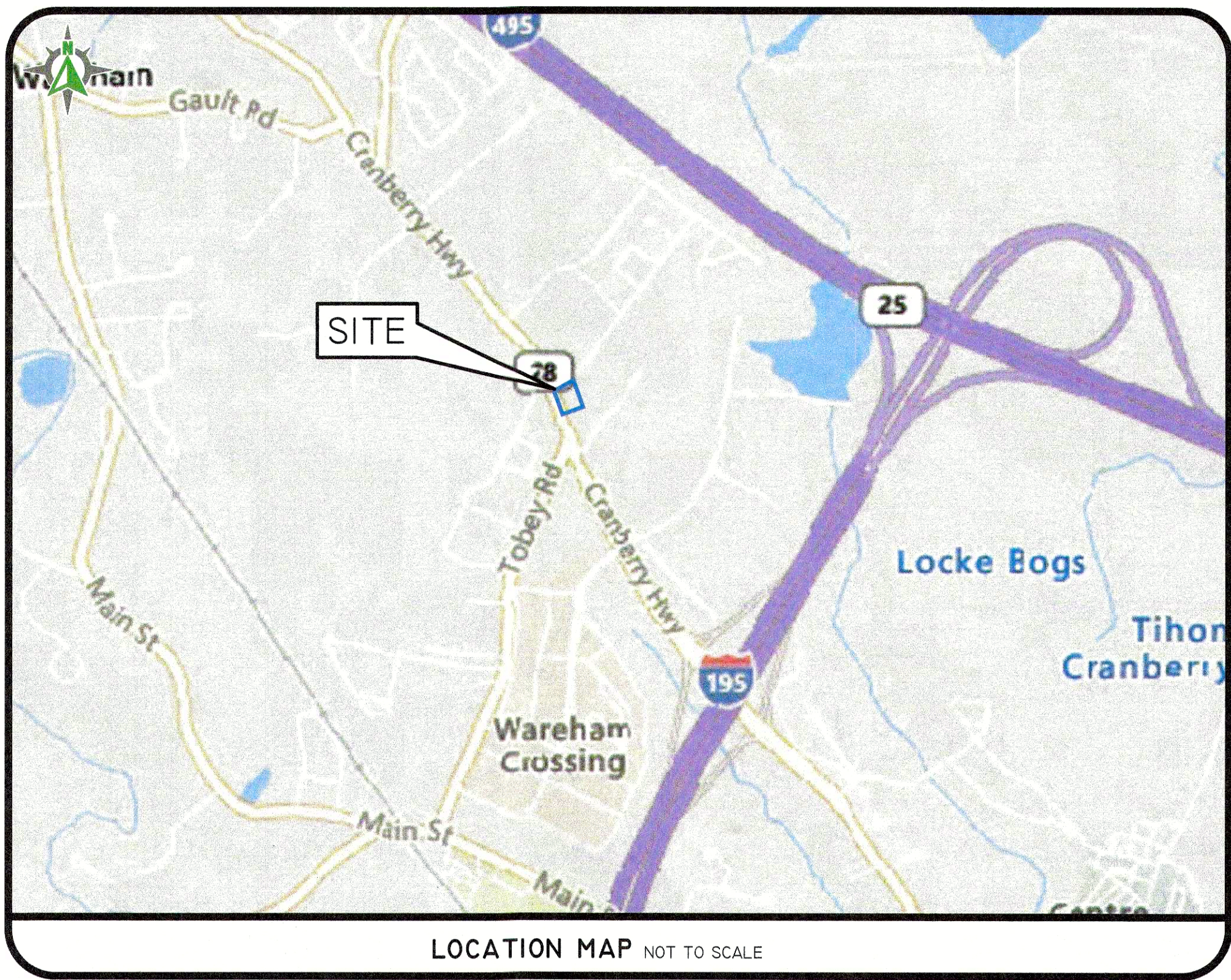


ZONING BOARD OF APPEALS SUBMISSION

CRANBERRY HIGHWAY

LOCATED ON CRANBERRY HIGHWAY
WAREHAM, MASSACHUSETTS

PLAN BOOK 63 PAGE 1009 LOT 2




SHEET LIST TABLE

1	COVER SHEET
2	AERIAL AND HALF MILE RADIUS
3	NOTES AND LEGEND
4	EXISTING CONDITIONS SURVEY
5	STORMWATER POLLUTION PREVENTION PLAN
6	SITE LAYOUT PLAN
7	GRADING AND DRAINAGE PLAN
8	UTILITIES PLAN
9	UIS DETAIL SHEET 1
10	UIS DETAIL SHEET 2
11	DETAIL SHEET 3
12	DETAIL SHEET 4
13	LANDSCAPE PLAN
14	LANDSCAPE NOTES & DETAILS

MASSDOT
THE PROPOSED IMPROVEMENTS WILL NOT INCREASE THE RATE OF STORMWATER RUNOFF ONTO THE STATE HIGHWAY. ALL WORK WITHIN THE STATE RIGHT OF WAY MUST CONFORM TO THE MA STANDARD SPECIFICATIONS, DETAILS, AND ADDENDUMS.


SWPPP / O&M
THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND STORMWATER OPERATION AND MAINTENANCE PLAN (O&M) ARE REQUIRED DOCUMENTS WITH THIS PLAN SET AND MUST BE MAINTAINED BY THE CONTRACTOR AND OWNER ON SITE.



DiPrete Engineering

990 Washington Street Suite 101A Dedham, MA 02026
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COMMONWEALTH OF MASSACHUSETTS
LEONARD P. BRADLEY JR.
CIVIL
No. 30088
REGISTERED PROFESSIONAL ENGINEER
6/23/2023



THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES WITHOUT THE SIGNATURE OF THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES.

NO.	DATE	DESCRIPTION	BY
1	06-28-2023	78A CORP'S NO. 1 PLANS	B.E.G.
2	07-27-2023	78A CORP'S NO. 2 PLANS	B.E.G.
3	07-27-2023	78A CORP'S NO. 3 PLANS	B.E.G.
4	07-27-2023	78A CORP'S NO. 4 PLANS	B.E.G.
5	07-27-2023	78A CORP'S NO. 5 PLANS	B.E.G.
6	07-27-2023	78A CORP'S NO. 6 PLANS	B.E.G.
7	07-27-2023	78A CORP'S NO. 7 PLANS	B.E.G.
8	07-27-2023	78A CORP'S NO. 8 PLANS	B.E.G.
9	07-27-2023	78A CORP'S NO. 9 PLANS	B.E.G.
10	07-27-2023	78A CORP'S NO. 10 PLANS	B.E.G.
11	07-27-2023	78A CORP'S NO. 11 PLANS	B.E.G.
12	07-27-2023	78A CORP'S NO. 12 PLANS	B.E.G.
13	07-27-2023	78A CORP'S NO. 13 PLANS	B.E.G.
14	07-27-2023	78A CORP'S NO. 14 PLANS	B.E.G.

COVER SHEET

CRANBERRY HIGHWAY

PLAN BOOK 63 PAGE 1009 LOT 2

WAREHAM, MASSACHUSETTS

THE PARISH NETWORK

100 NEWLO PARK YALL, SUITE 500, EDISON, NEW JERSEY 08837

TEL 908-531-8021

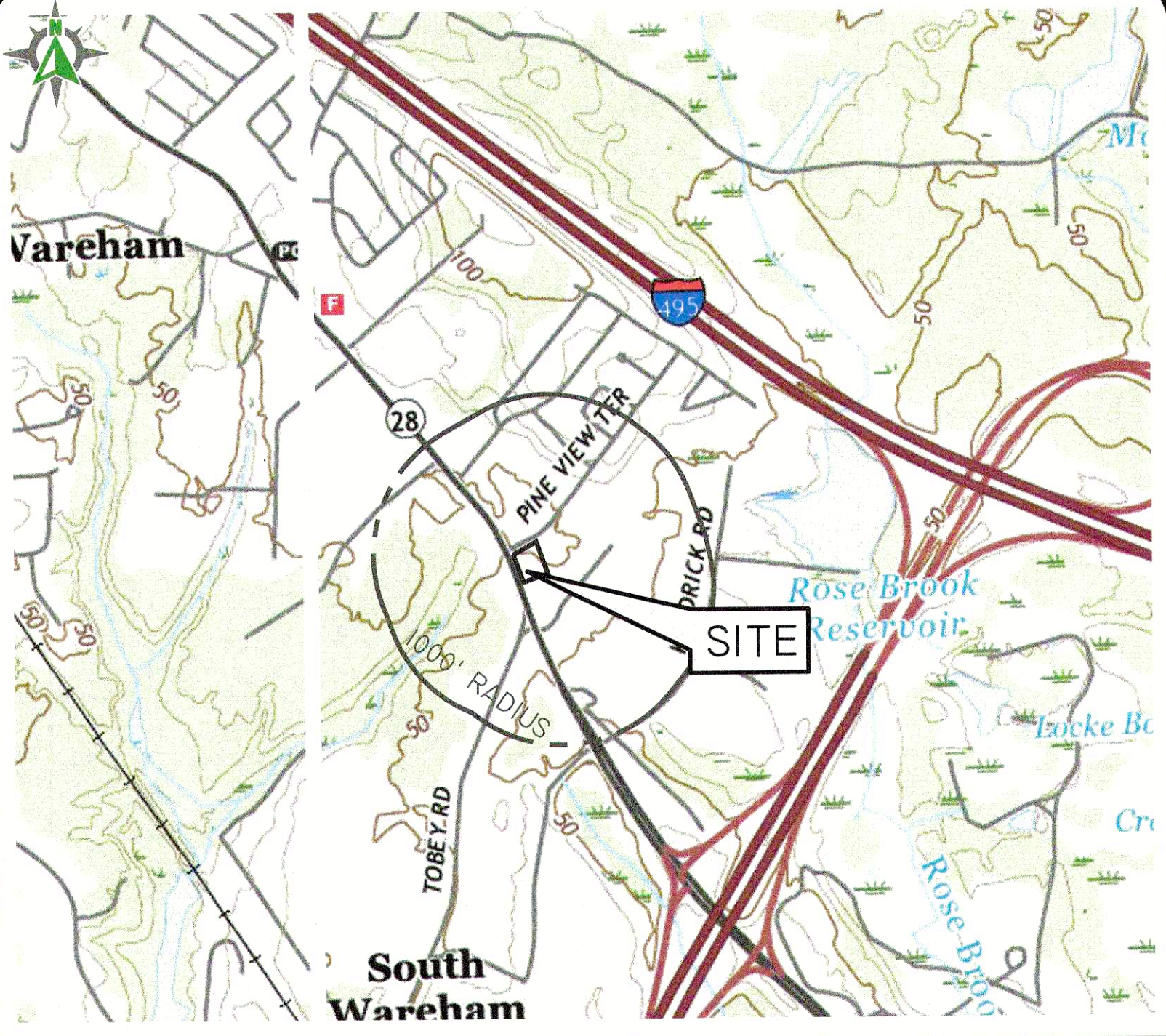
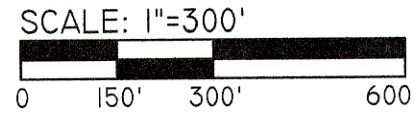
DE JOB NO: 2325-002 COPYRIGHT 2023 BY DIPRETE ENGINEERING ASSOCIATES, INC.

SHEET 1 OF 14

Z:\USMAN\PROJECTS\2022-003 CRANBERRY HIGHWAY 2\A\AUTOCAD DRAWINGS\2022-003-C\AR DWG PLOTTER: 6/29/2023



PHOTO OBTAINED FROM NEARMAP. DATE OF PHOTOGRAPHY 03/30/2021.



AERIAL AND HALF MILE RADIUS

CRANBERRY HIGHWAY
PLAN BOOK 63 PAGE 009 LOT 2

PREPARED FOR:
THE PARKH NETWORK

100 HENRIOT WALL, SUITE 500, NEW JERSEY 08837
TEL 908-501-8021

THIS PLAN AND ANY PARTS THEREOF ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED, ISSUED FOR CONSTRUCTION AND STAMPED BY A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE

DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE ENGINEERING TITLE BLOCK STAMPED BY A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE

THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, MATERIALS, AND CONSTRUCTION OF THE PROJECT. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO LOCATION OF EXISTING UTILITIES.

DESIGN BY: B.E.G. DRAWN BY: B.E.G. CHECKED BY: B.E.G. APPROVED BY: B.E.G.

DATE: 06-29-2023 TIME: 10:00 AM

NO. 001 DATE: 06-29-2023 TIME: 10:00 AM



DiPrete Engineering

990 Washington Street Suite 101A Dedham, MA 02026
tel 781-326-0021 fax 401-664-6006 www.diprete-eng.com

Boston • Providence • Newport

GENERAL NOTES:

- THE SITE IS LOCATED ON THE TOWN OF WAREHAM PLAN BOOK 63 PAGE 1009 LOT 2.
- THE SITE IS APPROXIMATELY 0.96± ACRES AND IS ZONED IND (INDUSTRIAL DISTRICT).
- THE OWNER OF PLAN BOOK 63 PAGE 1009 LOTS 2 & 3:
ALPHA REALTY HOLDINGS LLC
280 AVER ROAD
HARVARD, MA 01450
- THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. REFERENCE FEMA FLOOD INSURANCE RATE MAP 25023C0486K. MAP REVISED JULY 6, 2021. (FLOOD PLAIN DESCRIPTIONS SHOWN BELOW)
 - ZONE X (UNSHADED) - THIS SITE IS LOCATED IN FEMA FLOOD ZONE X, WHICH ARE AREAS WHERE THERE IS MINIMAL FLOODING.
- THE BOUNDARY LINE AS SHOWN ON THE ENGINEERING PLAN SET DEPICTS THE RESULTS OF A BOUNDARY RETRACEMENT SURVEY AS PERFORMED BY DIPRETE ENGINEERING. THIS PLAN IS NOT TO BE CONSTRUED AS A BOUNDARY RETRACEMENT SURVEY PLAN AND IS NOT SUITABLE FOR RECORDING AS A SURVEY PLAN IN CONFORMANCE WITH THE RULES AND REGULATIONS AS STATED IN CMR 250 SECTION 6.00.
- ALL WORK PERFORMED HEREIN IS TO BE GOVERNED BY CURRENT EDITIONS OF THE MASSDOT HIGHWAY DIVISION CONSTRUCTION STANDARD DETAILS. TOWN OF WAREHAM STANDARD SPECIFICATIONS AND DETAILS AND SPECIFICATIONS INCLUDED AS PART OF THE DRAWINGS. IN AREAS OF CONFLICT BETWEEN THE DIFFERENT SPECIFICATIONS, THE DESIGN PLANS AND PROJECT SPECIFICATIONS WILL TAKE PRECEDENCE OVER THE GENERAL SPECIFICATIONS AND THE DESIGN ENGINEER WILL INTERPRET THE CONSTRUCTION REQUIREMENT. THE CONTRACTOR IS ADVISED TO SUBMIT A REQUEST FOR INFORMATION (RFI) FOR ANY AREAS OF CONFLICT BEFORE COMMITTING TO CONSTRUCTION.
- THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE PROJECT PLANS AND THE CONTRACTOR/OWNER MUST MAINTAIN THESE DOCUMENTS AS PART OF A FULL PLAN SET:
 - STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE SWPPP CONTAINS THE FOLLOWING:
 - EROSION CONTROL MEASURES
 - SHORT TERM MAINTENANCE
 - ESTABLISHMENT OF VEGETATIVE COVER
 - CONSTRUCTION POLLUTION PREVENTION
 - SEQUENCE OF CONSTRUCTION
 - OPERATION AND MAINTENANCE PLAN (O&M). THE O&M CONTAINS:
 - LONG TERM MAINTENANCE
 - LONG TERM POLLUTION PREVENTION

- THIS PLAN SET REFERENCES MASSDOT HIGHWAY DIVISION STANDARD DETAILS (DESIGNATED AS MASSDOT STD XXX.X.X). MASSDOT STANDARD DETAILS ARE AVAILABLE FROM MASSDOT AND ONLINE AT [HTTPS://WWW.MASS.GOV/LISTS/CONSTRUCTION-DETAILS](https://www.mass.gov/lists/construction-details)
- THE SITE IS TO BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER.
- THE DRAINAGE SYSTEM IS DESIGNED TO MEET THE WAREHAM SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WITH THE USE OF CATCH BASINS AND UNDERGROUND INFILTRATION SYSTEMS. THE STORMWATER MANAGEMENT SYSTEM MEETS THE MASSDEP BEST MANAGEMENT PRACTICES.
- THE SITE IS PROPOSED TO BE BUILT IN ONE PHASE.
- SOIL EVALUATIONS WERE COMPLETED BY DIPRETE ENGINEERING ON JULY 26, 2021.
- ANY PROPRIETARY PRODUCTS REFERENCED IN THIS PLAN SET ARE REPRESENTATIVE OF THE MINIMUM DESIGN REQUIREMENTS FOR THE PURPOSE THEY PROPOSE TO SERVE. ALTERNATIVES TO ANY PROPRIETARY PRODUCT MAY BE SUBMITTED TO THE ENGINEER OF RECORD FOR CONSIDERATION, WHICH MUST BE ACCOMPANIED BY APPROPRIATE SPECIFICATION SHEETS/DESIGN CALCULATIONS THAT DEMONSTRATE THE ALTERNATIVE(S) MEET THE MINIMUM DESIGN PARAMETERS OF THE PRODUCT SHOWN ON THE PLANS. NO ALTERNATIVES MAY BE USED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
- THIS PLAN SET MAY REFERENCE AND/OR INCLUDE REPRODUCTIONS OF PROPRIETARY PRODUCTS/DETAILS BY OTHERS, AND/OR THEIR ASSOCIATED SPECIFICATIONS. ANY REFERENCED OR REPRODUCED PROPRIETARY PRODUCT OR DETAIL, BY OTHERS THAT IS SHOWN ON DIPRETE PLANS IS STRICTLY FOR INFORMATION/SPECIFICATION PURPOSES ONLY. DIPRETE ENGINEERING DOES NOT WARRANT ANY PROPRIETARY PRODUCTS, DETAILS BY OTHERS OR THEIR RESPECTIVE DESIGNS. IF A DIPRETE ENGINEERING PLAN INCLUDES A PROPRIETARY PRODUCT/DETAIL, BY OTHERS (EITHER EXPLICITLY OR IMPLIED) AND IS STAMPED BY A REGISTERED PROFESSIONAL ENGINEER OR A REGISTERED LANDSCAPE ARCHITECT OF DIPRETE ENGINEERING, SAID STAMP DOES NOT EXTEND TO ANY PORTION OF THE PROPRIETARY PRODUCT/DETAIL, BY OTHERS OR ITS DESIGN.

SOIL INFORMATION:

(REFERENCE: USDA NATURAL RESOURCES CONSERVATION SERVICE)
SOIL NAME DESCRIPTION
259B CARVER LOAMY COARSE SAND, 3 TO 8 PERCENT SLOPES
602B URBAN LAND, 0 TO 8 PERCENT SLOPES

LAYOUT AND MATERIALS:

- DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
- CURBING MUST BE PRECAST CONCRETE, MONOLITHIC CONCRETE, CAST IN-PLACE CONCRETE, OR BITUMINOUS BERM OR AS LABELED ON THE PLANS.
- SIDEWALK MUST BE CONCRETE, EXPOSED AGGREGATE CONCRETE, STAMPED CONCRETE OR BITUMINOUS OR AS LABELED ON THE PLANS.
- SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR MUST REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS PERTAINING TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
- PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION MUST BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
- CONTRACTOR MUST NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS. CONTRACTOR MUST VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE STAMPED PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
- ALL GUARDRAIL ONSITE MUST BE STEEL BACKED TIMBER GUARDRAIL WITH STEEL POSTS, IN CONFORMANCE WITH SECTION 5.4.1.7 OF THE AASHTO ROADSIDE DESIGN GUIDE. ALTERNATIVE GUARDRAILS WILL BE CONSIDERED BY THE DESIGN ENGINEER IF THEY ARE DOT APPROVED EQUAL AND ACCEPTABLE TO THE OWNER. ALTERNATIVES MUST BE APPROVED IN WRITING BY THE OWNER AND DESIGN ENGINEER PRIOR TO CONSTRUCTION.
- INFRARED TREATMENT OF PAVEMENT IS REQUIRED AT ALL CURB CUTS, ANY DISTURBED PAVEMENT ON ROADWAYS AND WHERE ANY NEW PAVEMENT MEETS EXISTING PAVEMENT.
- ALL EXISTING PAVEMENT MARKING REMOVED AS INCIDENTAL DURING CONSTRUCTION MUST BE REPLACED IN-KIND FOLLOWING COMPLETION OF CONSTRUCTION UNLESS OTHERWISE NOTED.
- NEW PAVEMENT MARKING MUST BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248 TYPE F. PAINT MUST BE APPLIED AS SPECIFIED BY THE MANUFACTURER.

SOIL EROSION AND SEDIMENTATION CONTROL NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ON SITE WHICH MUST BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS AND AUTHORITY HAVING JURISDICTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER, THE DIRECTOR OF PUBLIC WORKS, THE TOWN ENGINEER, AND THE CONSERVATION COMMISSION AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- ALL EROSION CONTROL INCLUDING (BUT NOT LIMITED TO) TEMPORARY SWALES, TEMPORARY SEDIMENT TRAPS, ETC. MUST BE INSTALLED PER THE LATEST EDITION OF THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS (MESCO) AND THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). NOTE THE SOIL EROSION AND SEDIMENT CONTROL SHOWN ON THESE PLANS ARE THE MINIMUM QUANTITY/TYPE OF EROSION CONTROL DEVICES AND MATERIALS DEEMED REQUIRED BY DIPRETE ENGINEERING TO MEET THE OBJECTIVES OF THE MESCO, BUT IS CONSIDERED A GUIDE ONLY. ADDITIONAL MEASURES/ALTERNATE CONFIGURATIONS MAY BE REQUIRED IN ORDER TO MEET THE MESCO BASED ON FACTORS INCLUDING (BUT NOT LIMITED TO) SITE PARAMETERS, WEATHER, INSPECTIONS AND UNIQUE FEATURES. THE SWPPP WILL CONTINUE TO EVOLVE THROUGHOUT CONSTRUCTION/PHASES. PURSUANT TO NOTE I ABOVE, SWPPP REMAINS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE SITE IS FULLY STABILIZED AND/OR SWPPP RESPONSIBILITIES ARE ASSUMED BY THE OWNER IN WRITING.
- TEMPORARY SWALES MUST BE USED TO CONTROL RUNOFF DURING CONSTRUCTION OF THE PROPOSED SITE WORK. TEMPORARY SWALES MUST BE VEGETATED AFTER CONSTRUCTION. EROSION CONTROL MATS MUST BE INSTALLED, IF NECESSARY, TO PREVENT EROSION AND SUPPORT VEGETATION. AFTER CONSTRUCTION IS COMPLETE AND TRIBUTARY AREAS TO THE SWALES HAVE BEEN STABILIZED, THE TEMPORARY SWALES MUST BE CLEARED AND FINAL DESIGN, INCLUDING INSTALLATION OF THE GRASS SWALES, TO BE PER THE DESIGN PLANS.
- ONCE THE SEDIMENT TRAPS ARE NO LONGER REQUIRED AND ALL TRIBUTARY AREAS HAVE BEEN STABILIZED, THE TEMPORARY SEDIMENT TRAPS MUST BE CLEARED AND BROUGHT TO FINAL DESIGN GRADINGS.
- INLET PROTECTION MUST BE INSTALLED ON ALL CATCH BASINS ONCE CONSTRUCTED.
- FOR SEQUENCE OF CONSTRUCTION, PROJECT PHASING AND CONSTRUCTION PHASING, SEE SWPPP PLAN.
- CONTRACTOR MAY MODIFY SEQUENCE OF CONSTRUCTION WITH APPROVAL FROM DESIGN ENGINEER AND OWNER.
- IF CONCRETE TRUCKS ARE WASHED OUT ON SITE, ALL WASHOUT MUST BE PERFORMED IN THE DESIGNATED CONCRETE WASHOUT AREA.

DEMOLITION NOTES:

- CONTRACTOR MUST OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR MUST PERFORM DAILY SWEEPING AT CONSTRUCTION ENTRANCE DURING DEMOLITION AND CONSTRUCTION TO MINIMIZE SEDIMENTS ON EXTERNAL STRAITS.
- ANY EXISTING BUILDING(S) AND PROPERTY PROPOSED TO REMAIN THAT ARE DAMAGED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) ALL MATERIALS INDICATED ON THE PLANS UNLESS SPECIFIED OTHERWISE HERE IN. R&D MATERIALS MUST INCLUDE BUT ARE NOT LIMITED TO PAVEMENT, GRAVEL, CATCH BASINS, MANHOLES, GRATES/FRAMES/COVERS, AND ANY EXCESS SOIL THAT IS NOT INCORPORATED INTO THE WORK.
- IN ADDITION TO THOSE AREAS SPECIFICALLY DESIGNATED ON THE PLANS, ALL DISTURBED AREAS, INCLUDING THE CONTRACTOR'S STOCKPILE AND STAGING AREAS WITHIN THE LIMIT OF WORK, MUST BE RESTORED TO MATCH THE DESIGN PLANS.
- CONTRACTOR MUST DOCUMENT LOCATION OF ALL SUBSURFACE UTILITIES REMAINING IN PLACE AFTER DEMOLITION (ACTIVE AND INACTIVE/ABANDONED). LOCATION MUST BE DOCUMENTED BY FIELD SURVEY OR SWING TIES. COPIES OF LOCATION DOCUMENTATION MUST BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF THE PROJECT. STOCKPILING OF MATERIALS ON THE PLANS OR A MARKER MUST BE INSTALLED TO FINISH GROUND AT ALL INSTALLED CAPS/PLUGS. THE MARKER CAN BE A POST IN CONSTRUCTION AREAS OR PAINTED ON A PERMANENT SURFACE.
- ACTIVE UTILITY LINES AND STRUCTURES NOT SPECIFICALLY NOTED ON PLANS, BUT WHICH ARE ENCOUNTERED TO BE IN CONFLICT WITH THE PROPOSED WORK, MUST BE EXTENDED, PROTECTED, OR REWORKED BY THE CONTRACTOR AS DIRECTED OR REQUIRED BY THE UTILITY ENTITY OR OWNER UNLESS OTHERWISE NOTED.
- CONTRACTOR MUST COORDINATE THE CUTTING AND CAPPING OF ALL UTILITIES WITH THE OWNER, THE MUNICIPALITY, AND ALL APPLICABLE UTILITY ENTITIES HAVING JURISDICTION.
- INACTIVE SUBSURFACE UTILITIES NOT IN CONFLICT WITH THE PROPOSED WORK AREA MAY BE ABANDONED IN PLACE WITH WRITTEN PERMISSION FROM THE OWNER.

