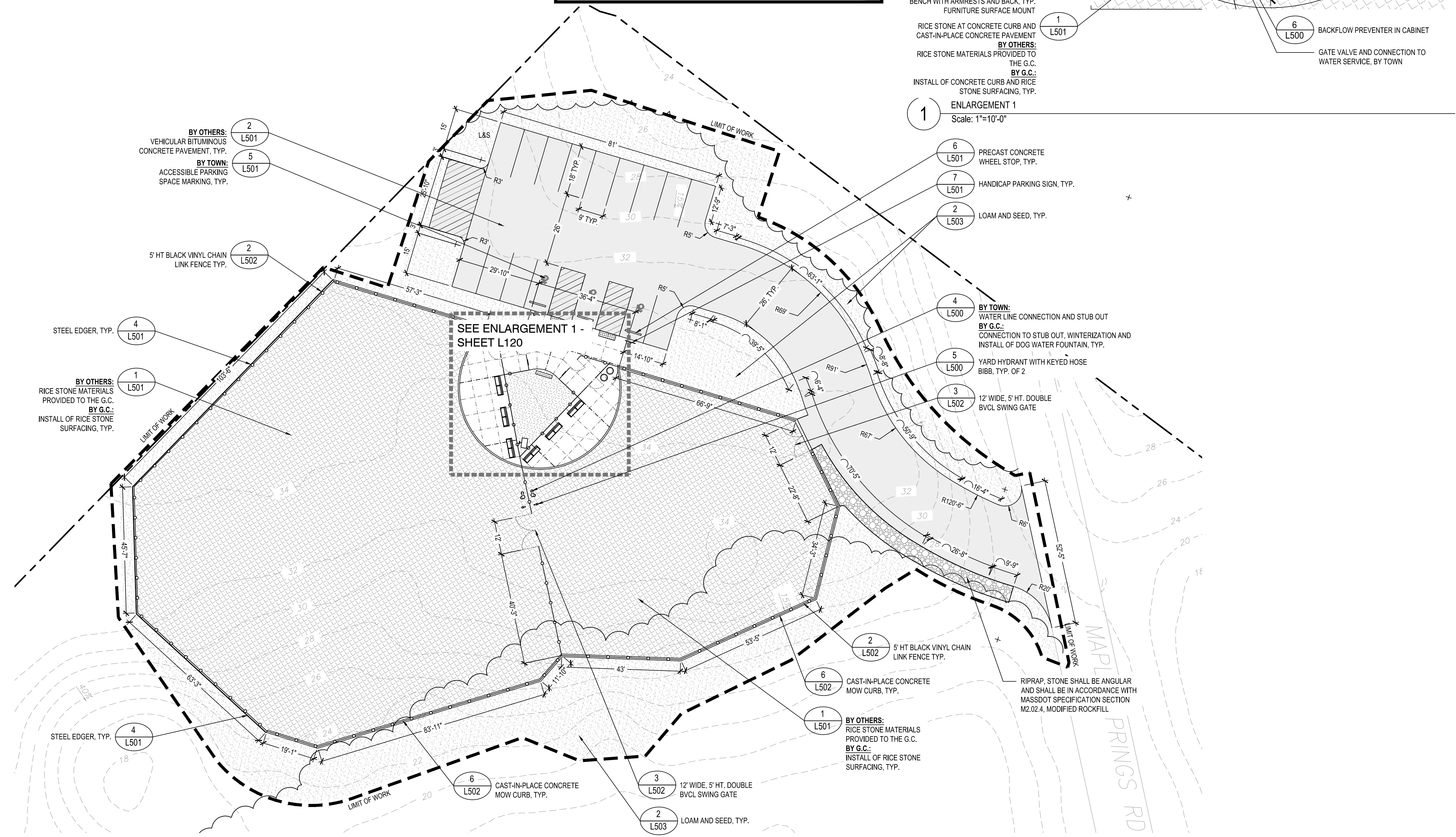
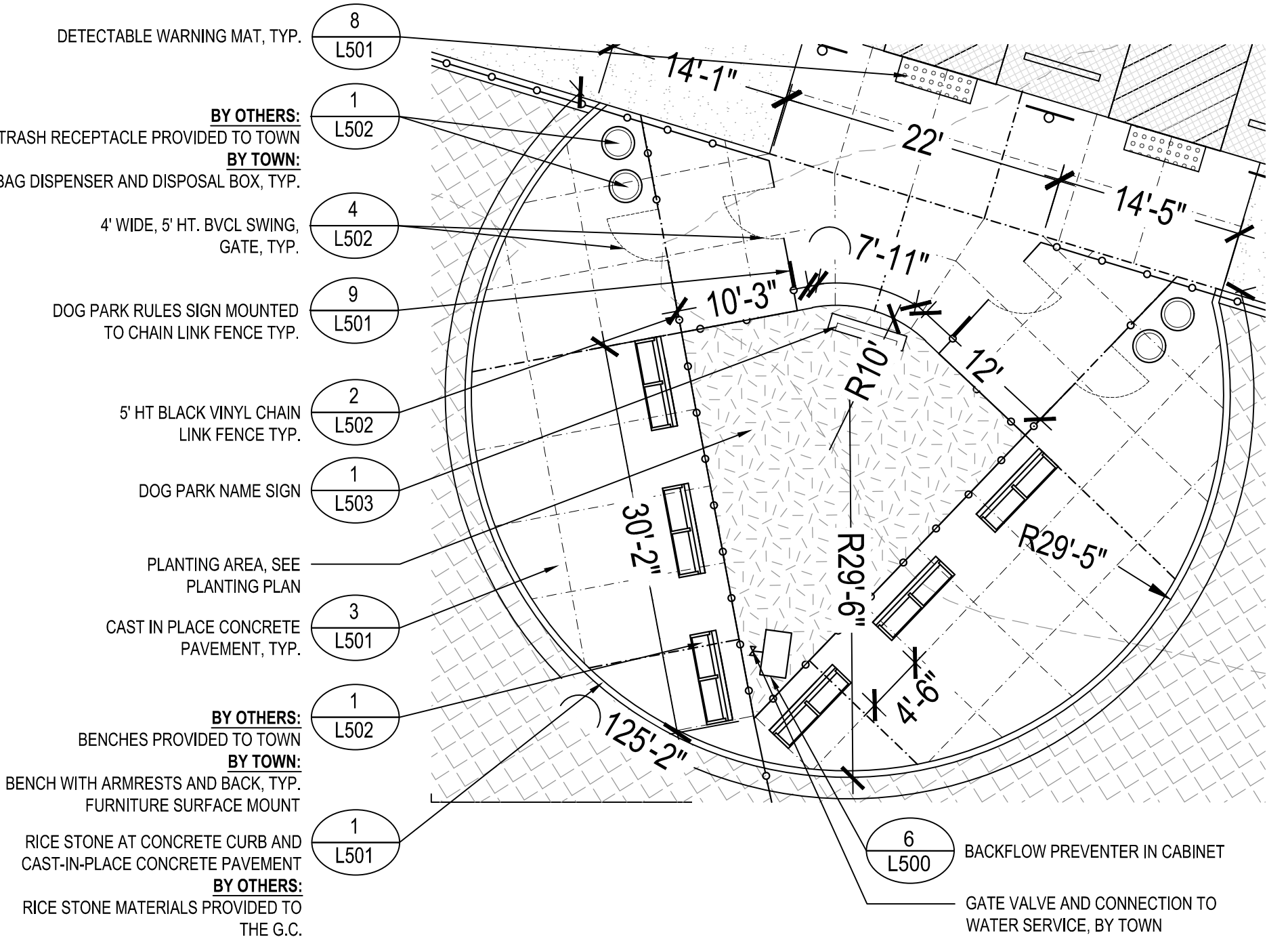
	PROPERTY LINE		DOG BAG DISPENSER AND DISPOSAL BOX
	LIMIT OF WORK		HANDICAP PARKING SPACE SIGN
	EXISTING FOREST		BENCH TYP. FURNITURE SURFACE MOUNT
	5' HT BLACK VINYL CHAIN LINK FENCE		
	STEEL EDGER		
	EXPANSION JOINT (E.J.)		
	SCORE JOINT (S.J.)		
	VEHICULAR BITUMINOUS CONCRETE PAVEMENT		
	CIP CONCRETE PAVEMENT		
	RICE STONE SURFACING		
	LOAM AND SEED		
	PLANTING AREA		

MATERIALS & LAYOUT NOTES

- REFER TO EXISTING CONDITIONS PLAN FOR BASE PLAN NOTES.
- REFER TO PLANTING PLAN FOR PLANTING TYPES AND LOCATIONS.
- COORDINATE ALL LAYOUT ACTIVITIES WITH THE SCOPE OF WORK CALLED FOR BY DEMOLITION, GRADING AND UTILITIES OPERATIONS ENCOMPASSED BY THIS CONTRACT. SET, PROTECT AND REPLACE REFERENCE STAKES AS NECESSARY OR AS REQUIRED.
- ALL WORK SHALL BE PERFORMED BY CONTRACTOR UNLESS SPECIFICALLY INDICATED THAT THE WORK WILL BE PERFORMED "BY TOWN" OR "BY OTHERS".
- ALL LAYOUT LINES, OFFSETS, OR REFERENCES TO LOCATING OBJECTS ARE EITHER PARALLEL OR PERPENDICULAR UNLESS OTHERWISE DESIGNATED WITH ANGLE OFFSETS NOTED.
- ALL PROPOSED SITE FEATURES SHALL BE LAID OUT AND STAKED FOR REVIEW AND APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF INSTALLATION. ANY ADJUSTMENTS TO THE LAYOUT SHALL BE UNDERTAKEN AS REQUIRED, AT NO ADDITIONAL COST TO THE OWNER.
- ALL PROPOSED PAVEMENTS SHALL MEET THE LINE AND GRADE OF EXISTING ADJACENT PAVEMENT SURFACES. ALL PATHWAY WIDTHS SHALL BE AS NOTED ON THE LAYOUT AND MATERIALS PLAN.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE GROUND AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD MEASUREMENT OF ALL PROPOSED FENCES AND GATES.
- THE DEPTH OF LOAM BORROW FOR ALL PROPOSED LAWN AREAS SHALL BE 6" MINIMUM. ALL DISTURBED AREAS SHALL BE RESTORED WITH LOAM AND SEED UNLESS OTHERWISE NOTED.
- ALL REFERENCES TO LOAM AND SEED (L&S) REFER TO HYDROMULCH SEEDED LAWN. SEE HYDROMULCH SEED SPECIFICATION.
- REFER TO DETAIL DRAWINGS FOR CONSTRUCTION DETAILS.

SPECIAL NOTES (WATER SERVICE):

- THE TOWN OF WAREHAM SHALL BE RESPONSIBLE FOR THE TAPPING OF AN EXISTING WATER MAIN (OFF PREMISES) AND INSTALLATION OF A NEW WATER SERVICE FEED TO THE PROJECT SITE, AS INDICATED ON THE PLAN. WORK SHALL INCLUDE INSTALLATION OF ALL PIPING AND APPURTENANCES AND BACKFILLING OF THE TRENCH TO SUBGRADE ELEVATIONS. THE PIPE IS TO BE STUBBED WHERE INDICATED.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL ALL REMAINING WATER SERVICE COMPONENTS, FROM THE POINT OF THE STUB INSTALLED BY THE TOWN TO INCLUDE PIPING, APPURTENANCES, BACKFLOW PREVENTER AND CABINET, DOG AND HUMAN DRINKING FOUNTAIN, HOSE BIBS AND RELATED ELEMENTS REQUIRED TO MAKE ALL INSTALLATIONS COMPLETE, FUNCTIONAL, AND CODE COMPLIANT. PIPE SHALL BE ONE-INCH (1") AS NOTED ON THE PLAN.



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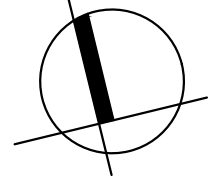
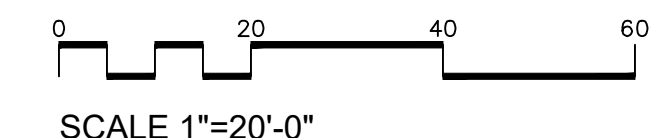
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






















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Drawing Title:
MATERIALS AND LAYOUT PLAN

Sheet Number:
L120



LEGEND

	PROPERTY LINE		CATCH BASIN
	LIMIT OF WORK		AREA DRAIN
	EXISTING FOREST		DRAINAGE MAN HOLE
	EXISTING CONTOUR		SEWER MAN HOLE
	EXISTING SLOPE		CLEANOUT
	GRADE BREAK		CATCH BASIN
	PROPOSED CONTOURS		AREA DRAIN
	PROPOSED SLOPE		DRAINAGE MANHOLE
	PROPOSED SPOT ELEVATION		HIGH POINT
			LOW POINT
			TOP OF CURB
			BOTTOM OF CURB
			TOP OF WALL
			BOTTOM OF WALL
			VERIFY IN FIELD

GRADING & DRAINAGE NOTES:

1. ALL WORK RELATING TO INSTALLATION, RENOVATION OR MODIFICATION OF WATER, DRAINAGE SERVICES SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS OF THE TOWN OF WAREHAM.
2. THE CONTRACTOR SHALL VERIFY ALL GRADES ON THE GROUND AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER'S REPRESENTATIVE.
3. ALL GRADING IS TO BE SMOOTH AND CONTINUOUS WHERE PROPOSED SURFACE MEETS EXISTING SURFACE. BLEND THE TWO PAVEMENTS AND ELIMINATE ROUGH SPOTS AND ABRUPT GRADE CHANGES AND MEET LINE AND GRADE OF EXISTING CONDITIONS WITH NEW IMPROVEMENTS.
4. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES, FOUNDATIONS AND ENTRANCES.
5. CONTRACTOR SHALL ENSURE ALL AREAS ARE PROPERLY PITCHED TO DRAIN, WITH NO SURFACE WATER PONDING OR PUDDLING.
6. ALL NEW WALKWAYS / ACCESS PATHS MUST CONFORM TO CURRENT AMERICANS WITH DISABILITIES ACT (ADA), AND MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (MAAB) REGULATIONS: WALKWAYS SHALL MAINTAIN A CROSS PITCH OF NOT MORE THAN ONE AND A HALF (1.5%) PERCENT AND THE RUNNING SLOPE (PARALLEL TO THE DIRECTION OF TRAVEL) BETWEEN 1% MIN. AND 4.5% MAX. ANY DISCREPANCIES NOT ALLOWING THIS TO OCCUR SHALL BE REPORTED TO THE OWNERS REPRESENTATIVE PRIOR TO CONTINUING WORK.
7. ALL UTILITY GRATES, COVERS OR OTHER SURFACE ELEMENTS INTENDED TO BE EXPOSED AT GRADE SHALL BE FLUSH WITH THE ADJACENT FINISHED GRADE AND ADJUSTED TO PROVIDE A SMOOTH TRANSITION AT ALL EDGES.
8. THE TOWN SHALL SET SUBGRADE ELEVATIONS TO ALLOW FOR POSITIVE DRAINAGE AND PROVIDE EROSION CONTROL DEVICES, STRUCTURES, MATERIALS AND CONSTRUCTION METHODS TO DIRECT SILT MIGRATION AWAY FROM DRAINAGE AND OTHER UTILITY SYSTEMS. PUBLIC/PRIVATE STREETS AND WORK AREAS, CLEAN BASINS REGULARLY AND AT THE END OF THE PROJECT, CONTRACTOR SHALL MAKE ANY ADJUSTMENTS TO SUBGRADE ELEVATIONS TO INSTALL PROPOSED IMPROVEMENTS TO FINISHED ELEVATIONS. CONTRACTOR SHALL ALSO MAINTAIN EROSION CONTROL DEVICES THROUGHOUT THE PROJECT DURATION.
9. EXCAVATION REQUIRED WITHIN PROXIMITY OF KNOWN EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.
10. WHERE NEW EARTHWORK MEETS EXISTING EARTHWORK, CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING, PROVIDING VERTICAL CURVES OR ROUNDS AT ALL TOP AND BOTTOM OF SLOPES.
11. WHERE A SPECIFIC LIMIT OF WORK LINE IS NOT OBVIOUS OR IMPLIED, BLEND GRADES TO EXISTING CONDITIONS WITHIN 5 FEET OF PROPOSED CONTOURS.
12. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS AND LIMITS OF ALL REMOVALS TO LOAM AND SEED (L&S) UNLESS OTHERWISE NOTED.
13. SEE SPECIFICATIONS FOR EXCAVATION AND FILLING PROCEDURES.

