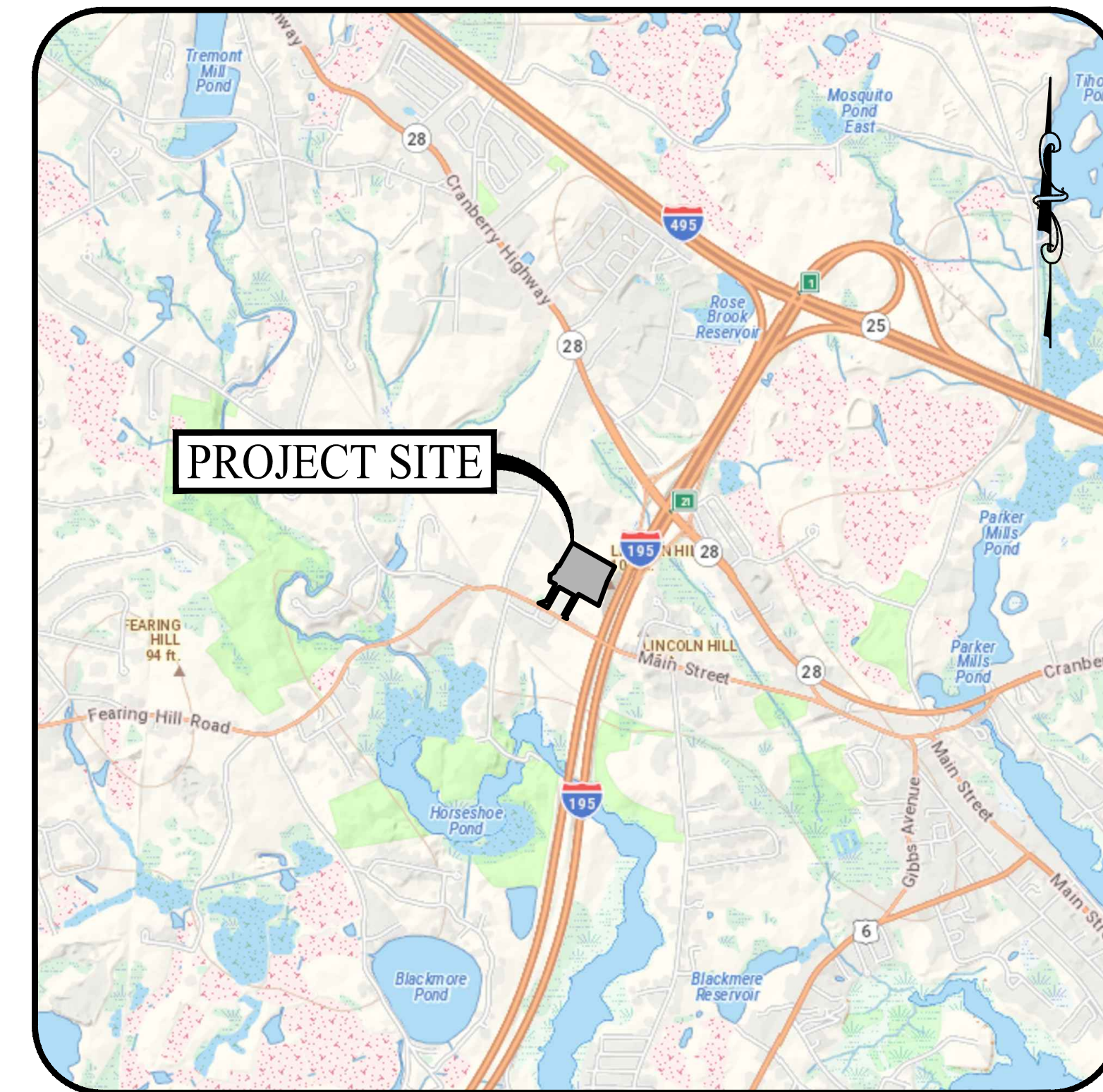


USGS MAP

SCALE: 1" = 2,000'