TRAFFIC NOTES:

- ALL TRAFFIC CONTROL MUST CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) CURRENT EDITION.
- DURING CONSTRUCTION, TRAFFIC CONES MUST BE USED FOR SEPARATION OF ACTIVE TRAFFIC FROM WORK ZONE PER MUTCD REQUIREMENTS.
- DURING CONSTRUCTION FLAGGERS MUST BE EMPLOYED TO ENSURE SAFETY FOR INTERACTION OF CONSTRUCTION VEHICLES AND ACTIVE TRAFFIC.
- ALL SIGNS, FLAGGERS, TRAFFIC CONTROL DEVICES, AND TEMPORARY TRAFFIC ZONE ACTIVITIES MUST MEET THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD) LATEST EDITION AND SUBSEQUENT ADDENDA.
- TEMPORARY CONSTRUCTION SIGNS MUST BE MOUNTED ON MASSDOT APPROVED SUPPORTS AND MUST BE REMOVED OR COVERED WHEN NOT APPLICABLE.

AS-BUILT NOTES:

ALL COMPONENTS OF THE DRAINAGE, SEWER, AND WATER SYSTEMS MUST BE MUST BE FIELD LOCATED PRIOR TO COVERING. NOTIFY SURVEYOR A MINIMUM OF SEVENTY-TWO (72) HOURS IN ADVANCE OF NEED FOR FIELD LOCATION IMPROVEMENTS. SURVEYOR AND CONTRACTOR MUST SUBMIT SHOP DRAWINGS WITH WRITTEN NOTICE OF COMPLETION OF FIELD WORK PRIOR TO CONTRACTOR COVERING IMPROVEMENTS. OWNER/DIPRETE WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.

MASSDOT NOTES:

- ALL WORK TO BE DONE WITHIN THE STATE RIGHT OF WAY MUST CONFORM TO THE MASSACHUSETTS HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES LATEST REVISION. STANDARD DETAILS FOR THIS WORK ARE THE MASSDOT HIGHWAY DIVISION CONSTRUCTION STANDARD DETAILS LATEST EDITION.
- ALL TRAFFIC CONTROL MUST CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION, INCLUDING ALL REVISIONS.
- LANE OR SHOULDER CLOSURES MUST NOT BE PERFORMED WITHIN THE STATE ROW DURING PEAK TRAFFIC HOURS.
- SEWER AND WATER CONNECTIONS WITHIN THE STATE RIGHT OF WAY WILL REQUIRE A SEPARATE MASSDOT UTILITY PERMIT, WHICH CONTRACTOR MUST OBTAIN BEFORE CONSTRUCTION.
- THE DRAINAGE SYSTEM IS DESIGNED TO DECREASE BOTH STORMWATER RUNOFF RATE, AND STORMWATER RUNOFF VOLUME TO THE STATE RIGHT OF WAY FROM PRE-DEVELOPMENT TO POST-DEVELOPMENT. THERE WILL BE NO INCREASE IN RUNOFF TO THE STATE RIGHT OF WAY FROM THE PROPOSED DEVELOPMENT.

AMERICANS WITH DISABILITIES ACT (ADA) NOTES:

- ALL IMPROVEMENTS MUST COMPLY WITH THE "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAG) BY THE US DEPARTMENT OF JUSTICE (CURRENT EDITION).
- MAXIMUM RUNNING SLOPE ALONG ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 4.5% (0.045 FT/FT) AND MAXIMUM CROSS SLOPE ACROSS ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 1.5% (0.015 FT/FT).
- ADA PARKING SPACES AND LOADING AREAS: THE STEEPEST SLOPE OF THE SPACE, MEASURED IN ANY DIRECTION (INCLUDING DIAGONALLY), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT). DIPRETE ENGINEERING GENERALLY RECOMMENDS A MAXIMUM OF 1.4% (0.014 FT/FT) BE USED FOR BOTH RUNNING AND CROSS SLOPES IN ORDER TO COMPLY.
- A MINIMUM 5'X6' LANDING MUST BE PROVIDED IN FRONT OF ALL PUBLICLY ACCESSIBLE BUILDING ENTRANCES/ EGRESS. THE STEEPEST SLOPE OF THE LANDING, MEASURED IN ANY DIRECTION (INCLUDING DIAGONALLY), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT). DIPRETE ENGINEERING GENERALLY RECOMMENDS A MAXIMUM OF 1.4% (0.014 FT/FT) BE USED FOR BOTH RUNNING AND CROSS SLOPES IN ORDER TO COMPLY.
- FOR EVERY 6 (OR FRACTION OF 6) ADA PARKING SPACES, AT LEAST ONE MUST BE A VAN PARKING SPACE. FOR EXAMPLE, IF 7 ADA PARKING SPACES ARE REQUIRED, A MINIMUM OF 2 MUST BE VAN SPACES.
- NOTWITHSTANDING THE NOTES LISTED ABOVE, TOWN OR STATE-SPECIFIC STANDARDS MAY BE MORE STRINGENT AND OVERRULE. IT IS THE RESPONSIBILITY OF THE USER OF THIS PLAN SET TO MAINTAIN COMPLIANCE WITH THE CONTROLLING STANDARD.
- NOTE THAT THE GRADING/PLAN VIEWS AND DETAILS CONTAINED WITHIN THIS PLAN SET MAY NOT SHOW THE DETAIL NECESSARY TO CONSTRUCT WALKWAYS, RAMPS AND SPACES TO COMPLY WITH THE ABOVE REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE LEVEL OF CARE NECESSARY TO BE CERTAIN THAT THE CONSTRUCTED PRODUCT MEETS ADA COMPLIANCE STANDARDS. IN THE EVENT OF ANY NON COMPLIANCE THE CONTRACTOR MUST NOTIFY THE DESIGNER BEFORE CONSTRUCTION FOR ADVISE IN FINDING A RESOLUTION.

GRADING AND UTILITY NOTES:

- CONSTRUCTION TO COMMENCE FALL 2021 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
- THE CONTRACTOR MUST COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDING. THIS MUST BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
- THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUNDWATER ARE DIRECTED AWAY FROM THE STRUCTURE.
- PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERSECTIONS WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES. CONTRACTOR MUST NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- ALL PROPOSED UNDERGROUND UTILITIES SERVING THE SITE AND BUILDINGS MUST BE COORDINATED WITH OWNER, ARCHITECT, AND ENGINEER PRIOR TO INSTALLATION.
- ALL RETAINING WALLS AND STEEP SLOPES ARE SUBJECT TO FINAL STRUCTURAL DESIGN. DIPRETE ENGINEERING IS NOT PROVIDING THE STRUCTURAL DESIGN OF THESE ITEMS. ALL WALLS AND STEEP SLOPES MUST BE DESIGNED AND BUILT UNDER THE DIRECTION OF A MASSACHUSETTS LICENSED PROFESSIONAL ENGINEER SUITABLY QUALIFIED IN GEOTECHNICAL ENGINEERING AND CERTIFIED TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT. SHOP DRAWINGS MUST BE SUBMITTED PRIOR TO CONSTRUCTION. FINAL STRUCTURAL DESIGN MUST INCORPORATE THE INTENT OF THE GRADING SHOWN ON THESE PLANS AND ALL WORK MUST BE WITHIN THE LIMIT OF DISTURBANCE SHOWN ON THE PLANS.
- ALL CUT AND FILL WORK MUST BE DONE UNDER THE DIRECTION OF A PROFESSIONAL GEOTECHNICAL ENGINEER, WITH TESTING AND CERTIFICATION TO THE APPLICANT AT THE COMPLETION OF THE PROJECT. DIPRETE ENGINEERING IS NOT PROVIDING THE FILL SPECIFICATION, GEOTECHNICAL ENGINEERING, STRUCTURAL ENGINEERING SERVICES, OR SUPERVISION AS PART OF THESE DRAWINGS.
- MATERIAL STOCKPILES MUST NOT BE LOCATED IN THE RIGHT-OF-WAY, AND TRENCHES MUST NOT BE LEFT OPEN OVERNIGHT.
- ALL LOAM IN DISTURBED AREAS MUST BE STOCKPILED FOR FUTURE USE.
- ALL EXCESS SOIL, TREES, ROCKS, BOULDERS, AND OTHER REFUSE, MUST BE DISCARDED OFF SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS. STUMPS MUST BE GROUND ON SITE OR REMOVED.
- THE SITE WILL HAVE 3' BITUMINOUS BERM AND/OR 6" CONCRETE CURBING. SITE GRADING/CONTOURS SHOWN ON THE PLANS DO NOT NECESSARILY REFLECT THE APPROPRIATE BERM/CURBING REVEAL. CONTRACTOR MUST INSTALL CURBING WITH APPROPRIATE REVEAL UNLESS OTHERWISE NOTED.
- NO STUMP DUMPS ARE PROPOSED ON SITE.
- ALL DRAINAGE OUTFALLS ARE DESIGNED TO BE INSTALLED AT EXISTING GROUND ELEVATION. CONTRACTOR MUST IMMEDIATELY NOTIFY DIPRETE ENGINEERING OF ANY DISCREPANCIES WHERE EXISTING GROUND IS HIGHER THAN OUTFALL DESIGN ELEVATION. ANY RESOLUTION OF DISCREPANCIES BY THE CONTRACTOR, UNLESS AUTHORIZED IN WRITING IN ADVANCE BY THE OWNER AND DIPRETE ENGINEERING, IS DONE AT THE CONTRACTOR'S RISK.
- CONTRACTOR MUST PROVIDE SAW CUTTING AND FULL DEPTH PAVEMENT RESTORATION IN AREAS WHERE PAVEMENT AND/OR SIDEWALK IS REMOVED FOR UTILITY INSTALLATION.
- IF ROADWAY SURFACE PAVEMENT COURSE IS NOT TO BE INSTALLED FOR 12 MONTHS OR MORE AFTER INSTALLATION OF DRAINAGE STRUCTURES, ALL CATCH BASIN RIMS MUST BE SET AT BINDER GRADE AND RAISED TO FINAL PAVEMENT GRADE PRIOR TO PLACEMENT OF SURFACE COURSE.

DRAINAGE

ALL DRAINAGE PIPING MUST BE HIGH-DENSITY POLYETHYLENE (HDPE) WITH WATER/TIGHT JOINTS WHERE INSTALLED WITHIN THE SEASONAL HIGH GROUNDWATER, UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS. ALL STORMWATER PIPE WITHIN THE STATE'S RIGHT OF WAY MUST BE REINFORCED CONCRETE PIPE (RCP).

DRAINAGE STRUCTURES MUST BE AS FOLLOWS (UNLESS OTHERWISE NOTED ON PLANS):

- CATCH BASINS (CB): MASSDOT STD. 202.4.0 OR APPROVED EQUAL
- CATCH BASIN FRAMES: MASSDOT STD. 201.6.0 OR APPROVED EQUAL
- DRAINAGE MANHOLES (DMH): MASSDOT STD. 202.4.0 OR APPROVED EQUAL
- DRAINAGE MANHOLE FRAMES AND COVERS: MASSDOT STD. 202.6.0 OR APPROVED EQUAL
- DOWNSPREAD DEFENDERS (DD) BY HYDRO INTERNATIONAL OR APPROVED EQUAL
- [HTTPS://WWW.HYDRO-INT.COM/EN/RESOURCES/DOWNSSTREAM-DEFENDER-PDF-OR-DWG-DRAWINGS](https://www.hydro-int.com/en/resources/downdstream-defender-pdf-or-dwg-drawings)
- ALL CATCH BASINS WITHIN PARKING LOT MUST CONTAIN HOODS, AND INCLUDE 4" SUMP.
- ALL MANHOLES MUST SUPPORT AASHTO HS20-44 LOADING.

DRAINAGE CONNECTIONS FROM ALL YARD DRAINS (YD), AREA DRAINS (AD), TRENCH DRAINS (TD), FRENCH DRAINS (FD), WALL DRAINS (WD), AND DOWNSPOUTS (DS) ARE SHOWN FOR SCHEMATIC PURPOSES ONLY. THE LEVEL OF DETAIL SHOWN DOES NOT INCLUDE ALL JOINTS THAT MAY BE REQUIRED FOR CONSTRUCTION. ALL FITTINGS AND PIPE SLOPES TO THE INTO MAIN TRUNK LINE MUST BE FIELD FIT BY CONTRACTOR.

SANITARY SEWER

ALL SANITARY SEWER PIPING TO BE SDR 35 UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS. ALL SEWER IMPROVEMENTS MUST COMPLY WITH THE TOWN OF WAREHAM SEWER DEPARTMENT, MMRA AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR MUST SUBMIT SHOP DRAWINGS FOR APPROVAL BY ENGINEER OF RECORD PRIOR TO CONSTRUCTION. ALL PIPES FROM BUILDING TO GREASE TRAP/INTERCEPTOR AND FROM GREASE TRAP/INTERCEPTOR TO THE NEXT STRUCTURE MUST BE CAST IRON AND IN ACCORDANCE WITH 284CMR.

WATER

ALL WATER LINES MUST BE CEMENT LINED DUCTILE IRON PIPE (CLDIP). ALL WATER MAIN IMPROVEMENTS MUST COMPLY WITH THE TOWN OF WAREHAM WATER DEPARTMENT AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR TO PROVIDE SHOP DRAWINGS AND SUBMITTALS TO THE ENGINEER OF RECORD FOR APPROVAL FOR ALL WATER IMPROVEMENTS AND APPURTENANCES INCLUDING BUT NOT LIMITED TO PIPES, VALVES, FITTINGS, HEAT ENCLOSURES, AND BACKFLOWS.

ELECTRIC/TELECOM/GAS

PROPOSED GAS, ELECTRIC, CABLE AND DATA UTILITIES ARE SHOWN SCHEMATICALLY AND ARE PROPOSED TO BE UNDERGROUND. OWNER AND CONTRACTOR MUST COORDINATE FINAL DESIGN WITH APPROPRIATE UTILITY COMPANIES. ALL WORK MUST BE IN ACCORDANCE WITH EACH UTILITY COMPANY'S STANDARDS AND DETAILS, AS WELL AS LOCAL AND FEDERAL REGULATIONS. THIS INCLUDES BUT IS NOT LIMITED TO POLES, TRANSFORMER PULL BOXES, CONCRETE PADS, CONCRETE ENCASEMENTS AND CONDUITS. CONNECTION POINTS FOR ELECTRIC AND TELECOM UTILITIES, AT THE EXISTING INFRASTRUCTURE, ARE CURRENTLY SHOWN AS UNDERGROUND UTILITIES. THESE UTILITIES MAY BE UNDERGROUND OR OVERHEAD AND MUST BE COORDINATED WITH NATIONAL GRID/APPROPRIATE UTILITY AUTHORITY PRIOR TO CONSTRUCTION.

SITE LIGHTING

SITE LIGHTING (TEMPORARY AND PERMANENT) MUST BE DIRECTED AWAY FROM AND SHIELDED FROM ENVIRONMENTALLY SENSITIVE AREAS AND ADJUTING LANDS. EXACT LOCATIONS OF LIGHT POLE MUST BE COORDINATED WITH OTHER UTILITIES AND MUST BE LOCATED WITHIN THE STREET RIGHTS OF WAY. FINAL LIGHTING AND CONDUIT LOCATIONS BY OTHERS.

ABBREVIATIONS LEGEND

ADA	AMERICANS WITH DISABILITY ACT	N/F	NOW OR FORMERLY
AHJ	AUTHORITY HAVING JURISDICTION	OHW	OVERHEAD WIRE
AP	ASSESSOR'S PLAT	PE	POLYETHYLENE
ARCH	ARCHITECT	ℙ	PROPERTY LINE
BC	BOTTOM OF CURB	PR	PROPOSED
BT	BOTTOM OF TESTHOLE	PVC	POLYVINYL CHLORIDE
B10	BITUMINOUS (BERM)	R	RADIUS
B10	BIORETENTION	R&D	REMOVE AND DISPOSE
BS	BASEMENT SLAB ELEVATION	RCP	REINFORCED CONCRETE PIPE
BW	FINISHED GRADE AT BOTTOM OF WALL	RL	ROOF LEADER
CB	CATCH BASIN	ROW	RIGHT-OF-WAY
C	CALCULATED	S	SLOPE
CL	CENTERLINE	SD	SUBDRAIN
CLDIP	CHORD ANGLE	SED	SEDIMENT FOREBAY
(CA)	CONCRETE LINED DUCTILE IRON PIPE	SF	SQUARE FOOT
CO	CLEAN OUT	SFL	STATE FREEWAY LINE
CONC	CONCRETE	SFM	SEWER FORCE MAIN
(D)	DEED	SG	SLAB ON GRADE ELEVATION
DCB	DOUBLE CATCH BASIN	SHL	STATE HIGHWAY LINE
DI	DROP INLET	SMH	SEWER MANHOLE
DMH	DRAINAGE MANHOLE	SNDF	SAND FILTER
DP	DETENTION POND	SS	SIDE SLOPE
ELEV	ELEVATION	STA	STATION
EOP	EDGE OF PAVEMENT	TC	TOP OF CURB
EX	EROSION AND SEDIMENT CONTROL	TD	TRENCH DRAIN
ES	EXISTING	TF	TOP OF FOUNDATION
FES	FLARED END SECTION	TRANS	TRANSITION
FFE	FINISH FLOOR ELEVATION	TW	TOP OF WALL (FINISHED GRADE AT TOP OF WALL)
GS	GARAGE SLAB ELEVATION	TYP	TYPICAL
GW	GROUND WATER TABLE	UDS	UNDERGROUND
HW	HEADWALL	UIS	UNDERGROUND
HC	HIGH CAPACITY CATCH BASIN GRATE	UIS	INFILTRATION SYSTEM
HDPE	HIGH DENSITY POLYETHYLENE	UP	UTILITY POLE
IN	INLINE DRAIN	WG	WALKOUT ELEVATION
INV	INVERT	WQ	WATER QUALITY
IP	INFILTRATION POND		
LARCH	LANDSCAPE ARCHITECT		
LF	LINEAR FEET		
LO	LIMIT OF DISTURBANCE		
LPL	LIGHT POLE		
(M)	MEASURED		
MEP	MECHANICAL/ELECTRICAL/ PLUMBING ENGINEER		

EXISTING LEGEND

(AS SHOWN ON PROPOSED PLANS)
NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS

	PROPERTY LINE		NAIL FOUND/SET
	ASSESSORS LINE		DRILL HOLE FOUND/SET
	BUILDING		IRON ROD FOUND/SET
	BRUSHLINE		BOUND FOUND/SET
	TREELINE		SIGN
	GUARDRAIL		BOLLARD
	FENCE		SOIL EVALUATION
	RETAINING WALL		CB CATCH BASIN
	STONE WALL		DCB DOUBLE CATCH BASIN
	MINOR CONTOUR LINE		DMH DRAINAGE MANHOLE
	MAJOR CONTOUR LINE		FES FLARED END SECTION
	WATER LINE		GUY POLE
	SEWER LINE		EMH ELECTRIC MANHOLE
	SEWER FORCE MAIN		UP UTILITY/POWER POLE
	GAS LINE		LIGHTPOST
	ELECTRIC LINE		SMH SEWER/SEPTIC MANHOLE
	OVERHEAD WIRES		SV SEWER VALVE
	DRAINAGE LINE		* CLEANOUT
	SOILS LINES		HYDRANT
	25' WETLAND BUFFER		IRRIGATION VALVE
	100' BUFFER ZONE		WATER VALVE
	200' RIVERFRONT AREA		WELL
	FEMA BOUNDARY		MONITORING WELL
	STREAM		UNKNOWN MANHOLE
	WETLAND LINE & FLAG		GAS VALVE
	STATE HIGHWAY LINE		BENCH MARK
	STATE FREEWAY LINE		STREAM FLOW DIRECTION
	GROUNDWATER OVERLAY		
	GROUNDWATER RECHARGE AREA		
	GROUNDWATER RESERVOIR		
	NATURAL HERITAGE		
	COMMUNITY WELLHEAD PROTECTION		
	NON-COMMUNITY WELLHEAD PROTECTION		

PROPOSED LEGEND

NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS

PROPERTY LINE	■/■	DRAINAGE LINE
BUILDING SETBACKS	■/■	PERFORATED SUBDRAIN
CHAINLINK FENCE	■/■	SWALE
GUARDRAIL, SEE LAYOUT AND MATERIALS NOTE 8	■/■	SEWER FORCE MAIN
RETAINING WALL	■/■	GAS LINE
MINOR CONTOUR LINE	■/■	WATER LINE
MAJOR CONTOUR LINE	■/■	HYDRANT ASSEMBLY
SPOT ELEVATION	■/■	WATER SHUT OFF
EDGE OF PAVEMENT	■/■	WATER VALVE
BITUMINOUS BERM	■/■	THRUST BLOCK
CONCRETE CURB (MONOLITHIC)	■/■	SEWER LINE
CONCRETE CURB	■/■	OVERHEAD WIRE
	■/■	ELECTRIC, TELEPHONE, CABLE LINE
	■/■	LIMIT OF DISTURBANCE/ LIMIT OF CLEARING
BUILDING FOOTPRINT	■/■	SEDIMENTATION BARRIER, SILT FENCE, COMPOST SOCK OR APPROVED EQUAL
ASPHALT PAVEMENT	■/■	UNDERGROUND INFILTRATION OUTLINE
HEAVY DUTY ASPHALT PAVEMENT	■/■	POND ACCESS
HEAVY DUTY CONCRETE	■/■	RIPRAP
CONCRETE	■/■	SAND FILTER
ASPHALT SIDEWALK	■/■	STORMTECH ISOLATOR ROW
SAWCUT LINE	■/■	
SIGN	■/■	CATCH BASIN
SINGLE LIGHT	■/■	DOUBLE CATCH BASIN
DOUBLE LIGHT	■/■	DRAIN MANHOLE
OVERHANGING LIGHT	■/■	FLARED END SECTION
ACCESSIBLE PARKING SPACE SYMBOLS	■/■	HEADWALL
BUILDING INGRESS/EGRESS	■/■	SEWER MANHOLE

NOTE: THIS PLAN MUST BE REPRODUCED IN COLOR

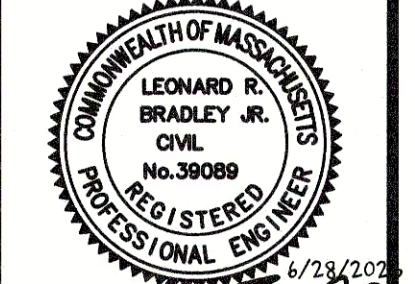
UTILITY NOTE:

ALL UNDERGROUND UTILITIES SHOWN ON THESE PLANS WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THESE DOCUMENTS. CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 811. DIG SAFE IS RESPONSIBLE FOR CONTACTING MEMBER UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE RESPONSIBLE TO MARK ONLY THE FACILITIES THAT THEY OWN OR MAINTAIN. NON DIG SAFE MEMBER COMPANIES ARE NOT NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON DIG SAFE MEMBER UTILITIES ARE IN THE AREA.

PER THE CODE OF FEDERAL REGULATIONS - TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LINE LOCATIONS FROM THE UTILITY OWNERS AND, OR VIA UNDERGROUND UTILITY LOCATION EQUIPMENT AS NEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO ANY EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATING COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED.

DIPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES, DETECTED OR NOT, EITHER IN SERVICE OR ABANDONED, ANY SIZES, LOCATIONS, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.

