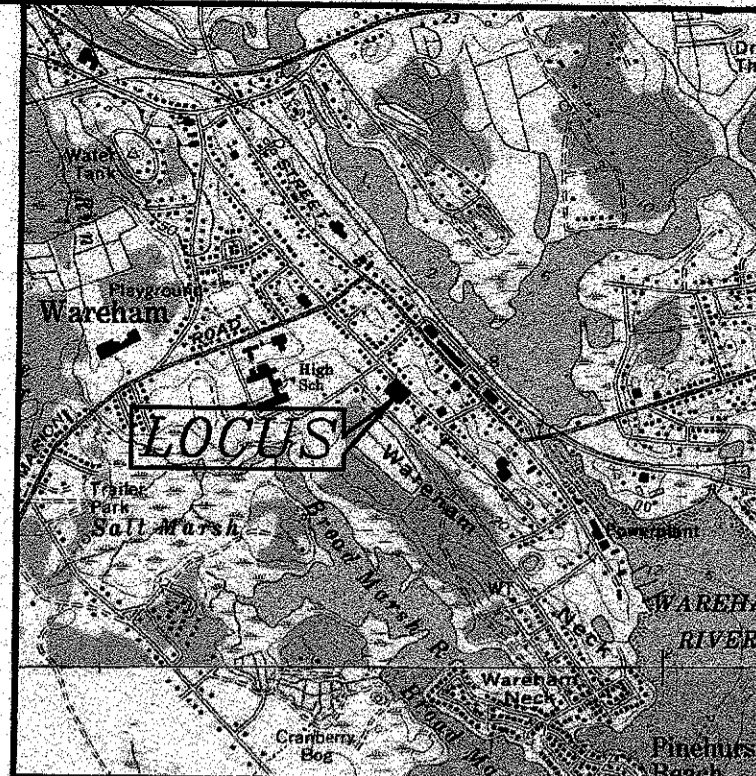
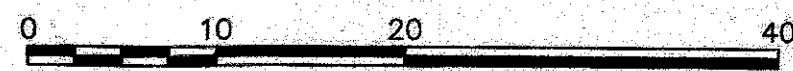


EXISTING CONDITIONS

SCALE: 1"=10'



LOCUS MAP : SCALE 1" = 2000'

LOT DATA:

ASSESSORS MAP: 47/ LOT 1023.A
 ADDRESS: 108 HIGH STREET
 OWNER: ELEETE DEVELOPMENT, LLC
 DEED BOOK 58495, PAGE 255
 ADDRESS: 10 POND EDGE TRAIL
 WAREHAM, MA 02571

ZONING DATA:

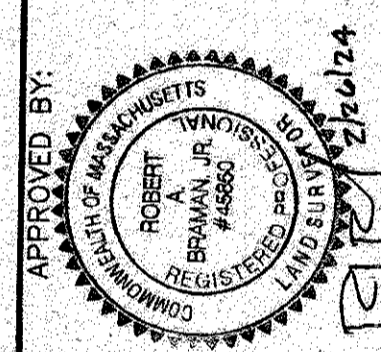
ZONE: WAREHAM VILLAGE 2 (WV2)

SETBACKS:
 MINIMUM LOT AREA: 15,000 S.F.
 *EACH ADDITIONAL UNIT 2,000 S.F.
 MINIMUM FRONTAGE: 75'
 MINIMUM FRONT SETBACK: *
 MINIMUM SIDE SETBACK: 10'
 MINIMUM REAR SETBACK: 10'
 MAX. BUILDING COVERAGE: 20%
 MAX. IMPERVIOUS COVERAGE: 50%

* THE FRONT SETBACKS IN THE VILLAGE DISTRICTS SHALL BE THE AVERAGE OF THE SETBACKS OF FIVE (5) RESIDENTIAL STRUCTURES ON EITHER SIDE OF THE SUBJECT PROPERTY.