PROPOSED LOWE'S TOOL RENTAL STORE #2376

763 MAIN STREET
WAREHAM, MASSACHUSETTS



LOCATION MAP

SCALE: 1" = 2,000'

PREPARED FOR:

LOWE'S HOME CENTER, LLC

1000 LOWES BOULEVARD
MOORESVILLE, NORTH CAROLINA

PREPARED BY:



351 NEWBURY STREET, SUITE 303
BOSTON, MASSACHUSETTS 02115

PREPARED BY:



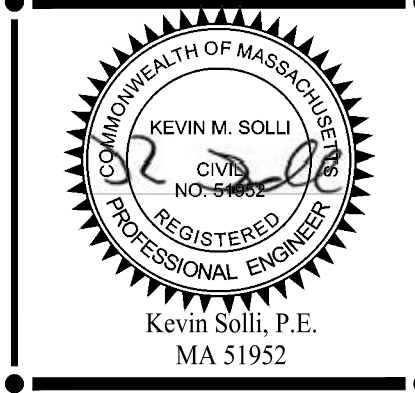
1437 S. BOULDER AVENUE, SUITE 550
TULSA, OKLAHOMA 74119

DRAWING LIST

SHEET #	SHEET NAME	PLAN DATE	LATEST REVISION
0.00	COVER SHEET	04/12/21	N/A
-	EXISTING CONDITIONS	03/15/21	N/A
2.10	SITE AREA MAP	04/12/21	N/A
2.11	SITE LAYOUT PLAN	04/12/21	N/A
2.31	EROSION CONTROL PLAN	04/12/21	N/A
3.01	CONSTRUCTION DETAILS	04/12/21	N/A
A-1.0	FLOOR PLAN	04/12/21	N/A
A-2.0	ELEVATION PLAN	04/12/21	N/A

REVISIONS

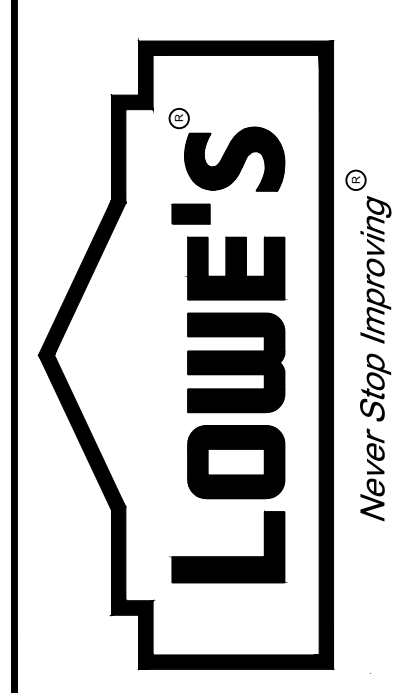
DATE	DESCRIPTION
4/12/21	TR Submission



SOLLI ENGINEERING
351 Newbury Street, Boston, MA 02115
T: (617) 203-3160 F: (617) 880-9695

LOWE'S HOME CENTERS, LLC
1000 LOWES BOULEVARD
MOORESVILLE, NC 28117
704.758.1000 (PH.)

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PROPERTY INFORMATION

ADDRESS: 763 MAIN STREET
MBLU: 85-1002/A2
ZONING: INDUSTRIAL DISTRICT
PROPERTY AREA: 12.29+ ACRES
LOWE'S STORE #: 2376

PROPERTY OWNER

W/S WAREHAM PROPERTIES LLC
C/O WS ASSET MANAGEMENT INC
33 BOYLSTON STREET
CHESTNUT HILL, MA 02467

APPLICANT

LOWE'S HOME CENTERS, LLC
1000 LOWES BOULEVARD
MOORESVILLE, NC 28117
(704) 758-1000

SITE/CIVIL ENGINEER

KEVIN SOLLI, P.E., CPESC, LEED AP BD+C
LICENSE NO. 51952
SOLLI ENGINEERING, LLC
351 NEWBURY STREET
BOSTON, MASSACHUSETTS
(617) 203-3160