Diprete Engineering

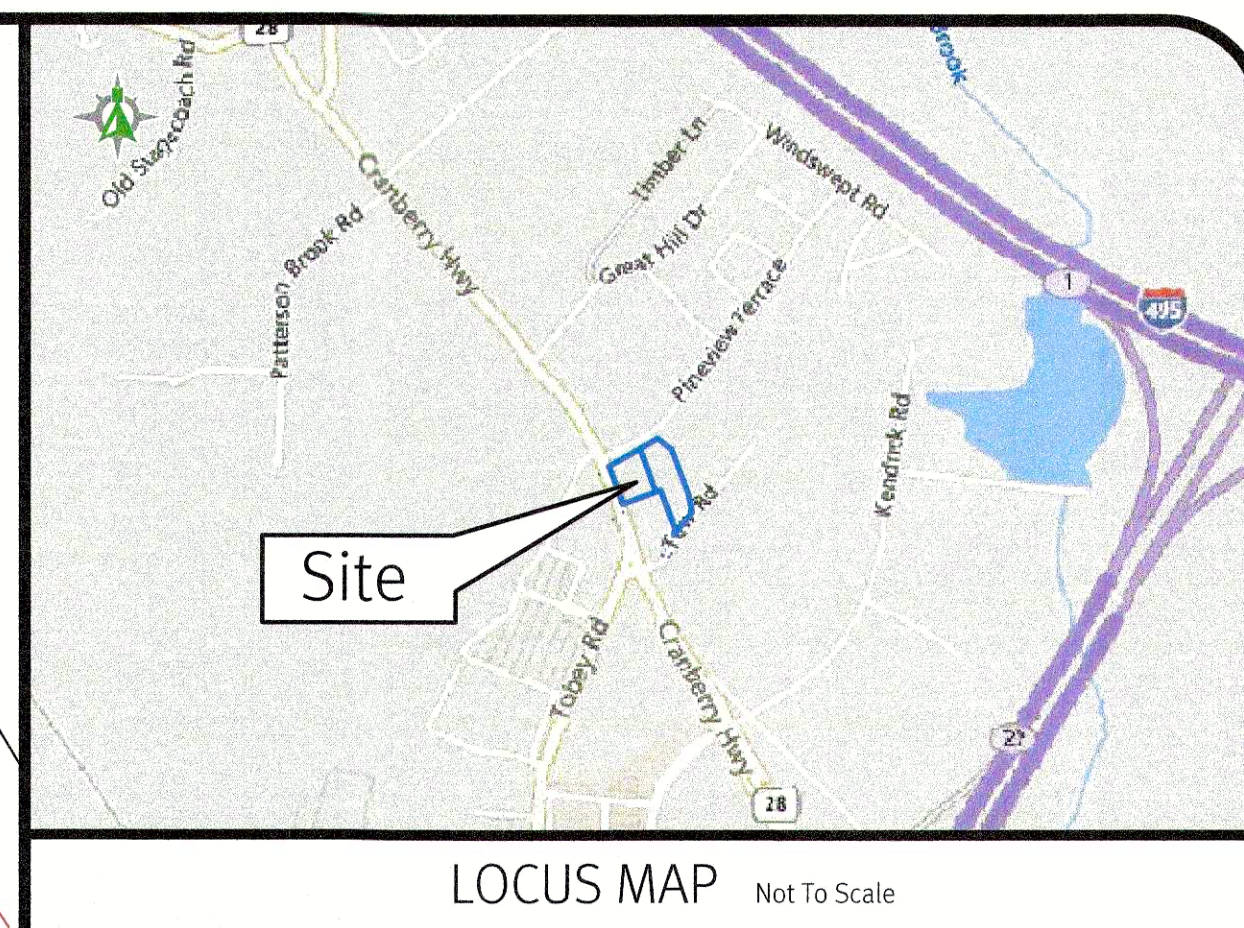
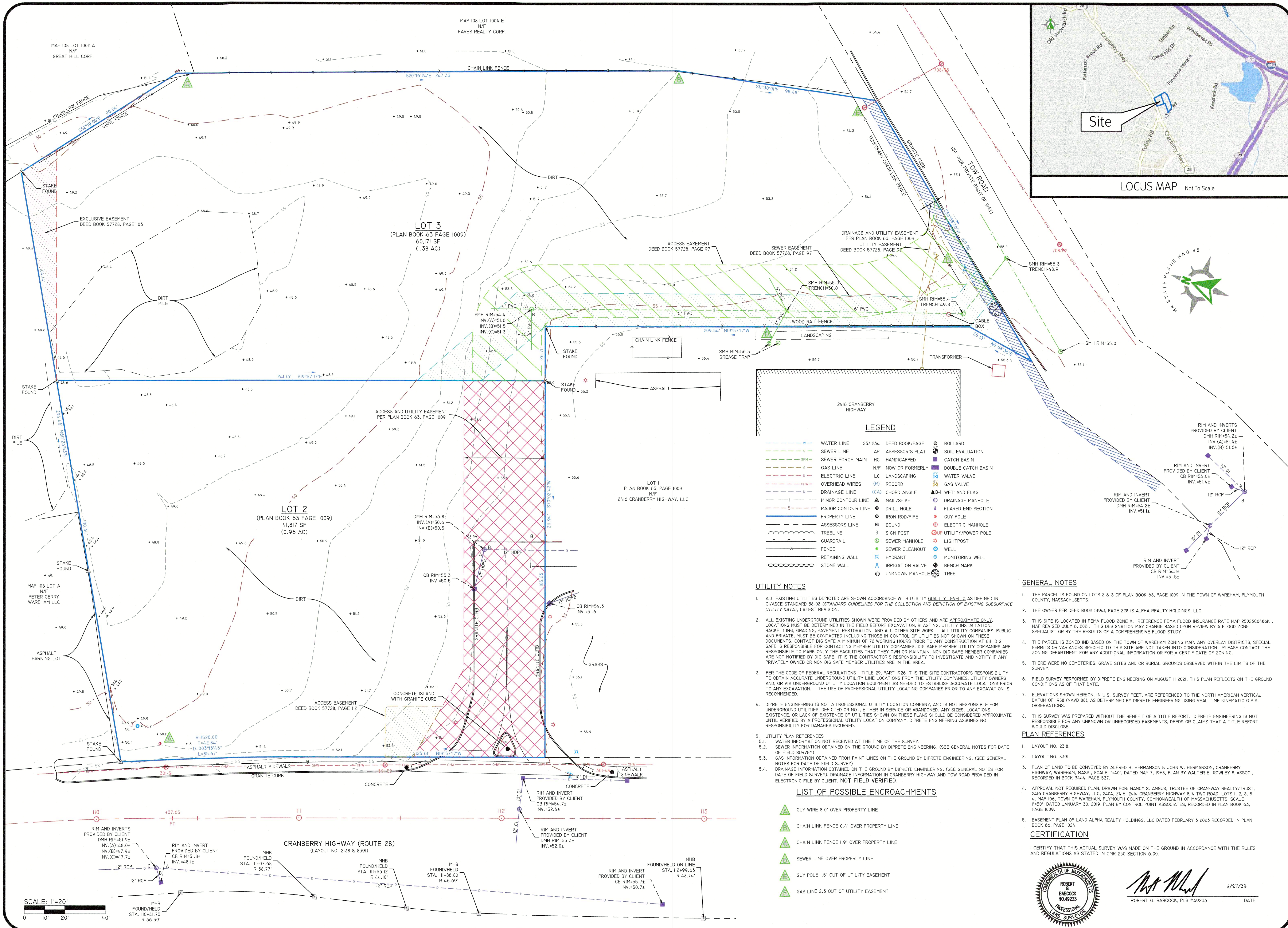


LEONARD R. BRADLEY
No. 30989
REGISTERED PROFESSIONAL ENGINEER
7/24/2024

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS ACCOMPANIED BY THE STAMPED PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES AND STRUCTURES SHOWN ON THESE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS PRIOR TO CONSTRUCTION.

NO.	DATE	DESCRIPTION	BY:	DESIGN BY: B.E.G.
1	07-26-2024	PREPARED FOR: ALPHA REALTY HOLDINGS LLC		
2	07-26-2024	DESIGNED BY: B.E.G.		
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DiPrete Engineering

990 Washington Street Suite 101A Dedham, MA 02026
tel 781-326-0021 fax 401-464-6006 www.diprete-eng.com

Boston • Providence • Newport

EXISTING CONDITIONS SURVEY

2404 CRANBERRY HIGHWAY
LOTS 2 AND 3 OF PLAN BOOK 63, PAGE 1009
WAREHAM, MASSACHUSETTS

PREPARED FOR:
SOUTH COAST DEVELOPMENT, LLC
280 AYER ROAD, HARVARD, MASSACHUSETTS 01451
TEL (978) 391-0144 FAX (978) 391-1015

DE: JOB NO. 2503-000 COPYRIGHT 2023 BY DIPRETE ENGINEERING ASSOCIATES, INC.

6/27/23

EXISTING CONDITIONS SURVEY
M.T.D.
A.J.F.
8/3/22
EXISTING CONDITIONS SURVEY
A.J.F.
NO. DATE DESCRIPTION
BT:

DATE: 6/27/23

ROBERT G. BABCOCK, PLS #49233

PROFESSIONAL LAND SURVEYOR

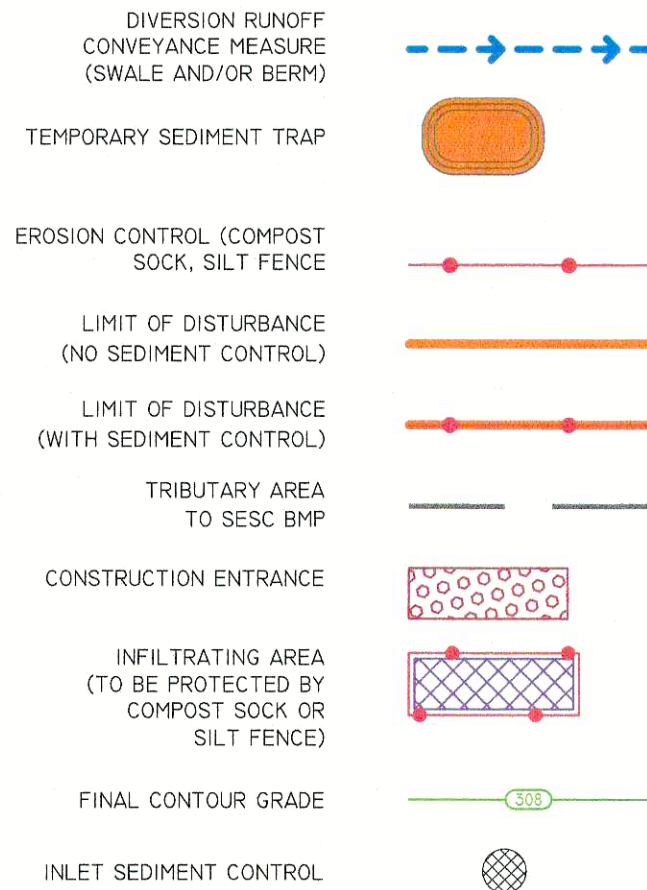
STATE OF MASSACHUSETTS

ROBERT G. BABCOCK, PLS #49233

DATE: 6/27/23

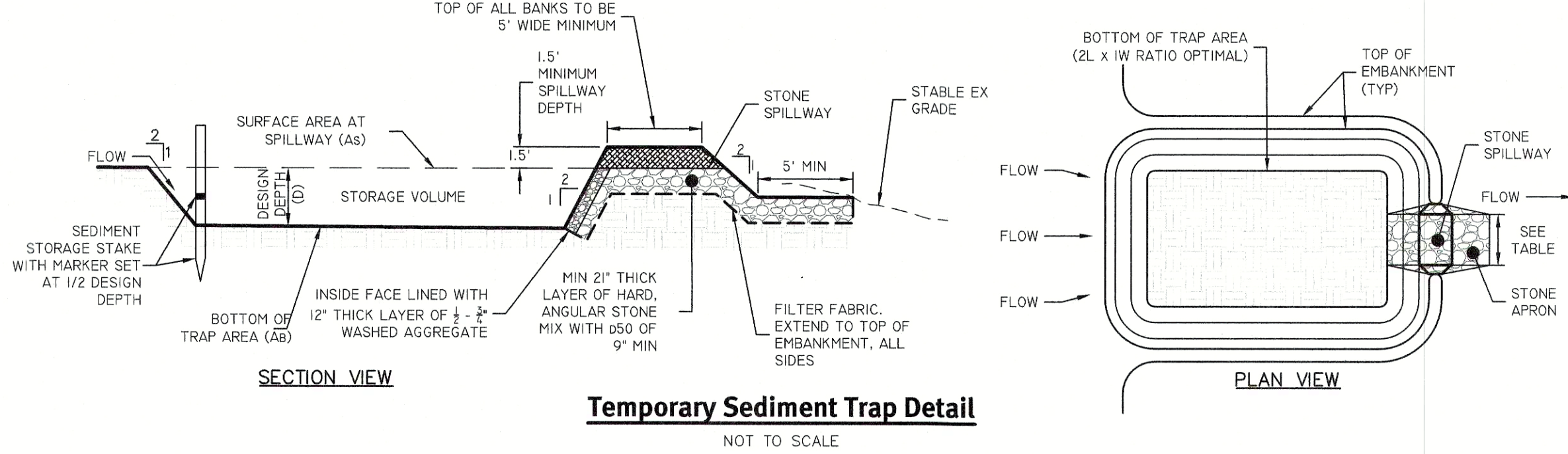
SHEET 1 OF 1

SOIL EROSION CONTROL LEGEND



SEDIMENT TRAP DIMENSIONS	TRAP A
TRIBUTARY DRAINAGE AREA	1.18 AC
DESIGN DEPTH (D)	2.0 FT
BOTTOM OF TRAP AREA (A8)	841.0 SO.FT
SURFACE AREA AT SPILLWAY (A5)	1,328.0 SO.FT

SPILLWAY WIDTH	MIN. BOTTOM WIDTH OF SPILLWAY (FT)
TRIBUTARY DRAINAGE AREA (AC)	
UP TO 1	4.0
1-2	6.0
2-3	8.0
3-4	10.0
4-5	12.0



GENERAL NOTES:

- TEMPORARY SEDIMENT TRAPS SHALL MEET ALL REQUIREMENTS FOR TEMPORARY SEDIMENT TRAPS OUTLINED IN THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS (LATEST REVISION).
- THE TEMPORARY SEDIMENT TRAP SHALL HAVE A MINIMUM STORAGE VOLUME OF 67 CUBIC YARDS PER ACRE OF CONTRIBUTING DRAINAGE AREA.
- ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER.
- THE OUTLET SPILLWAY SHALL BE LOCATED AT THE MOST DISTANT HYDRAULIC POINT FROM THE INLET.
- THE OUTLET SPILLWAY SHALL CONSISTED OF HARD, ANGULAR, WELL-GRADED STONE MIXTURE WITH D50 OF 9 INCHES MINIMUM. INSIDE FACING OF SPILLWAY TO BE LINED WITH A 1-FOOT THICK OF 1/2 TO 3/4 INCH WASHED AGGREGATE. SEE DETAIL.
- TEMPORARY SEDIMENT TRAPS MUST OUTLET ONTO RIPRAP APRON 5 FEET LONG (MINIMUM) WITH FILTER FABRIC FOUNDATION.
- MINIMUM WIDTH OF TOP OF EMBANKMENT IS 5 FEET.
- MAXIMUM HEIGHT OF EMBANKMENT IS 5 FEET FROM OUTER EMBANKMENT TOE TO TOP OF EMBANKMENT.
- SEDIMENT TRAPS ARE LIMITED TO A MAXIMUM CONTRIBUTING DRAINAGE AREA OF 5 ACRES, AND A STRUCTURE LIFE OF 2 YEARS.

MAP 108 LOT A
N/F
PETER GERRY
WAREHAM, LLC.

LOT 3
PLAN BOOK 63,
PAGE 1009
N/F
ALPHA REALTY
HOLDINGS, LLC

SEDIMENT TRAP
TOP ELEV=51.50
OVERFLOW ELEV=50.00
BOT ELEV=48.00

TH-1
GWT=132'

LOT 2
PLAN BOOK 63,
PAGE 1009
N/F
ALPHA REALTY
HOLDINGS, LLC

EXISTING GAS
STATION

LOT 1
PLAN BOOK 63,
PAGE 1009
N/F
2416 CRANBERRY
HIGHWAY, LLC

SITE
PLAN BOOK 63 PAGE 1009
LOT 2
0.96 ACRES

CRANBERRY HIGHWAY (ROUTE 28)
(VARIABLE WIDTH PUBLIC RIGHT OF WAY)
(LAYOUT NO. 2158 & 8391)

MAP 87
LOT 1
N/F
WAREHAM RETAIL
MANAGEMENT, LLC.

INSPECTION, MAINTENANCE, AND REMOVAL REQUIREMENTS:

- INSTALL "SEDIMENT STORAGE" STAKE WITH A MARKER AT ONE HALF DESIGN DEPTH. THIS WILL BE THE "CLEANOUT LEVEL". REMOVE SEDIMENT WHEN IT HAS ACCUMULATED TO ONE-HALF THE DESIGN DEPTH AND RESTORE THE TRAP TO ITS ORIGINAL DIMENSIONS. DEWATER IF NECESSARY.
- DISPOSE OF THE SEDIMENT REMOVED FROM THE TRAP IN A SUITABLE AREA.
- INSPECT THE TEMPORARY SEDIMENT TRAP AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.25 INCH OR GREATER.
- CLEAN OR REPLACE SPILLWAY GRAVEL FACING IF CLOGGED. PROMPTLY REPLACE ANY DISPLACED RIPRAP, ENSURING THAT NO STONES IN SPILLWAY ARE ABOVE DESIGN GRADE.
- INSPECT VEGETATION; RESEED AND RENOULCH IF NECESSARY.
- CHECK SPILLWAY DEPTH PERIODICALLY TO ENSURE MINIMUM OF 1.5 FEET DEPTH FROM LOWEST POINT OF THE SETTLED EMBANKMENT TO HIGHEST POINT OF SPILLWAY CREST. FILL ANY LOW AREAS OF THE EMBANKMENT TO MAINTAIN DESIGN ELEVATION.
- AFTER ALL SEDIMENT-PRODUCING AREAS HAVE BEEN STABILIZED, INSPECTED AND APPROVED, REMOVE THE SEDIMENT TRAP AND ALL UNSTABLE SEDIMENT. RESTORE AREA TO DESIGN GRADE AND STABILIZE IN ACCORDANCE WITH LANDSCAPE PLAN/ COVER AS SHOWN ON APPLICABLE PLANS.

INSTALLATION NOTES:

- EMBANKMENT:
- CLEAR, GRUB AND STRIP ALL VEGETATION AND ROOT MAT FROM ANY PROPOSED EMBANKMENT AND OUTLET AREA. USE STABLE MINERAL SOIL FREE OF ROOTS, ROCKS, DEBRIS, ORGANIC MATERIAL AND OTHER OBJECTIONABLE MATERIAL.
 - PLACE EMBANKMENT FILL IN 9-INCH LIFTS, MAXIMUM. THE FILL SHOULD BE COMPACTED BY ROUTING THE CONSTRUCTION EQUIPMENT SO THAT THE ENTIRE AREA OF THE FILL IS TRAVERSED BY AT LEAST ONE WHEEL OR TREAD TRACK OF THE EQUIPMENT. CONSTRUCT SIDE SLOPES 2:1 OR FLATTER (3:1 RECOMMENDED FOR BACKSLOPE TO IMPROVE STABILITY OF STONE SPILLWAY).
 - OVERFILL EMBANKMENT TO 6 INCHES ABOVE DESIGN ELEVATION TO ALLOW FOR SETTLEMENT.
- OUTLET SECTION:
- EXCAVATE TRAPEZOIDAL STONE OUTLET SECTION FROM COMPACTED EMBANKMENT. ALLOW FOR THICKNESS OF STONE SIDE SLOPES (21 INCHES MINIMUM).
 - INSTALL FILTER FABRIC UNDER STONE. EXTEND FABRIC UP THE SIDES TO THE TOP OF EMBANKMENT. PLACE SPECIFIED STONE TO LINES AND GRADES SHOWN ON PLANS. WORKING THE SMALL STONES INTO THE VOIDS TO ACHIEVE A DENSE MASS. SPILLWAY CREST MUST BE LEVEL WITH MINIMUM DIMENSIONS SPECIFIED. MEASURE SPILLWAY DEPTH FROM THE HIGHEST STONES IN THE SPILLWAY TO THE DESIGN ELEVATION OF TOP OF EMBANKMENT. MINIMUM DEPTH IS 1.5 FEET.
 - KEEP SIDES OF THE STONE OUTLET SECTION AT LEAST 21 INCHES THICK THROUGH THE LEVEL SECTION AND THE DOWNSTREAM FACE OF EMBANKMENT.
 - EXTEND OUTLET APRON BEYOND TOE OF EMBANKMENT ON LEVEL GRADE UNTIL STABLE CONDITIONS ARE REACHED (5' MINIMUM). EDGES AND END OF THE STONE APRON SECTION MUST BE FLUSH WITH SURROUNDING GROUND. NO OVERFALL SHOULD EXIST.
 - COVER INSIDE OF FACE OF STONE OUTLET SECTION WITH A 1-FOOT THICK LAYER OF 1/2 TO 3/4 INCH AGGREGATE.
 - ALL EMBANKMENTS, EARTH SPILLWAYS, AND DISTURBED AREAS DOWNSTREAM FROM THE STRUCTURE SHOULD BE VEGETATED WITHIN 3 DAYS OF COMPLETION OF THE CONSTRUCTION OF THE STRUCTURE.

SCALE: 1"=20'
0 10' 20' 40'

STORMWATER POLLUTION PREVENTION PLAN

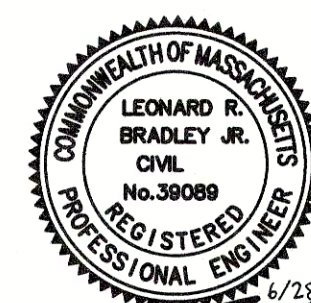
CRANBERRY HIGHWAY

WAREHAM, MASSACHUSETTS

PREPARED FOR:
THE PARK NETWORK

100 MENO PARK MALL, SUITE 500, EDISON, NEW JERSEY 08837
TEL 908-531-8021

SHEET 5 OF 14



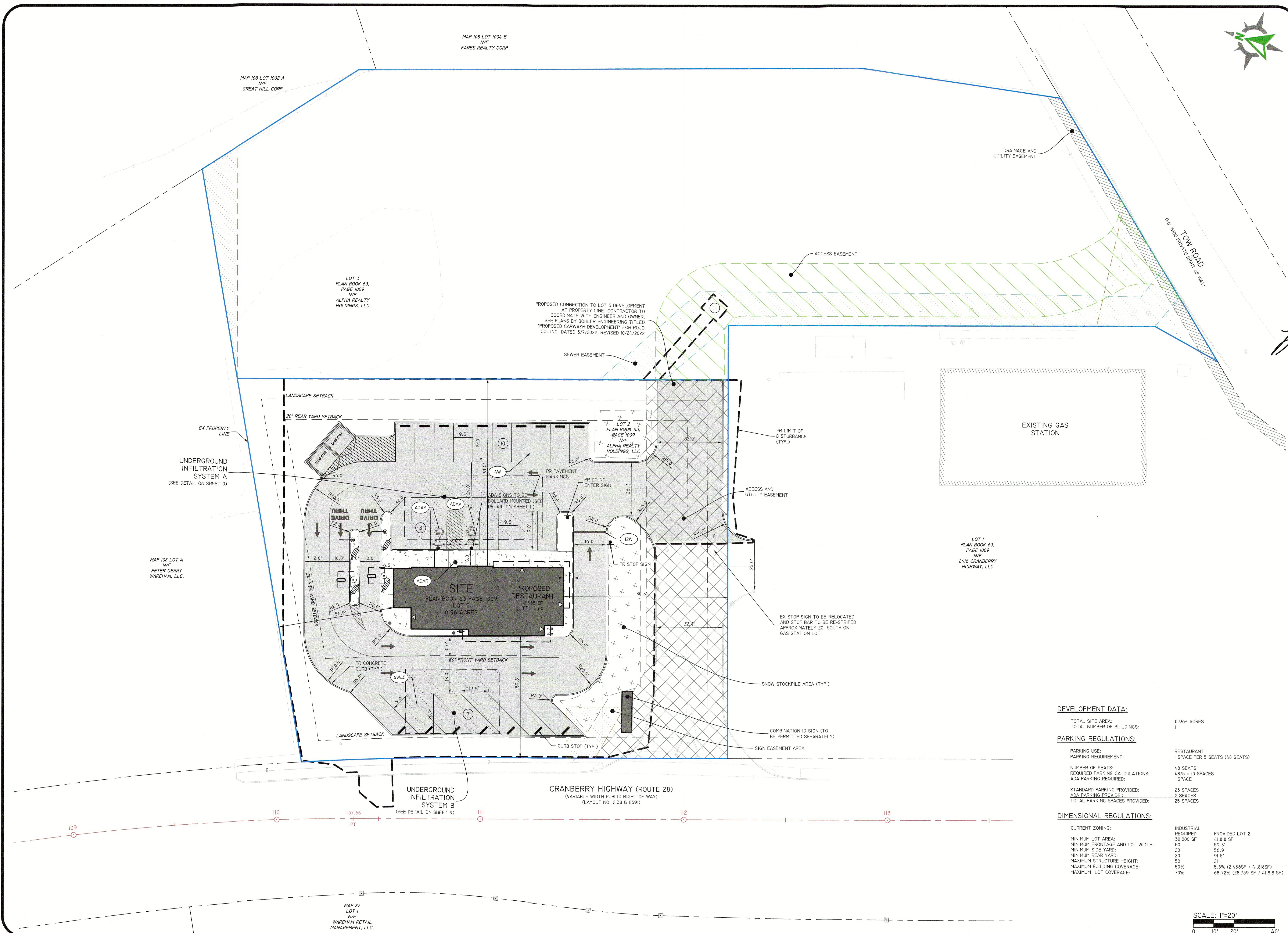
THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS ISSUED FOR CONSTRUCTION AND STAMPED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING, INC.

DIPRETE ENGINEERING, INC. WARRANTS PLANS ON A DIPRETE ENGINEERING TITLE BLOCK, STAMPED BY REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING, INC. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, MATERIALS, AND CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN. ONLY DIPRETE ENGINEERING ASSURES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES. SEE SEPARATE UTILITY LOCATIONS.

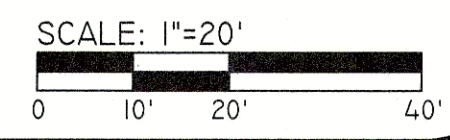
NO.	DATE	DESCRIPTION	BY:
1	06-18-2023	TRA COMMENTS	B.E.G.
2	06-20-2023	UPDATED PER LOT 3 PLANS	B.E.G.
3	06-22-2023	UPDATED SITE LAYOUT	B.E.G.
4	06-22-2023	FINAL SUBMISSION	B.E.G.

DRAWN BY: B.E.G. DESIGN BY: B.E.G.

Z:\DRAFT\PROJECTS\2022-2023\CRANBERRY HIGHWAY 2416\AUTOCAD DRAWINGS\2022-005-PLAN.DWG PLOT#6: 6/29/2023



DEVELOPMENT DATA:	
TOTAL SITE AREA:	0.96± ACRES
TOTAL NUMBER OF BUILDINGS:	1
PARKING REGULATIONS:	
PARKING USE:	RESTAURANT
PARKING REQUIREMENT:	1 SPACE PER 5 SEATS (48 SEATS)
NUMBER OF SEATS:	48 SEATS
REQUIRED PARKING CALCULATIONS:	48/5 = 10 SPACES
ADA PARKING REQUIRED:	1 SPACE
STANDARD PARKING PROVIDED:	23 SPACES
ADA PARKING PROVIDED:	2 SPACES
TOTAL PARKING SPACES PROVIDED:	25 SPACES
DIMENSIONAL REGULATIONS:	
CURRENT ZONING:	INDUSTRIAL
MINIMUM LOT AREA:	41,818 SF
MINIMUM FRONTAGE AND LOT WIDTH:	50'
MINIMUM SIDE YARD:	20'
MINIMUM REAR YARD:	20'
MAXIMUM STRUCTURE HEIGHT:	50'
MAXIMUM BUILDING COVERAGE:	50%
MAXIMUM LOT COVERAGE:	70%



DiPrete Engineering
990 Washington Street Suite 101A Dedham, MA 02026
tel 781-326-0021 fax 401-464-6006 www.diprete-eng.com

Boston • Providence • Newport

Leonard R. Bradley, Jr.
1/23/2023

THIS PLAN SET MUST NOT BE USED FOR CONTRACT OR PURPOSES OTHER THAN THOSE SPECIFICALLY INTENDED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.

THE ENGINEER HAS REVIEWED ONLY VARIATIONS IN THIS PLAN SET. THE ENGINEER IS NOT RESPONSIBLE FOR ANY OTHER VARIATIONS OR FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR ANY OTHER PARTY.