FLOOD ZONE DATA:

THE PROJECT IS WITHIN FLOOD ZONE X. REFER TO THE F.E.M.A. FLOOD INSURANCE RATE MAP PANEL NUMBER 25023C0489L, DATED: JULY 6, 2021.



PLAN REFERENCES:

REFER TO THE "APPROVAL NOT REQUIRED PLAN, 108 HIGH STREET AND CHURCH AVENUE, WAREHAM, MA", PREPARED BY G.A.F. ENGINEERING, INC AND DATED JULY 16, 2021. RECORDED IN PLYMOUTH COUNTY REGISTRY OF DEEDS PLAN BOOK 65, PAGE 545.

REFER TO THE CONDOMINIUM MASTER PLAN FOR "108 HIGH STREET CONDOMINIUM", SEE PLAN PREPARED BY G.A.F. ENGINEERING, INC. FOR ELEETE DEVELOPMENT, LLC, DATED NOVEMBER 28, 2022. RECORDED IN PLYMOUTH COUNTY REGISTRY OF DEEDS PLAN BOOK 66 PAGE 890.

ALSO SEE THE CONDOMINIUM UNIT PLAN FOR "108 HIGH STREET CONDOMINIUM", SEE PLAN PREPARED BY G.A.F. ENGINEERING, INC. FOR ELEETE DEVELOPMENT, LLC, DATED DECEMBER 19, 2022. RECORDED IN PLYMOUTH COUNTY REGISTRY OF DEEDS PLAN BOOK 66 PAGE 891.

G.A.F. ENGINEERING, INC.
 PROFESSIONAL ENGINEERS & LAND SURVEYORS
 266 MAIN STREET - WAREHAM, MA 02571
 TEL: (508) 295-6600 FAX: (508) 295-6634
 E-MAIL: info@gafenginc.com

OTHER NOTES:

REFER TO THE WAREHAM ZONING BOARD OF APPEALS DECISION FOR 108 HIGH STREET SEE PLYMOUTH COUNTY REGISTRY OF DEEDS BOOK 57020, PAGE 116.

REFER TO THE CONDOMINIUM MASTER DEED FOR "108 HIGH STREET CONDOMINIUM", SEE PLYMOUTH COUNTY REGISTRY OF DEEDS BOOK 57566, PAGE 160.