ARCHITECT OF RECORD

VIRGINIA HART, AIA, NCARB, LEED AP
SGA DESIGN GROUP
1437 S. BOULDER AVENUE, SUITE 550
TULSA, OKLAHOMA 74119
(918) 587-8602, EXT 247

SURVEYOR OF RECORD

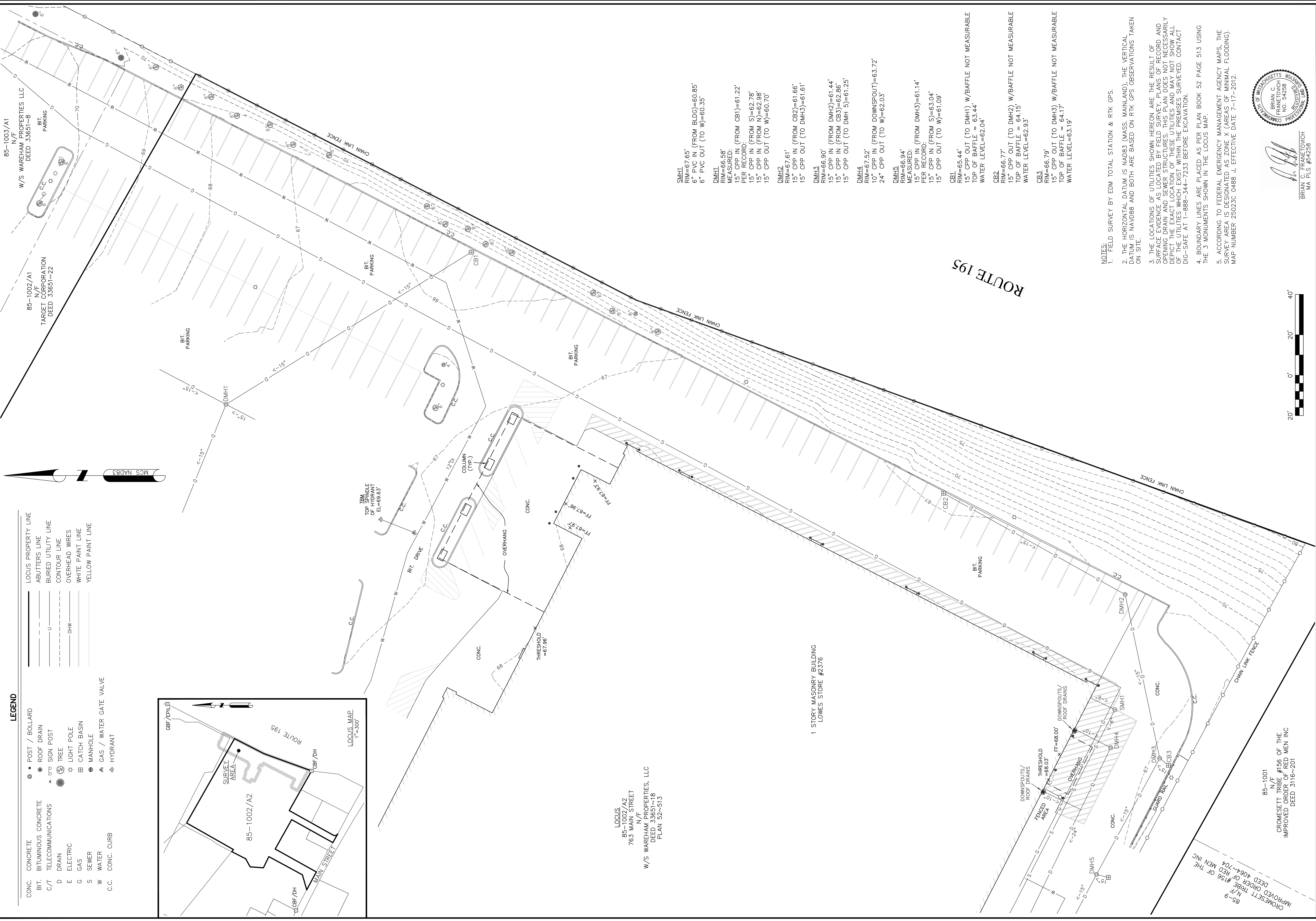