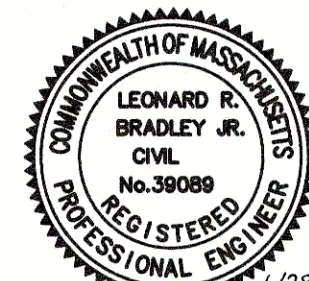
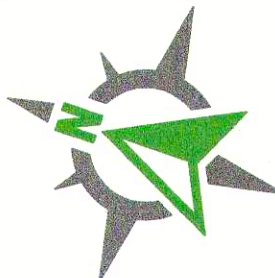
THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, SAFETY PRECAUTIONS AND REQUIREMENTS, AND OSHA COMPLIANCE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN.

EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE ENGINEER DOES NOT GUARANTEE THE LOCATION OR DEPTH OF EXISTING UTILITIES. SEE UTILITY NOTE ON SHEET 3.

NO.	DATE	DESCRIPTION	BY
1	02-28-2023	ZBA COMMENTS	B.E.G.
2	03-27-2023	REVISIONS	B.E.G.
3	03-27-2023	REVISIONS	B.E.G.
4	03-27-2023	REVISIONS	B.E.G.
5	03-27-2023	REVISIONS	B.E.G.
6	03-27-2023	REVISIONS	B.E.G.
7	03-27-2023	REVISIONS	B.E.G.
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10	03-27-2023	REVISIONS	B.E.G.
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12	03-27-2023	REVISIONS	B.E.G.
13	03-27-2023	REVISIONS	B.E.G.
14	03-27-2023	REVISIONS	B.E.G.
15	03-27-2023	REVISIONS	B.E.G.
16	03-27-2023	REVISIONS	B.E.G.
17	03-27-2023	REVISIONS	B.E.G.
18	03-27-2023	REVISIONS	B.E.G.
19	03-27-2023	REVISIONS	B.E.G.
20	03-27-2023	REVISIONS	B.E.G.
21	03-27-2023	REVISIONS	B.E.G.
22	03-27-2023	REVISIONS	B.E.G.
23	03-27-2023	REVISIONS	B.E.G.
24	03-27-2023	REVISIONS	B.E.G.
25	03-27-2023	REVISIONS	B.E.G.
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81	03-27-2023	REVISIONS	B.E.G.
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89	03-27-2023	REVISIONS	B.E.G.
90	03-27-2023	REVISIONS	B.E.G.
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93	03-27-2023	REVISIONS	B.E.G.
94	03-27-2023	REVISIONS	B.E.G.
95	03-27-2023	REVISIONS	B.E.G.
96	03-27-2023	REVISIONS	B.E.G.
97	03-27-2023	REVISIONS	B.E.G.
98	03-27-2023	REVISIONS	B.E.G.
99	03-27-2023	REVISIONS	B.E.G.
100	03-27-2023	REVISIONS	B.E.G.

SITE LAYOUT PLAN
CRANBERRY HIGHWAY
PLAN BOOK 63 PAGE 1009 LOT 2
WAREHAM, MASSACHUSETTS
THE PARKH NETWORK
100 MENLO PARK MALL, SUITE 500, EDISON, NEW JERSEY 08837
TEL 908-531-8021
DE JAB NO: 2022-003 COPYRIGHT 2023 BY DIPRETE ENGINEERING ASSOCIATES, INC.

SHEET 6 OF 14



James Bradley

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS ACCOMPANIED BY A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

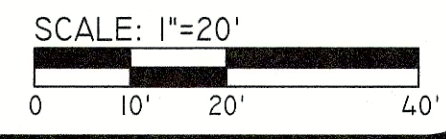
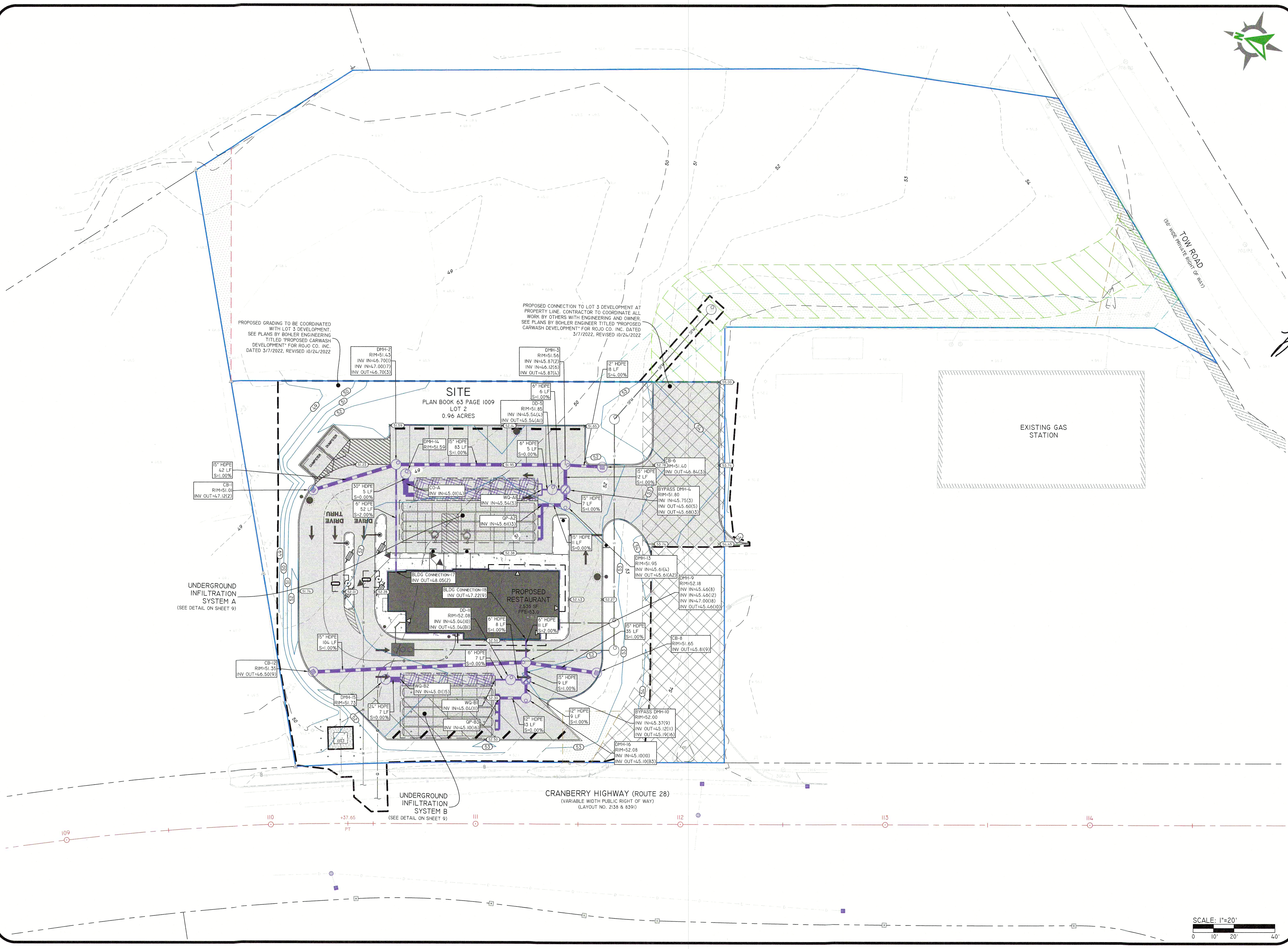
DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

SEE UTILITY NOTE ON SHEET 3.

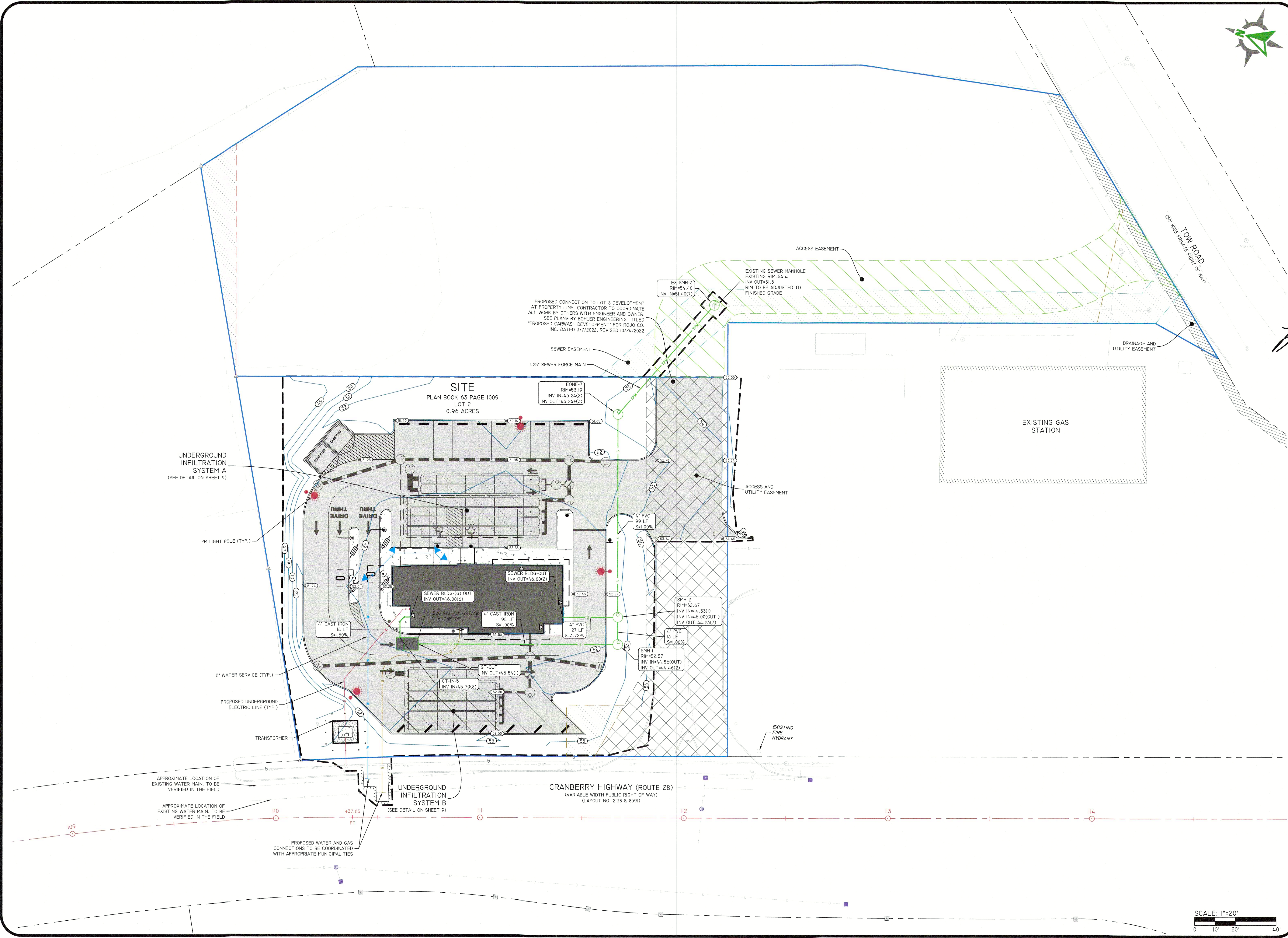
NO.	DATE	DESCRIPTION	BY	DESIGN BY
1	06-28-2023	PRELIMINARY	B.E.G.	B.E.G.
2	07-27-2023	REVISED SITE LAYOUT	B.E.G.	B.E.G.
3	08-20-2023	REVISED SITE LAYOUT	B.E.G.	B.E.G.
4	09-20-2023	REVISED SITE LAYOUT	B.E.G.	B.E.G.

GRADING AND DRAINAGE PLAN
CRANBERRY HIGHWAY
PLAN BOOK 63 PAGE 1009 LOT 2
WAREHAM, MASSACHUSETTS

PREPARED FOR:
THE PARIKH NETWORK
100 NEWLO PARK MALL, SUITE 500, EDISON, NEW JERSEY 08837
TEL 908-531-8021



Z:\REPAIR\PROJECTS\932-003 CRANBERRY HIGHWAY 240\AUTOCAD DRAWINGS\932-003 PLAN DWG PLT02B 4/29/2023



SCALE: 1"=20'

0 10' 20' 40'

UTILITIES PLAN

CRANBERRY HIGHWAY

PLAN BOOK 63 PAGE 1009 LOT 2

WAREHAM, MASSACHUSETTS

THE PARKH NETWORK

100 MENLO PARK MALL, SUITE 500, EDISON, NEW JERSEY 08837

TEL 908-531-8021

SHEET 8 OF 14



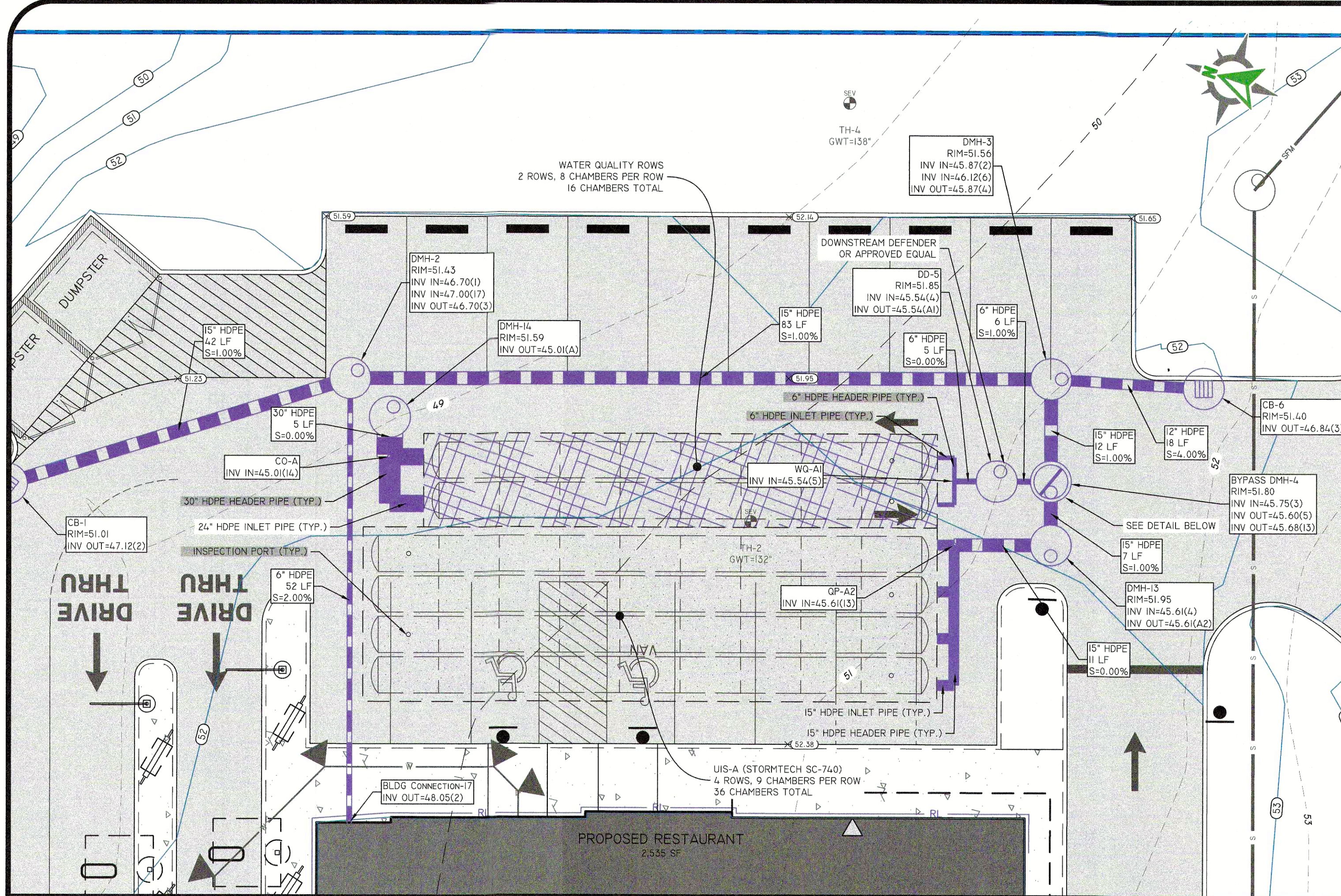
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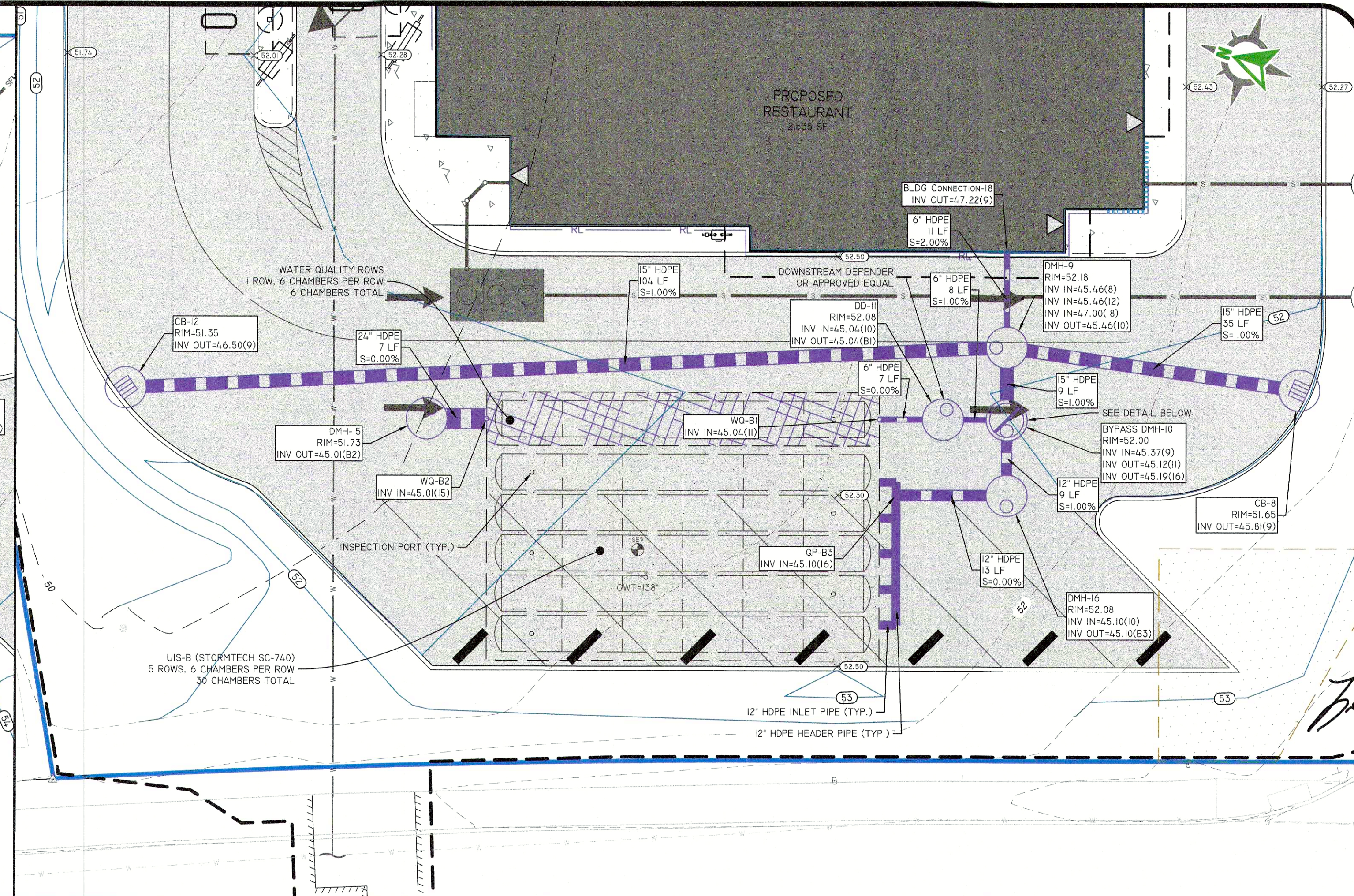
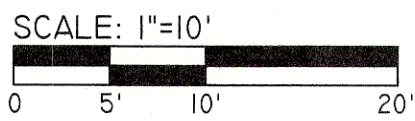
EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND BASED ON RECORD DRAWINGS AND FIELD SURVEY DATA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. ANY DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES, SEE UTILITY NOTE ON SHEET 3.

NO.	DATE	DESCRIPTION	DESIGN BY: B.E.G.
1	02-28-2023	AREA COMMENTS	
2	03-27-2023	UPDATED SITE LAYOUT	
3	03-27-2023	COMMENTS	
4	03-27-2023	CONSTRUCTION	
5	03-27-2023	CONSTRUCTION	
6	03-27-2023	CONSTRUCTION	
7	03-27-2023	CONSTRUCTION	
8	03-27-2023	CONSTRUCTION	
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20	03-27-2023	CONSTRUCTION	

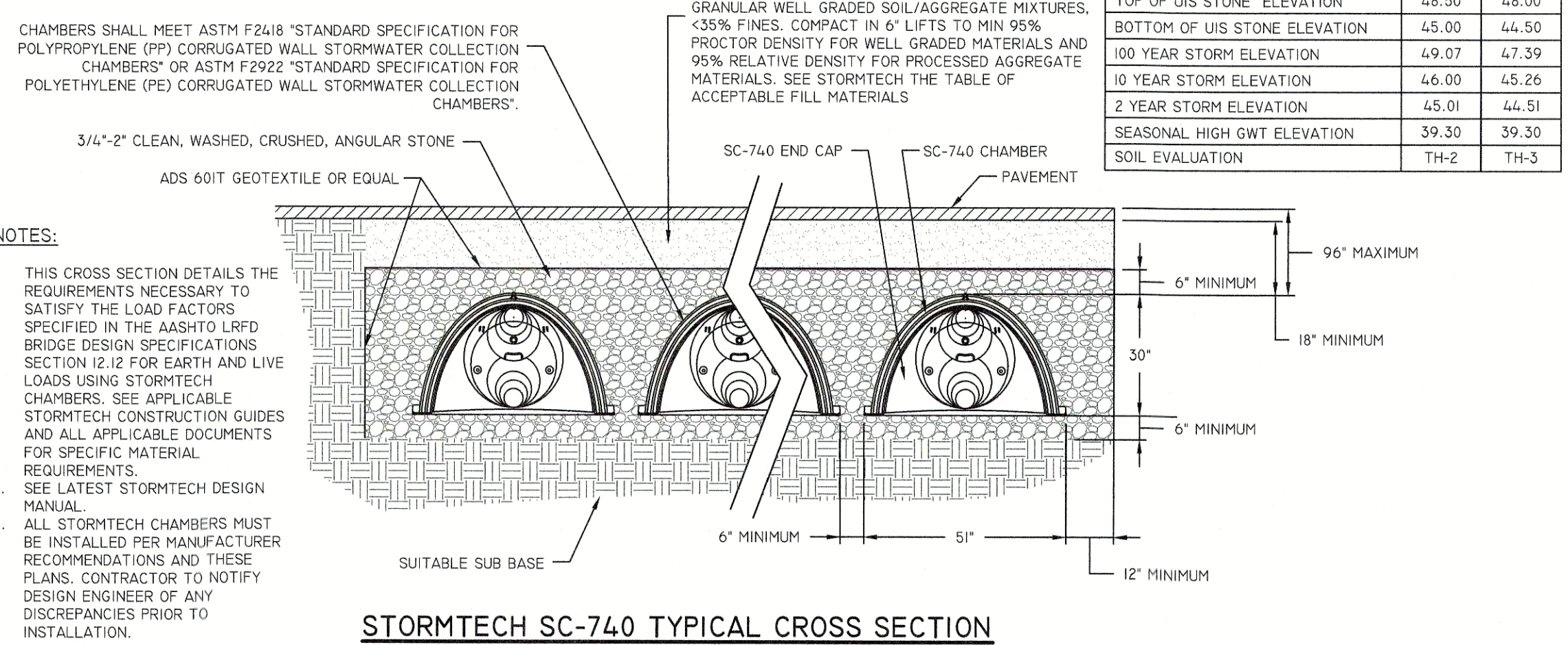
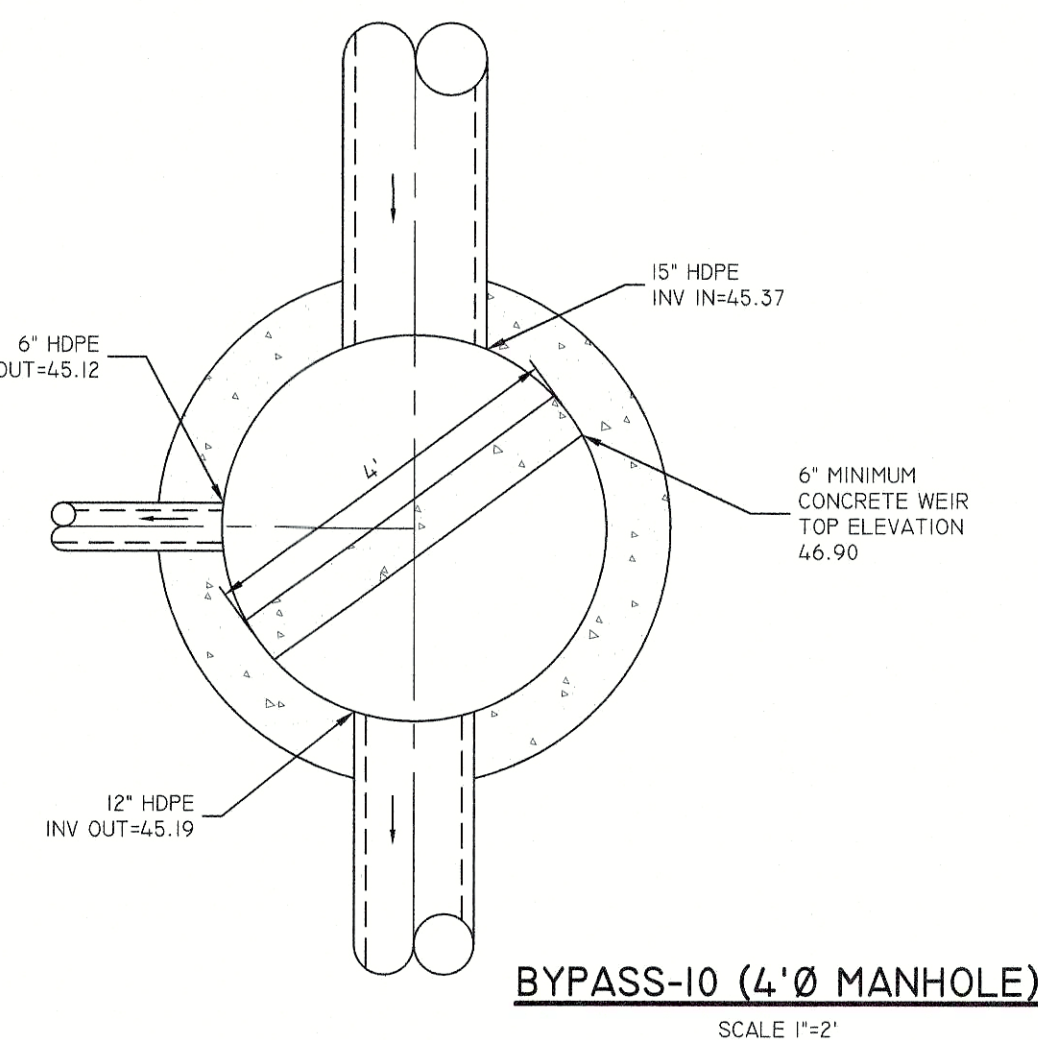
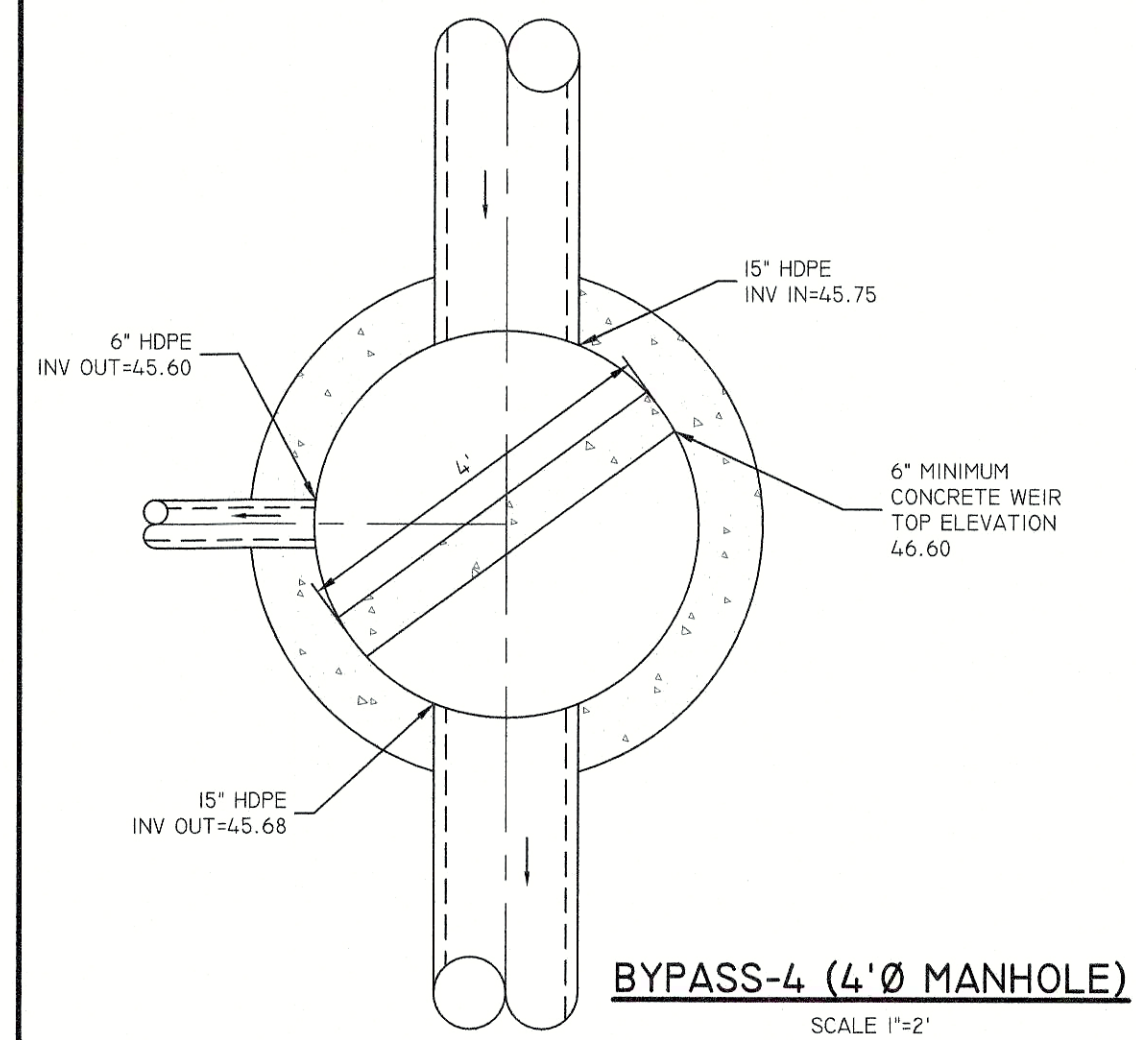
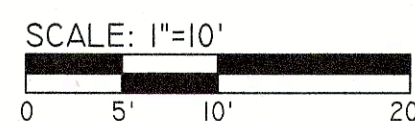
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UNDERGROUND INFILTRATION SYSTEM A