SPECIAL NOTES:

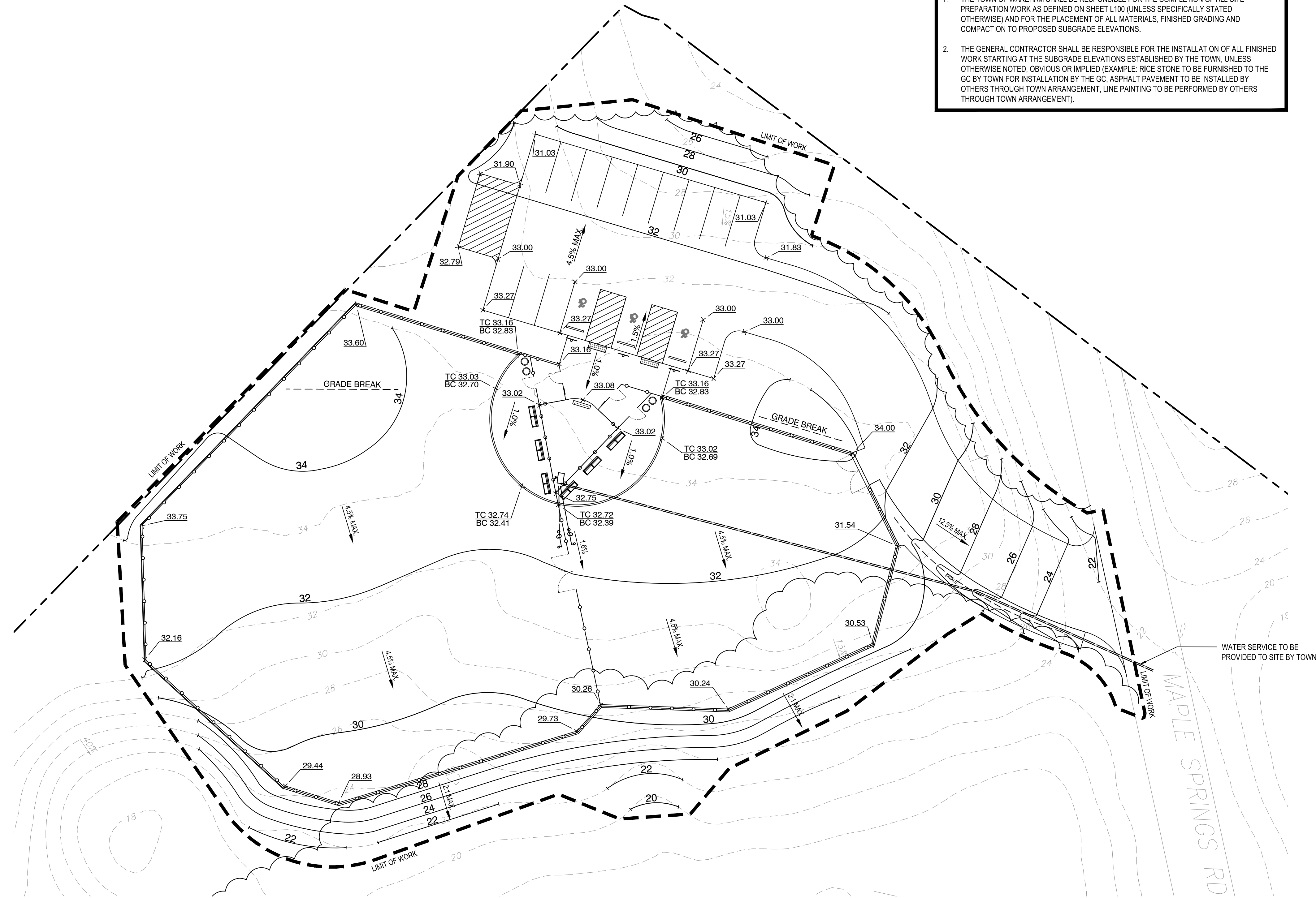
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2. ALL PROPOSED GRADES SHALL NOT EXCEED SLOPES OF 4:1 FOR LAWN AREAS, 4.5% FOR WALKWAYS, 1.5% FOR PAVED PLAZAS AND GATHERING AREAS, AND 3:1 FOR OTHER AREAS UNLESS SPECIFICALLY IDENTIFIED ON THE CONTRACT DRAWINGS OR DISCUSSED AND APPROVED DURING CONSTRUCTION.

SPECIAL NOTES (WATER SERVICE):

1. THE TOWN OF WAREHAM SHALL BE RESPONSIBLE FOR THE TAPPING OF AN EXISTING WATER MAIN (OFF PREMISES) AND INSTALLATION OF A NEW WATER SERVICE FEED TO THE PROJECT SITE, AS INDICATED ON THE PLAN. WORK SHALL INCLUDE INSTALLATION OF ALL PIPING AND APPURTENANCES AND BACKFILLING OF THE TRENCH TO SUBGRADE ELEVATIONS. THE PIPE IS TO BE STUBBED WHERE INDICATED.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL ALL REMAINING WATER SERVICE COMPONENTS, FROM THE POINT OF THE STUB INSTALLED BY THE TOWN TO INCLUDE PIPING, APPURTENANCES, BACKFLOW PREVENTER AND CABINET, DOG AND HUMAN DRINKING FOUNTAIN, HOSE BIBS AND RELATED ELEMENTS REQUIRED TO MAKE ALL INSTALLATIONS COMPLETE, FUNCTIONAL, AND CODE COMPLIANT. PIPE SHALL BE ONE-INCH (1") AS NOTED ON THE PLAN.

SPECIAL NOTES (SUBGRADE ELEVATIONS):

1. THE TOWN OF WAREHAM SHALL BE RESPONSIBLE FOR THE COMPLETION OF ALL SITE PREPARATION WORK AS DEFINED ON SHEET L100 (UNLESS SPECIFICALLY STATED OTHERWISE) AND FOR THE PLACEMENT OF ALL MATERIALS, FINISHED GRADING AND COMPACTION TO PROPOSED SUBGRADE ELEVATIONS.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL FINISHED WORK STARTING AT THE SUBGRADE ELEVATIONS ESTABLISHED BY THE TOWN, UNLESS OTHERWISE NOTED. OBVIOUS OR IMPLIED (EXAMPLE: RICE STONE TO BE FURNISHED TO THE GC BY TOWN FOR INSTALLATION BY THE GC, ASPHALT PAVEMENT TO BE INSTALLED BY OTHERS THROUGH TOWN ARRANGEMENT, LINE PAINTING TO BE PERFORMED BY OTHERS THROUGH TOWN ARRANGEMENT).



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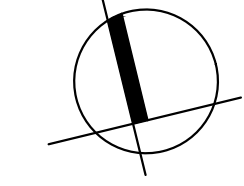
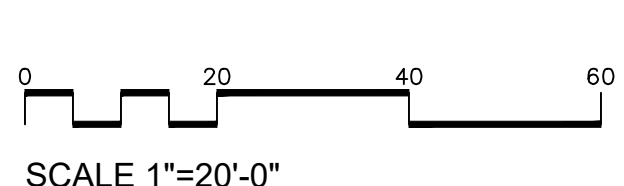
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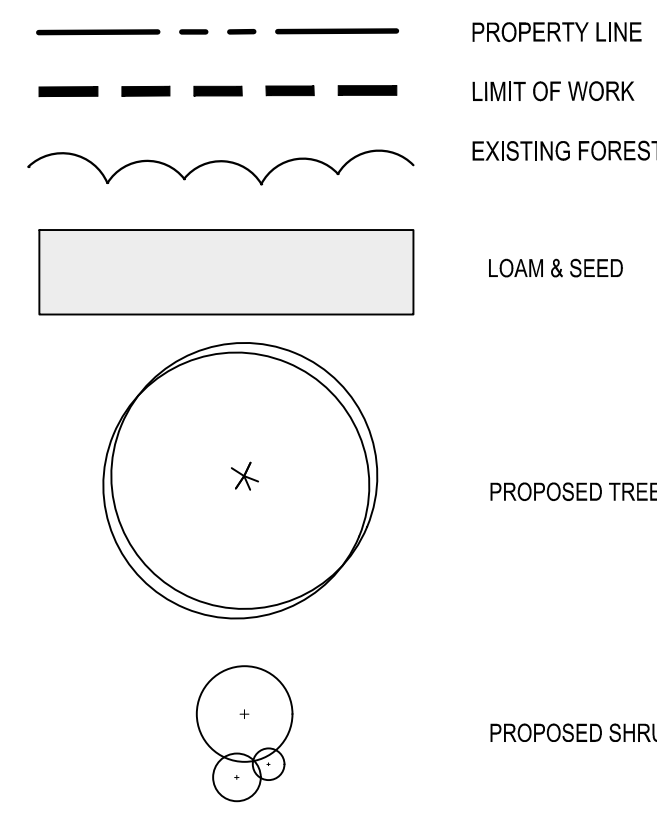
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GRADING AND DRAINAGE PLAN
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LEGEND



PLANTING NOTES

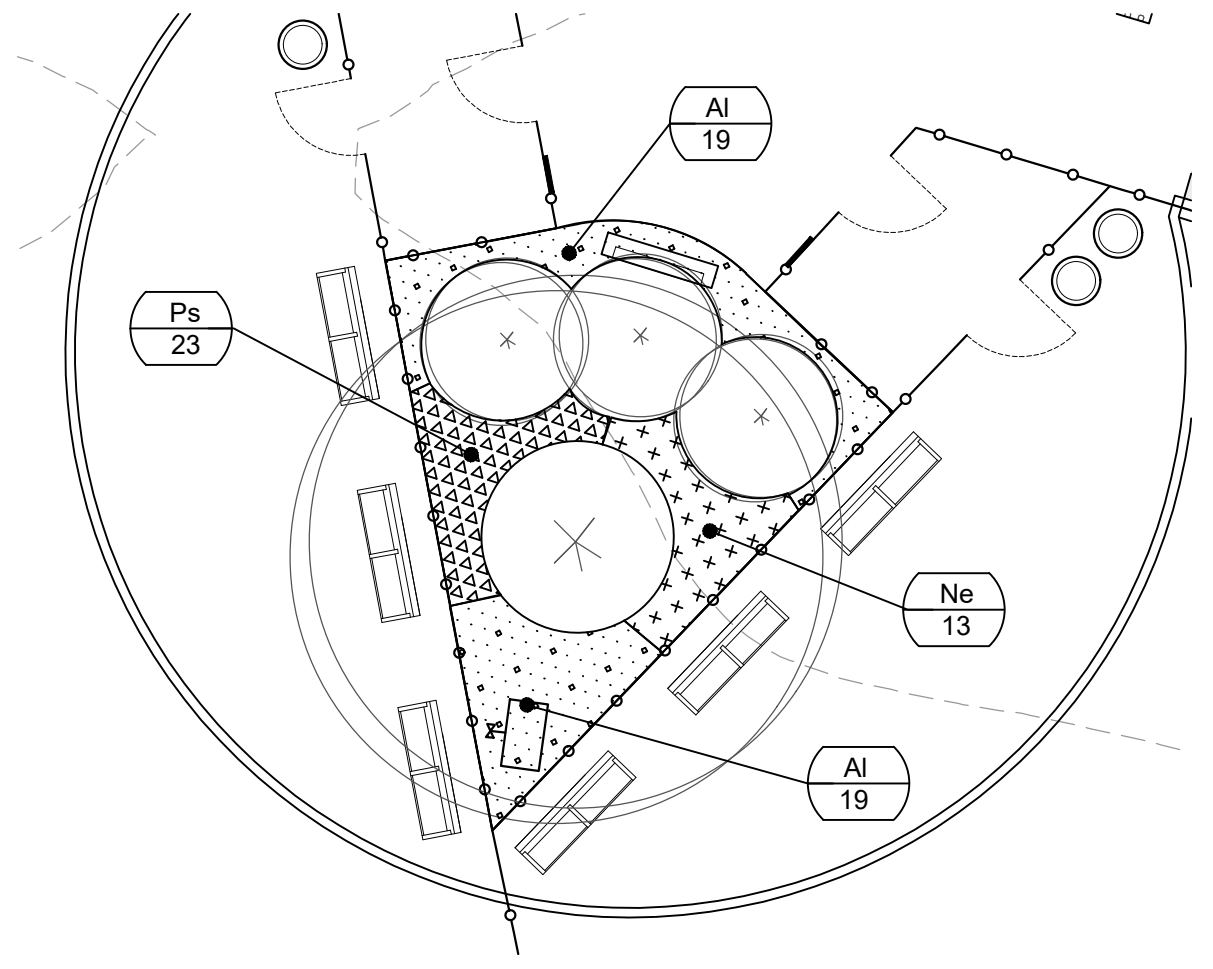
1. THE DEPTH OF AMENDED TOPSOIL LOAM FOR ALL PROPOSED LAWN AREAS SHALL BE 6" MINIMUM. ALL DISTURBED AREAS SHALL BE RESTORED WITH LOAM AND SEED UNLESS OTHERWISE NOTED.
2. ALL REFERENCES TO LOAM AND SEED REFER TO HYDROMULCH SEEDED LAWN.