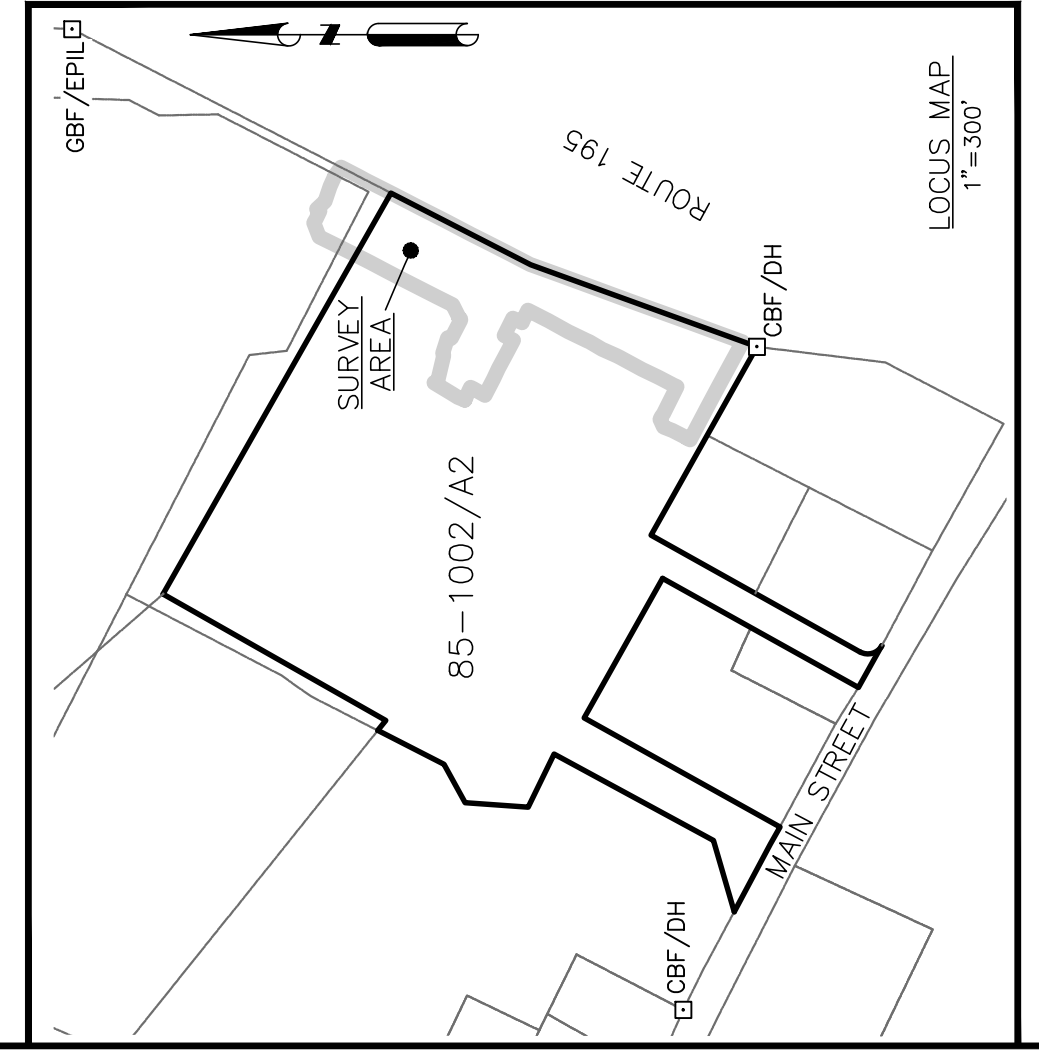
BRIAN C. FRANETOVIC, MA PLS #54258
NORTHEAST SURVEY CONSULTANTS
116 PLEASANT STREET, SUITE 302, PO BOX 109
EAST HAMPTON, MA 01027
(413) 6203-5144