UNDERGROUND DETENTION SYSTEM B



NOTES:

- THIS CROSS SECTION DETAILS THE REQUIREMENTS NECESSARY TO SATISFY THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS USING STORMTECH CHAMBERS. SEE APPLICABLE STORMTECH CONSTRUCTION GUIDES AND ALL APPLICABLE DOCUMENTS FOR SPECIFIC MATERIAL REQUIREMENTS.
- SEE LATEST STORMTECH DESIGN MANUAL.
- ALL STORMTECH CHAMBERS MUST BE INSTALLED PER MANUFACTURER RECOMMENDATIONS AND THESE PLANS. CONTRACTOR TO NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO INSTALLATION.

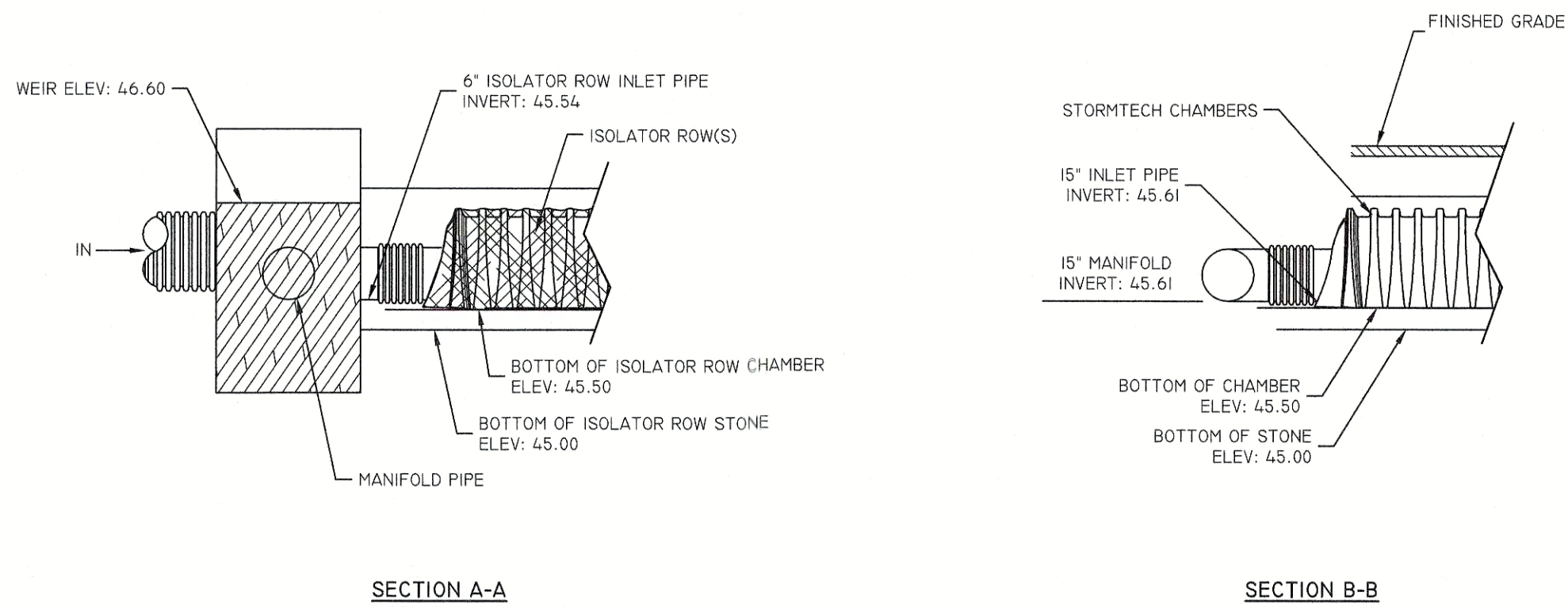
THIS PLAN SET IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS APPROVED BY A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.

THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, SAFETY PRECAUTIONS AND REQUIREMENTS, AND OSHA COMPLIANCE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN. EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. SEE UTILITY NOTE ON SHEET 3.

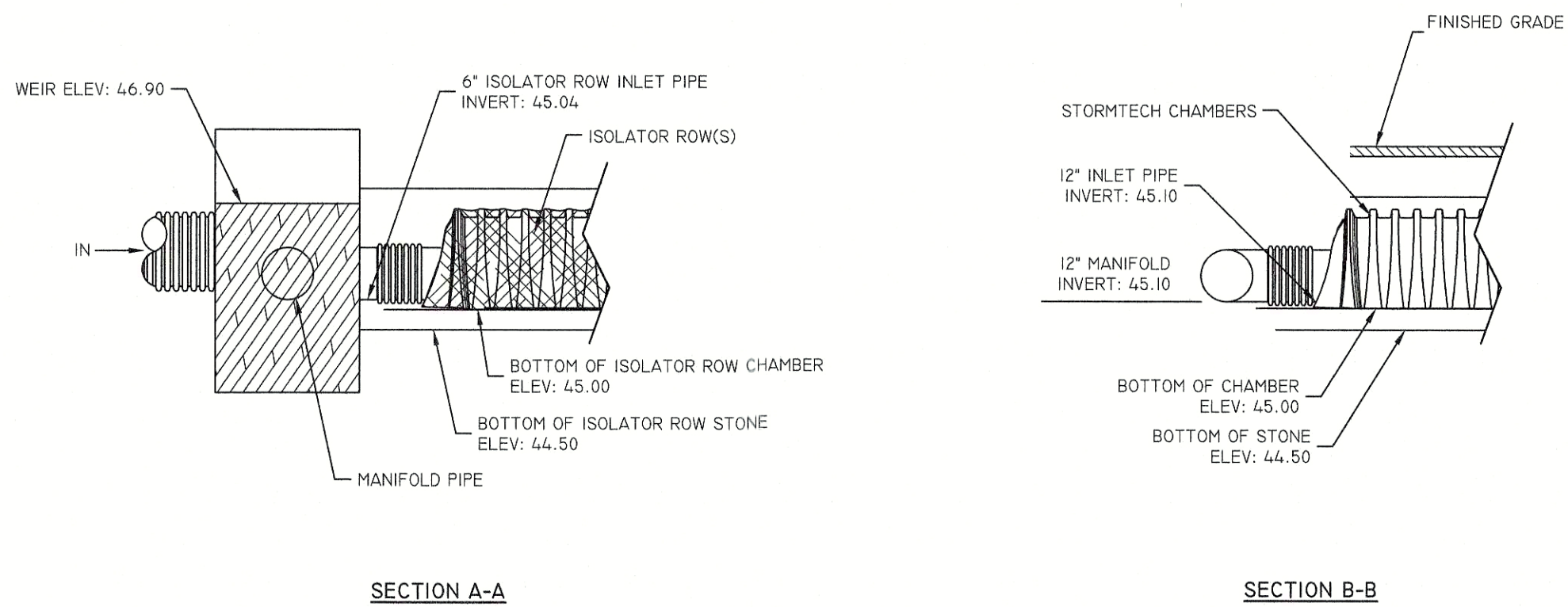
NO.	DATE	DESCRIPTION	BY	DESIGN BY: B.E.G.
1	02-28-2023	ISSUED FOR PERMIT	B.E.G.	
2	03-12-2023	REVISED SITE LAYOUT	B.E.G.	
3	03-12-2023	REVISED SITE LAYOUT	B.E.G.	
4	03-12-2023	REVISED SITE LAYOUT	B.E.G.	



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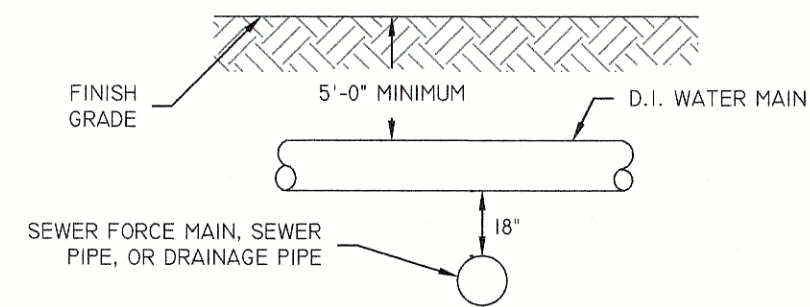


STORMTECH A ELEVATIONS
NOT TO SCALE



STORMTECH B ELEVATIONS
NOT TO SCALE

- NOTES:**
1. THE VERTICAL SEPARATION BETWEEN THE WATER MAIN AND THE PROPOSED UTILITY SHOULD BE A MINIMUM OF 18\"/>



UTILITY SEPARATION
NOT TO SCALE

**SEWER LINE/WATER MAIN SEPARATION POLICY FOR
DESIGN OF SANITARY SEWERS**

A. LATERAL PLACEMENT OF SEWERS AND WATER MAINS

SEWERS SHALL BE LAID AT LEAST 10' HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. THE DISTANCE SHALL BE MEASURED OUTSIDE EDGE-TO-OUTSIDE EDGE. THERE IS NO MINIMUM VERTICAL SEPARATION REQUIRED PROVIDED THE 10' HORIZONTAL SEPARATION IS MAINTAINED.

IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10' HORIZONTAL SEPARATION, THE DIVISION MAY ALLOW DEVIATION ON A CASE BY CASE BASIS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER. SUCH DEVIATION MAY ALLOW INSTALLATION OF THE SEWER CLOSER TO A WATER MAIN, PROVIDED THAT:

1. THE SEWER AND WATER MAIN ARE LAID IN SEPARATE TRENCHES, OR
2. THE SEWER AND WATER MAIN MAY BE INSTALLED IN THE SAME TRENCH WITH THE WATER MAIN PLACED ON A BENCH OF UNDISTURBED EARTH; AND
3. IN EITHER CASE, THE CROWN OF THE SEWER SHALL BE AT LEAST 18" BELOW THE INVERT OF THE WATER MAIN.

IN SITUATIONS WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS STIPULATED ABOVE, THE FOLLOWING PROTECTION SHALL BE PROVIDED:

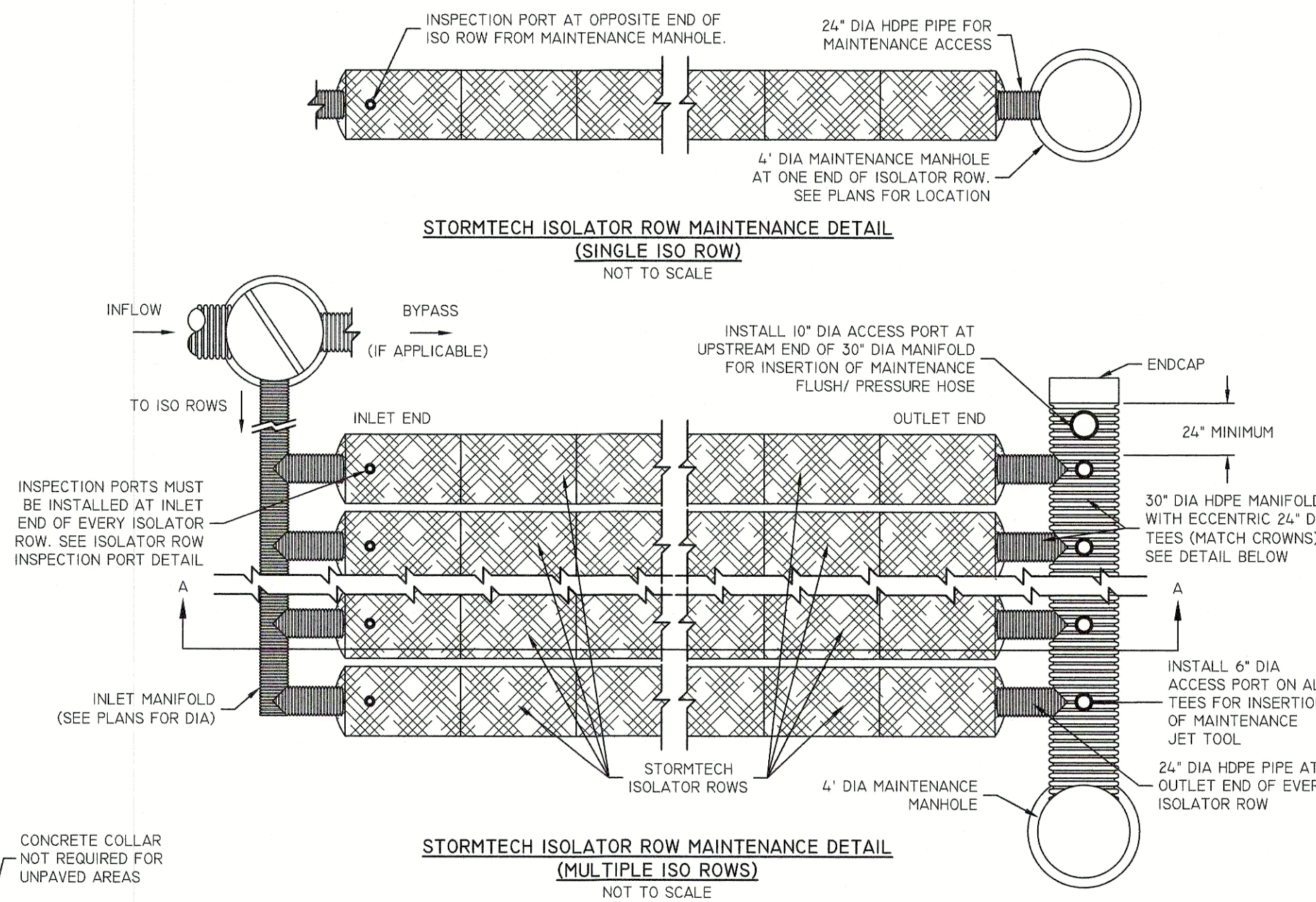
4. ENCASEMENT OF THE SEWER PIPE IN CONCRETE (MINIMUM 6" THICKNESS) OR A CARRIER PIPE FOR AT LEAST 10' EITHER SIDE OF THE AREA NOT COMPLYING WITH THE MINIMUM HORIZONTAL AND VERTICAL SEPARATION, OR
5. DESIGN AND CONSTRUCTION OF THE SEWER EQUAL TO WATER MAIN PIPE (CEMENT-LINED DUCTILE IRON OR OTHER AWWA-APPROVED MATERIAL FOR POTABLE WATER CONVEYANCE), AND PRESSURE TESTED IN ACCORDANCE WITH AWWA SPECIFICATIONS.

B. SEWERS CROSSING WATER MAINS

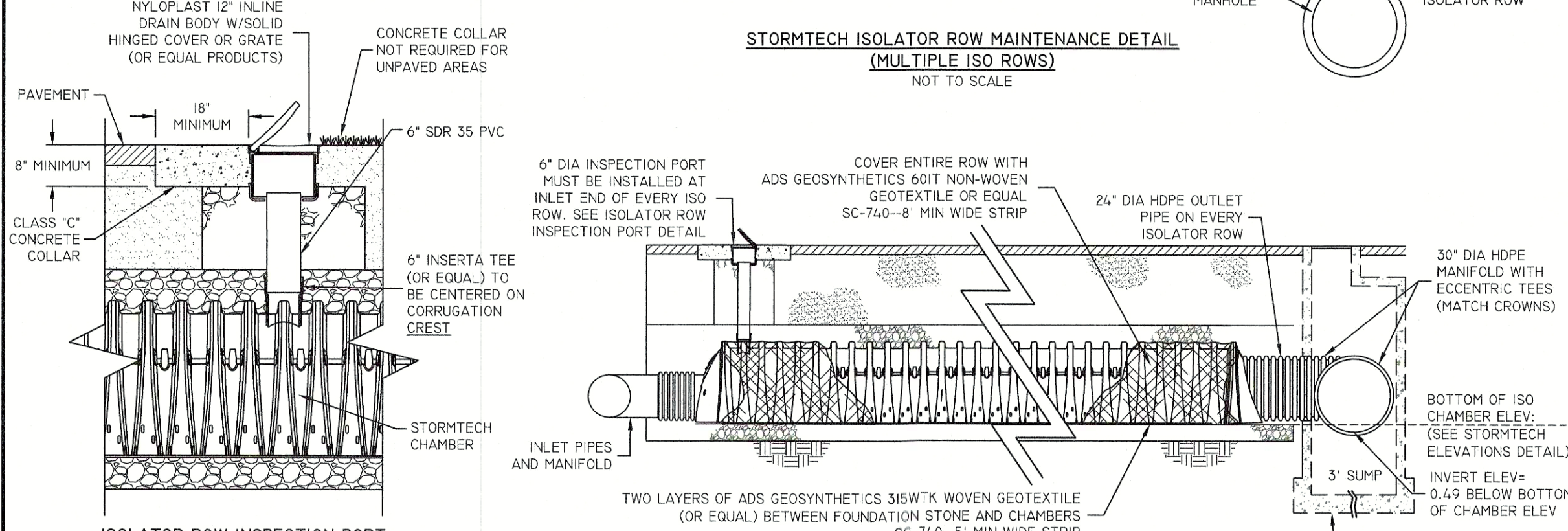
SEWERS CROSSING OVER WATER MAINS SHOULD BE AVOIDED, BUT IF CONDITIONS WARRANT THIS SITUATION, THEN ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO MAINTAIN LINE AND GRADE. SEWERS CROSSING UNDER WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL SEPARATION OF 18" BETWEEN THE INVERT OF THE WATER MAIN AND THE CROWN OF THE SEWER. THE CROSSING SHALL BE ARRANGED SO THAT SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS.

WHERE CONDITIONS PREVENT AN 18" VERTICAL SEPARATION FROM BEING MAINTAINED, THE FOLLOWING METHODS SHALL BE SPECIFIED:

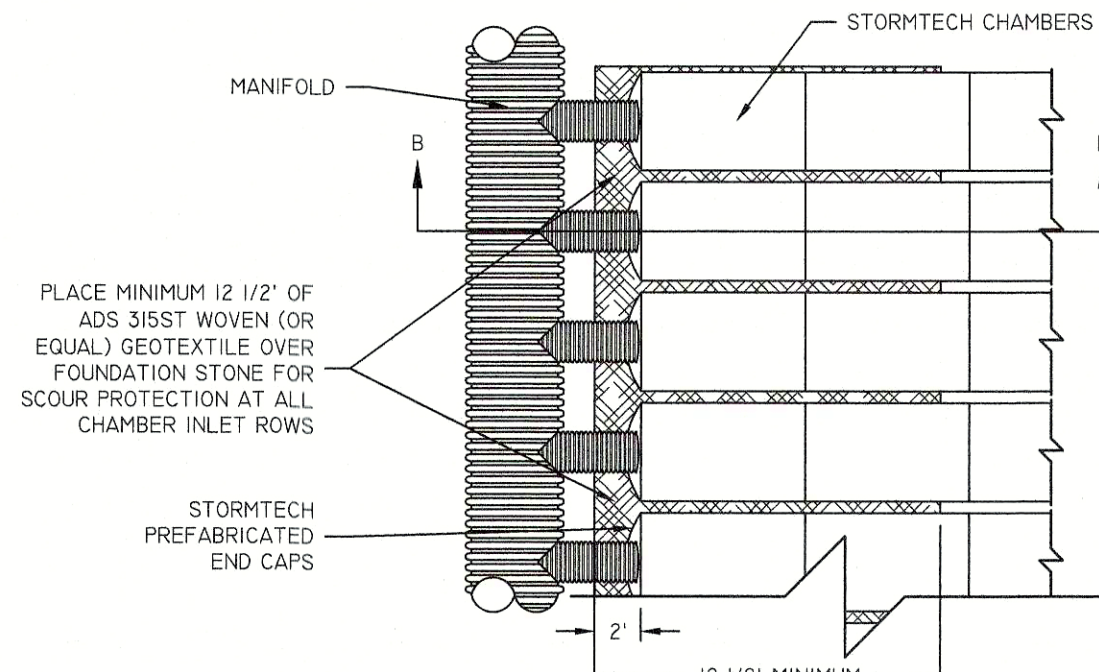
- A. THE SEWER SHALL BE DESIGNED AND CONSTRUCTED EQUAL TO WATER MAIN PIPE (CEMENT-LINED DUCTILE IRON PIPE, PVC OR OTHER AWWA APPROVED MATERIAL FOR POTABLE WATER CONVEYANCE) FOR A DISTANCE OF 12' ON EACH SIDE OF THE CROSSING, MEASURED PERPENDICULAR TO THE WATER MAIN AND PRESSURE TESTED IN ACCORDANCE WITH AWWA SPECIFICATIONS, OR
- B. EITHER THE WATER MAIN OR THE SEWER MAY BE ENCASED IN CONCRETE (MINIMUM 6" THICKNESS) OR A CARRIER PIPE FOR A DISTANCE OF 12' ON EACH SIDE OF THE CROSSING, MEASURED PERPENDICULAR TO THE WATER MAIN. THE CARRIER PIPE SHALL BE DESIGNED AND CONSTRUCTED OF MATERIALS WHICH ARE SATISFACTORY TO THE DIVISION, OR
- C. ANY OTHER METHODS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER, WHICH ENSURE ADEQUATE WATER TIGHTNESS AND ARE SATISFACTORY TO THE DIVISION.



