

SETTLEMENT AGREEMENT

This Agreement (“Agreement”) is made and entered into this ____ day of May, 2023 (“Effective Date”), by and between Settler’s Glen, LLC, a Massachusetts limited liability corporation with a principal office located at 20 North Park Avenue, Suite 4, Plymouth, Massachusetts 02360 (“SGLLC”), Zoning Board of Appeals of Wareham with a principal office located at Town Hall, 54 Marion Road, Wareham, Massachusetts 02571 (“ZBA”) and Onset Fire District Water Department (“Water Department”) a municipal quasi corporation having an address of 15 Sand Pond Road, East Wareham (Onset), MA 02538 (with SGLLC, ZBA and Water Department collectively referred to herein as the “Parties”).

WITNESSETH:

WHEREAS, SGLLC seeks approval to build a 20-unit residential project off Red Brook Road in Wareham pursuant to a Comprehensive Permit from the Wareham Zoning Board of Appeals (the “Project”); and

WHEREAS, on or about July 6, 2022, SGLLC requested in writing that the ZBA issue an order, pursuant to 760 CMR (10)(c) directing the Onset Water Department to:

- a. Approve the water service application filed by SGLLC on September 8, 2021;
- b. Approve the Plans;
- c. Authorize SGLLC to connect to the eight (8) inch water main in Red Brook Road; Authorize the LLC to extend the water line service into SGLLC’s property as shown on the Plans;
- d. Authorize SGLLC to connect the twenty (20) units to the water line as shown on the Plans;
- e. Waive all connection fees; and
- f. Take any and all additional steps and actions as may be necessary to allow the permitted project to connect to the water system forthwith to effectuate the issuance of the Comprehensive Permit and construction of the project; and,

WHEREAS, SGLLC also requested that the ZBA, in the event that the Onset Water Department failed to approve and authorize the work within twenty (20) days of the filing of the order with Wareham Town Clerk, approve and authorize all work necessary to connect the approved project to the water distribution system; and,

WHEREAS, the ZBA at its July 27, 2022 meeting voted 4-1 not to issue an Order to the Water Department; and,

WHEREAS, on or about August 12, 2022, SGLCC filed an appeal of the ZBA’s denial of SGLLC’s request for an enforcement order with Housing Appeals Committee (“HAC”) Docket No. 2022-11; and,

WHEREAS, the Water Department entered an appearance in the HAC matter and denied that it was subject to the HAC’s jurisdiction or that it was a “local board” within the meaning of M.G.L. chapter 40B; and,

WHEREAS, the Parties agreed to participate in mediation in the HAC proceedings; and,

WHEREAS, on or about October 17, 2022, HAC referred the matter for mediation to the Massachusetts Office of Public Collaboration; and,

WHEREAS, on December 21, 2022 and March 28, 2023, mediation sessions were held at Wareham Multi Service Center with Arthur Kreiger, Esq. acting as the mediator; and,

WHEREAS, during the first mediation session it was discussed that, PA Landers, the contractor for the Massachusetts Department of Transportation (MassDOT) performing roadway reconstruction and related work along and within Cranberry Highway, may have a no-cost-to-Onset-Fire-District change order approved by MassDOT to install an 8” water main which will connect to the existing 12” water main on the southerly side of Cranberry Highway, and cross said highway to a point on the northerly side of Cranberry Highway where a hydrant will be installed for the purpose of providing improved fire protection on the northerly side of Cranberry Highway (hereinafter the “Change Order”), and said 8” water main and hydrant are expected to be installed, by PA Landers under the Change Order, in the vicinity of the southerly end of Settler’s Glen’s easement to Cranberry Highway and the northerly side of Cranberry Highway; and,

WHEREAS, by letter dated March 6, 2023, MassDOT approved the Change Order;

NOW, THEREFORE, for and in consideration of the promises and mutual covenants of the Parties as described herein, the adequacy and sufficiency of which are hereby expressly acknowledged, the Parties hereto covenant and agree as follows:

1. **Change Order by the Massachusetts Department of Transportation**. SGLLC shall connect to the 8" water main located in Red Brook Road and extend and install the water line from this connection onto the project site and down to the northerly edge of Cranberry Highway to a connection to the 8” water main and hydrant to be furnished and installed pursuant to the Change Order. The Water Department will coordinate the location of the water main under the Change Order with MassDOT and/or PA Landers so that the hydrant will be installed near the 8” gate valve shown on the plans approved by the Water Department’s engineer. If SGLLC installs the 8” water main and gate valve to the northerly edge of Cranberry Highway prior to PA Landers completing its work, the Water Department will request that PA Landers make the connection to 8” gate valve to complete the connection. If PA Landers does not complete the connection, then SGLLC shall be responsible to complete the connection.

2. **Connection Fees.** SGLLC will pay the connection fees described in the attached Water Services Agreement.
3. **Inspection Fees.** SGLLC will pay the inspection fees described in the attached Water Services Agreement.
4. **Motion to Stay the Matter with HAC.** If necessary, the parties agree to file a motion to stay the matter with HAC for ninety (90) days. Upon approval of the change order by Mass DOT as set forth in paragraph 1, the HAC Matter shall be dismissed and the parties shall follow this Agreement as a contract between the parties.
5. **Costs.** Each of the Parties will bear their own attorney costs and fees arising out of the negotiation of this settlement.
6. **No Other Promises.** No promise or agreement other than those recited above has been made as consideration for the releases affected by this Agreement.
7. **Entire Agreement.** This Agreement constitutes the entire agreement of the Parties regarding the Project. All prior understandings, representations and agreements regarding the Project are merged into this Agreement, and it shall not be modified in any manner except by a written instrument signed by the Parties. Nothing in this Agreement shall be construed to limit the right of the Onset Water Department to enforce its applicable rules, regulations, policies, procedures or requirements, except that the plans entitled Settler's Glen Comprehensive Permit Plan dated January 12, 2021 (rev. April 14, 2023) shall govern the construction of the Project in the event of an inconsistency with those rules, regulations, and other documents.
8. **Voluntary Agreement/Advice of Counsel.** The Parties confirm that this Agreement is entered into voluntarily after ample opportunity to review the documents associated therewith with any individuals, advisors and counsel so desired.
9. **Governing Law.** This Agreement shall be governed and interpreted by the laws of the Commonwealth of Massachusetts.
10. **Counterparts.** This Agreement may be executed in several counterparts, each of which shall constitute an original.
11. **Severability.** If it is ever determined that any of the terms of this Agreement are null, void or inoperative for any reason, such provisions shall be considered severable and all remaining provisions shall retain their full force and effect.
12. **Authority to Enter Agreement.** The Parties to this Agreement represent and warrant that the individuals executing this Agreement on the Parties' behalf have the power, authority, capacity and competence to bind each respective party to the obligations and undertaking set forth in this Agreement, including the releases set forth herein.

13. **Digital and Electronic Signatures.** The Parties agree that the scanned or faxed signature of any individual executing this Agreement on the Parties' behalf shall be deemed acceptable and binding by all Parties for the purposes of this settlement.
14. **Execution of Supplementary Documents.** The Parties agree to cooperate fully in the execution of any and all supplementary documents and to take all additional actions that may be necessary or appropriate to give full force and effect to the terms and intent of this Agreement.
15. **No Admission of Liability.** It is understood that the aforesaid consideration is given and received for the purpose of compromising a disputed claim, and shall not be construed to constitute an admission of liability by any party. Nor shall this agreement be construed as a waiver, release or admission with respect to any claim or defense that was not adjudicated in the HAC proceeding. Specifically, by entering into this Agreement, the Water Department does not waive or compromise its legal position that it is not a local board within the meaning of M.G.L. chapter 40B, and reserves its right to assert said legal position in future proceedings before the Zoning Board of Appeals, the HAC and any other judicial or administrative body.
16. **Enforcement.** If any party brings litigation to enforce the terms of this agreement, then the prevailing party in that litigation shall be entitled to recover their reasonable attorney fees and costs incurred in that litigation from the non-prevailing party. This Agreement shall not be admissible in any administrative or judicial proceeding other than a proceeding to enforce the terms of this Agreement.
17. **Dispute Resolution.** If any dispute arise regarding the interpretation or application of this Agreement, the Parties shall use all reasonable efforts to resolve it amicably and promptly, including by mediation, before asserting any administrative or judicial claim.
18. **Incorporated Documents:** The following documents are attached hereto and incorporated herein by reference:
 - A. Water Services Agreement dated April ____, 2023;
 - B. Settler's Glen Comprehensive Permit Plan dated January 12, 2021 and revised April 14, 2023;
 - C. Letter of OSD Engineering Consultants dated April 25, 2023;
 - D. Letter of Mass. DOT dated March 6, 2023 (re: adding hydrant at easterly limit of Cranberry Highway Project, Contract Number 105995)

IN WITNESS WHEREOF, the Parties under seal has executed this Settlement Agreement this day.

Settler's Glen, LLC

By: _____
Ivo Coll, Manager

Date: _____

IN WITNESS WHEREOF, the Parties under seal have executed this Settlement Agreement this day.

Onset Fire District Water Department

Board of Water Commissioners:

By: David Halberstadt Date: 4/28/2023
David Halberstadt, Chairman

By: Ken Fontes Date: 4/28/23
Ken Fontes, Clerk

By: _____ Date: _____

IN WITNESS WHEREOF, the Parties under seal have executed this Settlement Agreement this day.

Wareham Zoning Board of Appeals

By: _____ Date: _____
Nazih Elkallassi, Chairman

By: _____ Date: _____
James Eacobacci, Clerk

By: _____ Date: _____
Jacob Morrison, Member

By: _____ Date: _____
Veronica DeBonise, Member

By: _____ Date: _____
Richard Semple, Member

By: _____ Date: _____
Troy Larson, Associate Member

ATTACHMENT "A"

Water Services Agreement Settler's Glen

The Agreement is entered into the ____ day of April, 2023 between the Onset Fire District Water Department, acting by and through its Board of Water Commissioners, having a principal office at 15 Sand Pond Road, Onset, Massachusetts 02558 and Settler's Glen, LLC of 20 North Park Avenue, Suite 4, Plymouth, Massachusetts 02360 ("SGLLC"), concerning the fees associated with the development known as Settler's Glen (the "Project").

Inspections and Fees

SGLLC shall deposit \$15,000.00 in an escrow account for inspections by the Water Department's review engineer and replenish as necessary to maintain a \$15,000.00 amount. The escrow account shall be established and maintained by the Onset Fire District. Onset Water Department is responsible for reviewing and approving the inspection invoices. SGLLC will be provided a copy of the invoices to confirm the amount necessary to replenish the escrow account. The engineer shall charge a minimum of 4 hours per inspection visit, including 2 hours of travel time. At the end of each inspection, he or she shall inform both Parties in writing of the date and hours of the inspection. SGLLC shall review and approve the bills for inspections to verify dates and times within 5 business days. The engineer shall inspect as much of the construction as appropriate. SGLLC, or its designee, may request an inspection with at least 72 hours' notice to the water superintendent or the inspecting engineer. The parties will use best efforts to coordinate construction and inspections and to minimize the number of inspections. Any money remaining in the inspection escrow account after the inspections are complete will be returned to SGLLC within 30 days of a written request to release the funds.