PLAN SHOWING EXISTING CONDITIONS
 PREPARED FOR:
 ELEETE DEVELOPMENT, LLC
 WAREHAM, MA

JOB NO.: 21-9759
 DWG. 1 OF 1

REV.	DATE	BY	DESCRIPTION

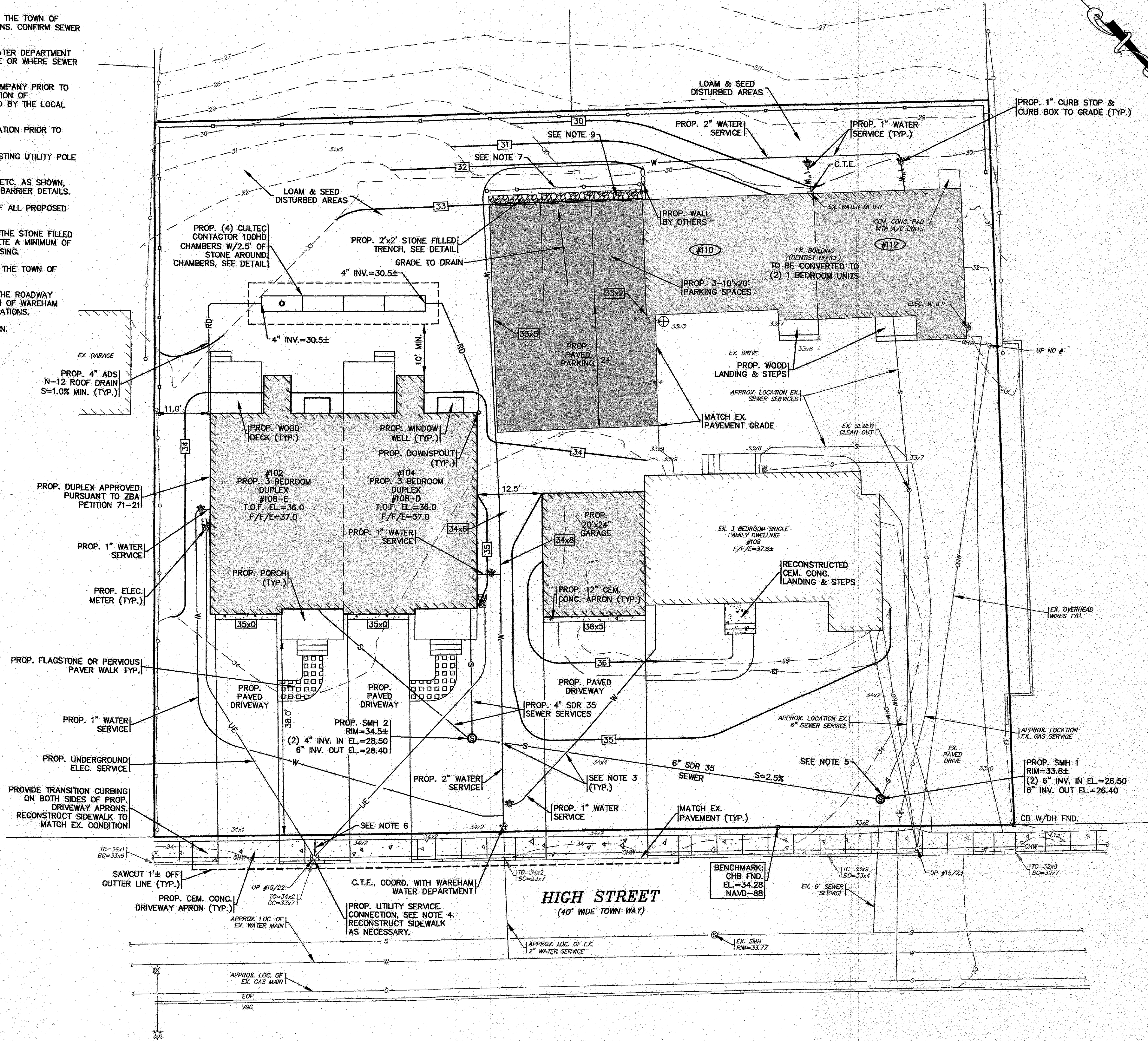
NOTES:

- REFER TO ARCHITECTURAL PLANS PREPARED BY OTHERS FOR ALL PROPOSED DUPLEX AND GARAGE DIMENSIONS, CONSTRUCTION NOTES AND DETAILS. CONTRACTOR SHALL CONFIRM FINISHED FLOOR AND TOP OF FOUNDATION ELEVATIONS WITH OWNER PRIOR TO CONSTRUCTION.
- ALL SEWER WORK SHALL BE DONE IN ACCORDANCE WITH THE TOWN OF WAREHAM SEWER COMMISSIONERS RULES AND REGULATIONS. CONFIRM SEWER CONNECTION ELEVATION PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE WITH THE WAREHAM WATER DEPARTMENT WHERE SEWER IS LESS THAN 10 FEET TO WATER SERVICE OR WHERE SEWER MUST CROSS WATER SERVICE.
- CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY PRIOR TO CONNECTION. FINAL LOCATIONS, DEPTHS AND CONSTRUCTION OF UNDERGROUND ELECTRIC SERVICES SHALL BE DETERMINED BY THE LOCAL UTILITY COMPANY.
- CONTRACTOR SHALL CONFIRM THE EXISTING SEWER ELEVATION PRIOR TO CONSTRUCTION.
- PROVIDE A MINIMUM OF 3' OF CLEAR WIDTH AROUND EXISTING UTILITY POLE AS SHOWN.
- PROVIDE BARRIER, POST & RAIL FENCE, BOULDER WALL, ETC. AS SHOWN, CONTRACTOR SHALL COORDINATE WITH OWNER ON FINAL BARRIER DETAILS.
- REFER TO ARCHITECTURAL PLANS FOR THE LOCATIONS OF ALL PROPOSED DOWNSPOUT SIZES AND LOCATIONS.
- WHERE THE PROPOSED WATER SERVICE CROSSES UNDER THE STONE FILLED TRENCH ENCASE THE WATER SERVICE IN CEMENT CONCRETE A MINIMUM OF 24" IN EACH DIRECTION FOR 5' EACH SIDE OF THE CROSSING.
- ALL WATER WORK SHALL BE DONE IN ACCORDANCE WITH THE TOWN OF WAREHAM WATER DEPARTMENT RULES AND REGULATIONS.
- ALL TRENCHING, BACKFILL AND PAVEMENT REPAIR WITH THE ROADWAY LAYOUT SHALL BE DONE IN ACCORDANCE WITH THE TOWN OF WAREHAM MUNICIPAL MAINTENANCE DEPARTMENT RULES AND REGULATIONS.
- LOAM AND SEED ALL AREAS DISTURBED BY CONSTRUCTION.