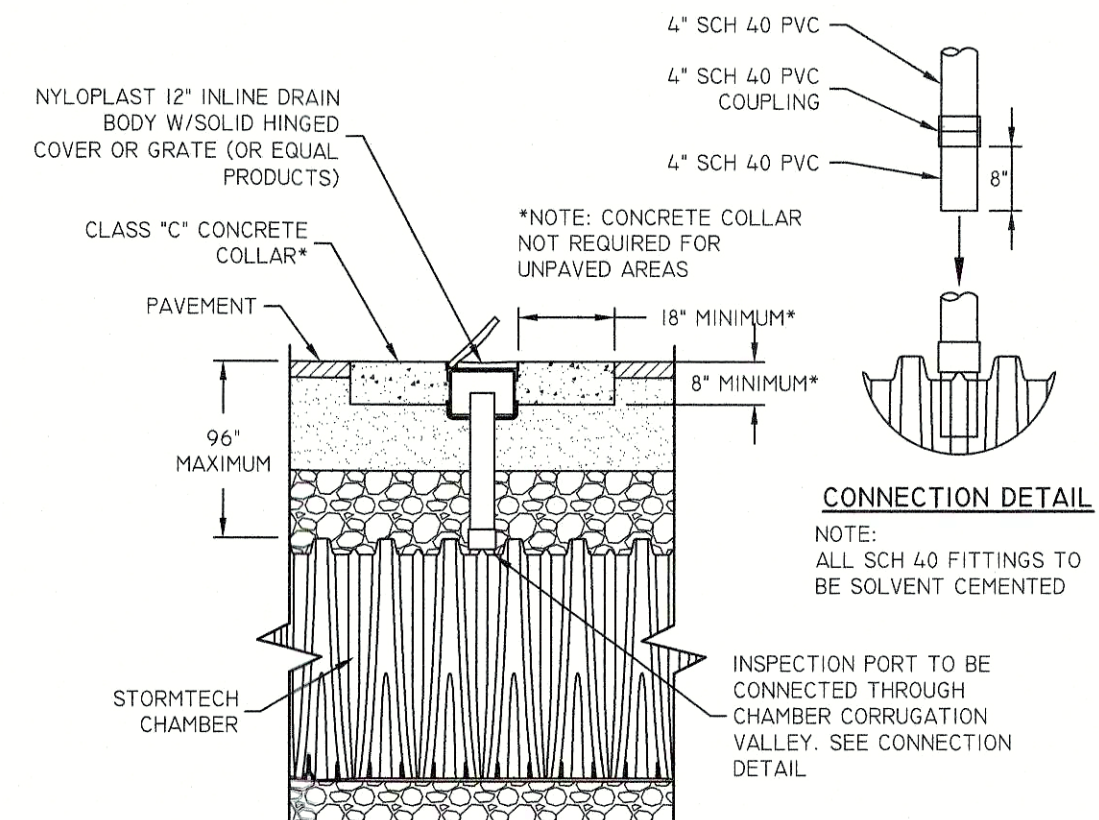
**STORMTECH ISOLATOR ROW MAINTENANCE DETAIL
(SINGLE ISO ROW)**
NOT TO SCALE



STORMTECH ISOLATOR ROW DETAIL (SC-740)
NOT TO SCALE



STORMTECH MANIFOLD DETAIL
NOT TO SCALE



STORMTECH GENERAL INSPECTION PORT DETAIL
NOT TO SCALE

UIS DETAIL SHEET 2

CRANBERRY HIGHWAY

PLAN BOOK 63 PAGE 1009 LOT 2

WAREHAM, MASSACHUSETTS

PREPARED FOR:

THE PARKH NETWORK

100 MENDOTA PARK MALL, SUITE 500, EDISON, NEW JERSEY 08837

DE JAB NO: 2022-003 COPYRIGHT 2022 BY DIPRETE ENGINEERING ASSOCIATES, INC.

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SHEET

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OF 14

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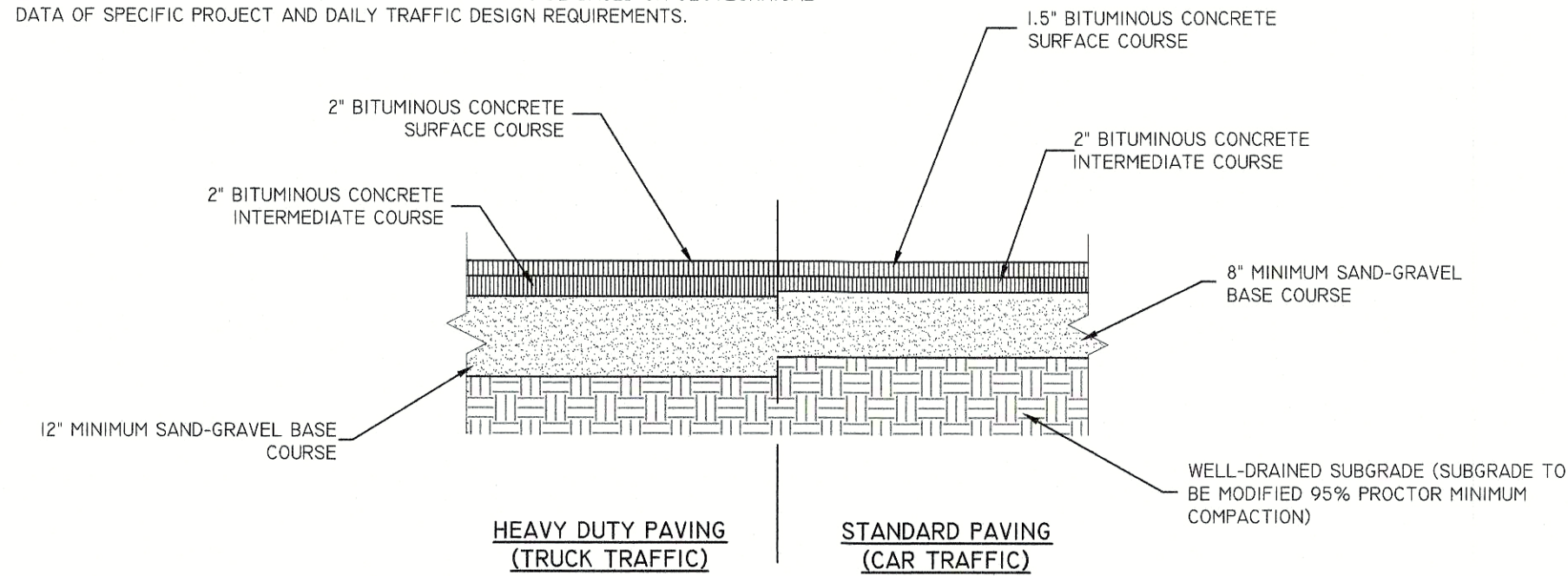
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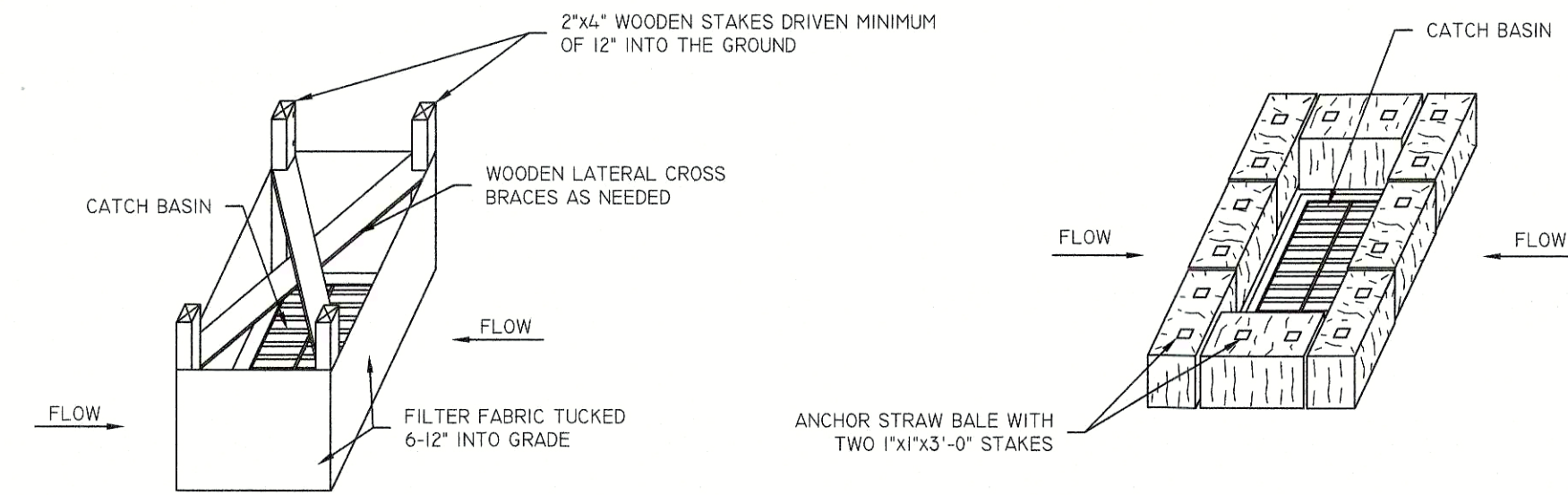
DESIGN BY: B.E.G.

DESIGN BY: B.E.G.

DATA OF SPECIFIC PROJECT AND DAILY TRAFFIC DESIGN REQUIREMENTS.



TYPICAL PAVEMENT SECTION
NOT TO SCALE

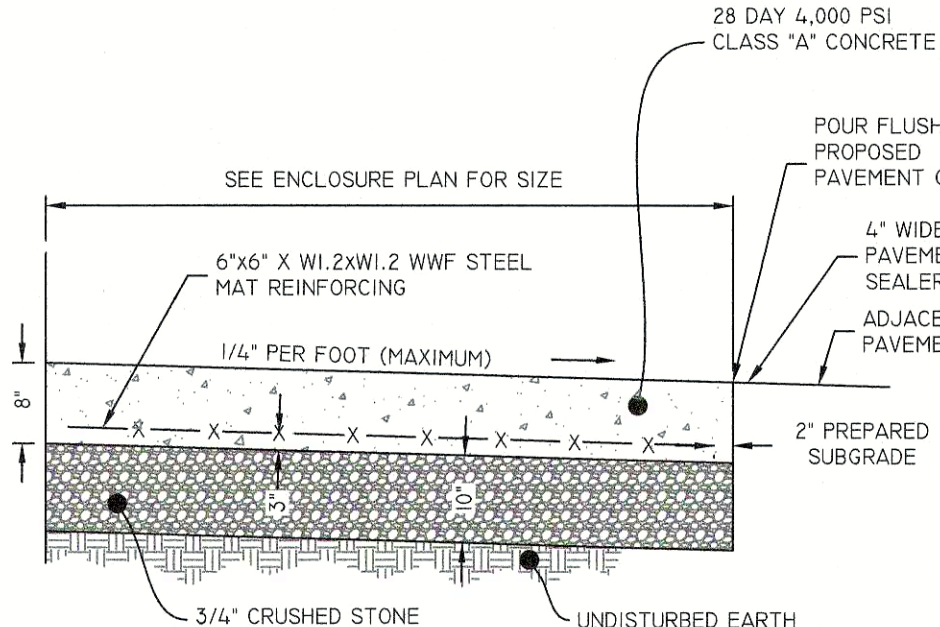


SILT FENCE INSTALLATION FOR CATCH BASINS AT LOW POINTS

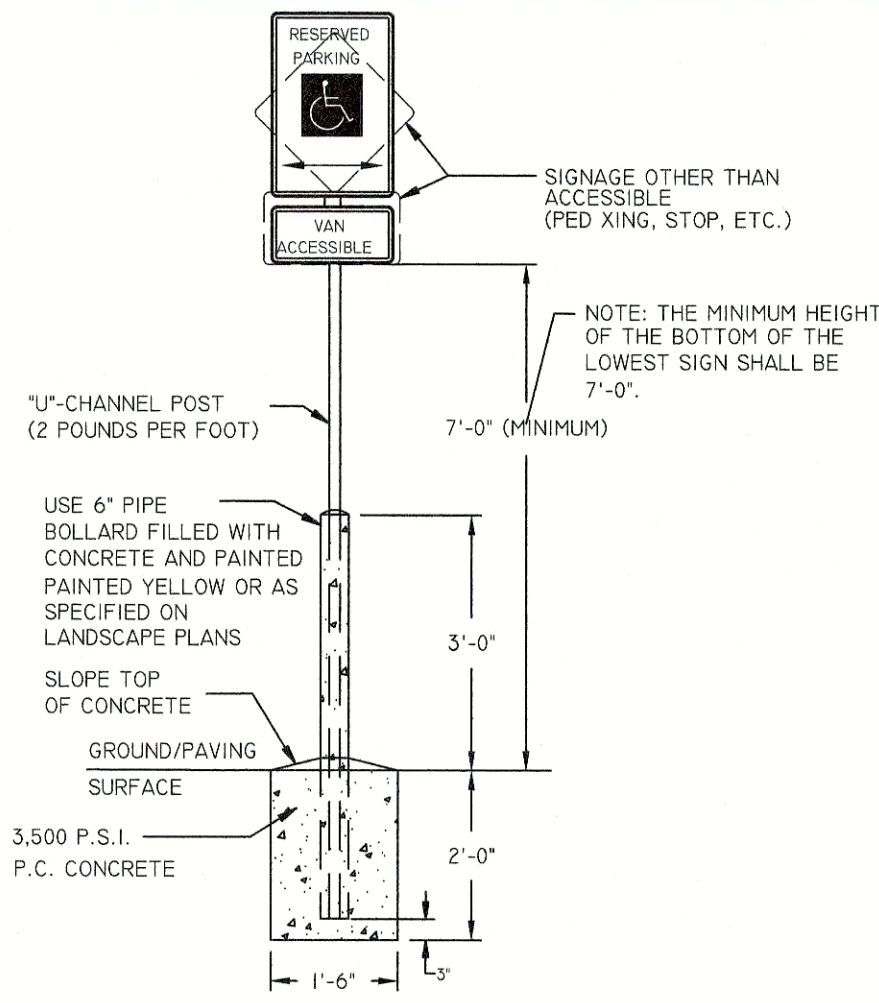
STRAW BALE FILTER INSTALLATION FOR CATCH BASINS AT LOW POINTS

- NOTES:**
1. STORMWATER INLETS WHICH DO NOT DISCHARGE TO SEDIMENT TRAPS OR BASINS MUST BE PROTECTED UNTIL THE TRIBUTARY AREAS ARE STABILIZED.
 2. SEDIMENT MUST BE REMOVED FROM INLET PROTECTION AFTER EACH STORM.
 3. REFER TO LONG TERM/SHORT TERM MAINTENANCE NOTES AND OPERATION & MAINTENANCE PLAN FOR TIMING OF PLACEMENT AND REMOVAL OF EROSION CONTROL ELEMENTS.

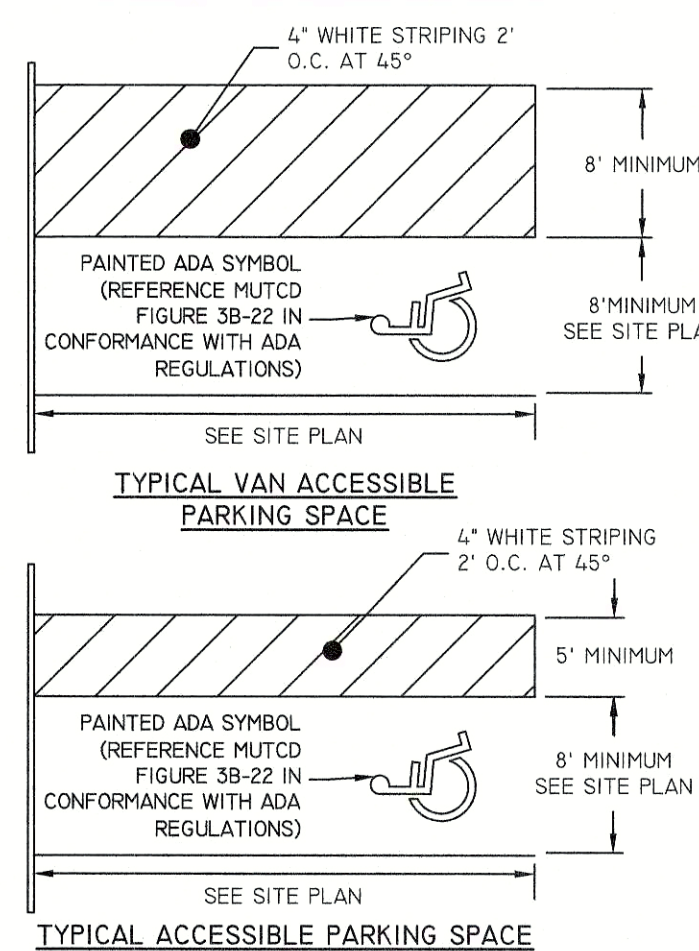
CATCH BASIN EROSION CONTROL
NOT TO SCALE



CONCRETE DUMPSTER PAD
NOT TO SCALE

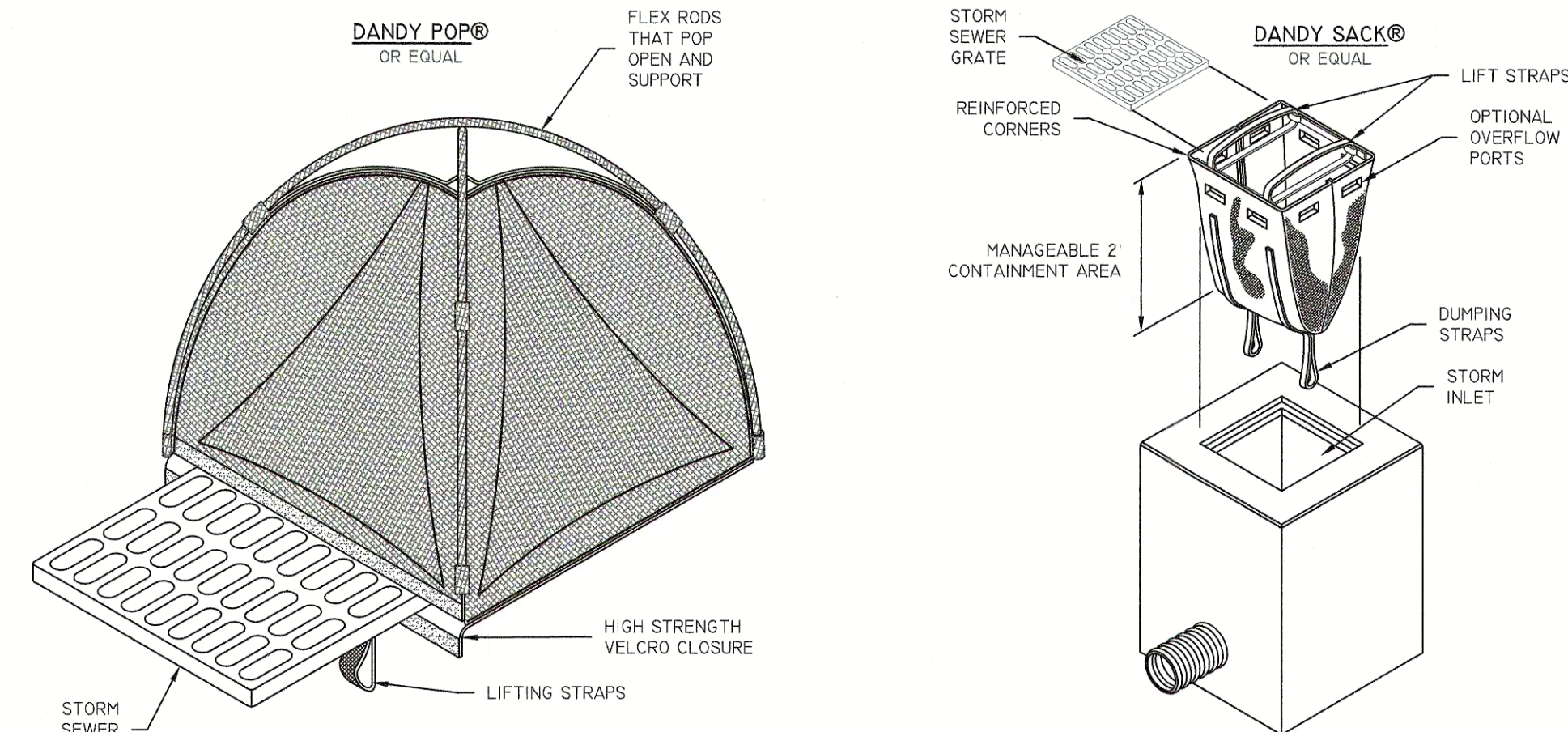


BOLLARD MOUNTED SIGN DETAIL
NOT TO SCALE



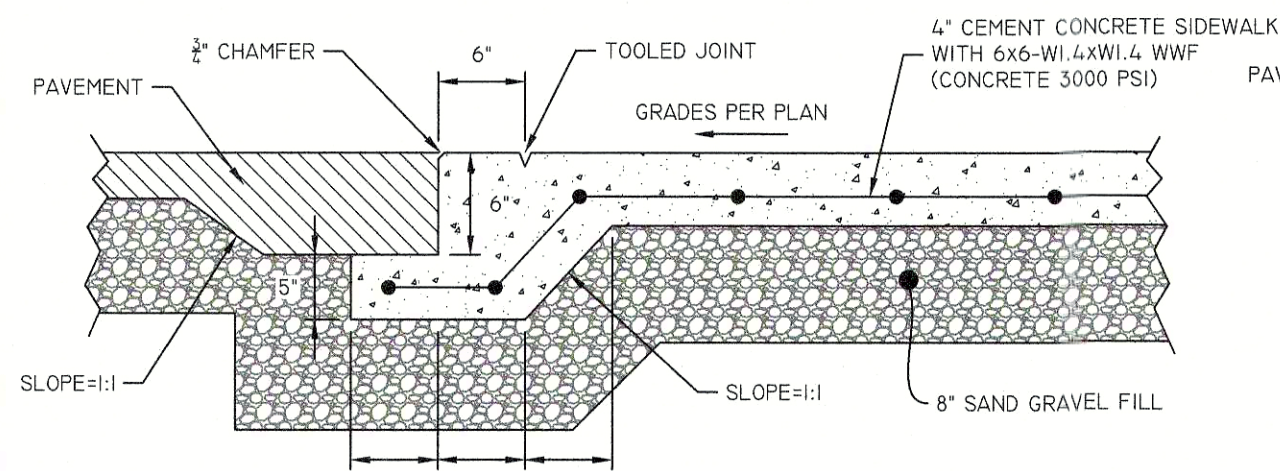
TYPICAL ACCESSIBLE PARKING SPACES
NOT TO SCALE

- NOTES**
1. ALL PAINT MUST BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248 TYPE F. PAINT MUST BE APPLIED AS SPECIFIED BY THE MANUFACTURER.
 2. APPLY 2 COATS OF TRAFFIC TYPE PAINT. APPLY THE FIRST COAT NOT LESS THAN FIVE DAYS AFTER THE PLACING OF BITUMINOUS PAVEMENT. ALLOW FOR MINIMUM CURE TIME OF 24 HOURS BETWEEN APPLICATIONS.
 3. FOR REDEVELOPMENT SITES, PAINT COLOR AND SIZE/ STENCILING OF PAINTED ADA SYMBOL MUST MATCH EXISTING SPACES, SO LONG AS THEY COMPLY WITH THE CURRENT EDITIONS OF ALL APPLICABLE STANDARDS AND REGULATIONS.

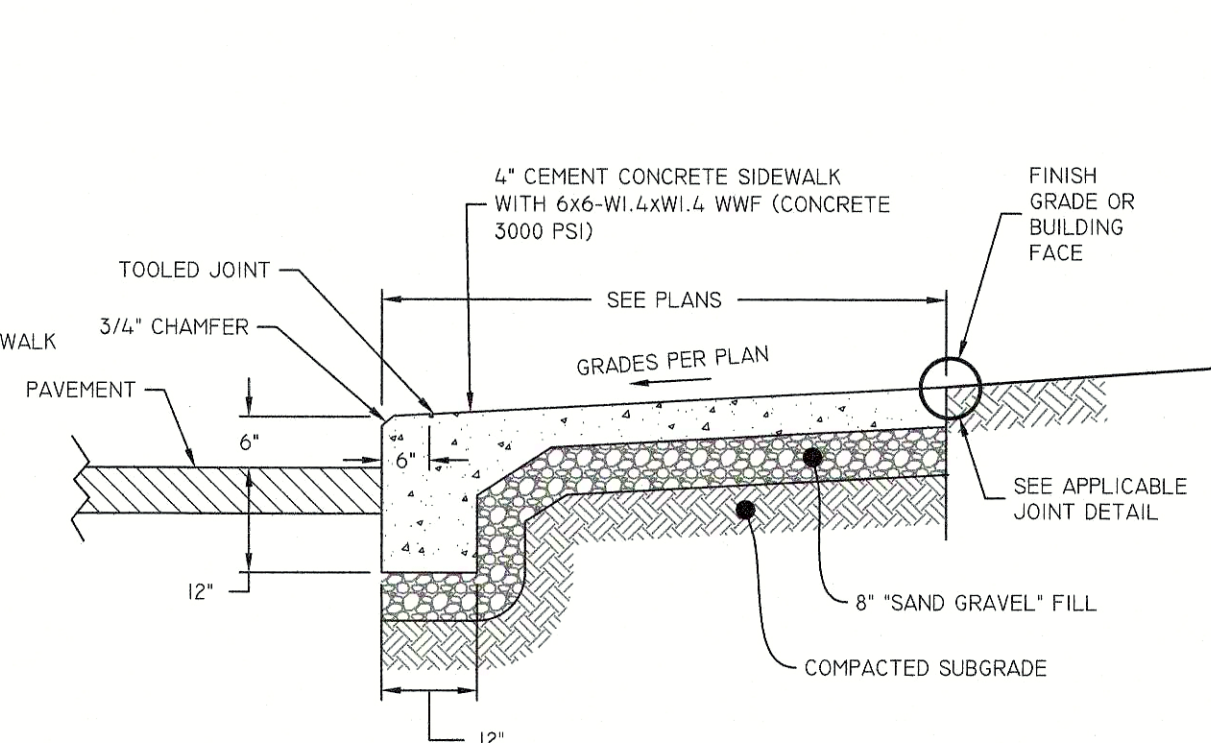


INLET SEDIMENT CONTROL DEVICES
NOT TO SCALE

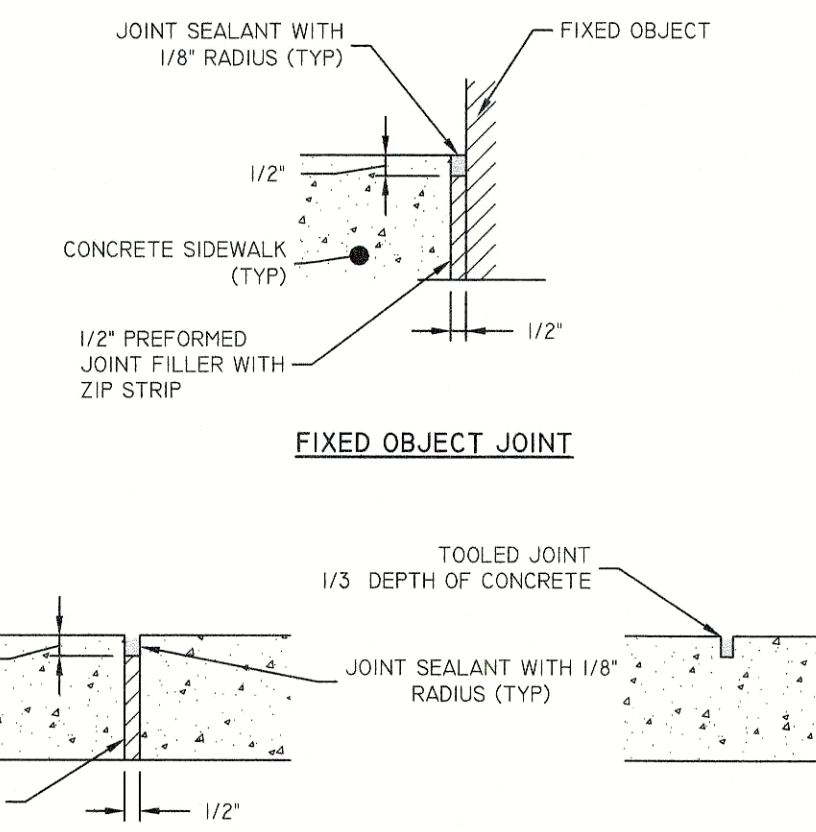
- NOTE:**
1. SEE SITE PLAN FOR SIDEWALK WIDTH AND GRADES.
 2. SURFACE TEXTURE SHALL BE A LIGHT BROOMING, TRANSVERSE TO THE LENGTH OF THE WALK. CARE MUST BE TAKEN TO ENSURE A UNIFORM GRADE, FREE OF SAGS AND SHORT GRADE CHANGES.
 3. ALL IMPROVEMENTS SHALL MUST WITH THE "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG)" BY THE DEPARTMENT OF JUSTICE, CURRENT EDITION.
 4. PROVIDE EXPANSION JOINTS AT MAX. 16' F.T. O.C. WITH PREFORMED JOINT FILLER AND SEALANT.
 5. PROVIDE CONTROL JOINTS AT 5' O.C.
 6. MUST BE IN ACCORDANCE WITH THE R.I. STANDARD SPECIFICATIONS, CURRENT EDITION.