Connection Fees

SGLLC shall pay Water Department connection fees of \$160,000 for the following connections for the Project:

- One 8-in service off Red Brood Road
- One 8-in service off Cranberry Highway
- One 2-in service
- 20 1-in service connections

SGLCC shall pay the fees at least 15 business days prior to the commencement of any construction activities associated with the water work for the project. SGLLC agrees to notify the Water Department in writing prior to the start of any water work by SGLLC or its contractors.

Executed by the parties this ____ day of April, 2023.


Settler's Glen, LLC

Ivo Coll, Manager

**Onset Water Department
Board of Water Commissioners:**



David Halberstadt, Chairman



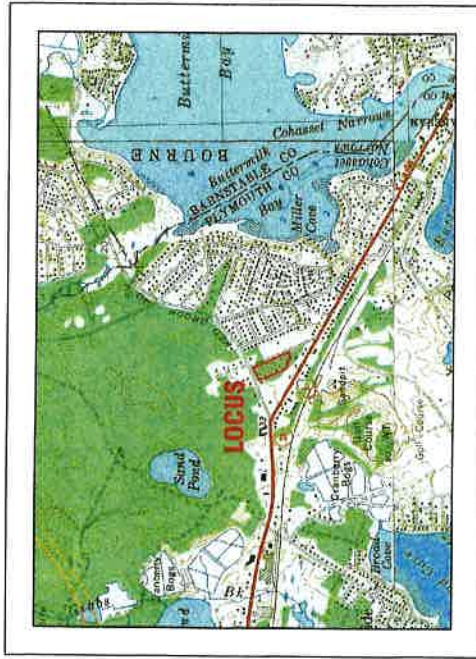
Ken Fontes, Clerk

ATTACHMENT "B"

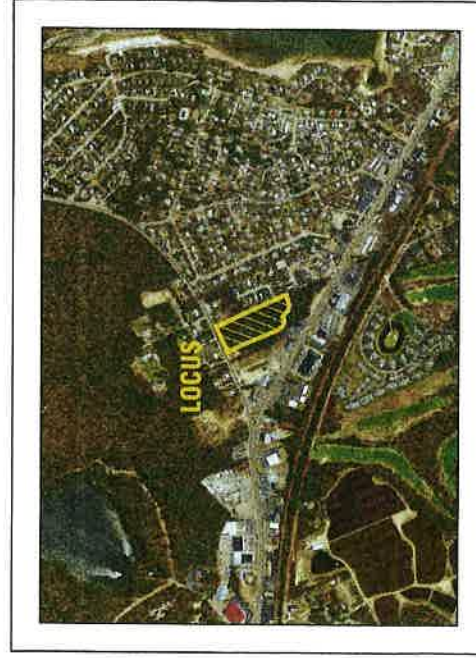
"SETTLER'S GLEN" COMPREHENSIVE PERMIT PLAN RED BROOK ROAD WAREHAM, MASSACHUSETTS

OWNER: SETTLER'S GLEN, LLC
20 NORTH PARK AVE., SUITE 4
PLYMOUTH, MA 02360

APPLICANT: SETTLER'S GLEN, LLC
20 NORTH PARK AVE., SUITE 4
PLYMOUTH, MA 02360



— U.S.G.S. LOCUS PLAN —
SCALE: 1"=1000'



— AERIAL OVERVIEW —
SCALE: 1"=500'

SITE DATA:
ADDRESS: RED BROOK ROAD
ZONING DISTRICT: MR-30 / LOT (NOTICED)
ZONING DISTRICT: MULTIFAMILY RESIDENCE 30 (MR-30)
OVERLAY DISTRICT: GROUND WATER PROTECTION OVERLAY DISTRICT
WATER SUPPLY: TOWN WATER
SANITARY SEWER: TOWN SEWER

ZONING DATA:

ZONING DISTRICT	MR-30	MR-30	MR-30	PROVIDED
MIN. LOT AREA	50,000 S.F.*	(1 FAMILY DWELLING)	45,000 S.F.*	158,700 S.F.
MIN. FRONT SETBACK	20'	20'	20'	30'
MIN. REAR SETBACK	10'	10'	10'	10'
MIN. SIDE SETBACK	10'	10'	10'	10'
MAX. GROUND COVER	35%	35%	35%	35%
MAX. IMPERV. COVER	NR	NR	NR	NR

* (SIDE OF THE MINIMUM REQUIRED LOT AREA MUST BE CONTIGUOUS (PLANNED))

FLOOD ZONE DATA:
THE PROJECT IS LOCATED WITHIN FLOOD ZONE X-1, SPONSORED BY FEMA A FLOOD ZONE MAP DATED JULY 1, 2012.
250230044H DATED JULY 1, 2012.

PLAN INDEX:

SHEET NO.	DESCRIPTION:
1	COVER SHEET
2	GENERAL NOTES & LEGEND
3	CONCRETE FOUNDATIONS PLAN
4	COVERED TERRACE
5	LAYOUT & UTILITIES
6	PLAN & ROADWAY PROFILE-1
7	PLAN & ROADWAY PROFILE-2
8	DETAIL SHEET 1
9	DETAIL SHEET 2
10	LANDSCAPE PLAN
LSP-1	LANDSCAPE PLAN

PARKING DATA:
REQUIRED 2 PARKING SPACES FOR EACH DWELLING UNIT
PROVIDED: 40 PARKING SPACES
TOTAL REQUIRED=40 PARKING SPACES
TOTAL PROVIDED=40 PARKING SPACES



G.A.F. ENGINEERING, INC.
PROFESSIONAL ENGINEERS & LAND SURVEYORS
206 MAIN STREET, WAREHAM, MA 02571
TEL (508) 295-6600 FAX (508) 295-6634
E-MAIL: info@gafenginc.com

JANUARY 12, 2021

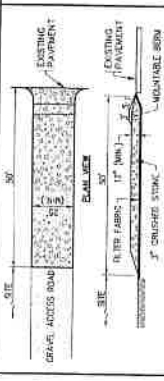
REV.	DATE	BY	APP'D	DESCRIPTION
1	4/16/21	JMP	WMA	RE-TORN & RE-REVISION COUNTS
2	5/11/21	JMP	WMA	NO CHANGES THIS SHEET
3	6/3/21	JMP	WMA	OWNER & SHEET NAME CHANGE
4	12/17/21	JMP	WMA	UPDATE WATER SEWER PERMITS COUNTS
5	2/22/22	JMP	WMA	NO CHANGES THIS SHEET
6	5/10/22	JMP	WMA	NO CHANGES THIS SHEET
7	4/8/23	JMP	WMA	NO CHANGES THIS SHEET
8	1/14/23	JMP	WMA	NO CHANGES THIS SHEET

DATE: JAN. 12, 2021
DRAWN BY: JMP
CHECKED BY: WMA
JOB NO.: 18-29247
SCALE: AS SHOWN



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E-MAIL: info@gafenginc.com

"SETTLER'S GLEN" PERMIT PLAN
COMPREHENSIVE PERMIT PLAN
COVER SHEET
PREPARED FOR:
SETTLER'S GLEN, LLC
20 NORTH PARK AVE., SUITE 4
PLYMOUTH, MA 02360



NOTES:

1. ENTRANCE SHALL BE MAINTAINED AT ALL TIMES TO PREVENT EROSION. THE FULL WIDTH AT POINTS WHERE ENTRANCE IS LOCATED SHALL BE MAINTAINED AT ALL TIMES TO PREVENT EROSION. THE ENTRANCE SHALL BE MAINTAINED AT ALL TIMES TO PREVENT EROSION. THE ENTRANCE SHALL BE MAINTAINED AT ALL TIMES TO PREVENT EROSION.
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NOTES:

1. CONTRACTOR SHALL PROVIDE AND MAINTAIN STAGED SILTATION FENCING EROSION CONTROL BARRIERS AS SHOWN ON THE PLANS. SEE DETAIL.
2. THE LOCATION AND DETAILS OF TEMPORARY CONSTRUCTION FENCE AND GATES SHALL BE DETERMINED BY THE CONTRACTOR AT THE TIME OF CONSTRUCTION. CONTRACTOR SHALL MAINTAIN EROSION CONTROL BARRIERS THROUGHOUT CONSTRUCTION.
3. FINAL LOCATIONS AND DETAILS OF TEMPORARY CONSTRUCTION FENCE AND GATES SHALL BE DETERMINED BY THE CONTRACTOR AND BIONEER.

REV	DATE	BY	DESCRIPTION
1	4/28/21	MAP	NO CHANGES THIS SHEET
2	5/11/21	MAP	NO CHANGES THIS SHEET
3	6/13/21	MAP	NO CHANGES THIS SHEET
4	7/17/21	MAP	NO CHANGES THIS SHEET
5	8/2/21	MAP	NO CHANGES THIS SHEET
6	8/2/21	MAP	NO CHANGES THIS SHEET
7	8/2/21	MAP	NO CHANGES THIS SHEET
8	8/2/21	MAP	NO CHANGES THIS SHEET

APPROVED BY: [Signature]

APPROVED BY: [Signature]

DATE: 8/2/21

SCALE: 1" = 30'

JOB NO.: 18-9242

CHECKED BY: WEL

DRAWN BY: WEL

DATE: 8/2/21

PROJECT: EXHIBIT 18-9242

PROJECT: EXHIBIT 18-9242

G.A.F. ENGINEERING, INC.
 PROFESSIONAL ENGINEERS & LAND SURVEYORS
 288 WASH STREET - WAREHAM, MA 02571
 TEL: (508) 558-8000 FAX: (508) 558-8834
 E-MAIL: info@gafeng.com