PROPOSED TOOL RENTAL COVER SHEET
LOWE'S OF: WAREHAM, MA (STORE #2376)
763 MAIN STREET
WAREHAM, MASSACHUSETTS 02571
PROJECT NO.: 2012801 | DRAWN BY: STM | CHECKED BY: KMS

DRAWING NUMBER:

0.00

- LEGEND**
- CONC. CONCRETE
 - BIT. BITUMINOUS CONCRETE
 - C/J TELECOMMUNICATIONS
 - D DRAIN
 - E ELECTRIC
 - G GAS
 - S SEWER
 - W WATER
 - C.C. CONC. CURB
 - POST / BOLLARD
 - ROOF DRAIN
 - ▲ SIGN POST
 - TREE
 - ☆ LIGHT POLE
 - ⊕ CATCH BASIN
 - ⊖ MANHOLE
 - ⊕ GAS / WATER GATE VALVE
 - ⊖ HYDRANT
 - LOCUS PROPERTY LINE
 - ABUTTERS LINE
 - BURIED UTILITY LINE
 - CONTOUR LINE
 - OHW
 - WHITE PAINT LINE
 - YELLOW PAINT LINE



LOCUS
 85-1002/A2
 N/F
 763 MAIN STREET
 W/S WAREHAM PROPERTIES, LLC
 DEED 33651-18
 PLAN 52-513

1 STORY MASONRY BUILDING
 LOWES STORE #2376

SMH1
 RIM=67.65'
 6" PVC IN (FROM BLDG)=60.85'
 6" PVC OUT (TO W)=60.35'

DMH1
 RIM=66.68'
 MEASURED:
 15" CPP IN (FROM CBI)=61.22'
 PER RECORD:
 15" CPP IN (FROM S)=62.78'
 15" CPP IN (FROM N)=62.98'
 15" CPP OUT (TO W)=60.70'

DMH2
 RIM=67.61'
 15" CPP IN (FROM CB2)=61.66'
 15" CPP OUT (TO DMH3)=61.61'

DMH3
 RIM=66.90'
 15" CPP IN (FROM DMH2)=61.44'
 15" CPP IN (FROM CB3)=62.86'
 15" CPP OUT (TO DMH 5)=61.25'

DMH4
 RIM=67.52'
 15" CPP IN (FROM DOWNSPOUT)=63.72'
 24" CPP OUT (TO W)=62.03'

DMH5
 RIM=66.94'
 MEASURED:
 15" CPP IN (FROM DMH3)=61.14'
 PER RECORD:
 15" CPP IN (FROM S)=63.04'
 15" CPP OUT (TO W)=61.09'

CB1
 RIM=65.44'
 15" CPP OUT (TO DMH1) W/BAFFLE NOT MEASURABLE
 TOP OF BAFFLE = 63.44'
 WATER LEVEL=62.04'

CB2
 RIM=66.77'
 15" CPP OUT (TO DMH2) W/BAFFLE NOT MEASURABLE
 TOP OF BAFFLE = 64.15'
 WATER LEVEL=62.93'

CB3
 RIM=66.79'
 15" CPP OUT (TO DMH3) W/BAFFLE NOT MEASURABLE
 TOP OF BAFFLE = 64.17'
 WATER LEVEL=63.19'