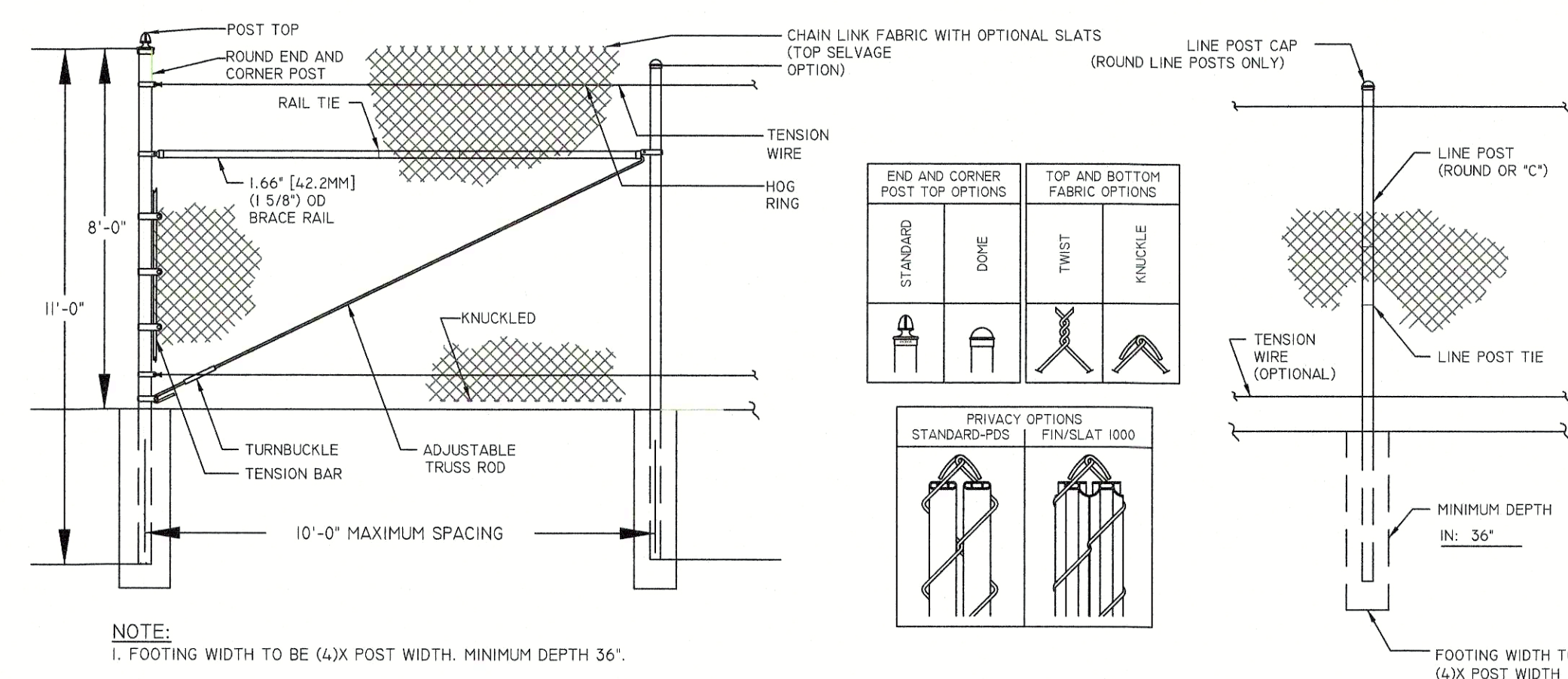
SECTION
MONOLITHIC CONCRETE SIDEWALK (FLUSH)
NOT TO SCALE



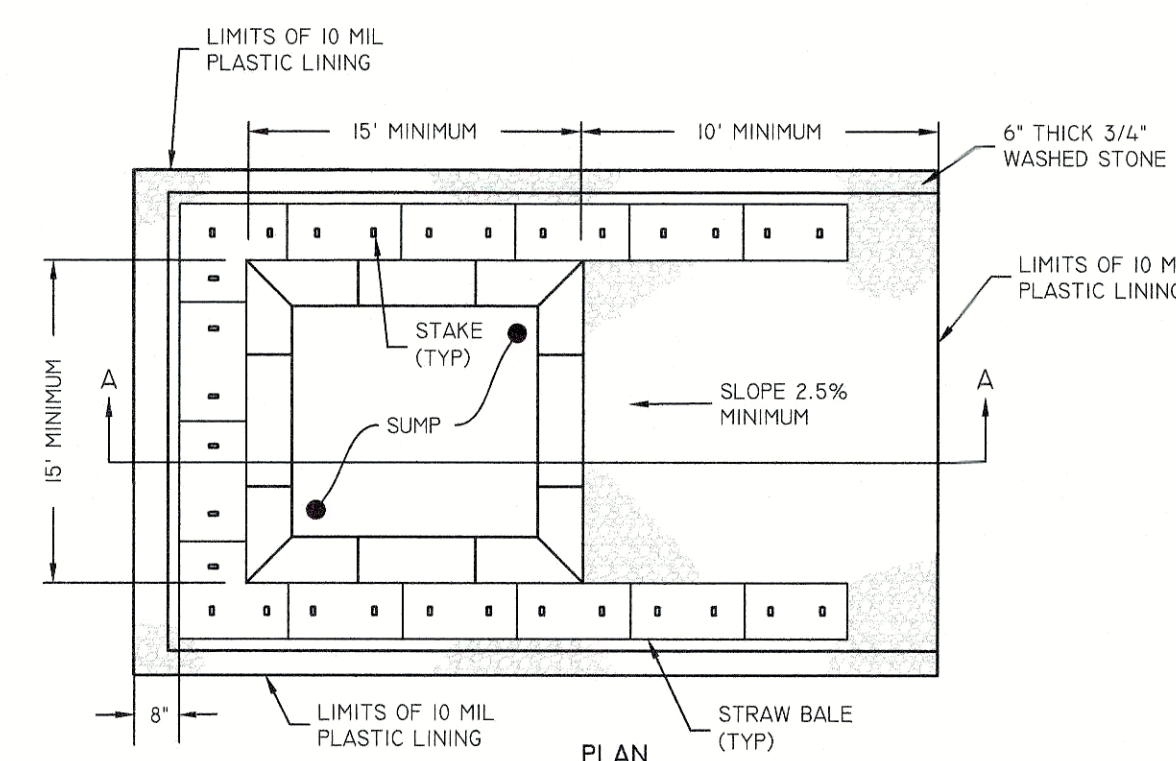
SECTION
MONOLITHIC CONCRETE SIDEWALK (6" REVEAL)
NOT TO SCALE



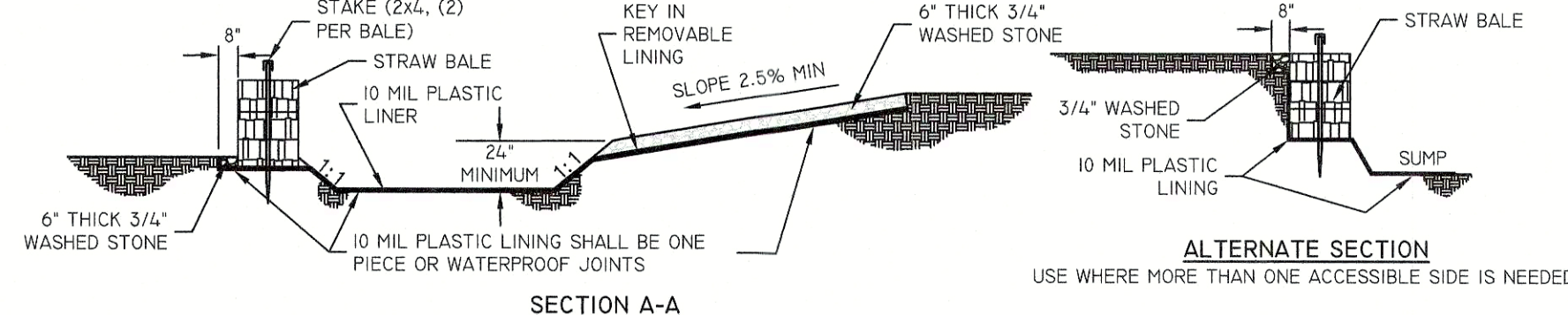
EXPANSION JOINT CONTROL JOINT



DUMPSTER SCREENING FENCE DETAIL
NOT TO SCALE

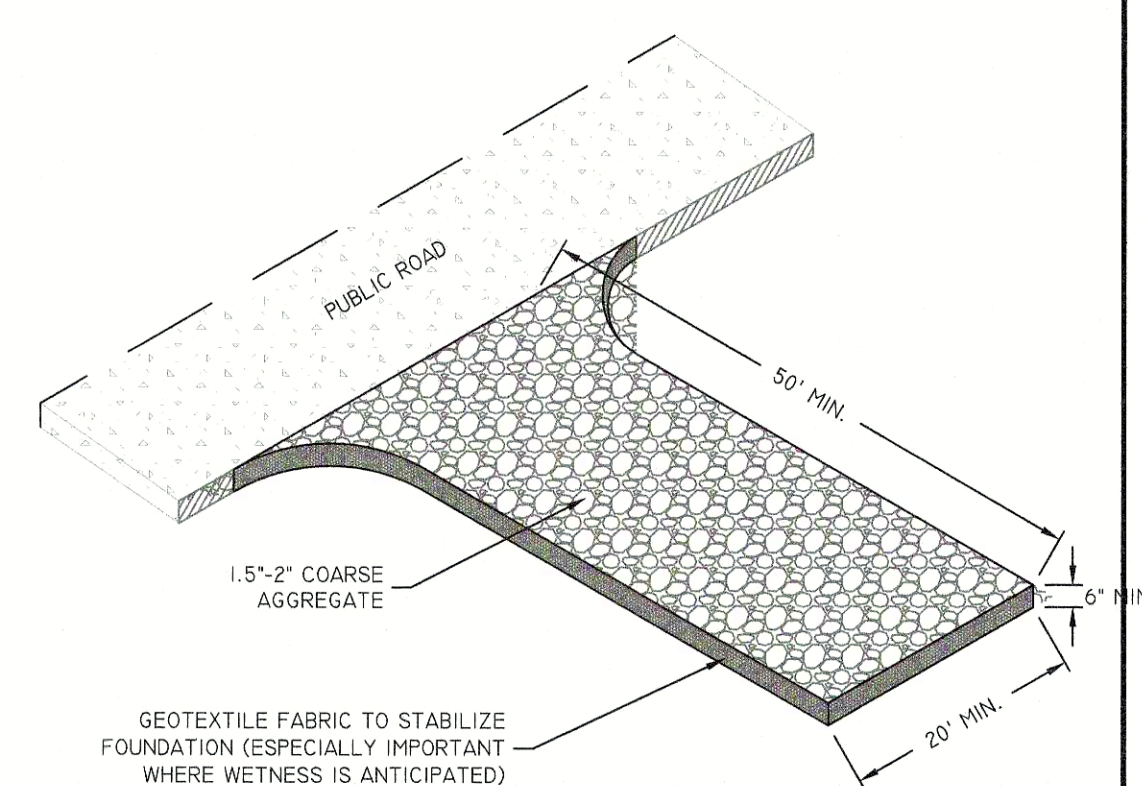


CONCRETE WASHOUT AREA
NOT TO SCALE

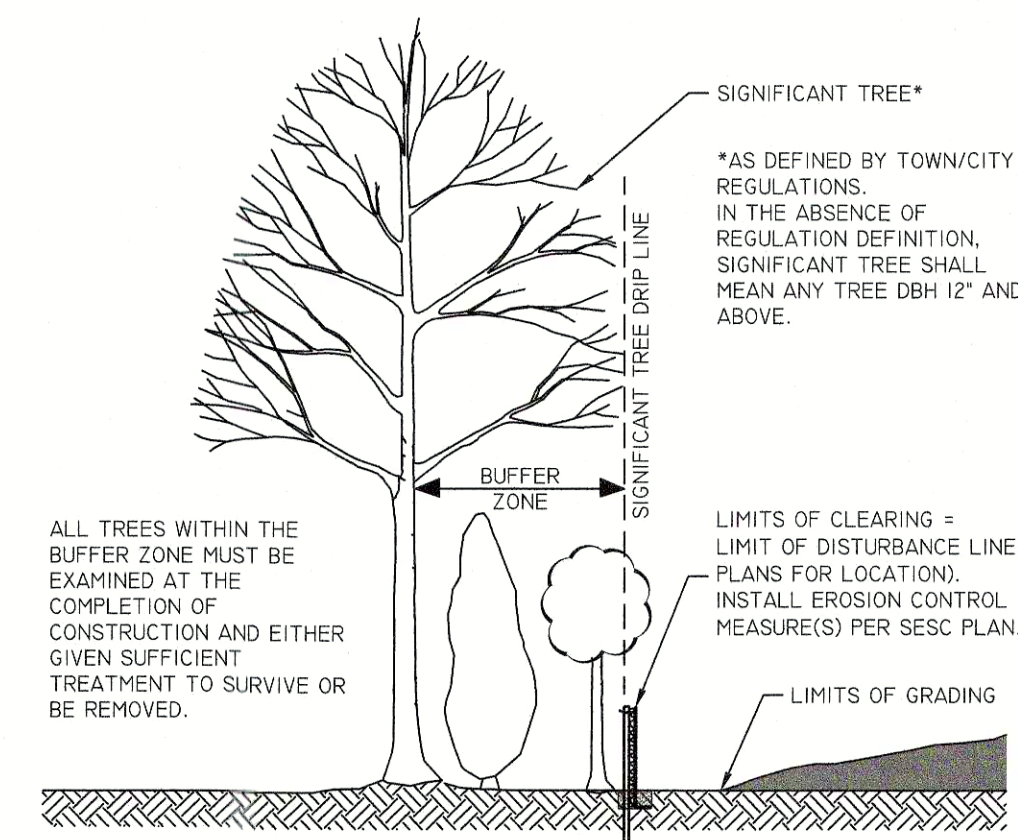


NOTES:

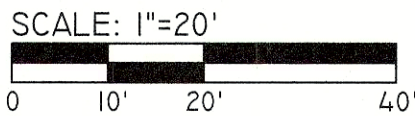
1. PIT IS SPECIFICALLY DESIGNATED, DIKED AND IMPERVIOUS CONTAINMENT TO PREVENT CONTACT BETWEEN CONCRETE WASH AND STORMWATER.
2. WASH WATER SHALL NOT BE ALLOWED TO FLOW TO SURFACE WATER.
3. FACILITY MUST HOLD SUFFICIENT VOLUME TO CONTAIN CONCRETE WASTE WITH A MINIMUM FREEBOARD OF 12."
4. FACILITY SHALL NOT BE FILLED BEYOND 95% CAPACITY UNLESS A NEW FACILITY IS CONSTRUCTED.
5. SAWCUT PORTLAND CEMENT CONCRETE, RESIDUE FROM SAWCUT AND GRINDING TO BE DISPOSED OF IN THE PIT.
6. CONCRETE WASHOUTS SHALL BE LOCATED A MINIMUM OF 100' FROM DRAINAGE WAYS, INLETS, AND SURFACE WATERS.
7. MANUFACTURED CONCRETE WASHOUT DEVICES MAY BE USED IF REMOVED FROM THE SITE WHEN 95% FULL CAPACITY.



TEMPORARY GRAVEL CONSTRUCTION
ENTRANCE/EXIT PAD
NOT TO SCALE



LIMIT OF DISTURBANCE AT VEGETATION
NOT TO SCALE



WAREHAM, MA ZONING BY-LAW REGULATIONS:

ARTICLE 10. LANDSCAPING

104.0 LANDSCAPED BUFFERS

104.1 LANDSCAPED BUFFERS BETWEEN LAND USES

LANDSCAPED BUFFERS SHALL BE PROVIDED BETWEEN LAND USES AS SPECIFIED IN SECTION 104.2, AND BETWEEN RESIDENTIAL DEVELOPMENTS AND COLLECTOR STREETS OR ARTERIALS AS SPECIFIED IN SECTION 104.3. EXISTING WOODLANDS, WHICH MEET THE MINIMUM REQUIREMENTS OF EACH SECTION, MAY SUBSTITUTE FOR LANDSCAPING.

104.2 MINIMUM LANDSCAPED BUFFER

THE FOLLOWING TABLE SETS FORTH THE MINIMUM REQUIRED ADDITIONAL LANDSCAPED BUFFER BETWEEN A PROPOSED USE AND AN EXISTING ADJACENT USE.

ADJACENT INDUSTRIAL LANDSCAPE USE 10 FT BUFFER IS PROPOSED.

1050 LANDSCAPE STANDARDS AND SPECIFICATIONS THE FOLLOWING STANDARDS AND SPECIFICATIONS, SHALL APPLY FOR PLANT MEASUREMENTS, INSTALLATION TECHNIQUES AND MAINTENANCE:

1051 PLANT STANDARDS AND SPECIFICATIONS

1051.1 THE LANDSCAPE CONTRACTOR SHALL FURNISH AND INSTALL AND/OR DIG, BALL, BURLAP, AND TRANSPORT ALL PLANT MATERIALS LISTED ON THE PLANT SCHEDULE. BARE-ROOT IS TYPICALLY NOT PERMITTED FOR ANY TREE.

1051.2 PLANT MATERIALS SHALL CONFORM TO THE REQUIREMENTS DESCRIBED IN THE LATEST EDITION OF AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. PLANTS SHALL BE NURSERY GROWN.

1051.3 PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED IN THE PLANT SCHEDULE:

- CALIPER MEASUREMENTS SHALL BE TAKEN SIX (6) INCHES ABOVE GRADE FOR TREES UNDER FOUR (4) INCHES IN DIAMETER AND TWELVE (12) INCHES ABOVE GRADE FOR TREES FOUR (4) INCHES IN DIAMETER AND LARGER.
- MINIMUM BRANCHING HEIGHT FOR ALL SHADE TREES SHALL BE SIX (6) FEET.
- MINIMUM SIZE FOR SHADE TREES SHALL BE TWO AND ONE HALF (2 1/2) INCHES IN DIAMETER AND TWELVE FEET IN HEIGHT.
- MINIMUM SIZE FOR EVERGREEN TREES SHALL BE BETWEEN SIX (6) AND EIGHT (8) FEET IN HEIGHT.
- MINIMUM SIZE FOR SHRUBS SHALL BE THREE (3) FEET IN HEIGHT.

PROPOSED PLANT SCHEDULE ITEMS MEET THE ABOVE REQUIREMENTS WHERE FEASIBLE.

1051.4 A PROFESSIONAL HORTICULTURIST/NURSERYMAN SHALL BE CONSULTED TO DETERMINE THE PROPER TIME TO MOVE AND INSTALL PLANT MATERIAL. SO THAT STRESS TO THE PLANT IS MINIMIZED. PLANTING OF DECIDUOUS MATERIAL MAY BE CONTINUED DURING WINTER MONTHS PROVIDED THERE IS NO FROST IN THE GROUND AND FROST-FREE TOPSOIL PLANTING MIXTURES ARE USED.

1051.5 A LANDSCAPE CONTRACTOR SHALL EXCAVATE ALL PLANT PITS, VINE PITS, HEDGE TRENCHES, AND SHRUB BEDS AS FOLLOWS:

- ALL PITS SHALL BE GENERALLY CIRCULAR IN OUTLINE, WITH VERTICAL SIDES. THE TREE PIT SHALL BE DEEP ENOUGH TO ALLOW ONE-EIGHTH (1/8) OF THE BALL TO BE ABOVE THE EXISTING GRADE. PLANTS SHALL REST ON UNDISTURBED EXISTING SOIL OR WELL-COMPACTED BACKFILL. ON EVERY SIDE THE TREE PIT MUST BE A MINIMUM OF NINE (9) INCHES LARGER THAN THE BALL OF THE TREE.
- IF AREAS ARE DESIGNATED AS SHRUB BEDS OR HEDGE TRENCHES, THEY SHALL BE CULTIVATED TO AT LEAST EIGHTEEN (18) INCHES IN DEPTH. AREAS DESIGNATED FOR GROUND COVERS AND VINES SHALL BE CULTIVATED TO AT LEAST TWELVE (12) INCHES IN DEPTH.

1051.6 EACH TREE, SHRUB, OR VINE SHALL BE PRUNED IN AN APPROPRIATE MANNER, IN ACCORDANCE WITH ACCEPTED STANDARD PRACTICE.

1051.7 ALL TRENCHES AND SHRUB BEDS SHALL BE EDGED AND CULTIVATED TO THE LINES SHOWN ON THE DRAWING. THE AREAS AROUND ISOLATED PLANTS SHALL BE EDGED AND CULTIVATED TO THE FULL DIAMETER OF THE PIT. SOIL THAT HAS BEEN REMOVED AND STACKED SHALL BE USED TO TRIM THE EDGES OF ALL EXCAVATED AREAS. THE NEAT LINES OF THE PLANT PIT SAUCERS, THE EDGES OF SHRUB AREAS, HEDGE TRENCHES, AND VINE POCKETS.

1051.8 AFTER CULTIVATION, ALL PLANT MATERIALS SHALL BE MULCHED WITH A LAYER BETWEEN TWO (2) AND THREE (3) INCHES DEEP OF TAN BARK, PEAT MOSS, OR ANOTHER MATERIAL OVER THE ENTIRE AREA OF THE BED, OR SAUCER.

TOWN LANDSCAPE REGULATIONS MUST BE FOLLOWED IF THERE ANY VARIATIONS BETWEEN THE PROPOSED PLANTING AND TOWN REGULATIONS.

1052 OTHER LANDSCAPE STANDARDS AND SPECIFICATIONS
1052.1 EARTHEN BERMS SHALL ONLY BE USED IN CONJUNCTION WITH VEGETATIVE PLANTING.

NOT APPLICABLE. NO BERMS ARE PROPOSED.

1052.2 EXISTING TREES AND WOODLANDS SHALL BE PRESERVED TO THE GREATEST EXTENT POSSIBLE. FACTORS TO BE CONSIDERED SHALL INCLUDE THE SIZE, AGE, CONDITION, HABITAT OR HISTORICAL SIGNIFICANCE OF THE TREE. TREES TO BE PRESERVED SHALL BE SELECTED EARLY IN THE PROJECT PLANNING PROCESS PRIOR TO ESTABLISHING THE SITE LAYOUT. SITE GRADING SHALL BE MINIMIZED IN THOSE AREAS TO PREVENT DAMAGE TO THE PRESERVED TREES. EFFORTS SHALL BE UNDERTAKEN TO PROTECT THE TREES DURING CONSTRUCTION.

NOT APPLICABLE. EXISTING SITE IS A CLEARED VACANT LOT.

1052.3 VEGETATION IN FLOODPLAINS, STEEP SLOPES, AND WETLANDS AREAS SHALL REMAIN UNDISTURBED TO THE GREATEST EXTENT POSSIBLE. ANY ALTERATION OF THESE AREAS SHALL BE IN CONFORMANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.

1052.4 LANDSCAPE PLANS SHALL PROVIDE FOR A MIX OF EVERGREEN, ORNAMENTAL, SHADE TREES, AND SHRUBS TO PROVIDE ADEQUATE VISUAL AND NOISE BUFFER BETWEEN ADJACENT LAND USES. FENCES, BERMS, AND OTHER STRUCTURAL FEATURES MAY ALSO BE USED TO PROVIDE AN ADEQUATE BUFFERING BETWEEN THE LAND

- SHRUBS SHALL FORM A CONTINUOUS VISUAL SCREEN OF AT LEAST THREE (3) FEET IN HEIGHT AT THE TIME OF PLANTING.
- BERMS SHALL BE AT LEAST TWO AND ONE-HALF (2 1/2) FEET HIGH AND SHALL HAVE A MINIMUM THREE TO ONE (3:1) SIDE SLOPE.
- EVERY THIRTY-FIVE (35) LINEAR FEET OF LANDSCAPING SHALL CONTAIN ONE (1) SHADE TREE AND FIVE (5) SHRUBS. TWO (2) ORNAMENTAL OR TWO (2) EVERGREEN TREES MAY SUBSTITUTE FOR ONE (1) SHADE TREE.