SETTLER'S GLEN, LLC
 20 NORTH PARK AVE. SUITE 4
 WAREHAM, MA 02571

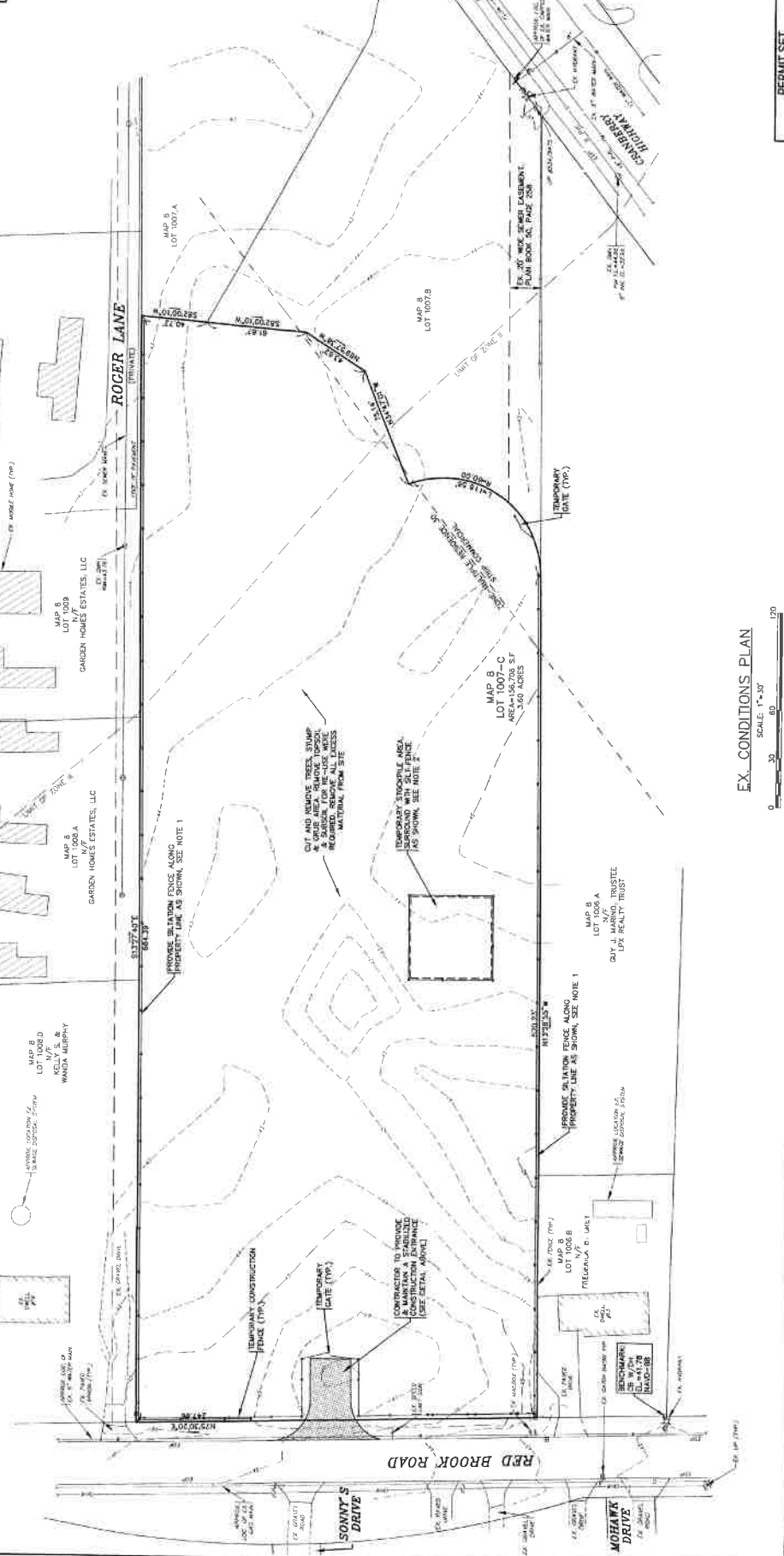
PREPARED FOR: SETTLER'S GLEN, LLC

COMPREHENSIVE PERMIT PLAN
 EXISTING CONDITIONS

DATE: 8/2/21

SCALE: 1" = 30'

3 OF 11



EX. CONDITIONS PLAN

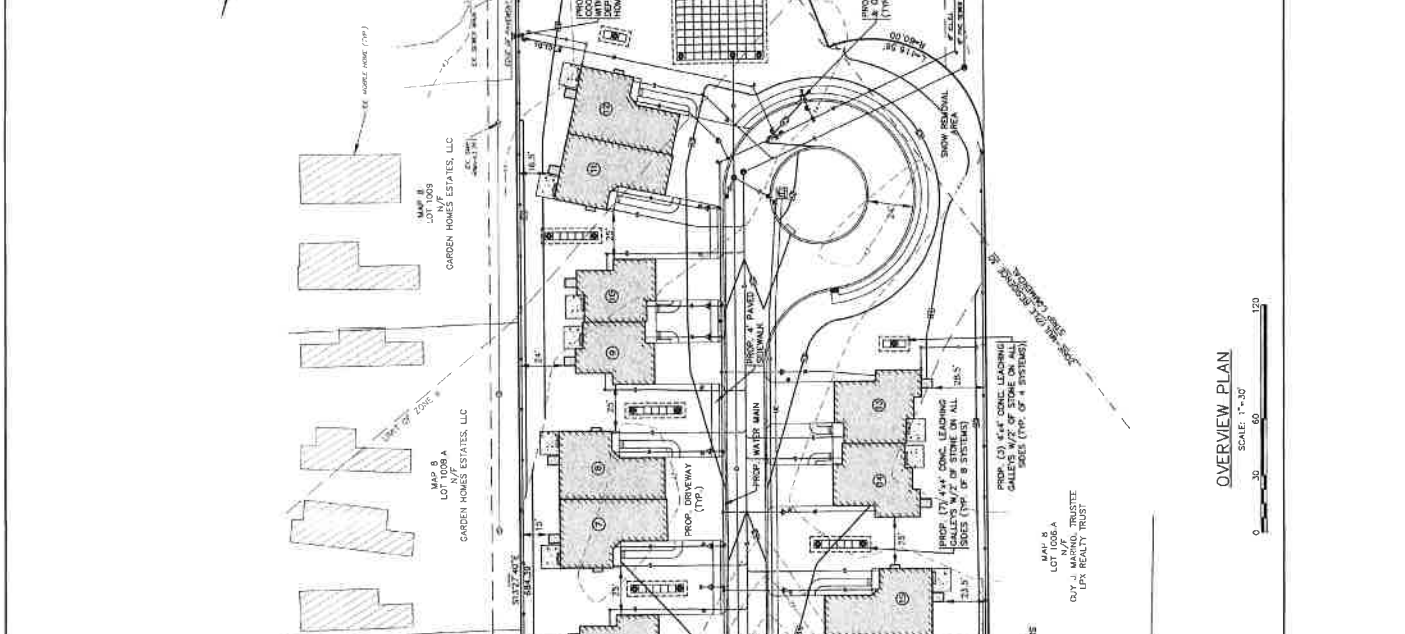
SCALE: 1" = 30'

0 30 60 120


PERMIT SET
(NOT FOR CONSTRUCTION)

DWG. 3 OF 11

- NOTES:**
- REFER TO ARCHITECTURAL PLANS PREPARED BY OTHERS FOR ALL PROPOSED DIMENSIONS, CONSTRUCTION NOTES AND DETAILS.
 - ALL SEWER WORK SHALL BE DONE IN ACCORDANCE WITH THE TOWN OF WAREHAM SEWER COMMISSIONERS RULES AND REGULATIONS.
 - CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY PRIOR TO CONNECTION.
 - REFER TO PAYMENT SCHEDULE/TRENCH DETAIL ON SHEET 10.
 - CONTRACTOR SHALL OBTAIN EXISTING SEWER ELEVATION PRIOR TO CONSTRUCTION, COORDINATE WITH WAREHAM SEWER DEPARTMENT, REFER TO MASSDOT PERMIT # 5-2021-0148 FOR UTILITY ACCESS POINT AND CONDITIONS.
 - WHEN A WATER LINE CROSSES ABOVE THE SEWER LINE, THE WATER LINE SHALL BE A MINIMUM OF 18" ABOVE THE SEWER LINE. AT THE POINT WHERE THE WATER AND SEWER PIPES CROSS, BOTH THE WATER AND SEWER PIPES SHALL BE CONSTRUCTED OF CLASS 150 PRESSURE RATED PIPE MEETING LATEST AWWA STANDARDS. FOR COMPLETE DETAILS REFER TO THE ONSET FIRE DISTRICT AND ONSET WATER DEPARTMENTS RULES AND REGULATIONS.
 - WHEN A WATER LINE CROSSES BELOW A SEWER LINE, THE WATER LINE SHALL BE A MINIMUM OF 18" BELOW THE SEWER LINE AND THE SEWER LINE SHALL BE CONSTRUCTED OF CLASS 150 PRESSURE RATED PIPE MEETING LATEST AWWA STANDARDS. FOR COMPLETE DETAILS REFER TO THE ONSET FIRE DISTRICT AND ONSET WATER DEPARTMENTS RULES AND REGULATIONS.
 - WHEN A WATER LINE IS INSTALLED LESS THAN 10' TO A SEWER LINE, THE WATER LINE MUST BE LAID IN A SEPARATE TRENCH OR ON AN AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER LINE.
 - THE CONTRACTOR SHALL OBTAIN A COPY OF THE "ONSET FIRE DISTRICT WATER DEPARTMENT GENERAL PROCEDURES, CONSTRUCTION SPECIFICATIONS & MATERIAL SPECIFICATIONS" FROM THE ONSET WATER DEPARTMENT BEFORE PROCEEDING WITH THE INSTALLATION OF THE WATER SYSTEM.
 - EXISTING UTILITY POLE ASSETS SHALL BE SUPPORTED/PROTECTED DURING CONSTRUCTION AND THE EXISTING GUY WIRE SHALL BE TEMPORARILY REMOVED AND RESET, COORDINATE WITH LOCAL UTILITY COMPANY PRIOR TO CONSTRUCTION.
 - REFER TO MASSDOT PERMIT # 5-2021-0149 FOR UTILITY ACCESS POINT AND CONDITIONS.
 - CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF THE EXISTING OR CAPPED WATER SERVICE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONNECT TO THE EXISTING 8" WATER MAIN PER THE ONSET FIRE DISTRICT AND ONSET WATER DEPARTMENT REQUIREMENTS.