- NOTES:**
- FIELD SURVEY BY EDM TOTAL STATION & RTK GPS.
 - THE HORIZONTAL DATUM IS NAD83 (MASS. MAINLAND). THE VERTICAL DATUM IS NAVD88 AND BOTH ARE BASED ON RTK GPS OBSERVATIONS TAKEN ON SITE.
 - THE LOCATIONS OF UTILITIES SHOWN HEREON ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY FIELD SURVEY. PLANS OF RECORD AND RECORDS OF THE UTILITIES SHOWN HEREON ARE NECESSARILY DEPICT THE EXACT LOCATION OF THESE UTILITIES AND MAY NOT SHOW ALL OF THE UTILITIES WHICH EXIST WITHIN THE PREMISES SURVEYED. CONTACT DIG-SAFE AT 1-888-344-7233 BEFORE EXCAVATION.
 - BOUNDARY LINES ARE PLACED AS PER PLAN BOOK 52 PAGE 513 USING THE 3 MONUMENTS SHOWN IN THE LOCUS MAP.
 - ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS, THE SURVEY AREA IS DESIGNATED AS ZONE X (AREAS OF MINIMAL FLOODING). MAP NUMBER 25025C 0468 J, EFFECTIVE DATE 7-17-2012.



BRIAN C. FRANKE/TOUCH
 MA PLS #4258

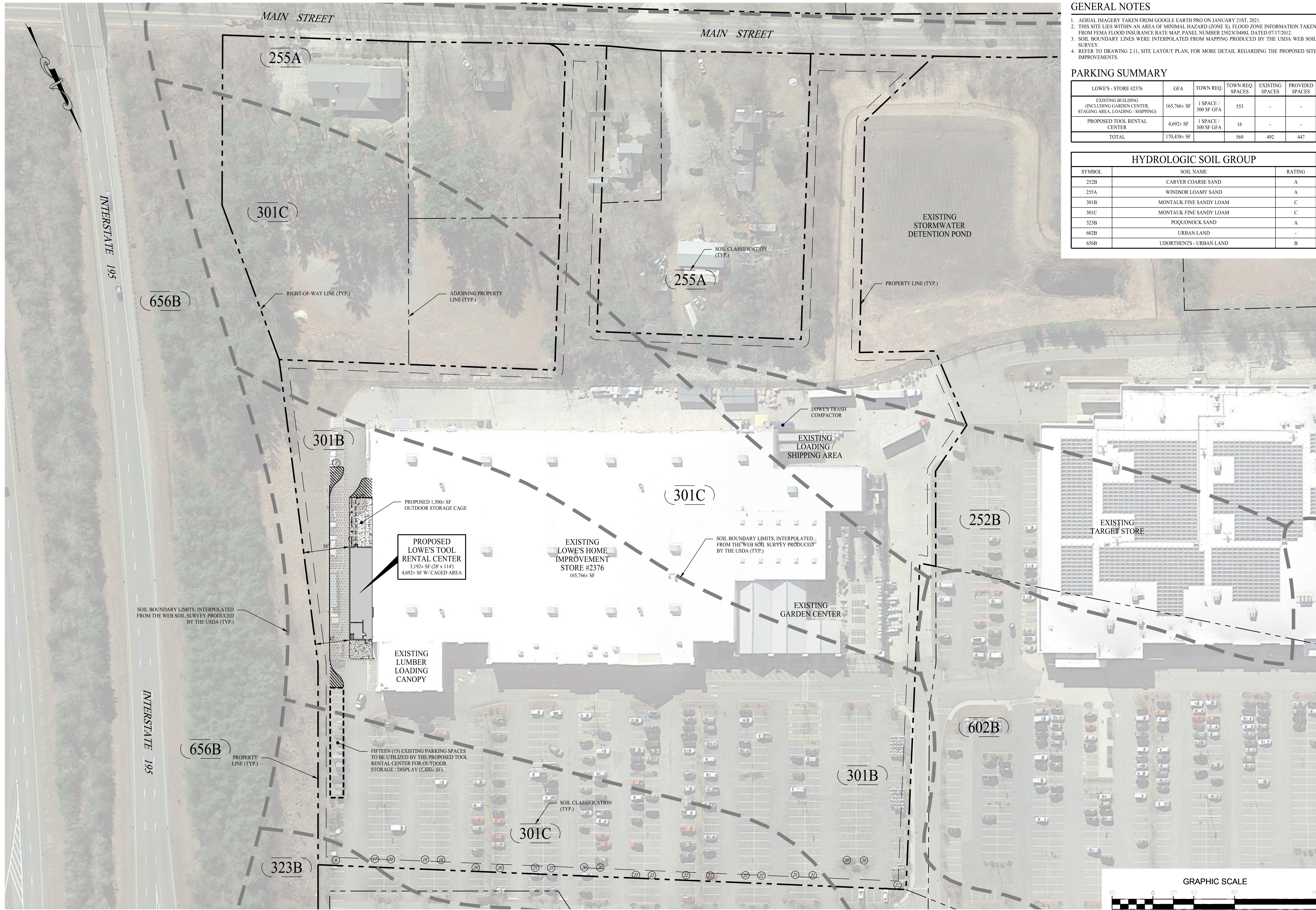
SHEET NO
1
 OF
1

PLAN OF LAND IN WAREHAM, MA
763 MAIN STREET
 PREPARED FOR
SOLLI ENGINEERING, LLC

SURVEYOR:	BCF	ENGINEER:	—
DRAFTING:	JDG BCF	DESIGN:	—