TREE SCHEDULE

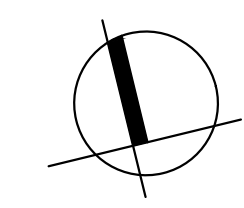
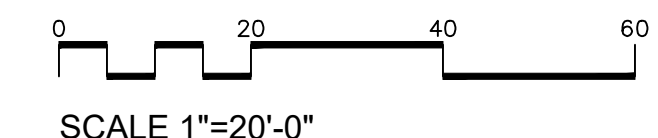
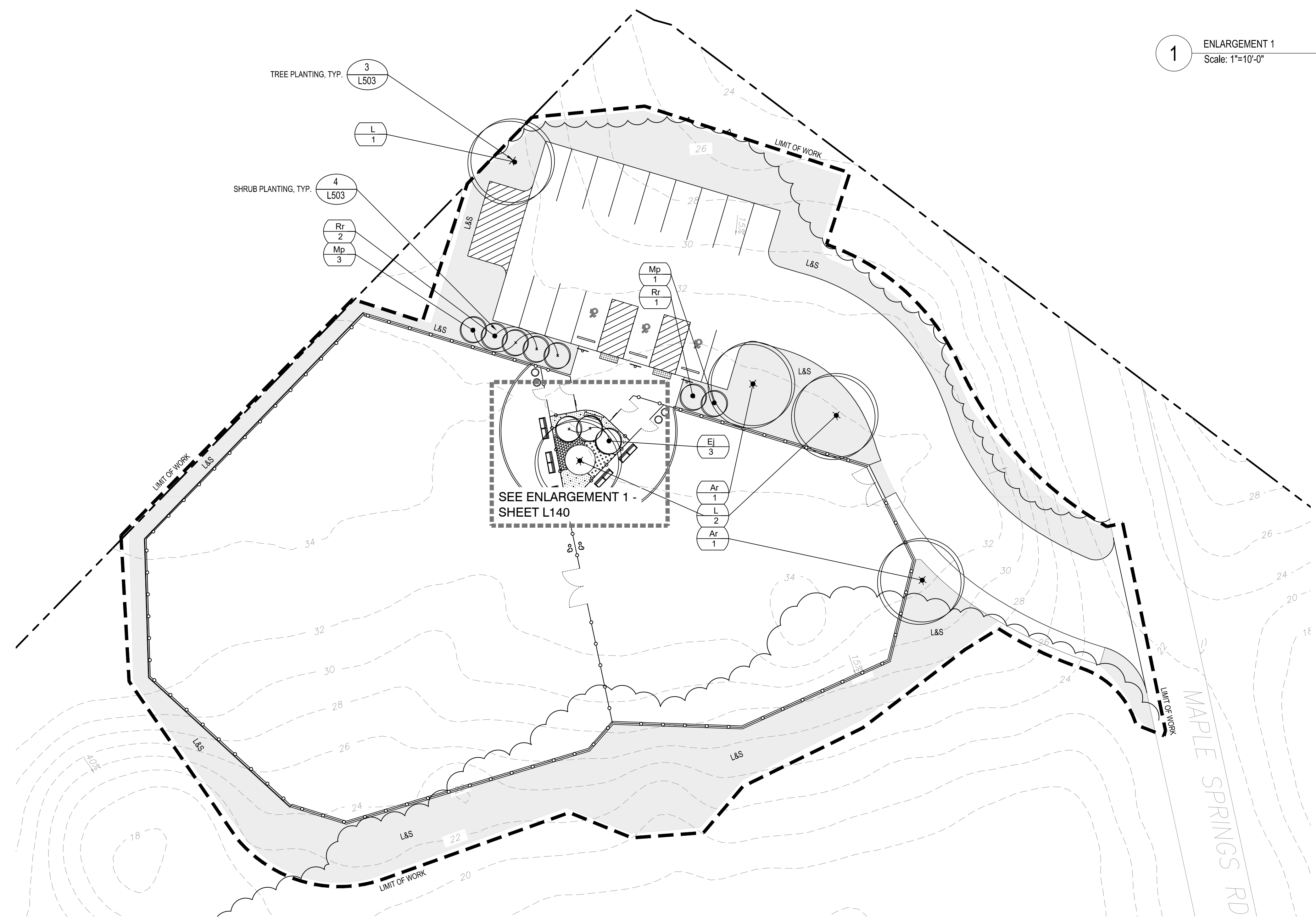
ABRV.	QTY	COMMON NAME	BOTANICAL NAME	SIZE	NOTES
Ar	3	RED MAPLE	ACER RUBRUM	2-2.5' CAL. APRX.	B&B; 12'-14' HT. MIN.; FULL CANOPY; EVENLY BRANCHED
L	3	'NATCHEZ' CREPE MYRTLE	LAGERSTROEMIA 'NATCHEZ'	2-2.5' CAL. APRX.	B&B; 7'-8' HT., 5'-6' CANOPY DIA. MIN.; FULL CANOPY; EVENLY BRANCHED

SHRUB & GROUNDCOVER SCHEDULE

ABRV.	QTY	COMMON NAME	BOTANICAL NAME	SIZE	NOTES
Ej	3	EUONYMUS 'GREEN SPIRES'	EUONYMUS JAPONICUS 'GREEN SPIRES'	5 GALLON	FULL; FULLY ROOTED
Mp	4	BAYBERRY	MYRICA PENNSYLVANICA	3'-4' HT.	FULL; FULLY ROOTED
Rr	3	RUGOSA ROSE	ROSA RUGOSA 'PURPLE PAVEMENT'	2 GALLON	FULL; FULLY ROOTED
Al	38	WHITE SAGE	ARTEMISIA LUDOVICIANA	2 GALLON	FULL; FULLY ROOTED
Ne	13	BOSTON FERN	NEPHROLEPIS EXALTATA 'BOSTONIENSIS'	2 GALLON	FULL; FULLY ROOTED
Ps	23	FOUNTAIN GRASS	PENNISETUM SETACEUM	1 GALLON	FULL; FULLY ROOTED



1 ENLARGEMENT 1
Scale: 1"=10'-0"



Project:
TOWN OF WAREHAM

WAREHAM DOG PARK
74 MAPLE SPRINGS ROAD,
WAREHAM, MA

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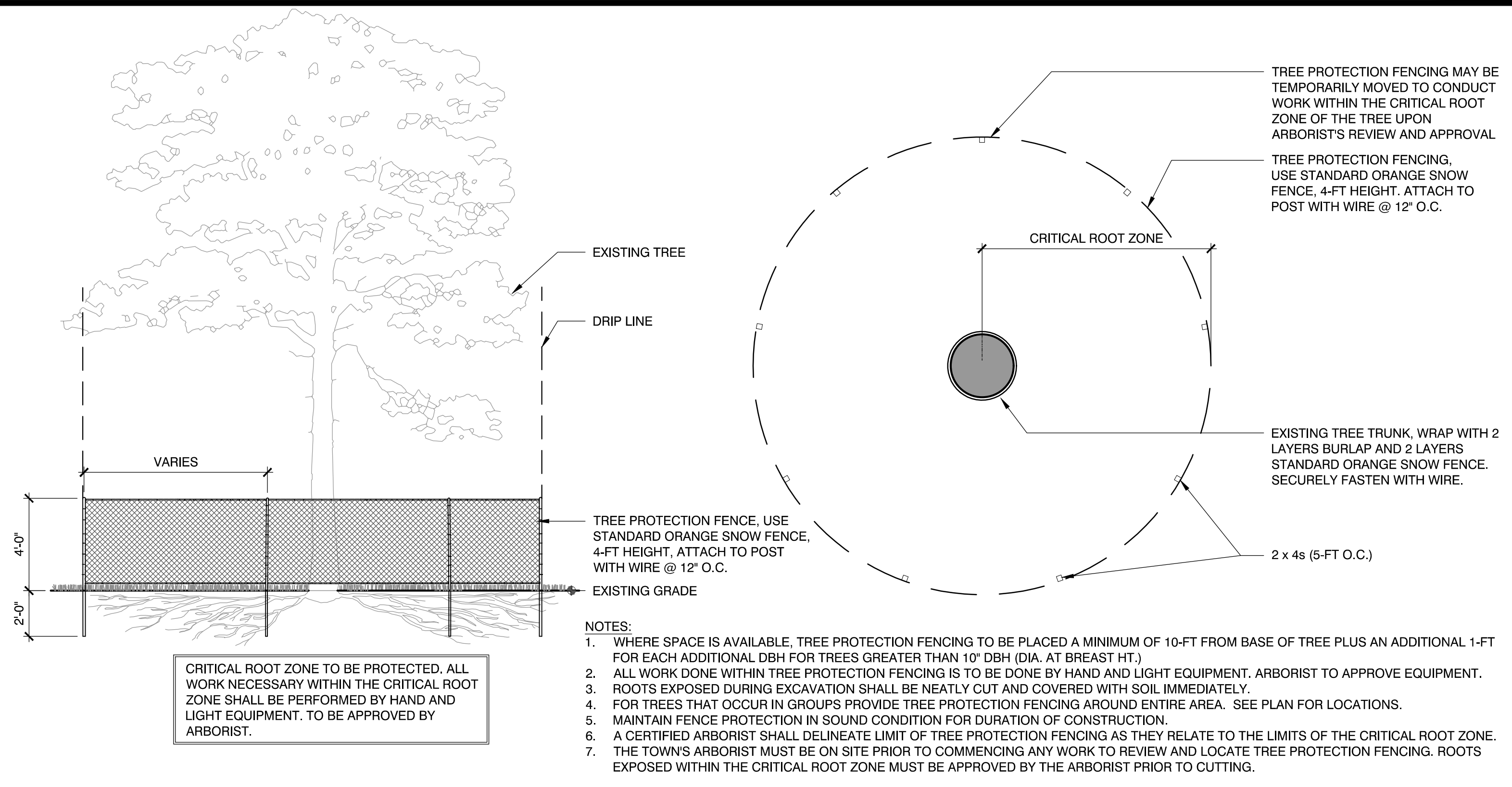
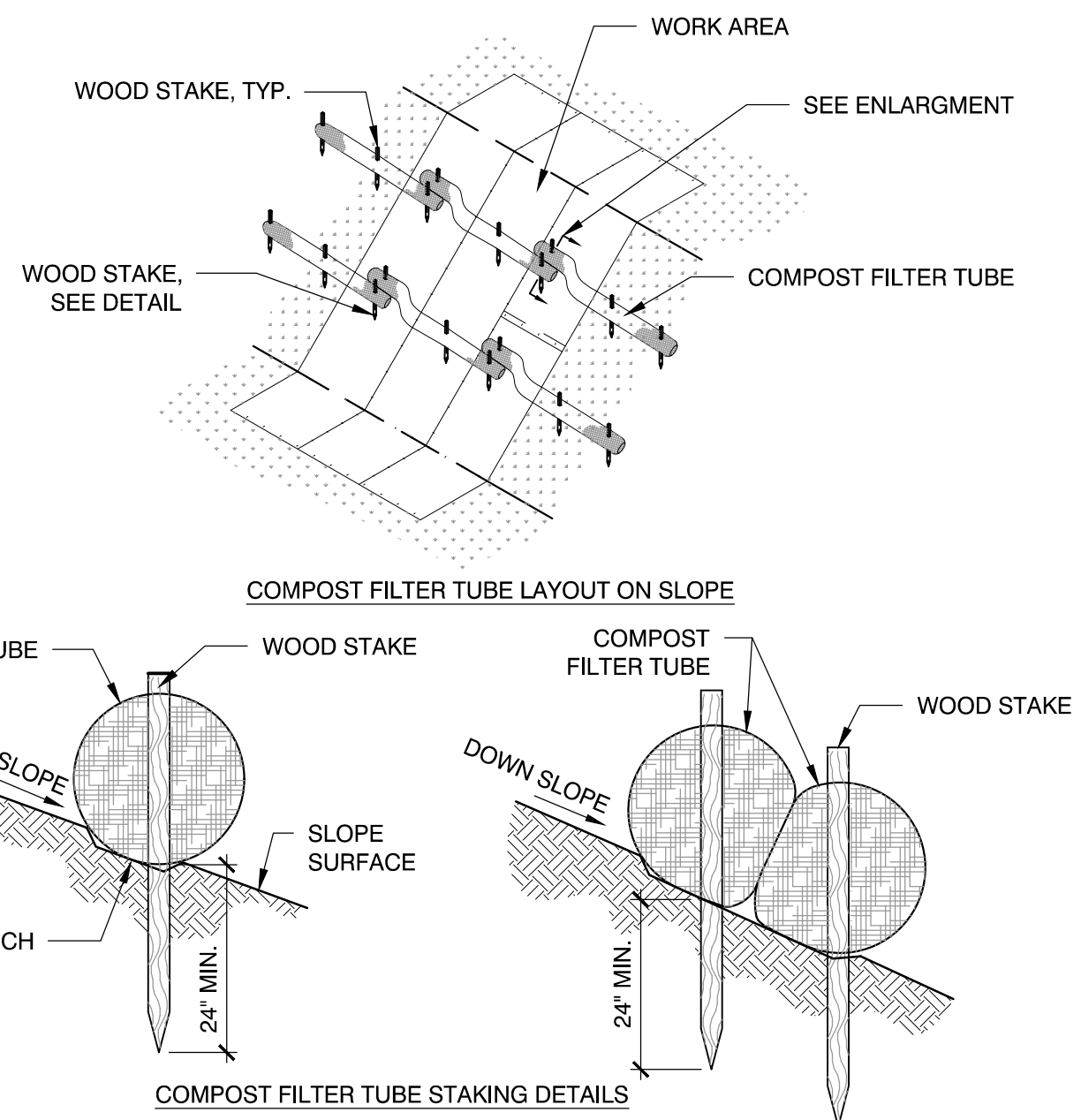
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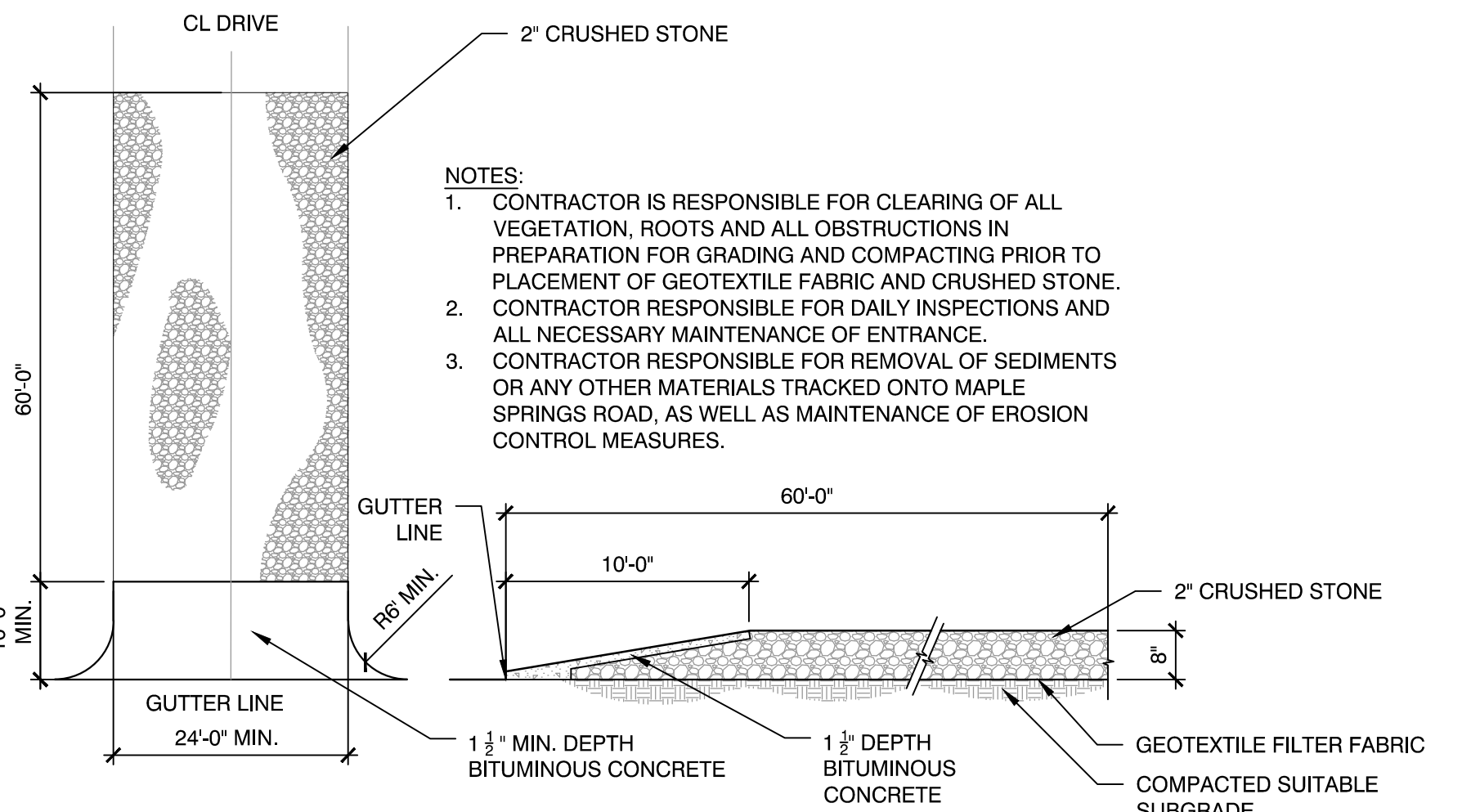
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Sheet Number:
L140