REV.	DATE	BY	DESCRIPTION
1	8/26/21	WFL	PER TOWN & PEER REVIEW COMMENTS
2	9/11/21	WFL	PER TOWN & PEER REVIEW LETTER
3	9/21/21	WFL	OWNER & STREET NAME CHANGE
4	12/1/21	WFL	ONSET WATER DEPARTMENT COMMENTS
5	2/22/22	WFL	PER ZON PERMIT # 5-21
6	5/10/22	WFL	WATER MAIN CONNECTION NOTES
7	4/6/23	WFL	ADD EX. HYDRANT & BY AT SITE
8	4/14/23	WFL	PER OSD ENGINEERING COMMENTS

APPROVED BY:  APPROVED BY: _____

DATE: JAN. 12, 2021

SCALE: 1" = 30'

G.A.F. ENGINEERING, INC.
 PROFESSIONAL ENGINEERS & LAND SURVEYORS
 208 MAIN STREET - WAREHAM, MA 02571
 TEL: (508) 293-6500 FAX: (508) 293-6534
 E-MAIL: info@gafeng.com

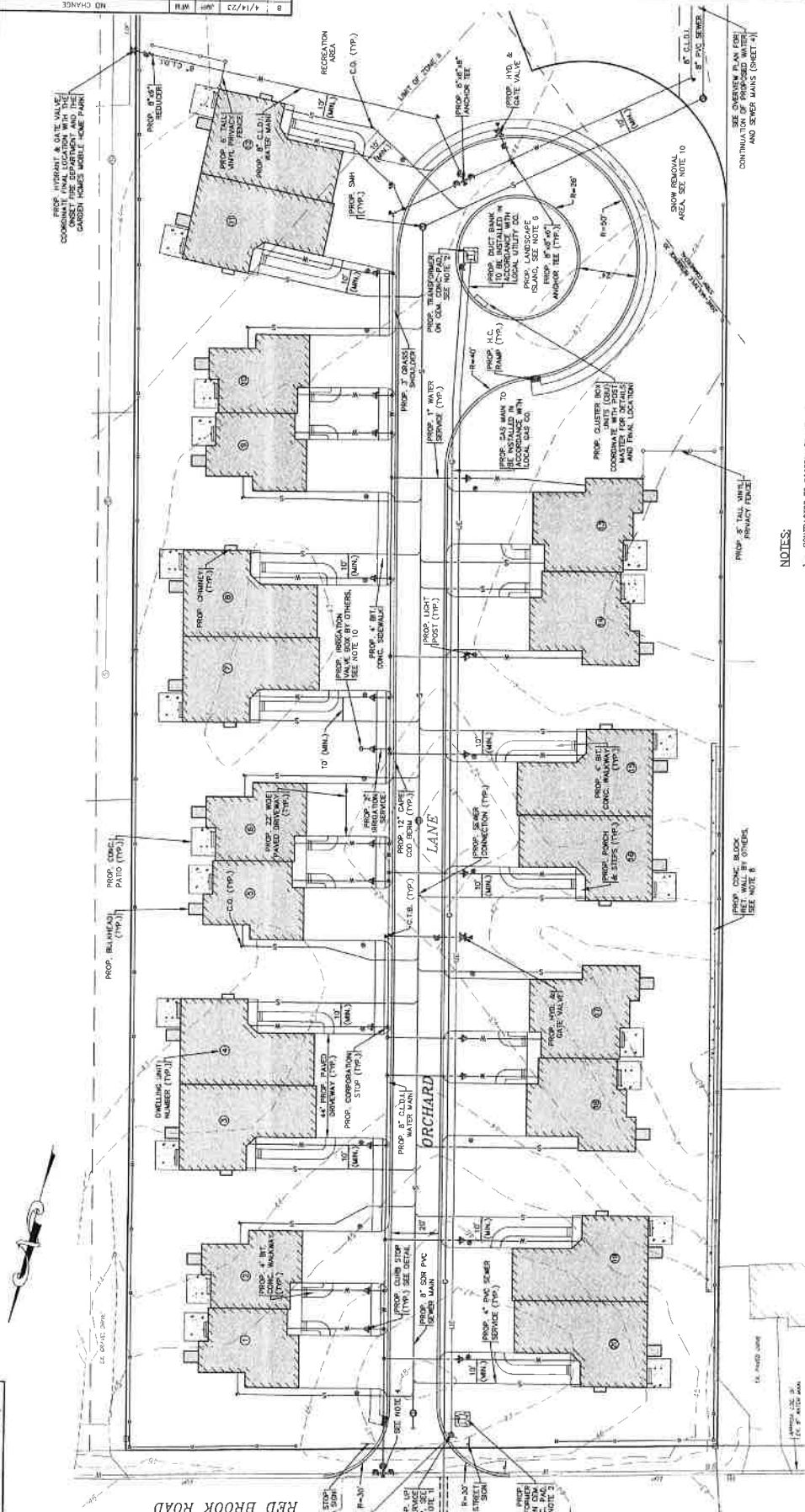
PREPARED FOR:
SETTLER'S GLEN, LLC
 20 NORTH PARK AVE. SUITE # _____
 WAREHAM, MA

PROJECT: **"SETTLER'S GLEN" OVERVIEW PLAN**

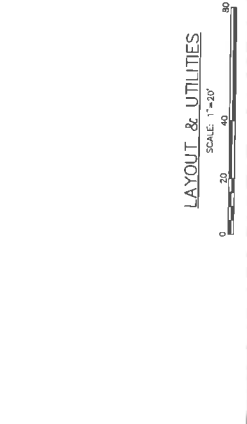
4 OF 11
 DWG. 18-0247
 PERMIT SET
 (NOT FOR CONSTRUCTION)

SCALE: 1" = 30'
 0 30 60 120

PERMIT SET
(NOT FOR CONSTRUCTION)



- NOTES:**
1. CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANY FOR FINAL LOCATION OF PROPOSED UTILITY POLE WITH SERVICE DROP.
 2. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY FOR FINAL LOCATION, SIZE AND CONFIGURATION OF TRANSFORMERS. PROTECT TRANSFORMERS WITH BOLLARDS.
 3. FINAL LOCATIONS, DEPTHS AND CONSTRUCTION OF UNDERGROUND ELECTRIC AND GAS SERVICES SHALL BE DETERMINED BY THEIR RESPECTIVE UTILITIES' PROPERTY.
 4. REFER TO THE DRAWING OF WATER MAIN WITH AN 8\"/>



NO. REV.	DATE	BY	DESCRIPTION
1	4/14/23	JLP	NO CHANGE
2	4/14/23	JLP	PER DSP ENGINEERING COMMENTS
3	5/10/23	JLP	NO CHANGE
4	5/10/23	JLP	NO CHANGE
5	5/22/23	JLP	PER YEA PERMITION 23-21
6	8/17/23	JLP	ONSET WATER DEPARTMENT COMMENTS
7	8/17/23	JLP	OWNER & STREET NAME CHANGE
8	9/26/23	JLP	PER TOWN & P&E REVIEW COMMENTS

DATE: JAN 12, 2021
 DRAWN BY: JLP
 CHECKED BY: WJM
 JOB NO.: 19-2927
 SCALE: 1\"/>

APPROVED BY: [Signature]
 APPROVED BY: [Signature]
 G.A.F. ENGINEERING, INC.
 PROFESSIONAL ENGINEERS & LAND SURVEYORS
 11000 295+RD SW, SUITE 100
 WASHINGTON, WA 98049
 TEL: (206) 295-0000 FAX: (206) 295-6633
 E-MAIL: info@gafeng.com

PREPARED FOR:
 SETTLER'S GLEN, LLC
 20 NORTH PARK AVE., SUITE 4
 WASHINGTON, WA 98049

PROJECT NAME:
 SETTLER'S GLEN
 COMPREHENSIVE PERMIT PLAN
 LAYOUT & UTILITIES
 RED BROOK ROAD

DATE: 12/15/20
 SCALE: 1\"/>

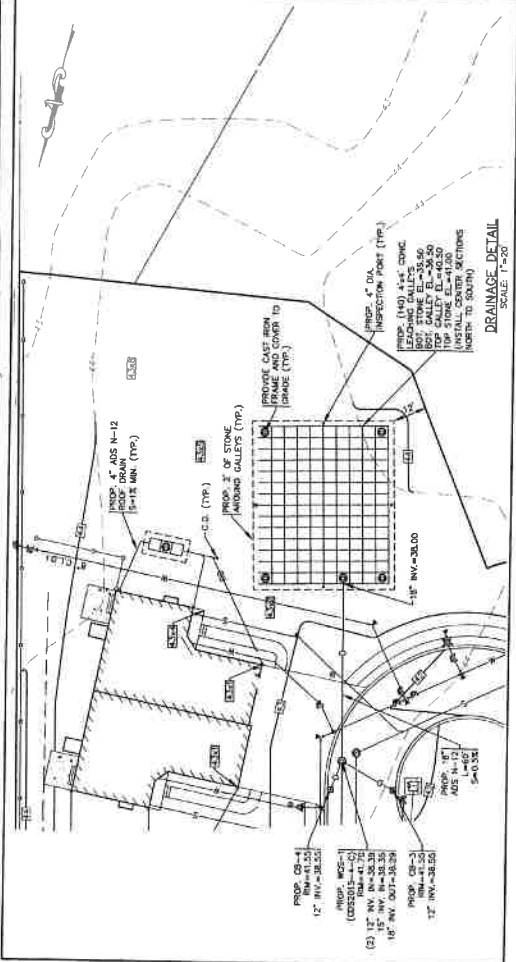
NO. REV. 5 OF 11
 SHEET NO. 18-2927

**"SETTLER'S GLEN"
 COMPREHENSIVE PERMIT PLAN
 GRADING & DRAINAGE**
 PREPARED FOR:
 SETTLER'S GLEN, LLC
 RED BROOK ROAD
 WASHINGTON, MA 01897

G.A.F. ENGINEERING, INC.
 PROFESSIONAL ENGINEERS & LAND SURVEYORS
 200 MAIN STREET WASHINGTON, MA 01897
 TEL: (508) 552-8100 FAX: (508) 552-6934
 E-MAIL: info@gaf-engineering.com



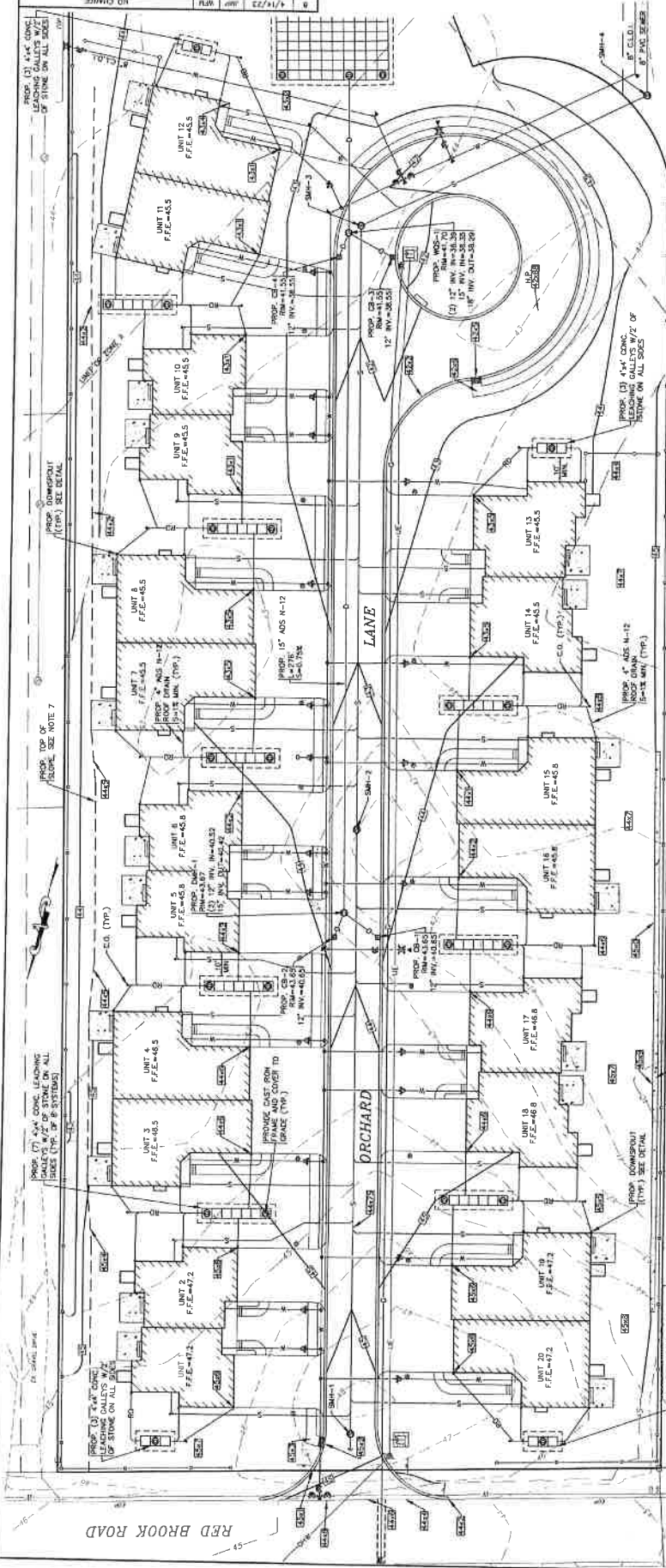
REV	DATE	BY	APP'D	DESCRIPTION
1	4/9/23	JAP	JAP	PERFORM & PEER REVIEW COMMENTS
2	8/15/23	JAP	JAP	PERFORM & PEER REVIEW COMMENTS
3	8/15/23	JAP	JAP	OWNER & ARCHITECT NAME CHANGE
4	12/1/23	JAP	JAP	OWNER MAKE DEPARTMENT CHANGES
5	12/22/23	JAP	JAP	PERFORM PEER REVIEW COMMENTS
6	12/22/23	JAP	JAP	NO CHANGE
7	4/8/23	JAP	JAP	NO CHANGE
8	4/15/23	JAP	JAP	NO CHANGE