PARKING DATA:

REQUIRED:
 2 PARKING SPACES FOR EACH SINGLE OR TWO FAMILY DWELLING UNIT
 1.5 SPACES FOR EACH 1 BEDROOM DWELLING UNIT
 3 DWELLING UNITS=6 PARKING SPACES
 (2) 1 BEDROOM UNITS=3 SPACES
 TOTAL REQUIRED=9 PARKING SPACES

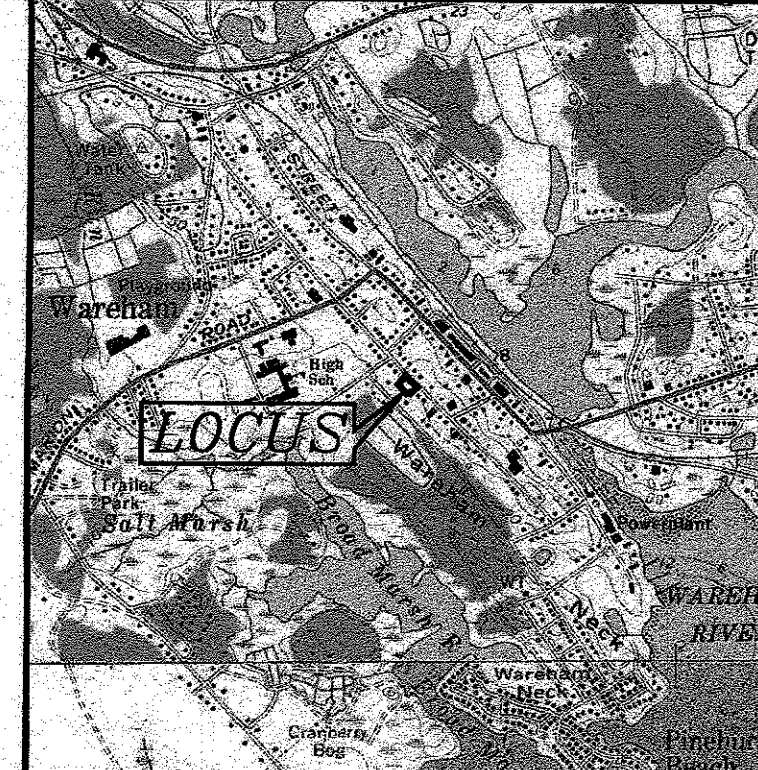
PROVIDED:
 11 PARKING SPACES
 2 (1) CAR GARAGES=2 PARKING SPACES
 1 (2) CAR GARAGES=2 PARKING SPACES
 7 ADDITIONAL PARKING SPACES
 TOTAL PROVIDED=11 PARKING SPACES



PROPOSED CONDITIONS

SCALE: 1"=10'
 0 10 20 40

PERMIT SET
 (NOT FOR CONSTRUCTION)