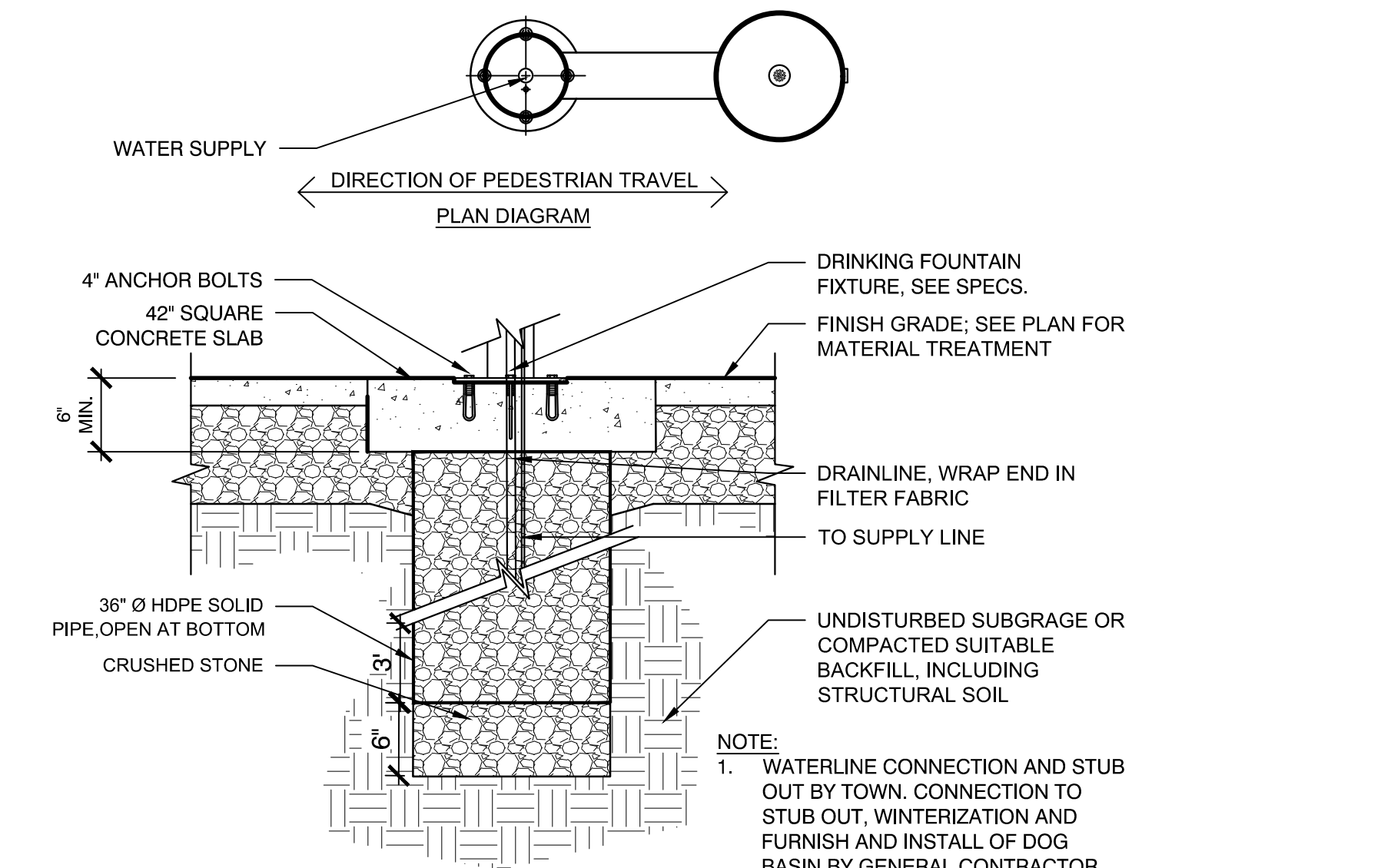
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1 COMPOST FILTER TUBE (BY TOWN)
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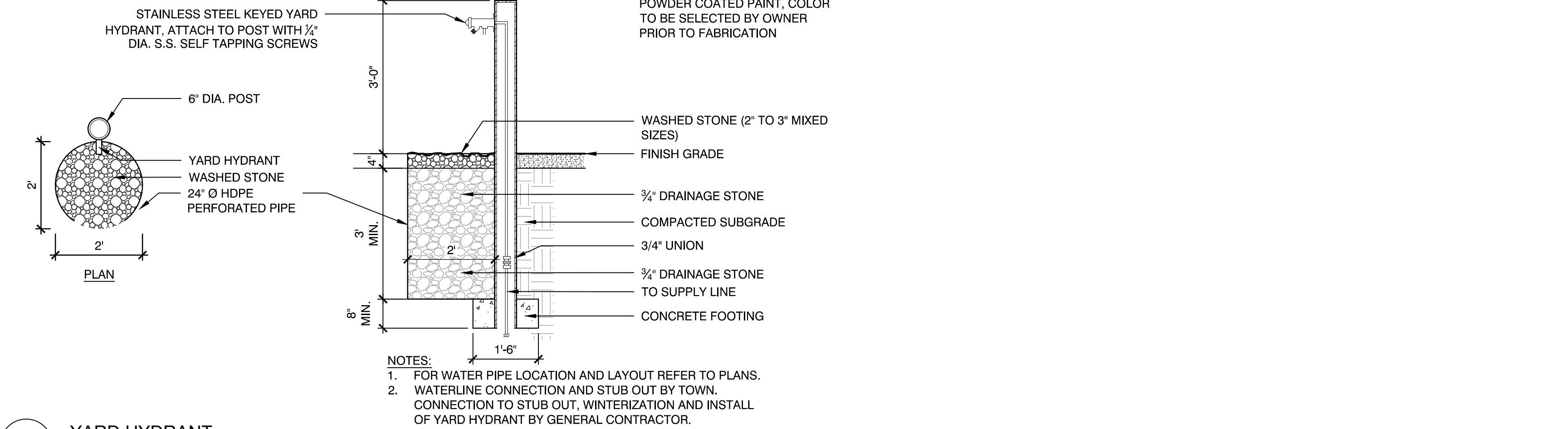