SUMMARY SHEET ATTRIBUTION SCHEDULE

STRUCTURE	ROW	CL.	INV.	(RW)	INV.	(OUT)
SMH-1	45.32	34.4	34.4	34.4	34.36	
SMH-2	43.52	35.2	35.2	35.42		
SMH-3	41.80	34.57	34.47			
SMH-4	43.24	33.84	33.74			
SMH-5	44.74	37.44	37.54			

GRADING & DRAINAGE
 SCALE: 1"=20'



- NOTES:**
- PROPOSED UNIT FOUNDATIONS SHALL HAVE A TEMPORARY SILL JACK ON AN APPROVED EQUAL AND BEHAVE & DISPOSE OF THE SILL JACKS AT THE COMPLETION OF CONSTRUCTION.
 - WATER MAIN/SERVICES SHALL BE INSTALLED A MINIMUM OF 18" BELOW ALL PROPOSED DRAINAGE LINES.
 - PROPOSED WGS-1 SHALL BE A CDD2015-4-C UNIT FROM CONTEXT ENGINEERED SOLUTIONS LLC.
 - PROPOSED CONCRETE BLOCK RETAINING WALLS (ISSUED BY OTHERS) CONTAINING REINFORCEMENT WITH UNABLE RETAINING WALL SHALL BE PROVIDED WITH SAFETY GUARDRAILS. SHIP DRAWINGS FOR RETAINING WALL CONSTRUCTION TO BEING SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION.
 - FOR COMPLETE DRAINAGE OPERATION AND MAINTENANCE NOTES SEE SHEET 2.
 - ALL DWELLING UNITS TO BE PROVIDED WITH DOWNSPOUTS AND 4" ADS ROOF DRAIN BRING TO GALLEY SYSTEMS. REFER TO ARCHITECTURAL PLANS FOR FINAL DOWNSPOUT LOCATIONS AND DETAILS.
 - THE INTENT OF THE GRADING DESIGN IS TO DIRECT ALL YARD RUNOFF TO ORCHARD LAKE.
 - FINAL BUILDING FOUNDATION GRADES SHALL BE COORDINATED IN THE FIELD WITH CONTRACTOR, ARCHITECT AND ENGINEER.


**PERMIT SET
 NOT FOR CONSTRUCTION**

18" ARCHITECT SCALE FOR PLANETS, ELECTRICALS AND ELEVATION

SETTLER'S GLEN, LLC
COMPREHENSIVE PERMIT PLAN
PLAN & ROADWAY PROFILE SHEET 1

PREPARED FOR:
 SETTLER'S GLEN, LLC
 50 NORTH PARK AVE., SUITE 4
 WATRHAM, MA 01931

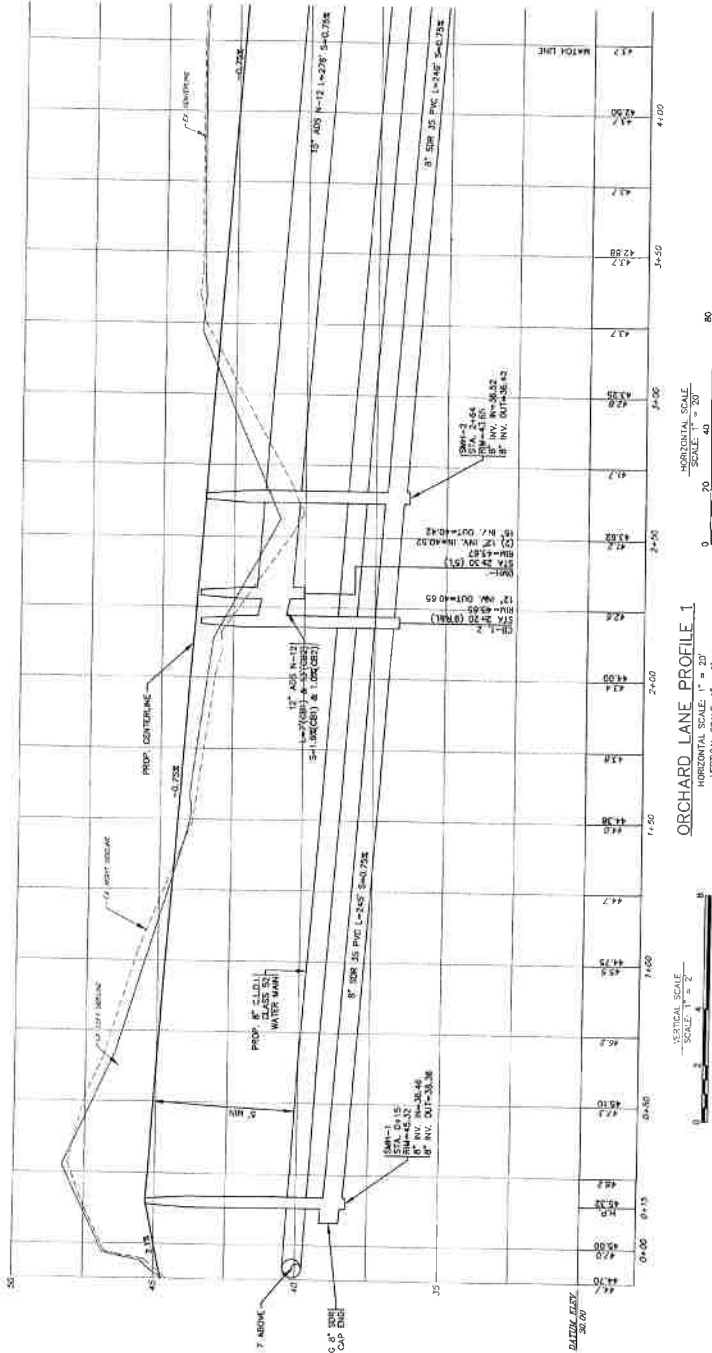
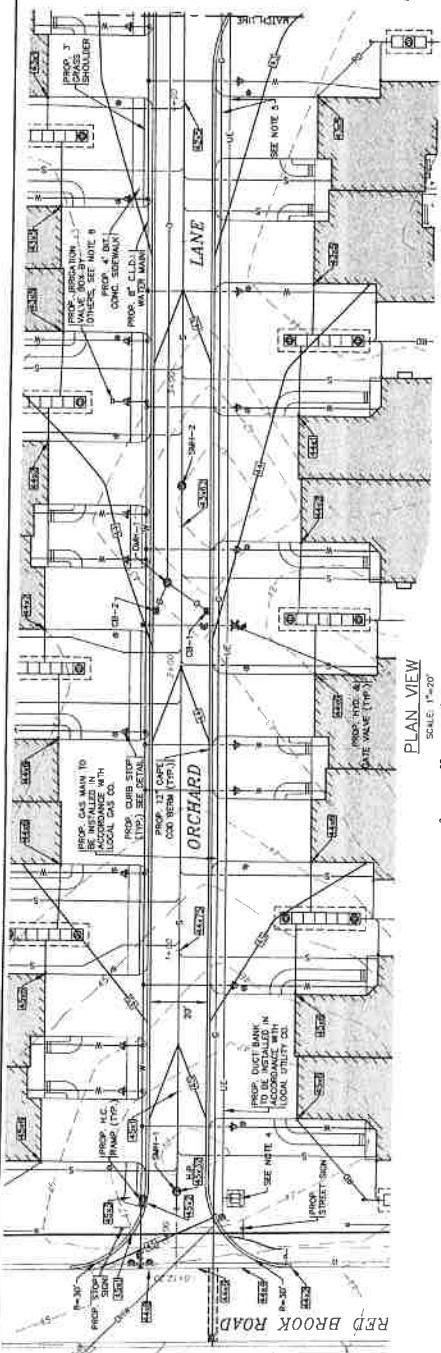
PROFESSIONAL ENGINEERS & LAND SURVEYORS
G.A.F. ENGINEERING, INC.
 788 WAH STREET - WATRHAM, MA 01937
 TEL: (508) 295-8000 FAX: (508) 293-8934
 E-MAIL: info@gafeng.com