LOCUS MAP : SCALE 1" = 2000'

LOT DATA:

ASSESSORS MAP: 47/ LOT 1023.A
 ADDRESS: 108 HIGH STREET
 OWNER: ELEETE DEVELOPMENT, LLC
 ADDRESS: 10 POND EDGE TRAIL
 WAREHAM, MA 02571

ZONING DATA:

ZONE: WAREHAM VILLAGE 2 (WV2)
 SETBACKS:
 MINIMUM LOT AREA: 15,000 S.F.*
 *EACH ADDITIONAL UNIT 2,000 S.F.
 MINIMUM FRONTAGE: 75'
 MINIMUM FRONT SETBACK: 5'
 MINIMUM SIDE SETBACK: 10'
 MINIMUM REAR SETBACK: 10'
 MAX. BUILDING COVERAGE: 20%
 MAX. IMPERVIOUS COVERAGE: 50%
 EX. BUILDING COVERAGE=13.0%
 PROP. BUILDING COVERAGE=24.7%
 EX. IMPERVIOUS COVERAGE=33.0%
 PROP. IMPERVIOUS COVERAGE=49.5%

* THE FRONT SETBACKS IN THE VILLAGE DISTRICTS SHALL BE THE AVERAGE OF THE SETBACKS OF FIVE (5) RESIDENTIAL STRUCTURES ON EITHER SIDE OF THE SUBJECT PROPERTY.

FLOOD ZONE DATA:

THE PROJECT IS WITHIN FLOOD ZONE X. REFER TO THE F.E.M.A. FLOOD INSURANCE RATE MAP PANEL NUMBER 25023C0489L, DATED: JULY 6, 2021.

LEGEND	
35	EXISTING CONTOURS
34x5	SPOT GRADES
DB	CATCH BASIN (CB)
DMH	DRAIN MANHOLE (DMH)
DL	DRAIN LINE
OHW	OVERHEAD WIRES
GP	GUY POLE
WGV	WATER GATE VALVE
WSCS	WATER SHUTOFF/CURB STOP
HYD	HYDRANT
WL	WATER LINE
UE	UNDERGROUND ELECTRIC
EM	ELECTRIC METER
SMH	SEWER MANHOLE (SMH)
SL	SEWER LINE
TBL	TREE/BRUSH LINE
LP	LIGHT POST
GL	GAS LINE
GV	GAS GATE/VALVE
GS	GAS SHUTOFF
GM	GAS METER
F	FENCE
B	BOUND
R	REBAR
DESC	DESC.
35	PROPOSED CONTOURS
34x50	SPOT GRADES
EC	EROSION CONTROL
CLF	CHAIN LINK FENCE
R&D	REMOVE & DISPOSE
UE	UNDERGROUND ELECTRIC
EM	ELECTRIC METER
SMH	SEWER MANHOLE (SMH)
SL	SEWER LINE
WL	WATER LINE
WSCS	WATER SHUTOFF/CURB STOP
RD	ROOF DRAIN

DATE: DEC. 23, 2021	DRAWN BY: JMP	CHECKED BY: WFM	JOB NO.: 21-9759	SCALE: 1" = 10'
APPROVED BY: <i>[Signature]</i>				
<p>G.A.F. ENGINEERING, INC. PROFESSIONAL ENGINEERS & LAND SURVEYORS 286 MAIN STREET - WAREHAM, MA 02571 TEL: (508) 295-8600 FAX: (508) 295-8634 E-MAIL: info@gafeng.com</p>				
<p>PLAN TO ACCOMPANY ZONING BOARD OF APPEALS APPLICATION</p>				
<p>PREPARED FOR: ELEETE DEVELOPMENT, LLC</p>				
<p>JOB NO.: 21-9759</p>				
<p>DWG. 2 OF 3</p>				

14 (CAF DRAWINGS) 2021 DRAWINGS 21-9759 (ARCH ELEVATIONS) 02/20/21 02/20-411-14q