FIELD WORK:	NAE NMC MAK	HORZ. SCALE:	1" = 20'
PROJECT NUMBER:	21-007	VERT. SCALE:	—
DRAWING NAME:	21-007.DWG	DATE:	03-15-2021

EXISTING CONDITIONS

NORTHEAST SURVEY CONSULTANTS
 116 PLEASANT ST., SUITE 302
 EASTHAMPTON, MA 01027
 (413) 203-5144



GENERAL NOTES

1. AERIAL IMAGERY TAKEN FROM GOOGLE EARTH PRO ON JANUARY 21ST, 2021.
2. THIS SITE LIES WITHIN AN AREA OF MINIMAL HAZARD (ZONE X). FLOOD ZONE INFORMATION TAKEN FROM FEMA FLOOD INSURANCE RATE MAP, PANEL NUMBER 25023C0488I, DATED 07/17/2012.
3. SOIL BOUNDARY LINES WERE INTERPOLATED FROM MAPPING PRODUCED BY THE USDA WEB SOIL SURVEY.
4. REFER TO DRAWING 2.11, SITE LAYOUT PLAN, FOR MORE DETAIL REGARDING THE PROPOSED SITE IMPROVEMENTS.

PARKING SUMMARY

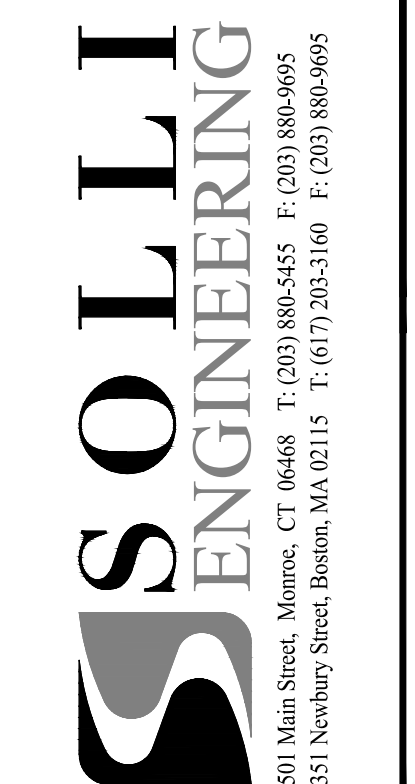
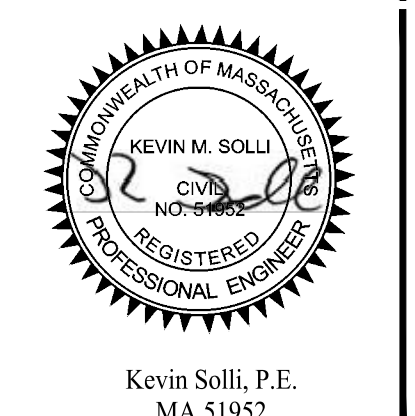
LOWE'S - STORE #2376	GFA	TOWN REQ. SPACES	TOWN REQ. SPACES	EXISTING SPACES	PROVIDED SPACES
EXISTING BUILDING (INCLUDING GARDEN CENTER, STAGING AREA, LOADING / SHIPPING)	165,766± SF	1 SPACE / 300 SF GFA	553	-	-
PROPOSED TOOL RENTAL CENTER	4,692± SF	1 SPACE / 300 SF GFA	16	-	-
TOTAL	170,458± SF		569	492	447