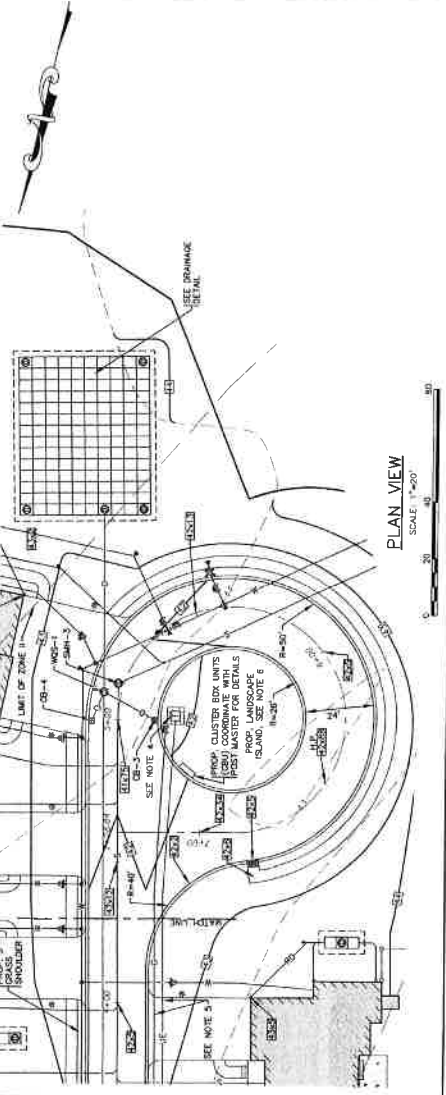
APPROVED BY:  DATE: JAN. 13, 2021

DRAWN BY: JWP
 CHECKED BY: WEM
 DATE: 12/17/21
 DATE: 8/21/21
 DATE: 5/28/21

SCALE: 1" = 20'
 SHEET NO.: 19-2247

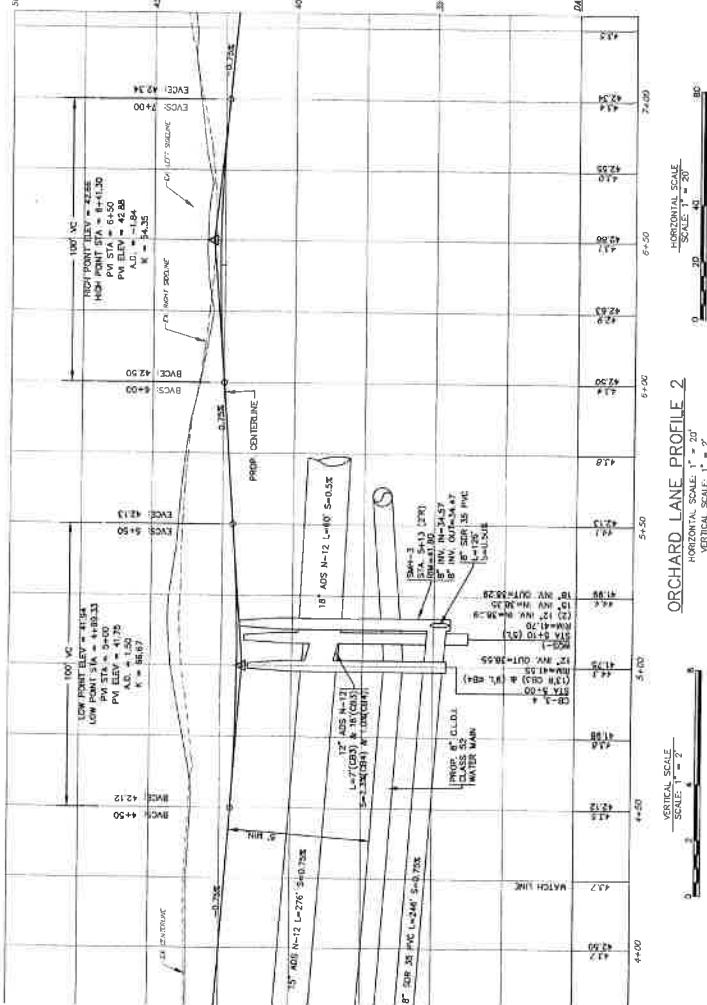
- NOTES:**
- ALL PROPOSED CATCH BASINS SHALL HAVE A TEMPORARY SILT SACK OR AN APPROVED EQUAL ALTERNATIVE. THE SILT SACKS SHALL BE INSTALLED IN THE SILT SACKS AT THE END OF THE CONSTRUCTION PERIOD AND REMOVED & DISPOSED OF THE SILT SACKS AT THE COMPLETION OF CONSTRUCTION.
 - WATER MAINS AND WATER SERVICES SHALL BE A MINIMUM OF 18".
 - FOR COMPLETE DRAINAGE OPERATION AND MAINTENANCE NOTES SEE SHEET 2.
 - CONTRACTOR SHALL COORDINATE WITH LOCAL, STATE AND FEDERAL AGENCIES FOR THE INSTALLATION AND CONFORMANCE OF TRANSFORMERS, PROTECT TRANSFORMERS WITH BOLLARDS.
 - FINAL LOCATIONS, DEPTHS AND CONSTRUCTION DETAILS SHALL BE DETERMINED BY THEIR RESPECTIVE UTILITIES COMPANY.
 - REFER TO LANDSCAPE PLANS PREPARED BY ARCHITECT FOR THE EXISTING 8" WATER MAIN WITH AN 8" x 8" TEE AND PROVIDE INSERTION POINT FOR 8" WATER CONNECTION DETAIL ON SHEET 2. ALL WATER CONNECTIONS SHALL BE MADE TO THE EXISTING FIRE DISTRICT AND ASSOCIATED WATER DEPARTMENTS RULES AND REGULATIONS.
 - CONTRACTOR SHALL COORDINATE WITH OWNER FOR THE INSTALLATION AND ALL DETAILS ON THE REGULATION SYSTEM.





PLAN VIEW
SCALE: 1"=20'

0 20 40 60 80



ORCHARD LANE PROFILE 2
VERTICAL SCALE: 1" = 2'
HORIZONTAL SCALE: 1" = 20'

0 20 40 60 80

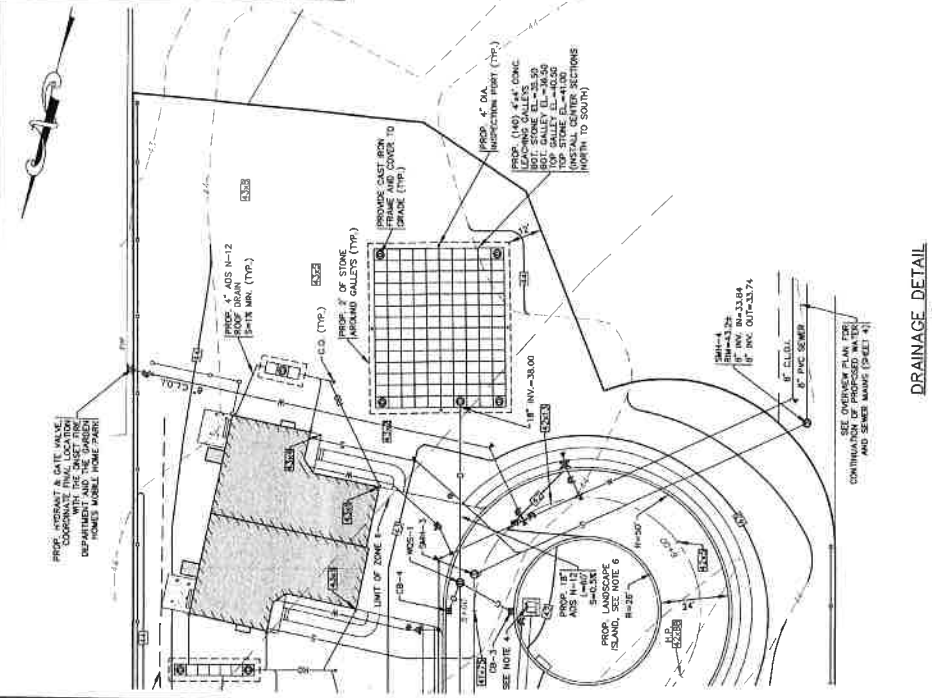
REV	DATE	BY	APP'D	DESCRIPTION
1	4/26/21	WJM	WJM	PLD TOWN & PEER REVIEW COMMENTS
2	5/11/21	WJM	WJM	PERM NO. 19-29473
3	5/21/21	WJM	WJM	CHECKED BY: WJM
4	5/21/21	WJM	WJM	OWNER & STREET NAME CHANGE
5	5/21/21	WJM	WJM	OVER WATER DEPARTMENT COMMENTS
6	5/21/21	WJM	WJM	PER 28A PERMITS 19-21
7	4/6/23	WJM	WJM	NO CHANGE
8	4/24/23	WJM	WJM	NO CHANGE

SCALE: 1" = 20'
DRAWN BY: WJM
CHECKED BY: WJM
APP'D BY: WJM



APPROVED BY: [Signature]
G.A.F. ENGINEERING, INC.
PROFESSIONAL ENGINEERS & LAND SURVEYORS
TEL: (509) 228-6800 FAX: (509) 225-6934
208 MAIN STREET - WAHAIYA, WA 98274
CHIEF ENGINEER: MICHAEL J. COFFMAN, LICENSE NO. 119-0003748

SETTLER'S GLEN, LLC
PREPARED FOR
PLAN & ROADWAY PERMIT SHEET-2
COMPREHENSIVE PERMIT PLAN
8 OF 11
DWG. PERMIT SET (NOT FOR CONSTRUCTION)

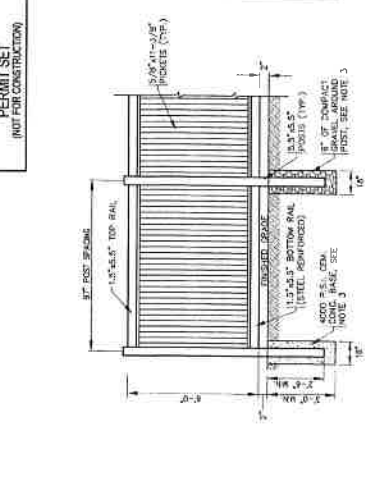


DRAINAGE DETAIL
SCALE: 1"=20'

- NOTES:**
1. ALL PROPOSED CATCH BASINS SHALL HAVE A THROUGHPUT SILENCE PAD OR AN UNDERGROUND INSTALLATION IN THEM AS SHOWN AS THE STRUCTURE IS SET. CONTRACTOR SHALL VERIFY DESIGN AND REMOVE & DISPOSE OF THE SILENCE PAD AT THE COMPLETION OF CONSTRUCTION.
 2. WATER MAIN/SERVICES SHALL BE INSTALLED A MINIMUM OF 18" BELOW ALL PROPOSED DRAINAGE LINES.
 3. FOR COMPLETE DRAINAGE OPERATION AND MAINTENANCE NOTES SEE SHEET 2.
 4. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY FOR FINAL LOCATION, SIZE AND IDENTIFICATION OF TRANSFORMERS. PROTECT TRANSFORMERS WITH BOLLARDS.
 5. FINAL LOCATIONS, DEPTHS AND CONSTRUCTION OF UNDERGROUND ELECTRIC AND GAS SERVICES SHALL BE DETERMINED BY THEIR RESPECTIVE UTILITIES COMPANY.
 6. REFER TO LANDSCAPE PLANS PREPARED BY OTHERS FOR ALL PROPOSED PLANTING LOCATIONS, DETAILS AND SPECIFICATIONS.
 7. PROPOSED WGS-1 SHALL BE A CDS055-4-C UNIT FROM CONTECH ENGINEERED SOLUTIONS LLC.