3 CONSTRUCTION ENTRANCE
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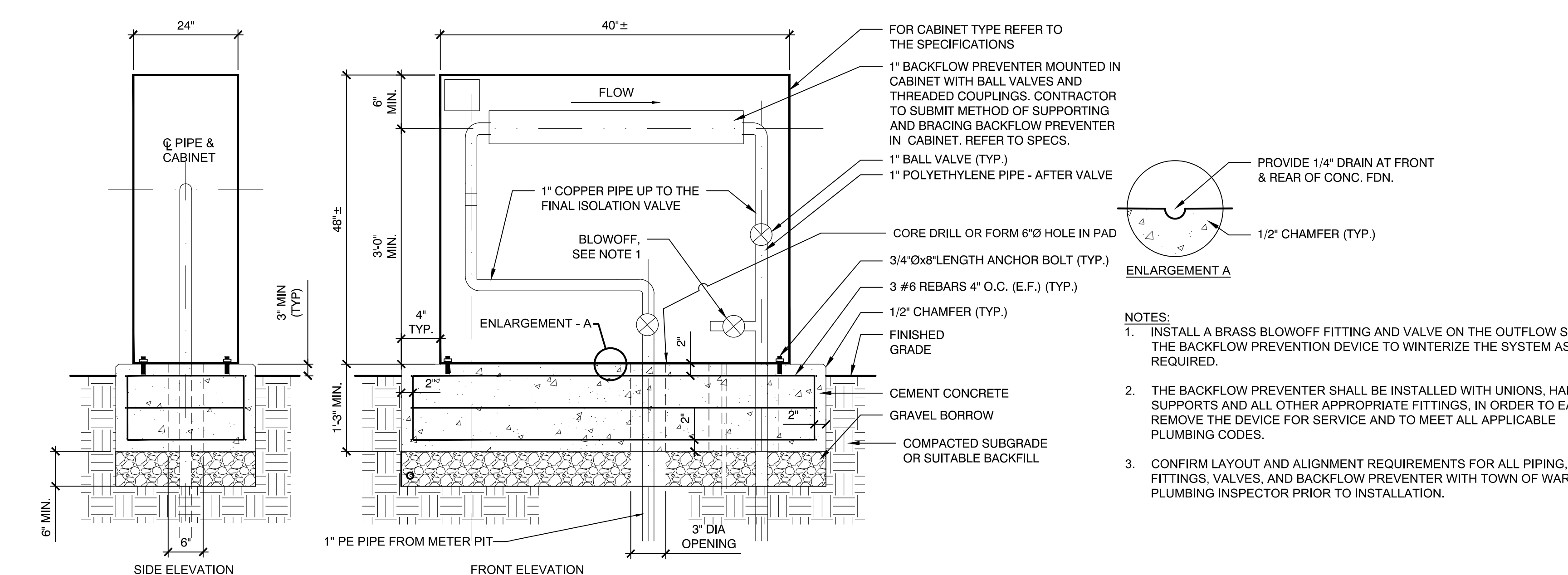


4 DOG BASIN AND ADULT ADA DRINKING FOUNTAIN
SCALE: N.T.S.

2 TREE PROTECTION (BY TOWN)
SCALE: N.T.S.



5 YARD HYDRANT
SCALE: N.T.S.



6 BACKFLOW PREVENTOR
SCALE: N.T.S.

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CONSTRUCTION DETAILS

Sheet Number:
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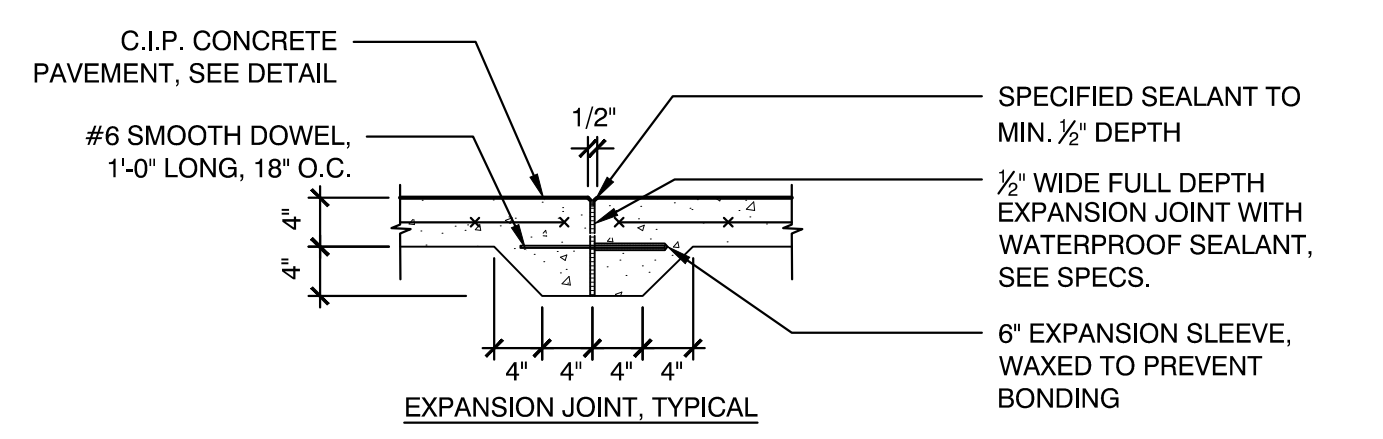
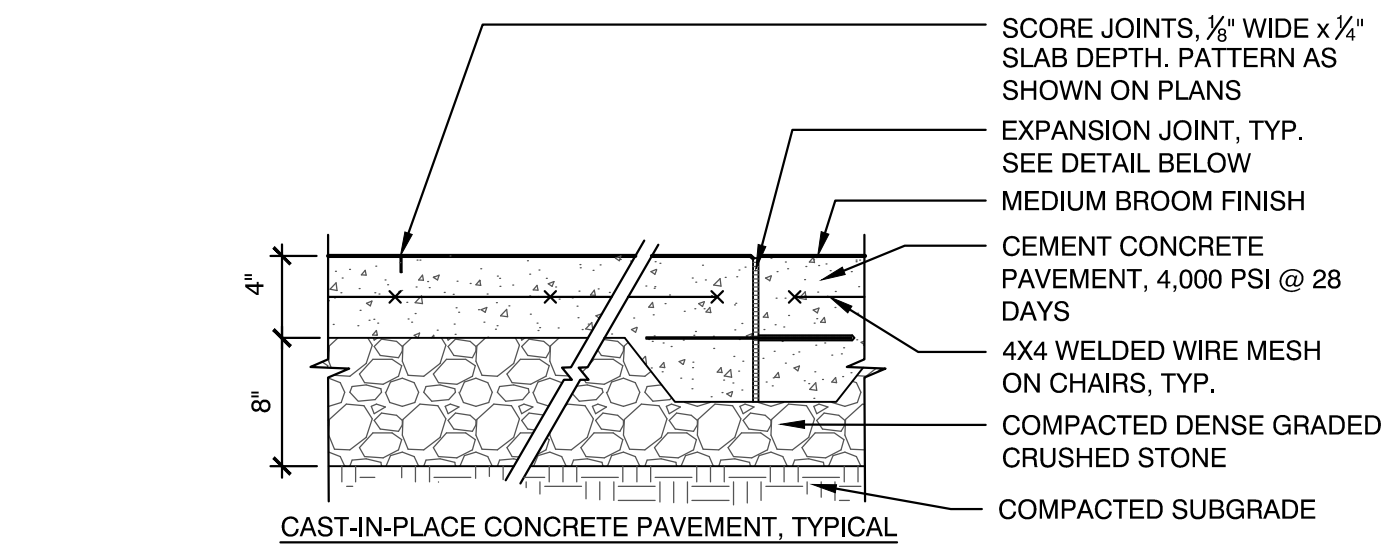
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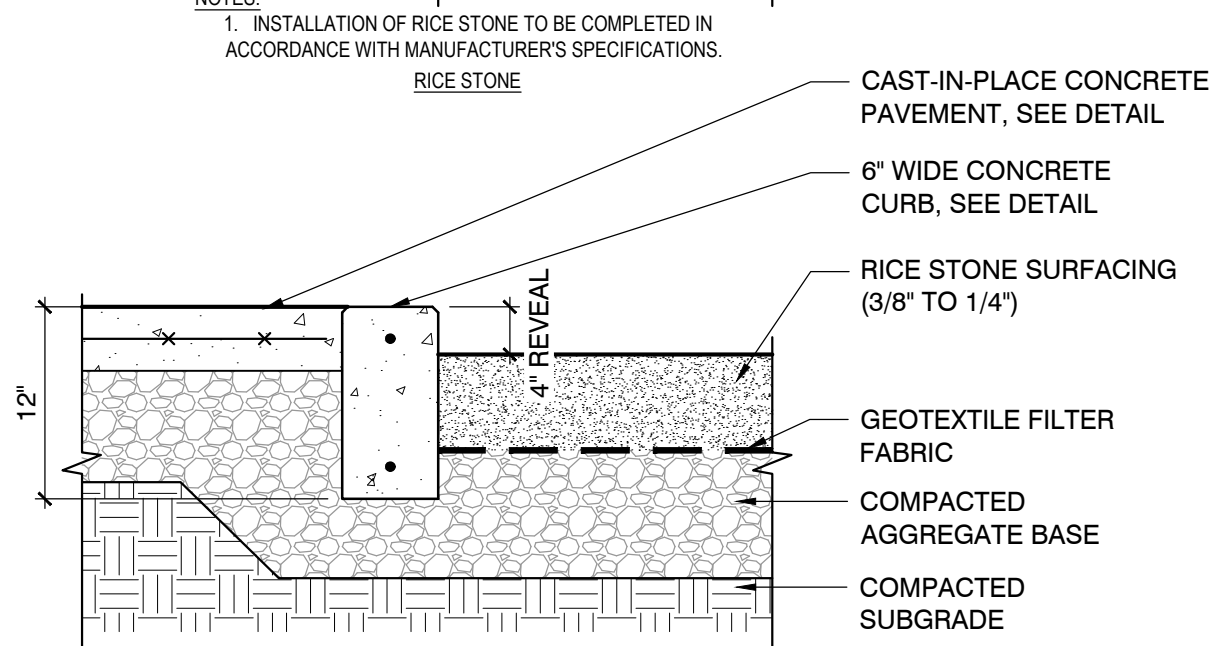
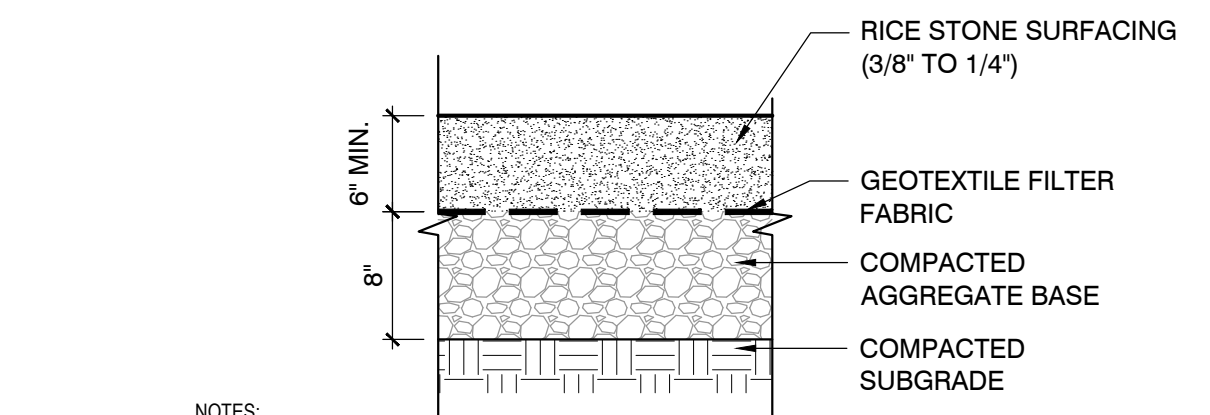
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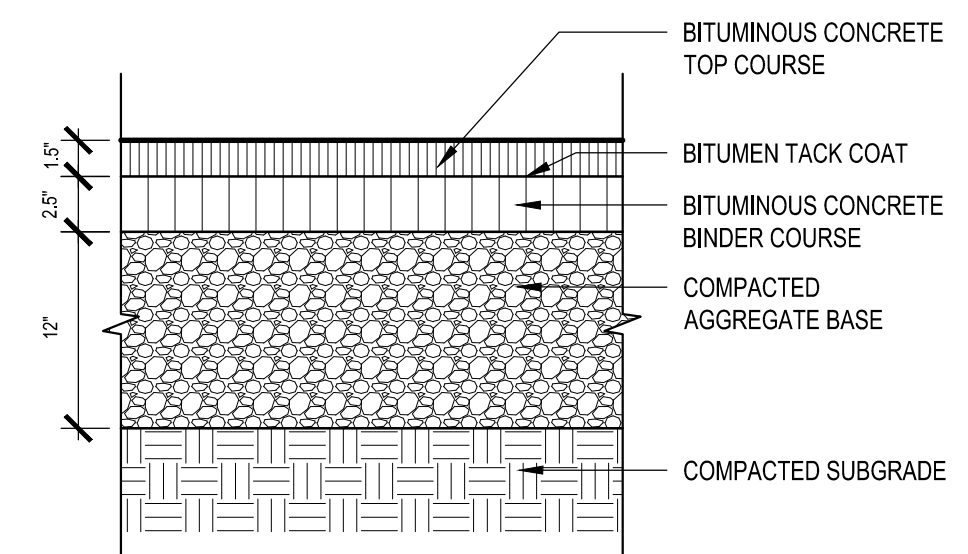
- EXPANSION JOINT INSTALLATION NOTES:**
1. DOWEL IS TYPICAL AT ALL EXPANSION JOINTS (18" O.C.) WITHIN CONCRETE PAVING AND BETWEEN NEW CONCRETE PAVING AND EXISTING CONCRETE PAVING TO REMAIN.
 2. DELETE EXPANSION SLEEVE AND DOWEL WHERE JOINT ABUTS WALL, CURBS, OR OTHER VERTICAL SURFACES, UNLESS OTHERWISE NOTED.
 3. EXPANSION JOINTS MAX. 25'-0" O.C. UNLESS SHOWN OTHERWISE.
 4. EXPANSIONS JOINTS SHALL BE PLACED WHERE NEW CEMENT CONCRETE PAVEMENT MEETS EXISTING PAVEMENT OR WALLS TO REMAIN.
 5. ALL SCORE JOINTS SHALL BE SAW CUT.

4 STEEL EDGER
SCALE: N.T.S.



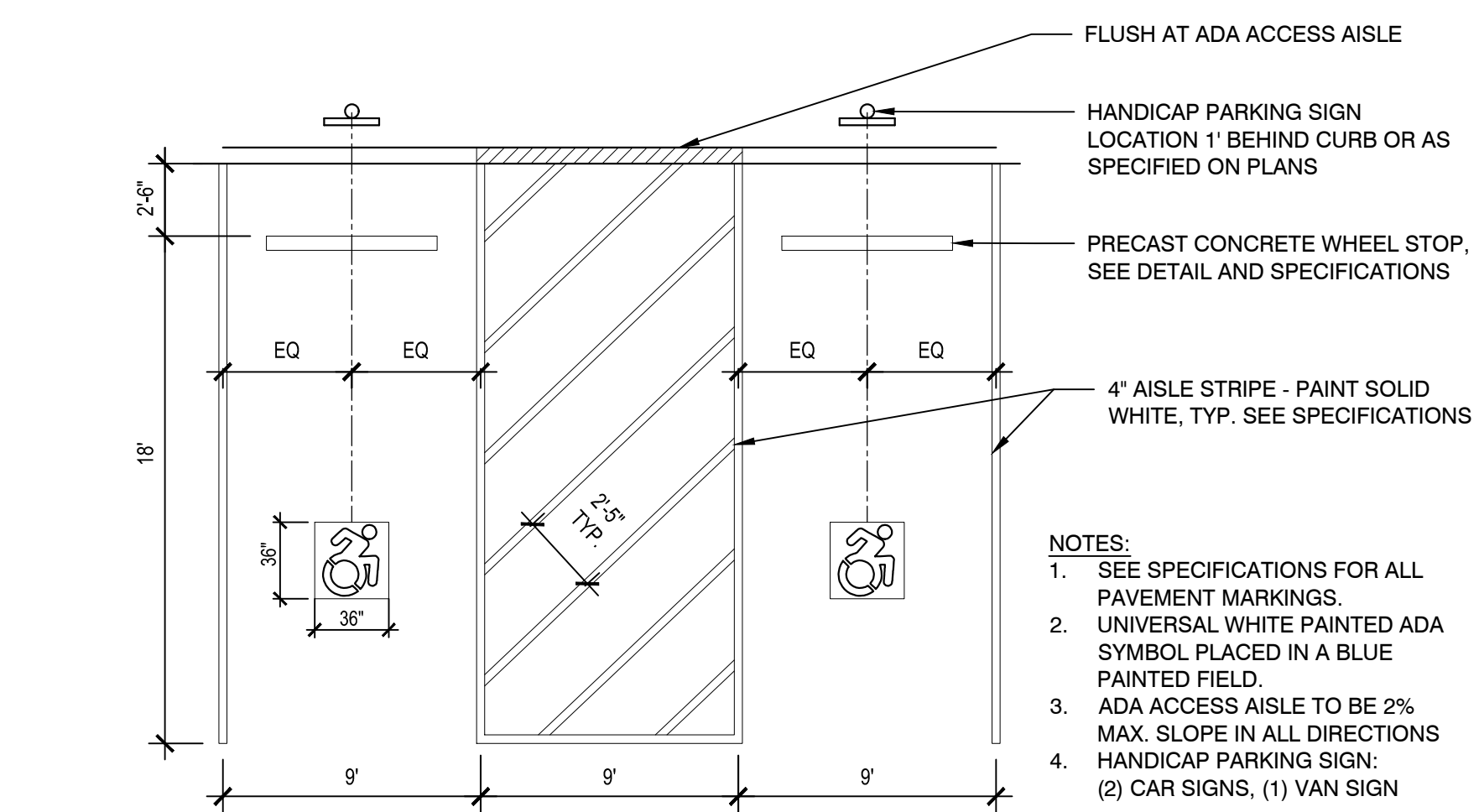
- NOTES:**
1. INSTALLATION OF RICE STONE TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

1 RICE STONE SURFACING
SCALE: N.T.S.

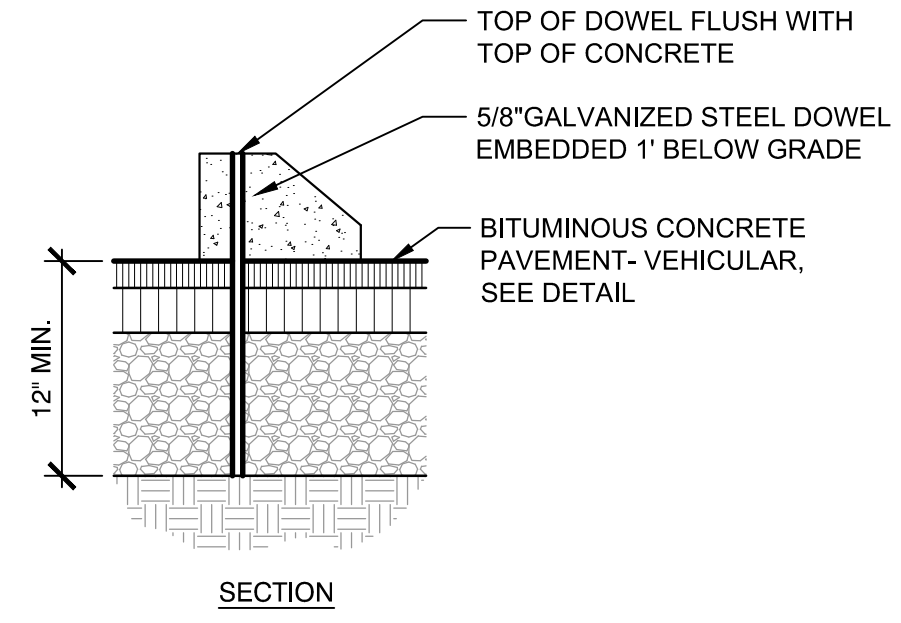
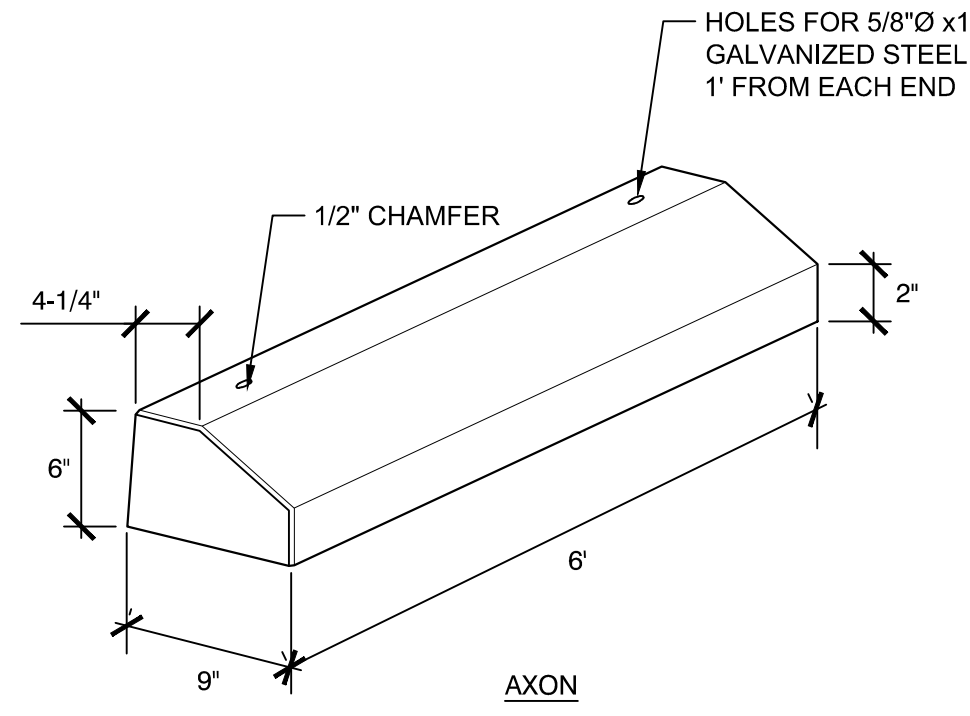