PLANTING ALONG THE ADJACENT LOTS COMPRISED OF SHADES TREES, EVERGREENS AND 3' HT MIN SHRUBS IS PROPOSED WHERE FEASIBLE.

1052.5 PERIMETER LANDSCAPES SHALL BE PROVIDED TO SEPARATE COMMERCIAL, OFFICE, AND INDUSTRIAL USES FROM THE STREET. AT LEAST A TEN (10) FOOT STRIP SHALL BE LANDSCAPED WITH TREES, SHRUBS, FENCES, BERMS OR OTHER MEANS DEEMED ACCEPTABLE BY THE BOARD OR OFFICIAL.

PLANTING ALONG THE ADJACENT LOTS COMPRISED OF SHADES TREES, EVERGREENS AND 3' HT MIN SHRUBS IS PROPOSED WHERE FEASIBLE.

1052.6 PRESERVATION OF EXISTING LARGE TREES CAN BE USED TO REDUCE NEW PLANTINGS REQUIRED BY THIS ARTICLE AND THE BOARD OR OFFICIAL. EXISTING WOODLANDS CAN ALSO PROVIDE BUFFERS THAT CONFORM TO SECTION 104.0.

NOT APPLICABLE. EXISTING SITE IS A CLEARED VACANT LOT.

1060 PARKING LOTS

1061 VISIBILITY FROM PUBLIC ROADWAYS
WHEN A PARKING LOT IS LOCATED ADJACENT TO A PUBLIC STREET, DESIGN ALTERNATIVES SHALL BE IMPLEMENTED TO REDUCE THE LOT'S VISIBILITY FROM THE STREET.

1061.1 ALONG THE PERIMETER OF THE PARKING LOT A LANDSCAPE STRIP SHALL BE PROVIDED PLANTED WITH SHADE TREES AND LOW SHRUBS IN COMPLIANCE WITH SECTION 104.0.

THE LANDSCAPE STRIP SHALL PROVIDE A MINIMUM OF ONE (1) SHADE TREE PER EVERY FORTY (40) FEET OF LOT PERIMETER, WHERE APPROPRIATE. ADDITIONAL SHADE TREES MAY BE NECESSARY TO EFFECTIVELY SHADE/SCREEN THE PARKING LOT.

IN CASES WHERE QUALITY WOODLANDS EXIST, EXISTING TREES AND SHRUBS SHALL BE PRESERVED TO PROVIDE THE MINIMUM BUFFERS SET FORTH IN SECTION 104.0. PROVIDE ADDITIONAL SHRUBS IF NEEDED.

PLANTING COMPRISED OF SHADE TREES, SHRUBS, PERENNIALS, ORNAMENTAL GRASSES AND A 3' HIGH FENCE IS PROPOSED ALONG CRANBERRY HIGHWAY.

1061.2 ONE OR MORE OF THE FOLLOWING DESIGN ALTERNATIVES SHALL BE USED FOR ALL PARKING LOTS LOCATED ADJACENT TO PUBLIC STREETS:

- LANDSCAPE SETBACKS
PROVIDE AT LEAST A TEN (10) FOOT WIDE LANDSCAPED AREA EXCLUSIVE OF THAT REQUIRED FOR SIDEWALKS OR UTILITY EASEMENTS BETWEEN THE STREET AND THE PARKING LOT TO BE PLANTED WITH SHADE OR ORNAMENTAL TREES, AND AT LEAST A THREE (3) FOOT HIGH EVERGREEN HEDGE, WALL, OR FENCE.
- GRADE CHANGES
IN CASES WHERE SUBSTANTIAL GRADING IS NECESSARY AND RESULTS IN A PARKING LOT LOWER IN ELEVATION THAN THE SURROUNDING OR ADJACENT RIGHT-OF-WAY, THE RESULTING EMBANKMENT SHOULD BE PLANTED WITH LOW SHRUBS AND SHADE OR ORNAMENTAL TREES. A MINIMUM OF TEN (10) FEET OF LANDSCAPING SHOULD BE PROVIDED BETWEEN THE STREET AND THE PARKING LOT.
- LANDSCAPE BERMS
WHERE FEASIBLE, CREATE AT LEAST A TWO AND ONE-HALF (2 1/2) FOOT HIGH BERM WITH SLOPES NOT TO EXCEED THREE TO ONE (3:1) FOR PLANTING LAWN, GROUND COVER, OR SHRUBS.
- EXISTING WOODLANDS
IN CASES WHERE QUALITY WOODLAND EXISTS, PRESERVE EXISTING TREES BETWEEN THE PARKING LOT

AND THE RIGHT OF-WAY. PROVIDE ADDITIONAL EVERGREEN SHRUBS IF NEEDED TO ACHIEVE AN EFFECTIVE VISUAL THE VEGETATION SHOULD BE PRESERVED.

A 10' WIDE LANDSCAPE BUFFER IS PROPOSED ALONG CRANBERRY HIGHWAY AS WELL AS PLANTING COMPRISED OF SHADE TREES, SHRUBS, PERENNIALS, ORNAMENTAL GRASSES AND A 3' HIGH FENCE.

1061.3 SIGHT TRIANGLES SHALL INCLUDE THE AREA ON EACH STREET CORNER THAT IS BOUNDED BY THE LINE WHICH CONNECTS THE SIGHT OR "CONNECTING" POINTS LOCATED ON EACH OF THE RIGHT-OF-WAY LINES OF THE INTERSECTING STREET. THE PLANTING OF TREES OR OTHER PLANTINGS THAT WOULD OBSTRUCT THE CLEAR SIGHT ACROSS THE SIGHT TRIANGLE SHALL BE PROHIBITED.

1062 INTERIOR LANDSCAPING ENHANCEMENTS

1062.1 A MINIMUM OF FIVE (5) PERCENT INTERIOR LANDSCAPING SHALL BE MAINTAINED FOR THE PURPOSE OF PLANTING SHADE TREES. IN ADDITION, ALL OF THE FOLLOWING DESIGN ALTERNATIVES SHALL BE INCLUDED WHERE APPROPRIATE:

- PROVIDE A CONTINUOUS LANDSCAPE STRIP BETWEEN EVERY FOUR (4) ROWS OF PARKING. THIS SHOULD BE A MINIMUM OF EIGHT (8) FEET IN WIDTH TO ACCOMMODATE A LOW HEDGE AND SHADE TREES.
- CREATE LARGE PLANTING ISLANDS (OVER SIX HUNDRED (600) SQUARE FEET) TO BE LOCATED THROUGH THE LOT AND PLANTED WITH SHADE TREES, LOW SHRUBS, AND/OR GROUND COVER. THESE SHOULD PREFERABLY BE LOCATED AT THE ENDS OF PARKING ROWS.
- PROVIDE PLANTING ISLANDS (A MINIMUM OF NINE (9) FEET WIDE) BETWEEN EVERY TEN (10) TO FIFTEEN (15) SPACES TO AVOID LONG ROWS OF PARKED CARS. EACH OF THESE PLANTING ISLANDS SHOULD PROVIDE AT LEAST ONE (1) SHADE TREE HAVING A CLEAR TRUNK HEIGHT OF AT LEAST SIX (6) FEET.

INTERIOR LANDSCAPING CALC

PROPOSED PARKING AREA = 5,240 SF

PROPOSED ISLAND AREA = 506 SF

PROPOSED INTERIOR LANDSCAPING = 506 / 5,240 = 9.6% (0.09)

>5% INTERIOR LANDSCAPING IS PROPOSED AND IS COMPRISED OF LANDSCAPE ISLANDS AND SHADES TREES.

1062.2 WITHIN THE INTERIOR OF THE PARKING LOT, LANDSCAPING SHOULD BE USED TO DELINEATE VEHICULAR AND PEDESTRIAN CIRCULATION PATTERNS. CLEAR AND LEGIBLE SIGNS, DIFFERENT COLOR AND TEXTURE PAVING MATERIALS, RAISED AREAS, AND OTHER TECHNIQUES SHOULD BE USED TO FURTHER DIRECT THE FLOW OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC WITHIN THE LOT. MECHANICAL EQUIPMENT, TRASH, AND LOADING AREAS ARE PROPOSED TO BE SCREENED BY WALLS, FENCES, LANDSCAPING OR A COMBINATION OF THE LATTER.

LANDSCAPING IS PROPOSED TO DELINEATE VEHICULAR AND PEDESTRIAN CIRCULATION PATTERNS WITHIN THE INTERIOR OF THE PARKING LOT. ALSO PROPOSED ARE CLEAR AND LEGIBLE SIGNS, DIFFERENT COLOR AND TEXTURE PAVING MATERIALS, RAISED AREAS, AND OTHER TECHNIQUES SHOULD BE USED TO FURTHER DIRECT THE FLOW OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC WITHIN THE LOT. MECHANICAL EQUIPMENT, TRASH, AND LOADING AREAS ARE PROPOSED TO BE SCREENED BY WALLS AND LANDSCAPING.

1062.3 PARKING AREAS CONTAINING TWENTY-FIVE (25) OR MORE PARKING SPACES SHALL BE DESIGNED WITH LANDSCAPED ISLANDS TO CONTAIN AT LEAST ONE TREE PER EIGHT (8) CARS. SUCH TREES SHALL BE AT LEAST TWO INCHES CALIPER OR LARGER AT THE TIME OF PLANTING AND SHALL BE SURROUNDED BY AT LEAST FIFTY (50) SQUARE FEET OF UNPAVED SOIL PER TREE.

25 PARKING SPACES ARE PROPOSED. LANDSCAPED ISLANDS WITH 2 INCH MIN CAL TREES SURROUNDED BY AT LEAST 50 SF SOIL ARE ALSO PROPOSED.

SHADE AREA

PROPOSED PARKING AREA = 5,240 SF

REQUIRED SHADE AREA = 5,240 X 0.20 = 1,048 SF

PROPOSED SHADE TREE AREA = 3 @ 15' FT RADIUS (706.5 SF EACH)

3 X 706.5 SF = 2,119.5 SF

PROPOSED SHADE AREA = 2,119.5 / 5,240 = 40.4% (0.404) > 20%

1062.5 NO PAVING MAY BE PLACED WITHIN A FOUR (4) FOOT RADIUS (MEASURED FROM THE CENTER OF THE TRUNK) OF ANY TREE RETAINED OR PLANTED TO COMPLY WITH THE PROVISIONS OF THIS SECTION.

NO PAVING IS PROPOSED TO BE PLACED WITHIN A FOUR (4) FOOT RADIUS (MEASURED FROM THE CENTER OF THE TRUNK) OF ANY TREE PLANTED.

1062.6 IN ORDER TO PRESERVE LANDSCAPING ISLANDS FROM DAMAGE BY PARKING CARS AND SNOW REMOVAL, ALL LANDSCAPED OPEN SPACES SHALL BE PROVIDED WITH BUMPER OVERHANG AREAS FOR PARKING SPACES ADJACENT TO LANDSCAPED ISLANDS TO PREVENT VEHICLE OVERHANG ABOVE THE LANDSCAPED (NON-PAVED) AREA.

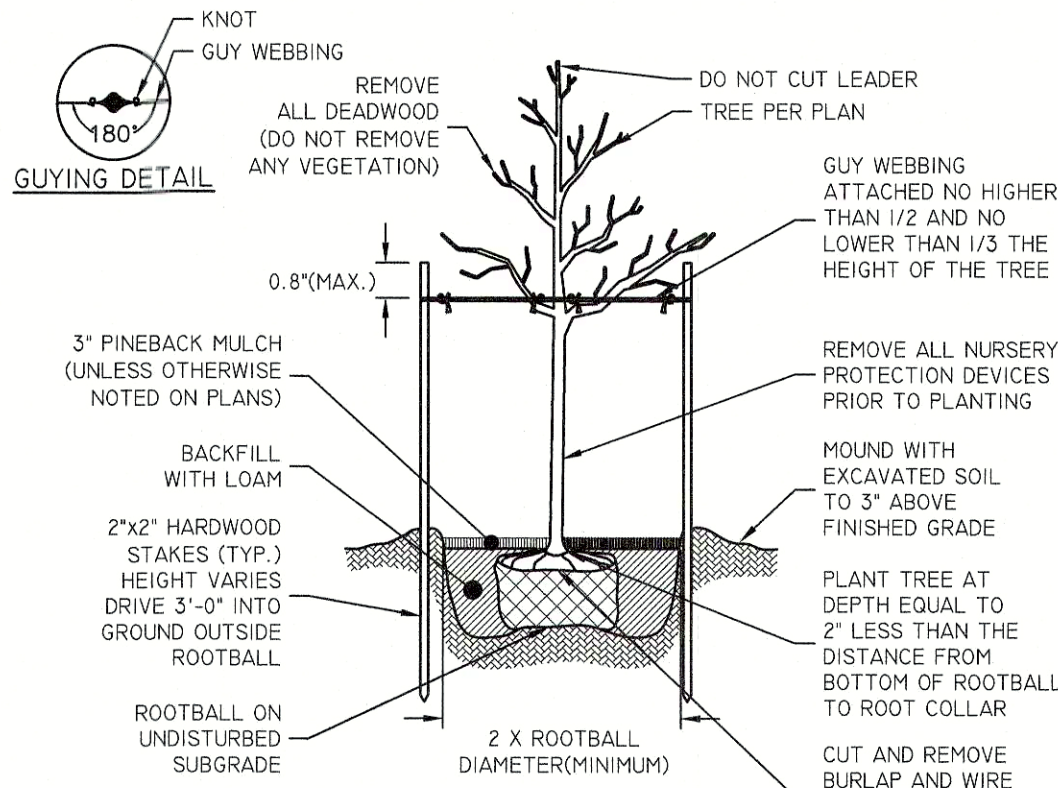
CURB STOPS ARE PROPOSED IN ORDER TO PRESERVE LANDSCAPING ISLANDS FROM DAMAGE BY PARKING CARS AND SNOW REMOVAL.

1070 MAINTENANCE OF LANDSCAPING BUFFERS

1071 MAINTENANCE OF LANDSCAPING PLANTINGS

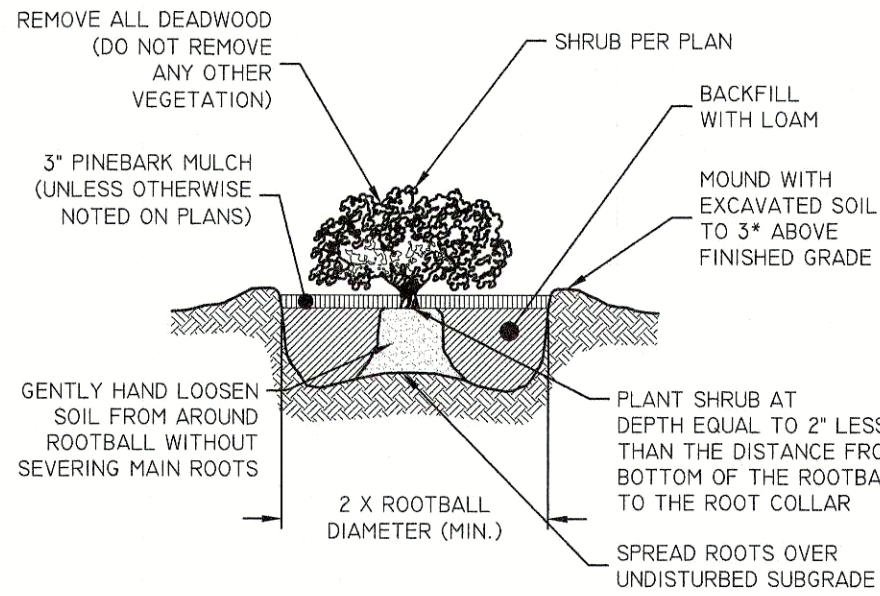
TO ENSURE THE IMPLEMENTATION AND LONG-TERM MAINTENANCE OF LANDSCAPING PLANTINGS AND REQUIREMENTS, THE BOARD MAY REQUIRE ONE OR MORE OF THE FOLLOWING:

- A TWO (2) YEAR GUARANTEE ON ALL NEW PLANT MATERIAL, IF ANY REQUIRED TREE OR SHRUB DIES WITHIN THIS PERIOD OF TIME, IT SHALL BE REPLACED.
- REQUIRE THE DEVELOPER TO POST A PERFORMANCE OR MAINTENANCE BOND CONDITIONED UPON SATISFACTORY IMPLEMENTATION OF THE LANDSCAPE PLAN.
- REQUIRE THE DEVELOPER/OWNER/APPLICANT TO MAINTAIN A LONG-TERM MAINTENANCE AGREEMENT WITH A LANDSCAPE COMPANY TO MAINTAIN THE LANDSCAPING ON THE SITE.



LARGE TREE STAKING AND PLANTING DETAIL
(2" CALIPER AND GREATER)

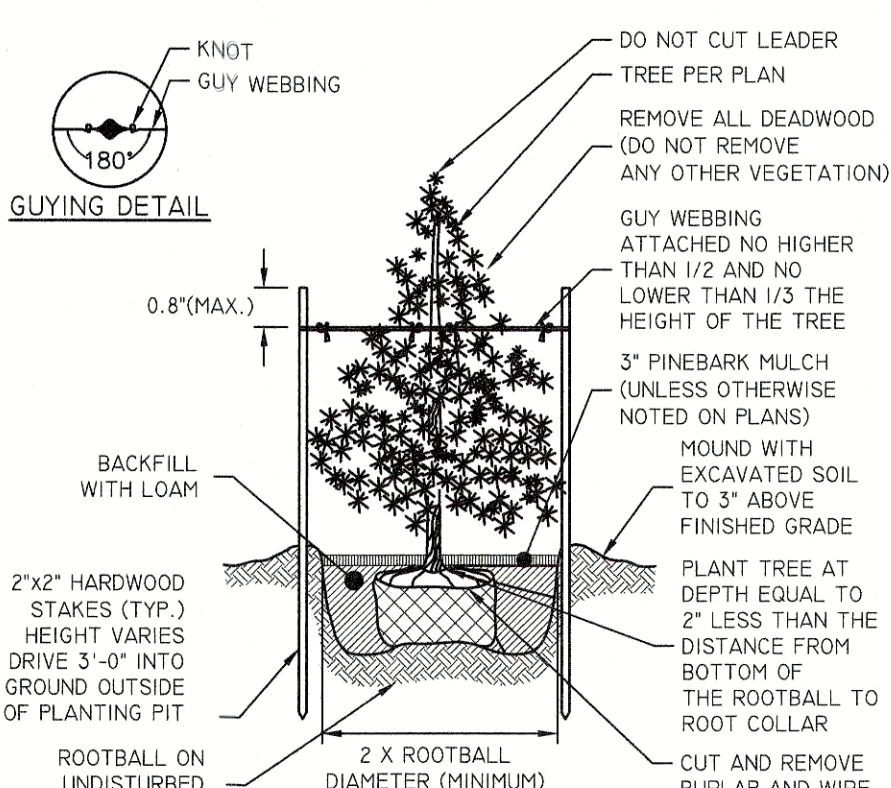
NOT TO SCALE



NOTE: IF THERE ARE ANY VARIATIONS BETWEEN THE DETAIL AND TOWN REQUIREMENTS, TOWN REQUIREMENTS SHALL BE FOLLOWED.

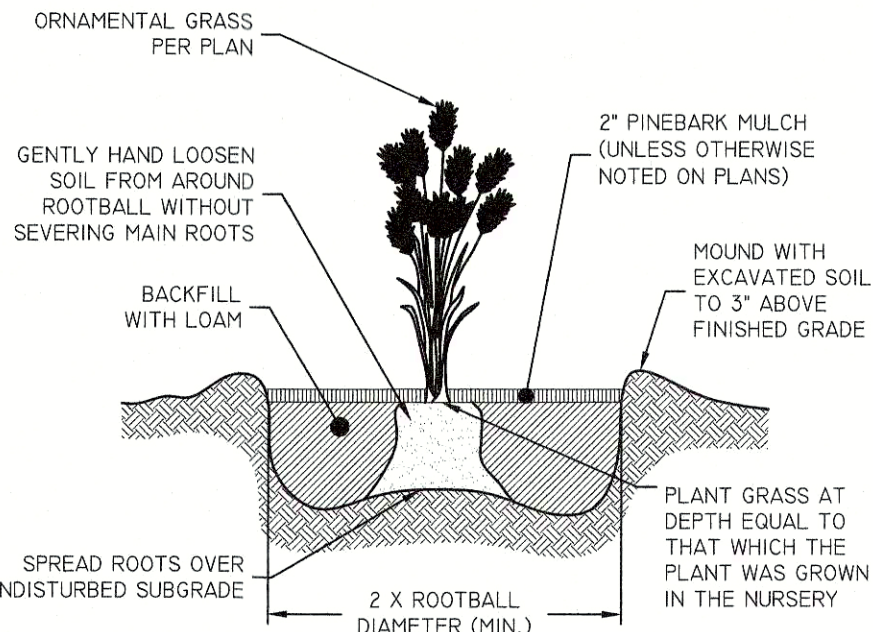
CONTAINER GROWN SHRUB PLANTING DETAIL

NOT TO SCALE



EVERGREEN TREE PLANTING DETAIL
(4'-0" HIGH AND GREATER)

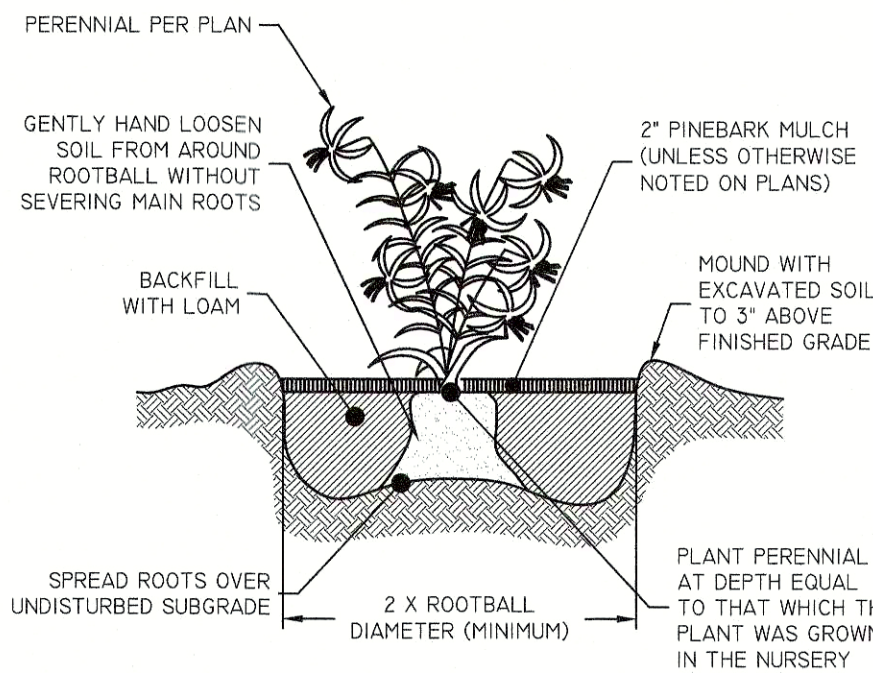
NOT TO SCALE



NOTE: IF THERE ARE ANY VARIATIONS BETWEEN THE DETAIL AND TOWN REQUIREMENTS, TOWN REQUIREMENTS SHALL BE FOLLOWED.

ORNAMENTAL GRASS PLANTING DETAIL

NOT TO SCALE



NOTE: IF THERE ARE ANY VARIATIONS BETWEEN THE DETAIL AND TOWN REQUIREMENTS, TOWN REQUIREMENTS SHALL BE FOLLOWED.

PERENNIAL PLANTING DETAIL

NOT TO SCALE

PLANT SCHEDULE					
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CAL
	AR	5	Acer rubrum 'October Glory'	October Glory Red Maple	B&B 12' HT 2.5" CAL MIN
	GT	6	Gleditsia triacanthos inermis 'Shademaster'	Shademaster Honey Locust	B&B 12' HT 2.5" CAL MIN
	MDW	2	Malus x 'Donald Wyman'	Donald Wyman Crabapple	B&B 12' HT 2.5" CAL MIN
	PC	3	Pyrus calleryana 'Chanticleer'	Chanticleer Callery Pear	B&B 12' HT 2.5" CAL MIN
EVERGREENS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CAL
	PG	4	Picea glauca	White Spruce	6/7' HT
	TOS	17	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	6/7' HT
	TOT	14	Thuja occidentalis 'Techny'	Techny Arborvitae	6/7' HT
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	HM	12	Hydrangea macrophylla 'Bailmer' TM	Endless Summer Hydrangea	36" HT MIN.
	IGS	21	Ilex glabra 'Shamrock'	Shamrock Inkberry Holly	5 gal
	RC	1	Rhododendron x 'Cunningham's White'	Cunningham's White Rhododendron	36" HT MIN.
	RK	8	Rosa x 'Knockout' TM	Knockout Rose	3 gal
GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	CKF	26	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	2 gal
	PAH	18	Pennisetum alopecuroides 'Hameln'	Hameln Dwarf Fountain Grass	2 gal
	PAM	11	Pennisetum alopecuroides 'Moudry'	Oriental Fountain Grass	2 gal
ANNUALS/PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	HH	18	Heemerocallis x 'Happy Returns'	Happy Returns Daylily	1 gal

LANDSCAPE NOTES & DETAILS

CRANBERRY HIGHWAY

PLAN BOOK 63 PAGE 1009 LOT 2

WAREHAM, MASSACHUSETTS

PREPARED FOR:

THE PARISH NETWORK

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SHEET

14

OF 14

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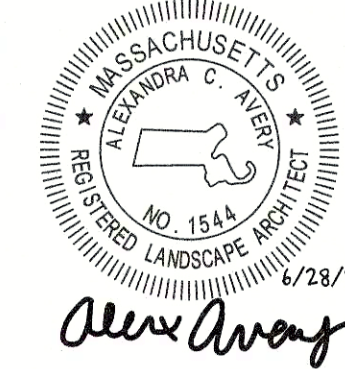
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DESIGN BY: B.E.G.

DATE: 06/29/2023

DESCRIPTION: LANDSCAPE PLAN



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