	SETTLER'S GLEN, LC PERMITS SHEET 2 PREPARED BY: W. RAYMOND GLEN 20 NORTH PARK AVE. SUITE 4 FORT WORTH, TX 76104
G.A.F. ENGINEERS, INC. PROFESSIONAL ENGINEERS & LAND SURVEYORS REGISTERED PROFESSIONAL ENGINEERS LICENSE NO. 114309 (ELECTRICAL) LICENSE NO. 114308 (LAND SURVEYING) LICENSE NO. 114307 (CIVIL) LICENSE NO. 114306 (MECHANICAL) LICENSE NO. 114305 (CHEMICAL) LICENSE NO. 114304 (METALLURGICAL) LICENSE NO. 114303 (INDUSTRIAL) LICENSE NO. 114302 (NUCLEAR) LICENSE NO. 114301 (AERONAUTICAL) LICENSE NO. 114300 (AERONAUTICAL) LICENSE NO. 114299 (AERONAUTICAL) LICENSE NO. 114298 (AERONAUTICAL) LICENSE NO. 114297 (AERONAUTICAL) LICENSE NO. 114296 (AERONAUTICAL) LICENSE NO. 114295 (AERONAUTICAL) LICENSE NO. 114294 (AERONAUTICAL) LICENSE NO. 114293 (AERONAUTICAL) LICENSE NO. 114292 (AERONAUTICAL) LICENSE NO. 114291 (AERONAUTICAL)	

REV.	DATE	BY	APP'D	DESCRIPTION
1	4/26/21	WJG	WJG	PER TOWN & P&E REVIEW COMMENTS
2	5/21/21	WJG	WJG	PER TOWN & P&E REVIEW COMMENTS
3	8/17/21	WJG	WJG	OWNER & SHEET NAME CHANGE
4	12/1/21	WJG	WJG	DRAWN BY (PREVIOUS COMMENTS)
5	2/27/23	WJG	WJG	NO CHANGES THIS SHEET
6	5/9/23	WJG	WJG	NO CHANGE
7	4/14/23	WJG	WJG	NO CHANGE
8	8/1/23	WJG	WJG	NO CHANGE
9	4/18/23	WJG	WJG	NO CHANGE



PERMIT SET (NOT FOR CONSTRUCTION)

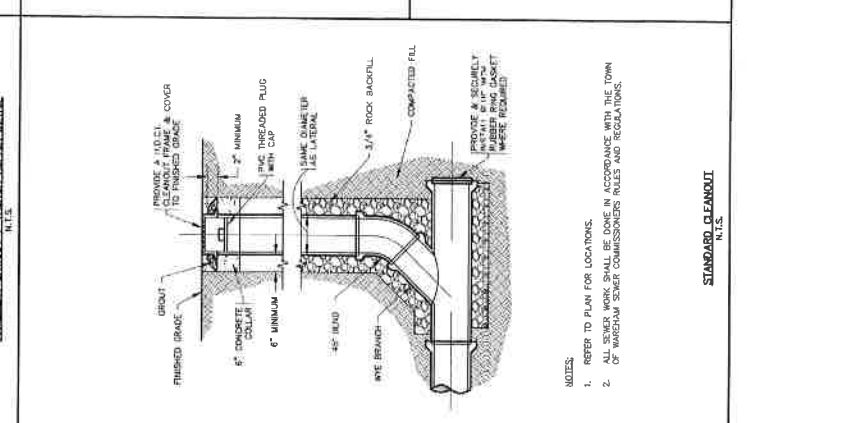
MANUFACTURER'S SPECIFICATIONS FOR COMPLETE DETAILS AND INSTALLATION GUIDELINES.

1. REFER TO MANUFACTURERS SPECIFICATIONS FOR COMPLETE DETAILS AND INSTALLATION GUIDELINES.

2. REFER TO PLAN FOR LOCATIONS.

3. CURB AND CONCRETE BASE SHALL BE USED AT ALL ENDS, ANGLE POINTS AND GATE AS REQUIRED FOR THESE SCHEDULES FOR CONSTRUCTION.

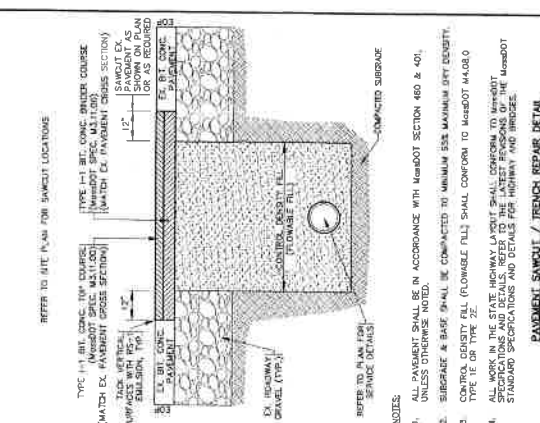
4. REFER TO PLAN FOR LOCATIONS.



CONTRACTOR TO COORDINATE WITH CENTER FOR FINAL LIGHT POST AND LIGHTING FIXTURE SPECIFICATIONS AND DETAILS.

1. CONTRACTOR TO COORDINATE WITH CENTER FOR FINAL LIGHT POST AND LIGHTING FIXTURE SPECIFICATIONS AND DETAILS.

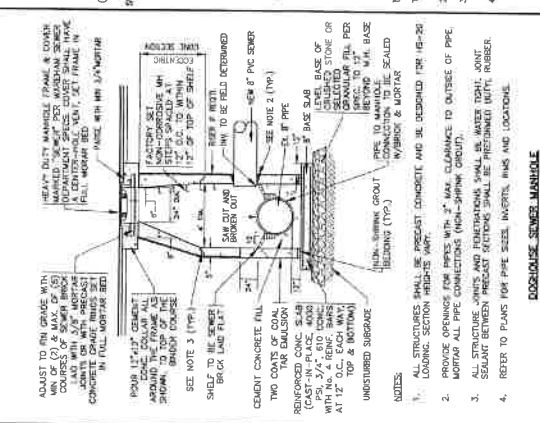
2. REFER TO PLAN FOR LOCATIONS.



REFER TO TIE IN FOR SCHEDULE LOCATIONS.

1. REFER TO TIE IN FOR SCHEDULE LOCATIONS.

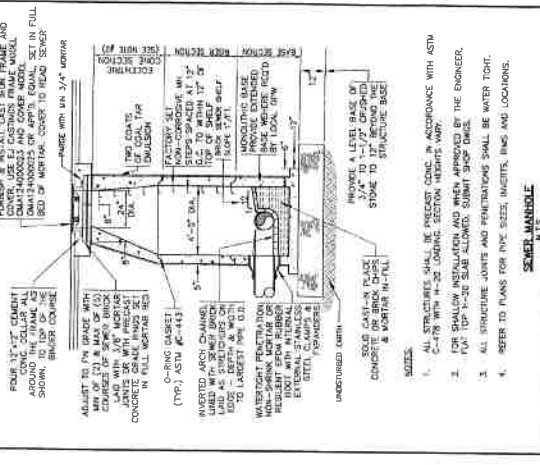
2. ALL SEWER WORK SHALL BE DONE IN ACCORDANCE WITH THE TOWN OF WARDHAM SEWER COMMISSIONER'S RULES AND REGULATIONS.



REFER TO PLAN FOR LOCATIONS.

1. REFER TO PLAN FOR LOCATIONS.

2. ALL SEWER WORK SHALL BE DONE IN ACCORDANCE WITH THE TOWN OF WARDHAM SEWER COMMISSIONER'S RULES AND REGULATIONS.



REFER TO PLAN FOR LOCATIONS.

1. REFER TO PLAN FOR LOCATIONS.

2. EXISTING SANITARY SEWER MAIN SHALL BE SANICUT AND RENEWED W/VE AT THE HIGH SANITARY SEWER SERVICE PIPE.

3. WARDHAM SEWER COMMISSIONER'S RULES AND REGULATIONS SHALL APPLY TO ALL WORK WITHIN THE TOWN OF WARDHAM.

4. CONTRACTOR TO COORDINATE WITH THE TOWN OF WARDHAM SEWER DEPARTMENT PRIOR TO CONSTRUCTION.

5. A SEWER CHIMNEY MAY BE SUBSTITUTED AS REQUIRED, CONTRACTOR SHALL COORDINATE WITH THE WARDHAM SEWER DEPARTMENT AND OWNER.