2 VEHICULAR BITUMINOUS CONCRETE PAVEMENT
SCALE: N.T.S.

3 CAST-IN-PLACE CONCRETE PAVEMENT
SCALE: N.T.S.

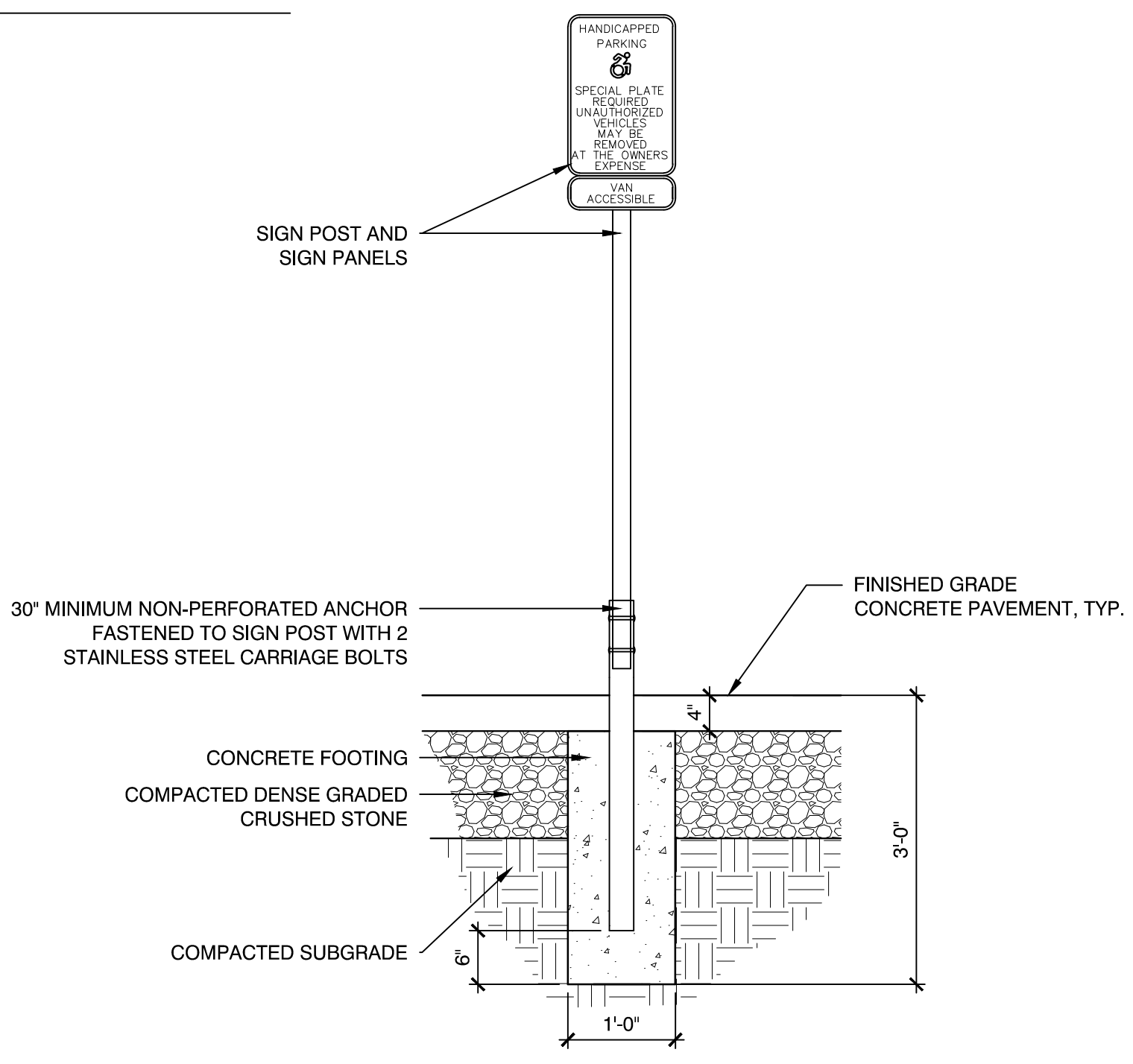


5 ACCESSIBLE PARKING SPACES
SCALE: N.T.S.

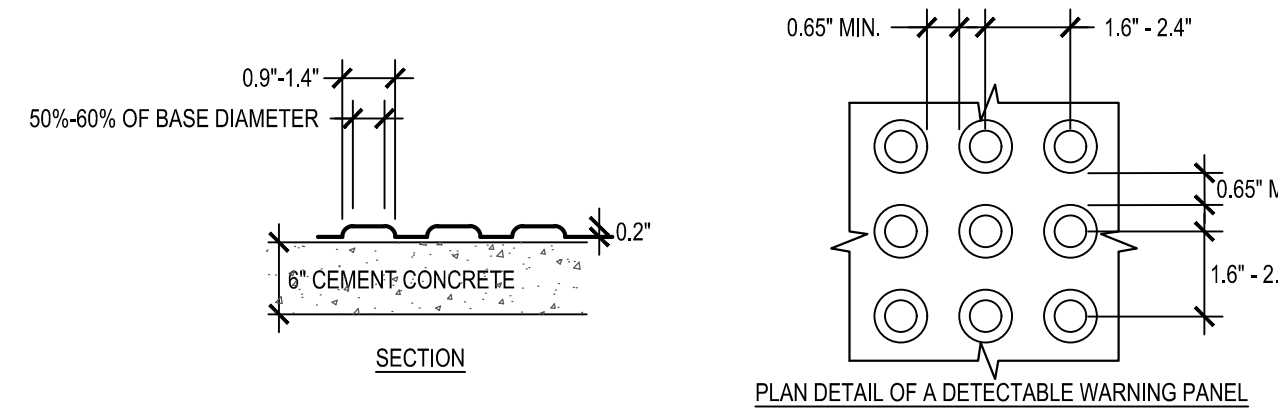


- NOTES:**
1. MINIMUM REINFORCING 4 - #3 BARS, FULL LENGTH
 2. MINIMUM WEIGHT PER FOOT - 44 LBS.
 3. CURBING TO BE DOWELED TO ASPHALT PAVING.
 4. DOWELS TO BE RECESSED 1" AND GROUTED

6 PRECAST CONCRETE WHEEL STOP
SCALE: N.T.S.

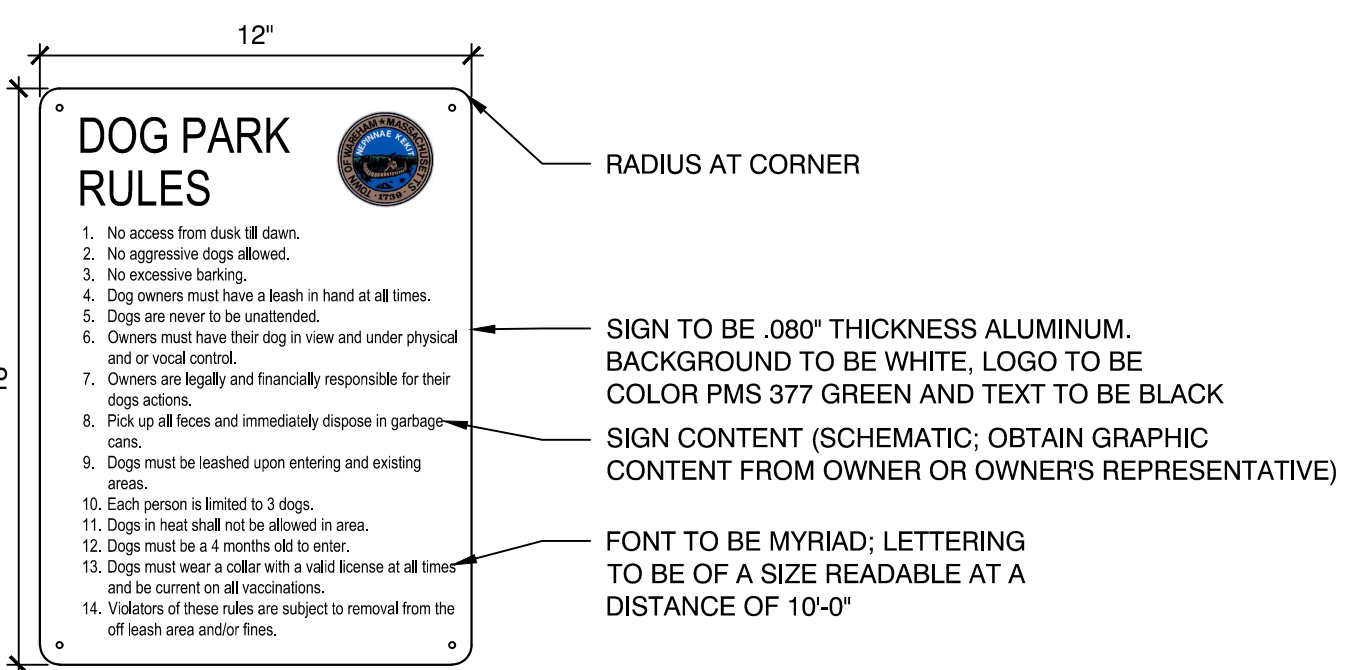


7 HANDICAP PARKING SIGN
SCALE: N.T.S.



- NOTES:**
1. DETECTABLE WARNING PANELS SHALL BE PERMANENTLY APPLIED TO THE CURB RAMP.
 2. DETECTABLE WARNING PANELS SHALL BE PALE YELLOW IN COLOR, CONFORMING TO FEDERAL NO. Z3594, UNLESS OTHERWISE SPECIFIED BY PWD.
 3. DETECTABLE WARNING PANELS SHALL BE COMPOSITE.
 4. DETECTABLE WARNING PANELS SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.

8 DETECTABLE WARNING MAT
SCALE: N.T.S.



- NOTES:**
1. SIGN SHALL BE FASTENED TO CHAINLINK FENCE MESH, LOCATION TO BE VERIFIED IN FIELD BY OWNER'S REPRESENTATIVE.
 2. CONTRACTOR MUST SUBMIT A PROOF OF THE SIGN PRIOR TO COMMENCEMENT OF WORK.

9 DOG PARK RULES SIGN
SCALE: N.T.S.

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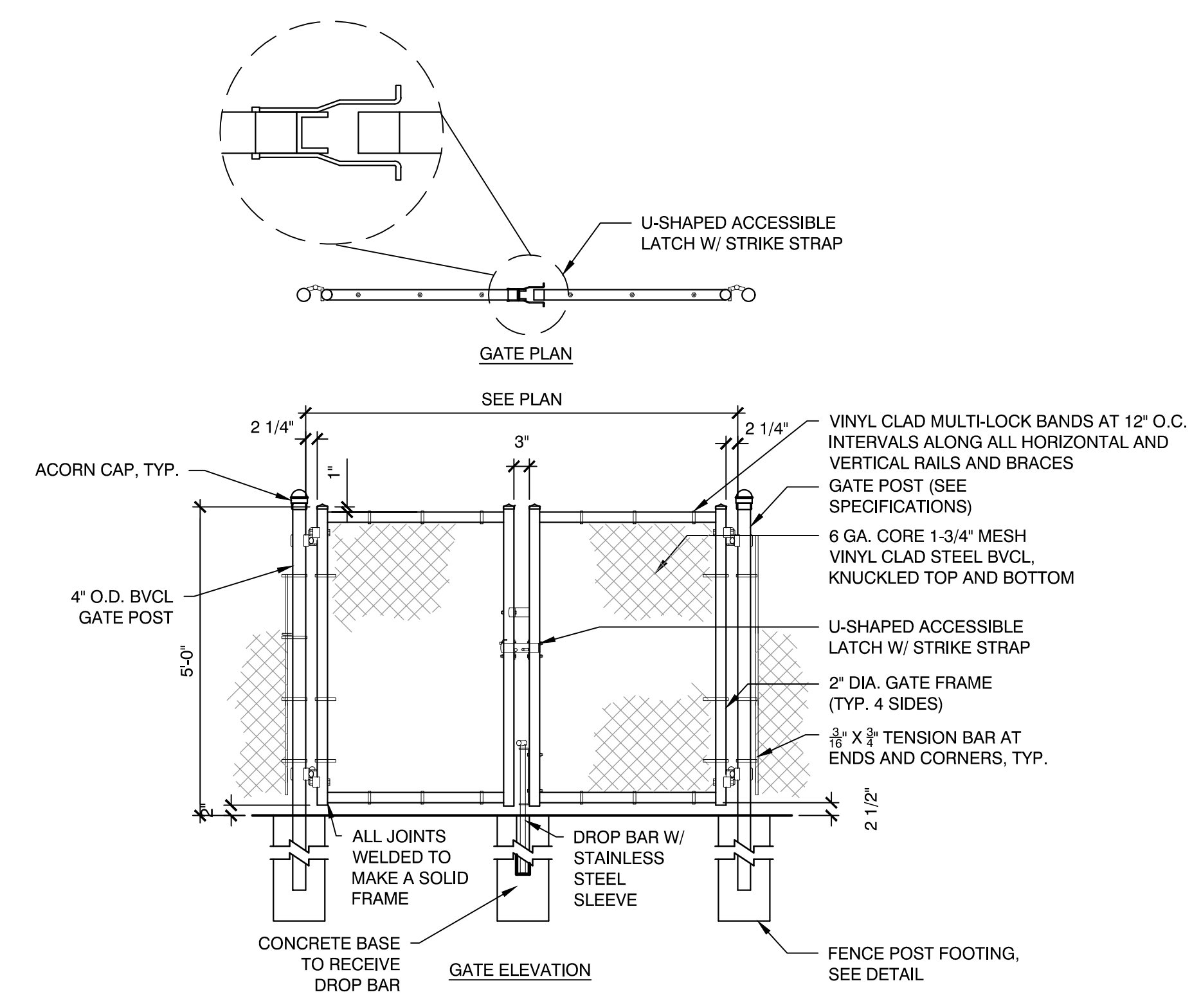
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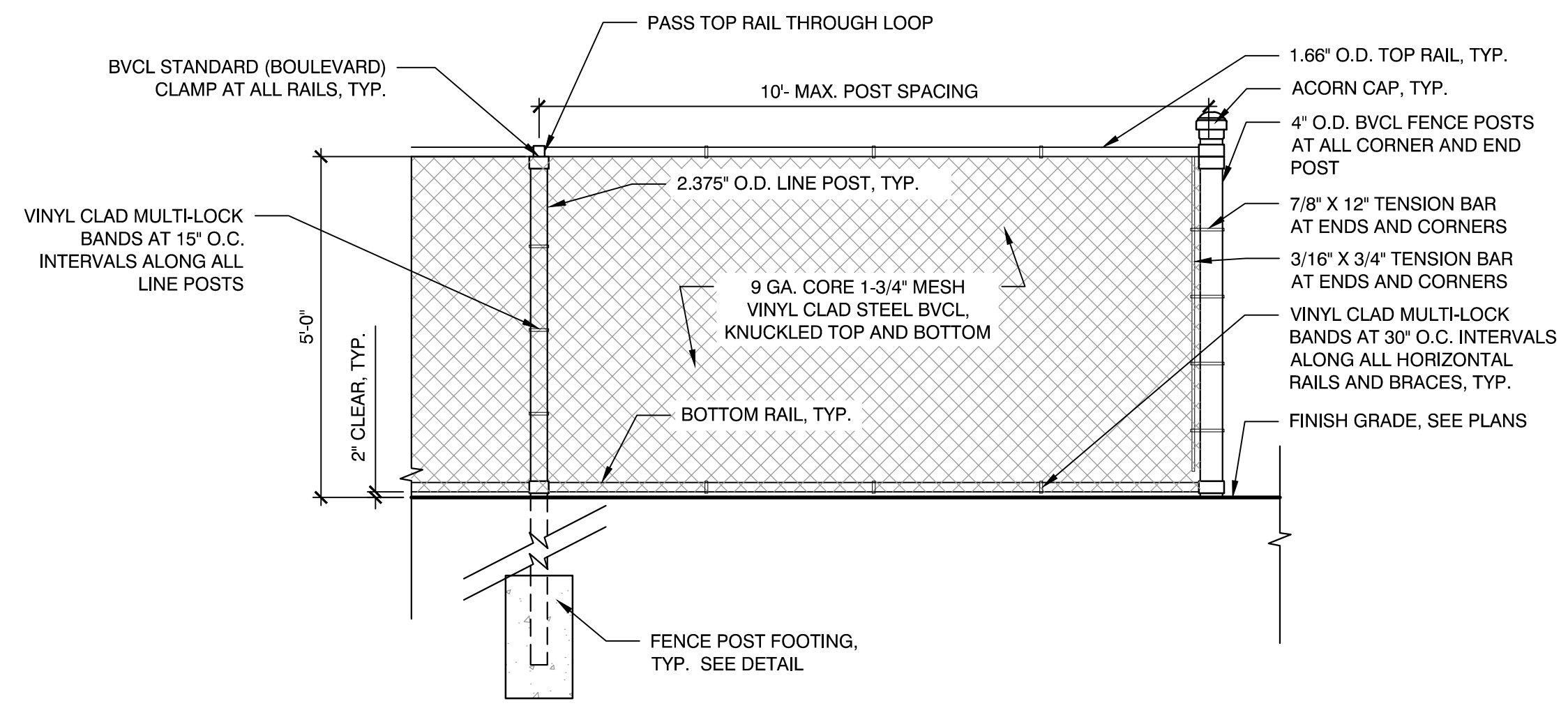
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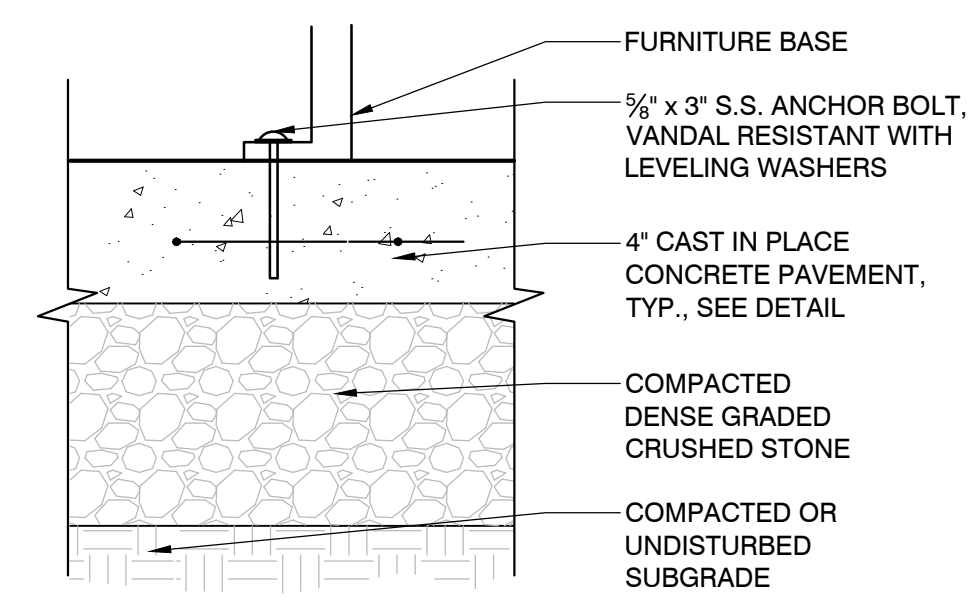
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3 12' WIDE, 5' HT. DOUBLE BVCL SWING GATE
SCALE: N.T.S.