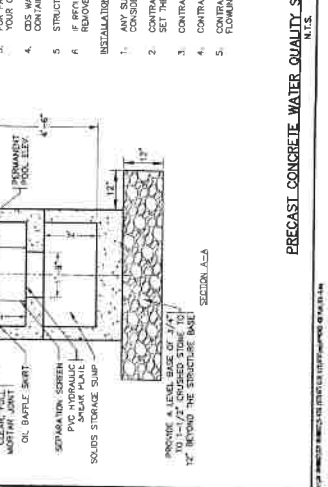
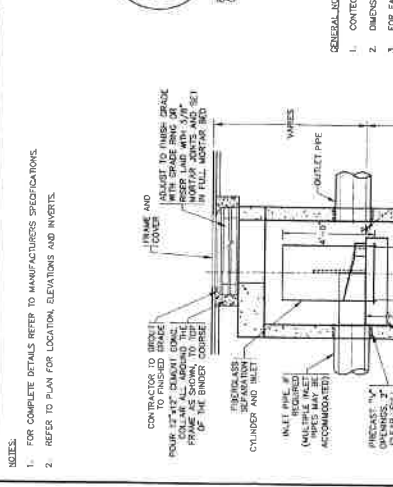
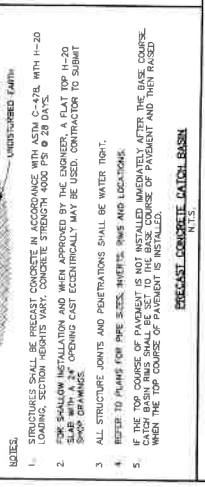
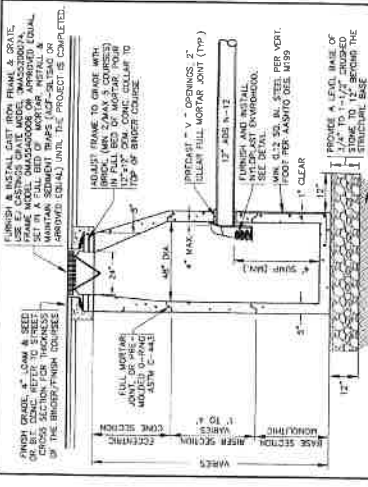
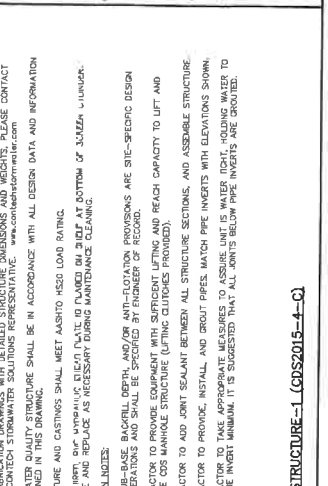
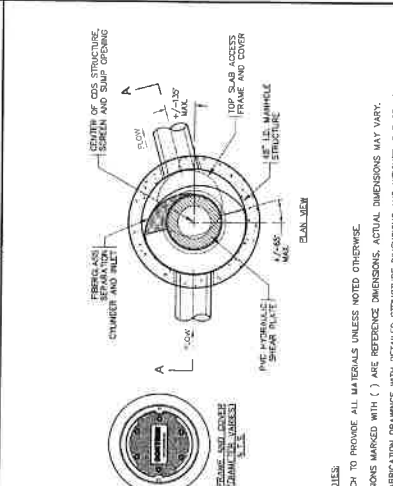
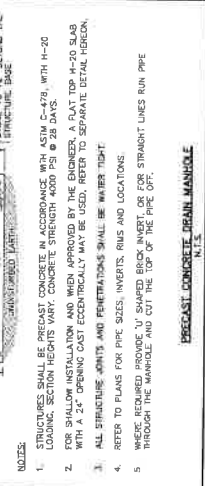
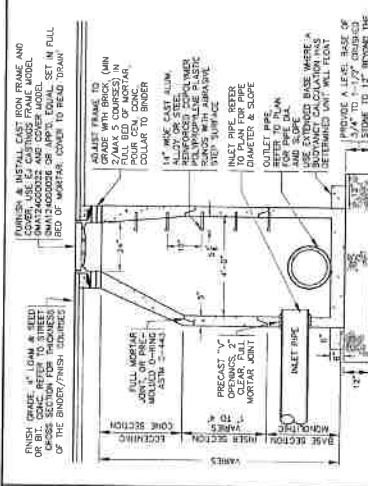
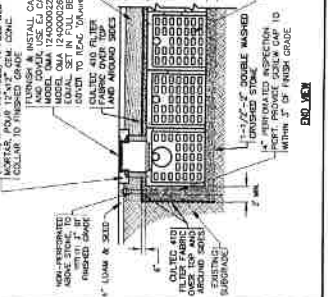
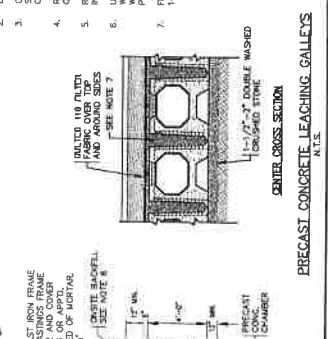
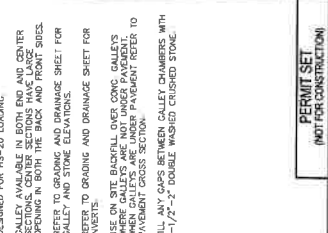
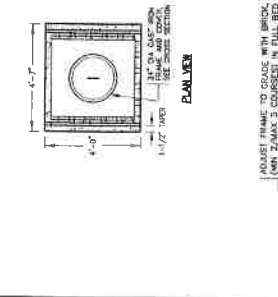
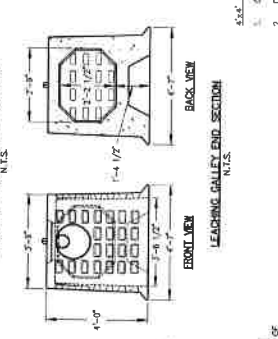
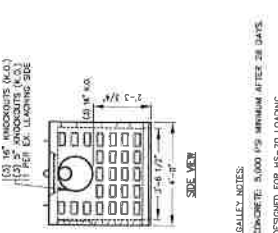
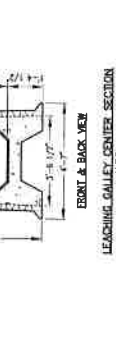
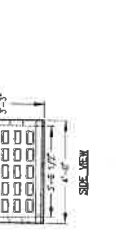
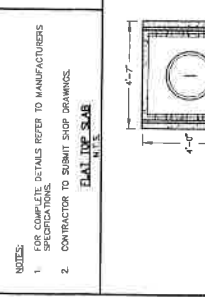
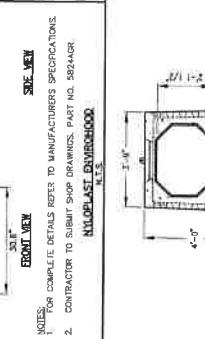
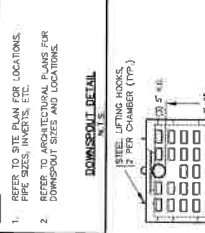
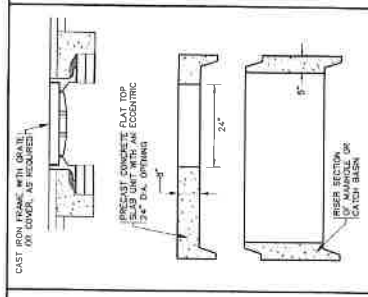
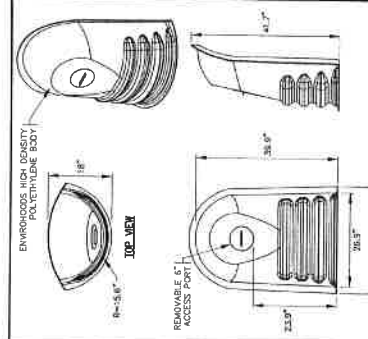
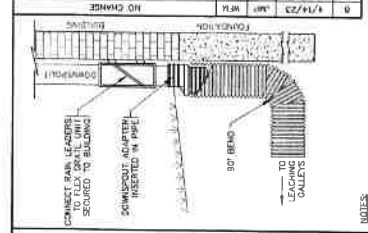
REV.	DATE	BY	APP'D	DESCRIPTION
0	4/18/23	JMF	WFL	NO CHANGE
1	5/10/23	JMF	WFL	NO CHANGE
2	2/22/23	JMF	WFL	NO CHANGE THIS SHEET
3	12/1/21	JMF	WFL	NAME CHANGE REV. SALLY DETAL
4	12/1/21	JMF	WFL	PER AND PEER REVIEW LETTER
5	5/11/21	JMF	WFL	PER AND PEER REVIEW COMMENTS

DATE: 04/18/2021
 DRAWN BY: JMF
 CHECKED BY: WFL
 JOB NO.: 18-0647
 SCALE: N.T.S.



G.A.F. ENGINEERING, INC.
 PROFESSIONAL ENGINEERS & LAND SURVEYORS
 266 MAIN STREET - MARTINSVILLE, VA 22134
 TEL: (504) 795-8600 FAX: (504) 795-6334
 20 NORTH PARK AVE. SUITE 4
 WASHINGTON, VA 22192

SETTLER'S GLEN, LLC
 PREPARED FOR
 DETAIL SHEET 3
 COMPREHENSIVE PERMIT PLAN
 1800 BROOK ROAD
 WASHINGTON, VA 22192
 JOB NO. 18-0647
 DWG. 11 OF 11



18-0647-11-001 PRECAST CONCRETE WATER QUALITY STRUCTURE-1 (CDS2015-4-C) N.T.S.

ATTACHMENT "C"

OSD Engineering Consultants

April 25, 2023

Mr. David Candeias
Water Superintendent
Onset Fire District
15 Sand Pond Road, PO Box 171
Onset, MA 02558

Re: Updated Ability to Serve Letter for Settler's Glen

Dear Mr. Candeias:

OSD Engineering Consultants has used the information provided by the proponent and their engineers to update its ability to serve evaluation for Settler's Glen Development.

This information includes

1. Settler's Glen Comprehensive Permit Plan dated January 12, 2021 and revised April 14, 2023
2. MassDOT Non-Vehicular Access Permit Plan dated December 20, 2021
3. Supplemental Data from emails from G.A.F. Engineering, Inc.
4. Fire Flow Test report from Fire Protection Services

The proponent did not provide a memo with the project and construction sequence and the anticipated project timeline. We estimate 6 to 7 weeks for construction of water related work.

The following comments are in response to this information.

System Impact

Using the average day, maximum day and fire flow demands calculated by OSD, the impact of the development on the Onset Fire District's (OFD) water distribution system was simulated using a hydraulic model. The impact of the looped development was analyzed.

Our analysis concluded that the current distribution system can meet the proposed demands with no significant impact on the District's existing customers.

Plans

All of OFD's comments and recommended revisions have been incorporated into the design.

58 Medford Street
Arlington, MA 02375

Phone: 781-454-5271
Fax: 888 890-4756

Please note that the proponent has removed Sheet L-1, *Planning Plan Permit Set*, and Sheet L-2, *Irrigation Diagram*. The proposed irrigation system that was shown may not have work as designed. The static pressure recorded by Fire Protection Services on September 7, 2021, was 59 psi. Per the notes on Sheet L-2, the proposed irrigation system "will require a minimum of 50 gpm @ 65 psi".

The 2-inch irrigation service is shown on DWG 5 of 11. Per Note 10, "Contractor shall coordinate with owner for design, location and all details on the irrigation system."

Fees

Using the information provided by the proponent and their engineers and the Rates Charges effective November 1, 2021, OSD calculated the charges, fees and costs associated with construction of the Settler's Glen development.

Subsequently, the fees for this project were determined in a separate agreement. These fees included payment for the following water connections:

- a. one 8" service off Red Brook Road
- b. one 8" service off Cranberry Highway
- c. one 2" service (for irrigation)
- d. twenty 1" service connections

If you have any questions, please call me or e-mail me at sosborne@osd-ec.com.

Regards,


Sean D. Osborne, PE
Principal

ATTACHMENT "D"



Maura Healey, Governor
Kimberley Driscoll, Lieutenant Governor
Gina Fiandaca, Secretary & CEO
Jonathan L. Gulliver, Highway Administrator



March 6th, 2023

District File # 1401

SUBJECT: CONSTRUCTION – WAREHAM: Roadway Reconstruction and Related Work (Including Signals) along a Section of Route 6 & 28 (Cranberry Highway)
Contract #105995, FA # TAP-0035(220), STP-0035(220)
RE: Adding Hydrant at Easterly Limit of Cranberry Highway Project, Contract Number 105995

Onset Water Department
15 Sand Pond Road
P.O. Box 171
Onset, MA 02558
Attn.: David Candeias

Dear Sir:

This letter is in response to your request for an additional hydrant at the easterly limit of the Cranberry Highway project. This request states that an additional hydrant will aid in facilitating fire suppression and improve public safety along Route 6 & 28 (Cranberry Highway).

The Department has reviewed your request and agrees that adding a hydrant at the easterly limit of the Cranberry Highway project will improve public safety along Route 6 & 28 (Cranberry Highway). MassDOT holds paramount the safety of the traveling public and the communities in which we serve. We will therefore accommodate this request brought forth by the Onset Water Department and Onset Fire Department.

Should you require any additional information on this subject, please contact the District 5 Construction Office.

Sincerely,

Mary-Joe Perry Digitally signed by Mary-Joe Perry
Date: 2023.03.04 01:16:53 -05'00'

Mary-Joe Perry
District Highway Director

MJZ Digitally signed
by MJZ
Date: 2023.03.04
01:16:53 -05'00'

MJZ/mjz

cc: DHD Digitally signed
by MJZ
Date: 2023.03.04
01:16:53 -05'00' MJZ
I.Bettencourt
File

District 5, 1000 County Street, Taunton, MA 02780
Tel: (508)824-6633, Fax: (508)880-6102
www.mass.gov/massdot