2 5' HT BLACK VINYL CHAIN LINK FENCE TYP.
SCALE: N.T.S.

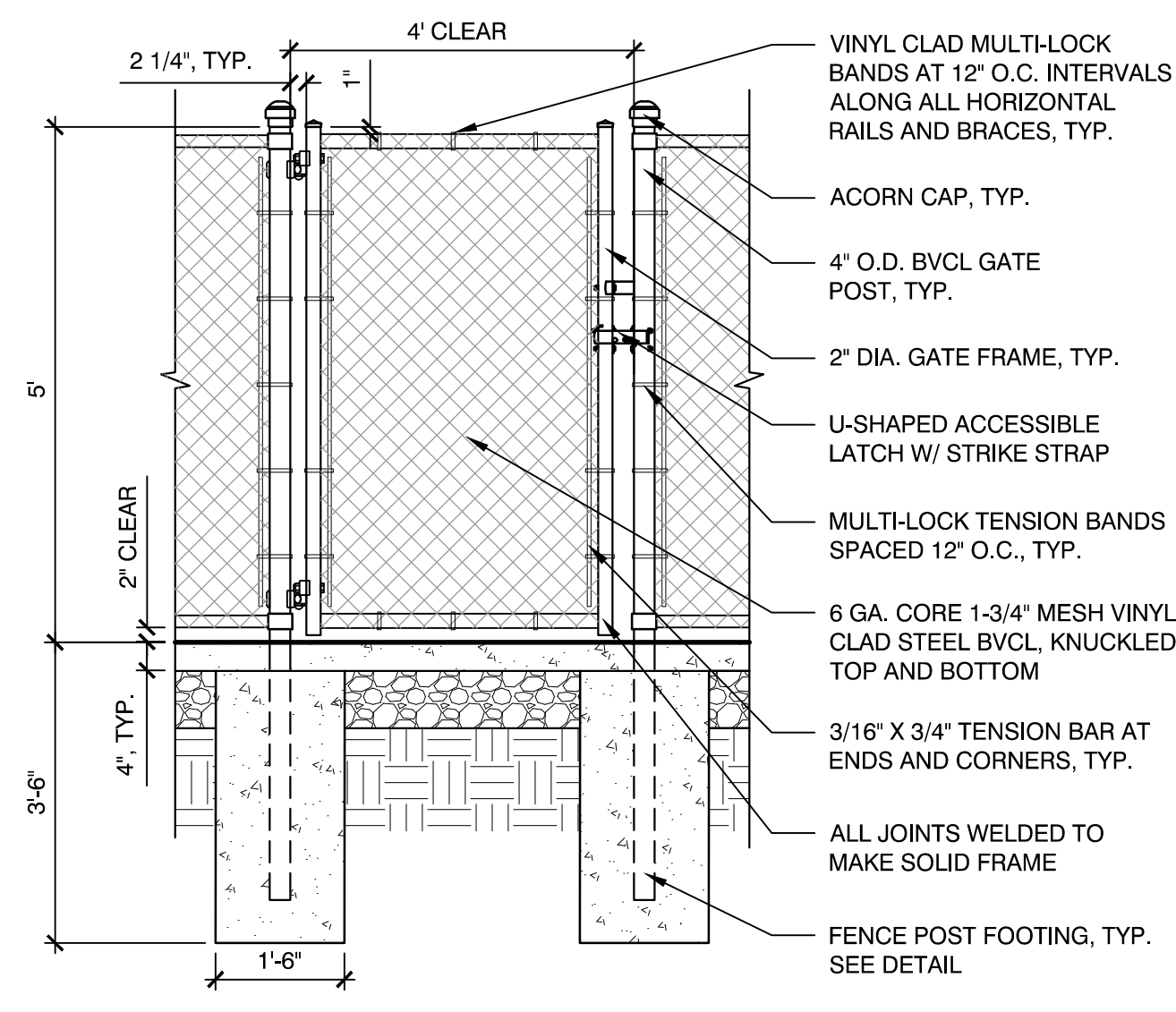


1 FURNITURE SURFACE MOUNT (BY TOWN)
SCALE: N.T.S.

1 FURNITURE SURFACE MOUNT (BY TOWN)
SCALE: N.T.S.

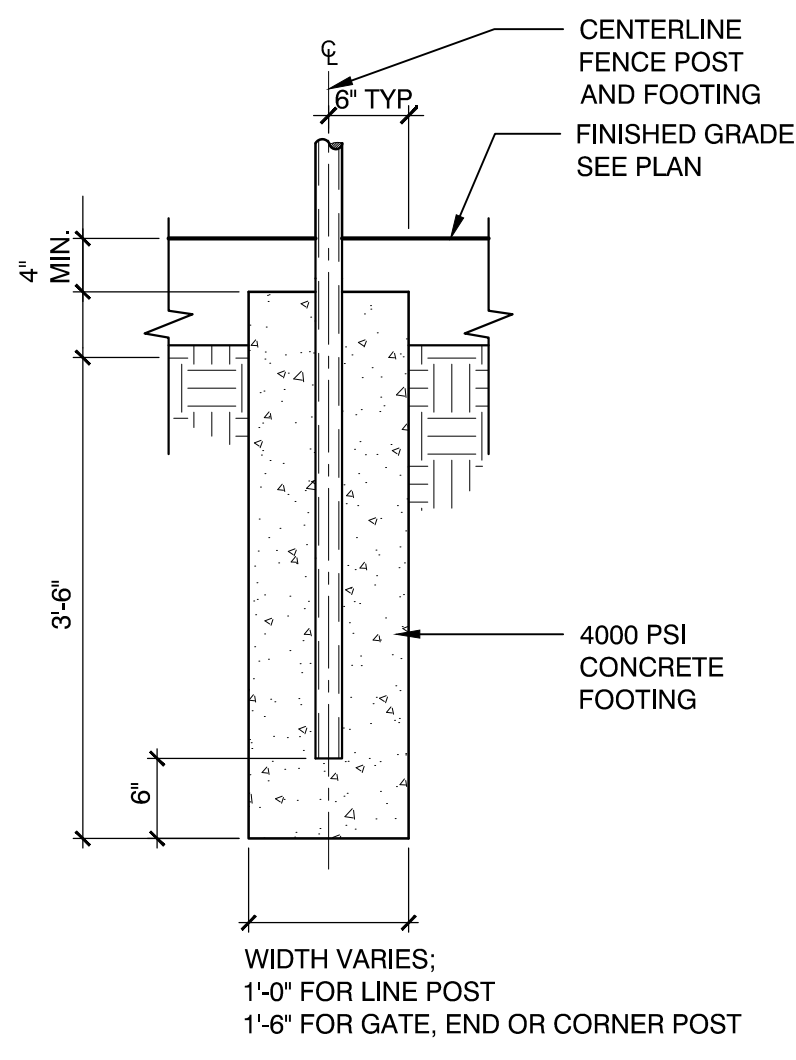
2 5' HT BLACK VINYL CHAIN LINK FENCE TYP.
SCALE: N.T.S.

3 12' WIDE, 5' HT. DOUBLE BVCL SWING GATE
SCALE: N.T.S.



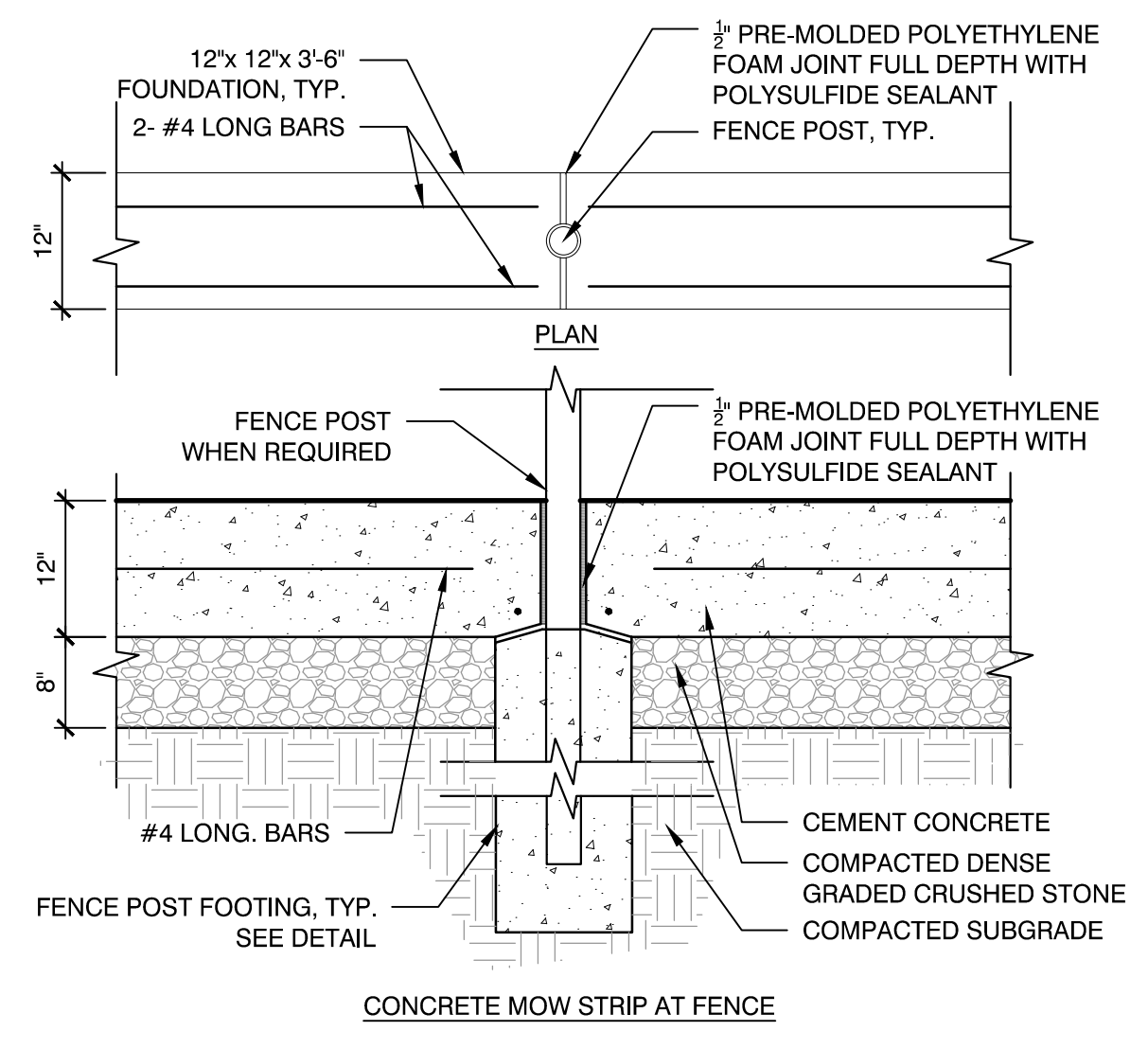
4 4' WIDE, 5' HT. BVCL SWING, GATE, TYP.
SCALE: N.T.S.

4 4' WIDE, 5' HT. BVCL SWING, GATE, TYP.
SCALE: N.T.S.



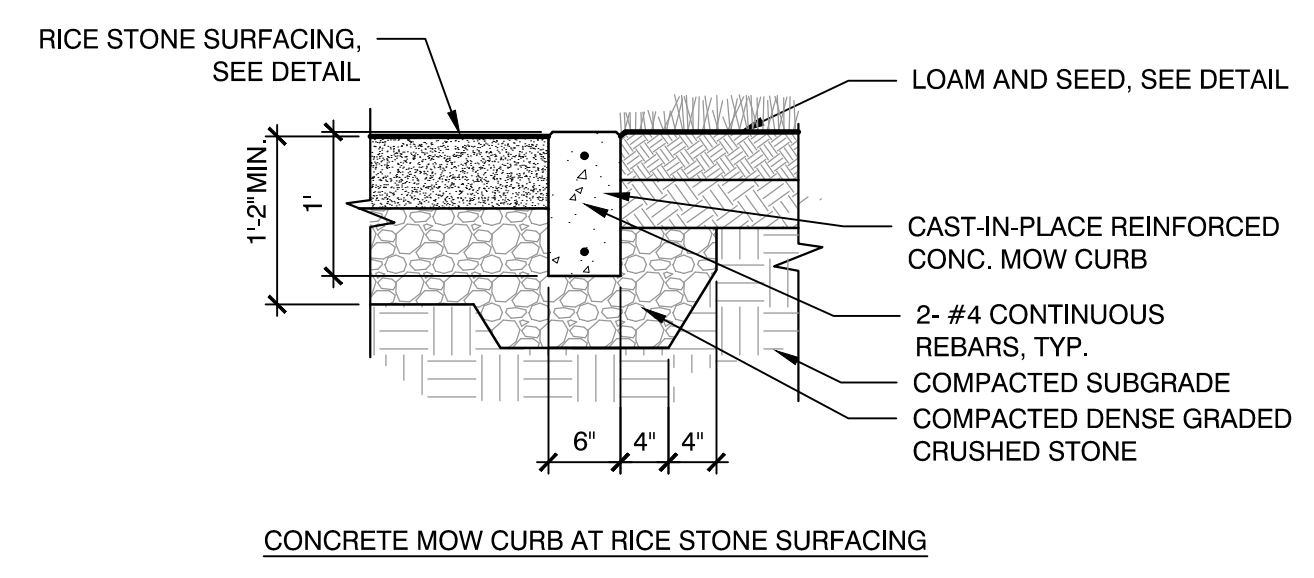
5 FENCE POST FOOTING
SCALE: N.T.S.

5 FENCE POST FOOTING
SCALE: N.T.S.



6 MOW CURB
SCALE: N.T.S.

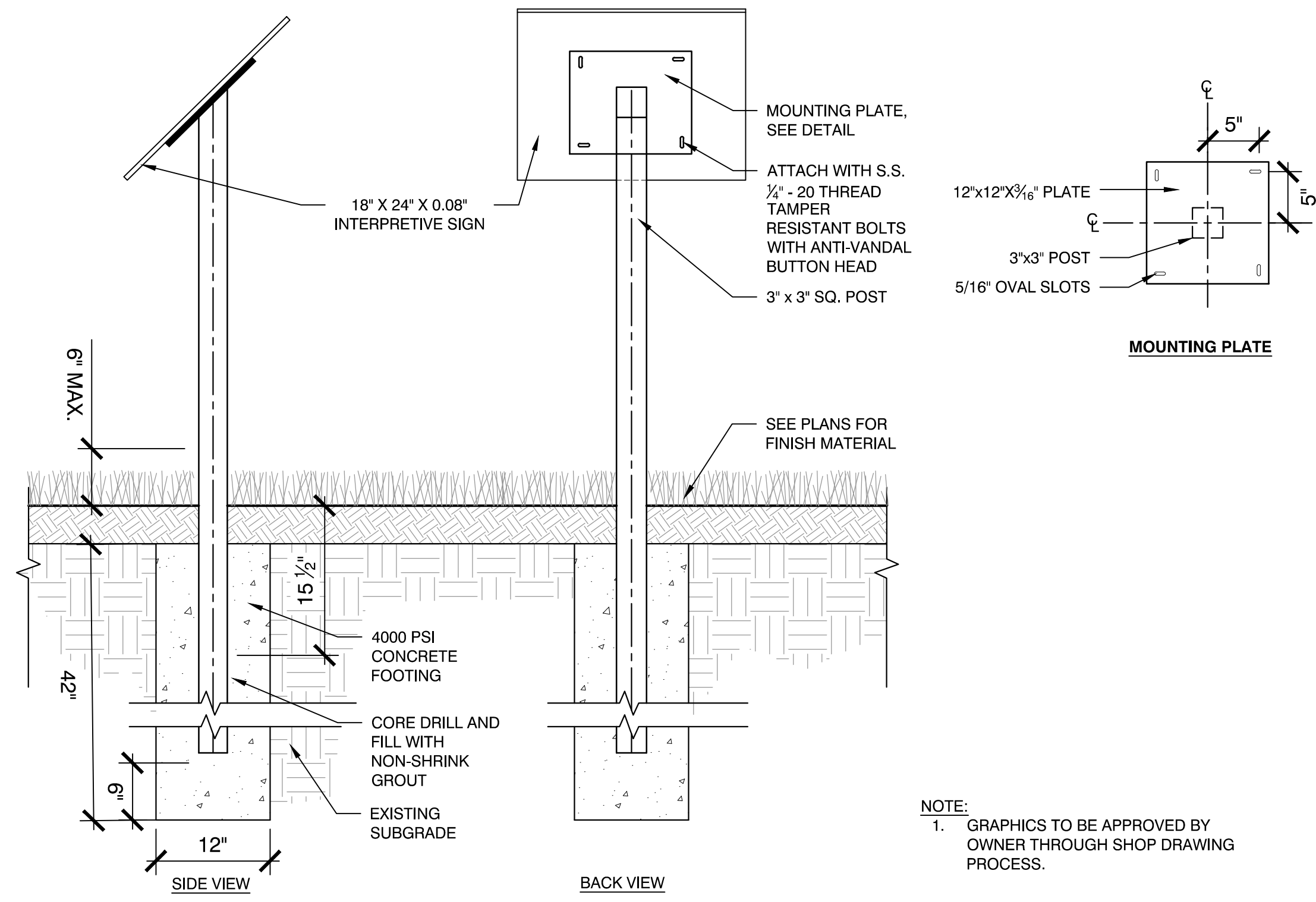
6 MOW CURB
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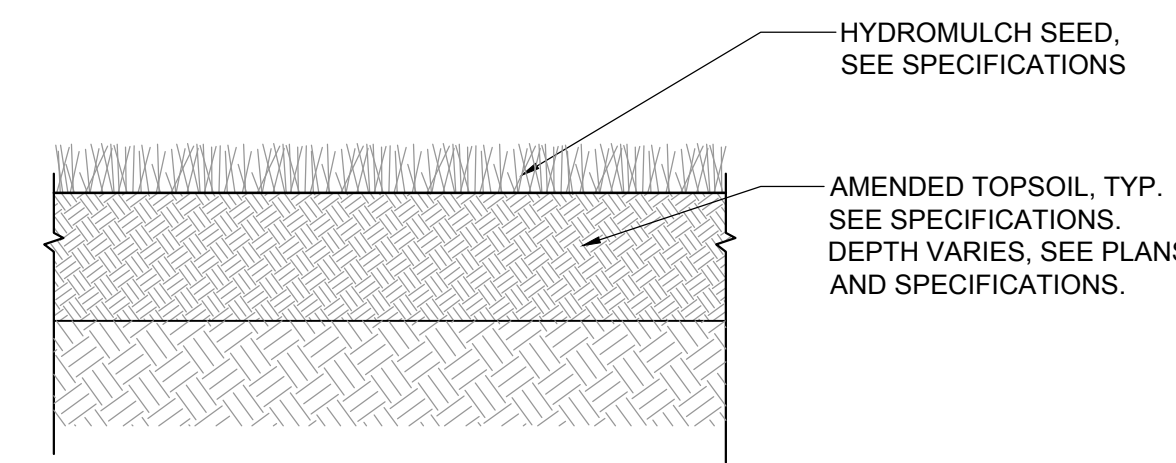
7 CONCRETE MOW CURB AT RICE STONE SURFACING
SCALE: N.T.S.

7 CONCRETE MOW CURB AT RICE STONE SURFACING
SCALE: N.T.S.

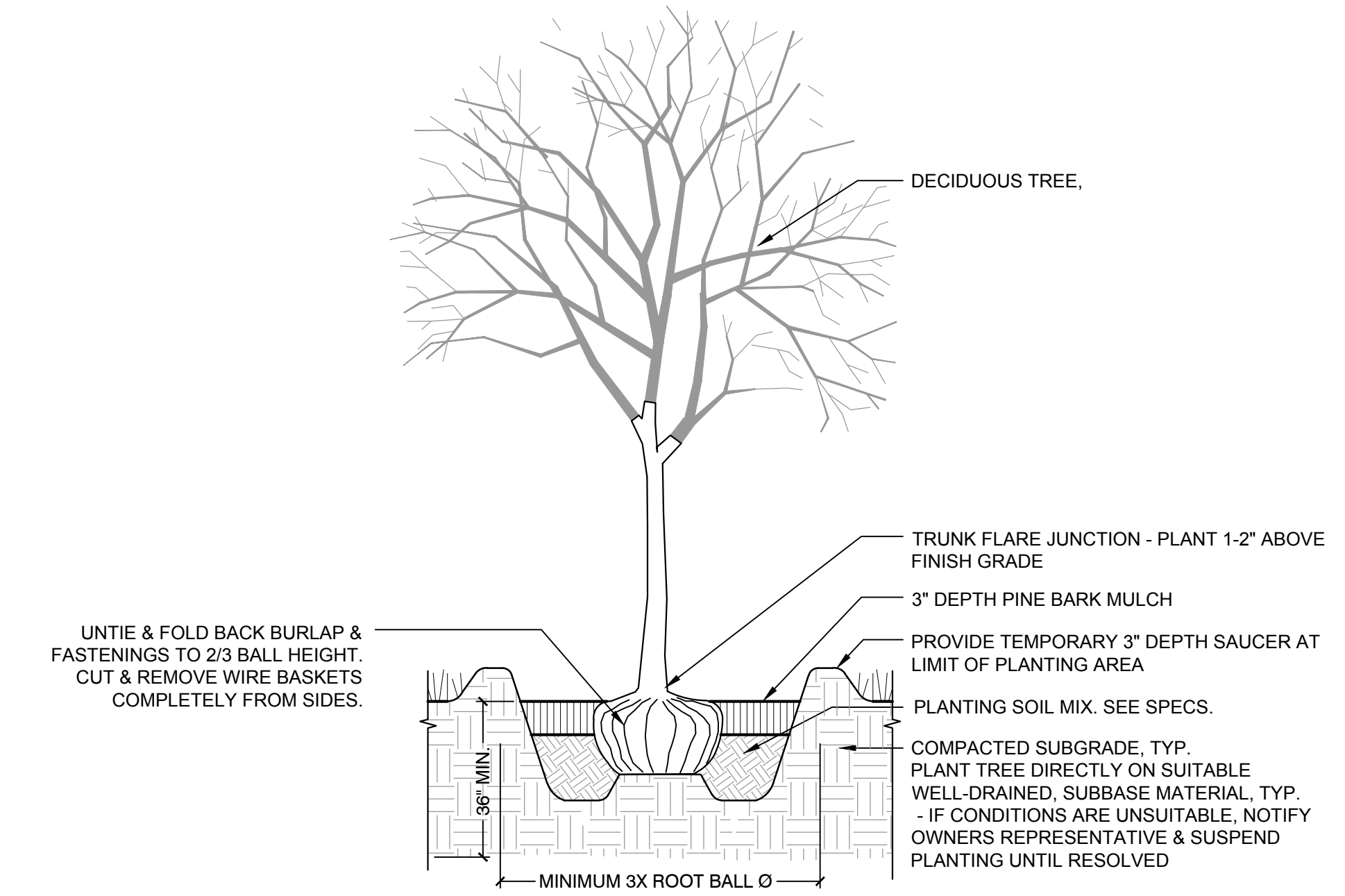
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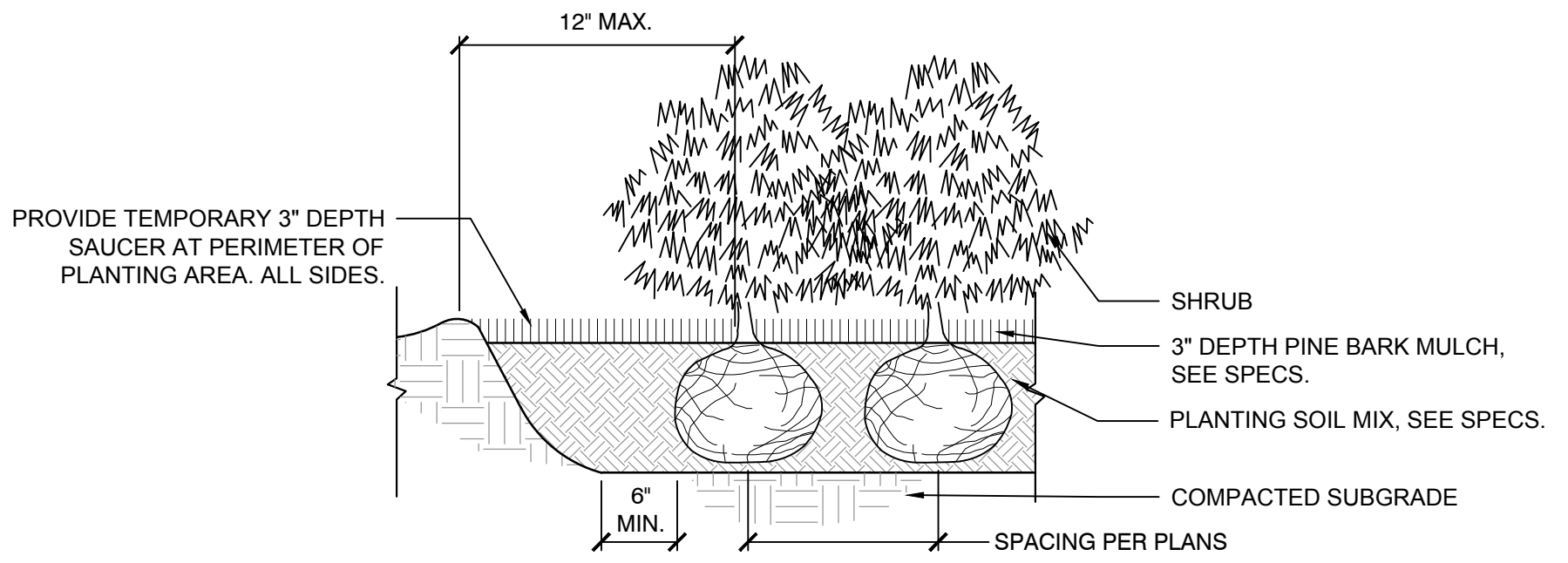
1 DOG PARK NAME SIGN
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2 LOAM AND SEED
SCALE: N.T.S.



3 TREE PLANTING
SCALE: N.T.S.



4 SHRUB PLANTING
SCALE: N.T.S.

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