HYDROLOGIC SOIL GROUP

SYMBOL	SOIL NAME	RATING
252B	CARVER COARSE SAND	A
255A	WINDSOR LOAMY SAND	A
301B	MONTAUK FINE SANDY LOAM	C
301C	MONTAUK FINE SANDY LOAM	C
323B	POQUONOCK SAND	A
602B	URBAN LAND	-
656B	UDORTHENTS - URBAN LAND	B

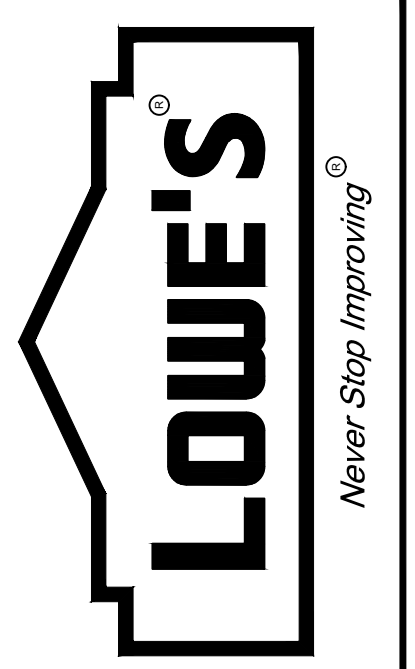
REVISIONS

DATE	DESCRIPTION
4/12/21	TR Submission



LOWE'S HOME CENTERS, LLC.
 1000 LOWE'S BOULEVARD
 MOORESVILLE, NC 28117
 704.758.1000 (PH.)

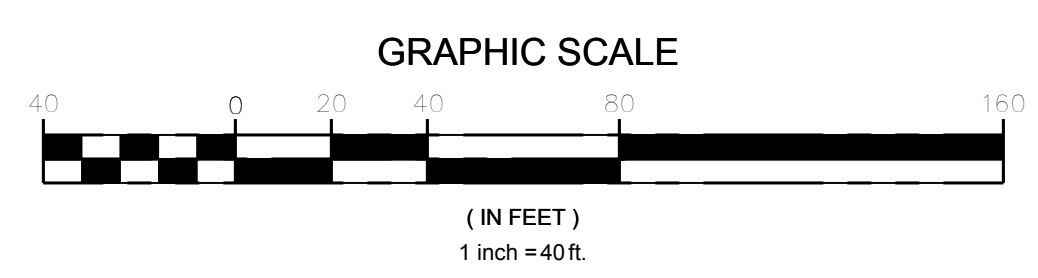
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PROPOSED TOOL RENTAL OVERALL SITE AREA MAP
 LOWE'S OF WAREHAM, MA
 (STORE #2376)
 763 MAIN STREET
 WAREHAM, MASSACHUSETTS 02571
 PROJECT No. 2012801 | DRAWN BY: STJM | CHECKED BY: KMS

DRAWING NUMBER:

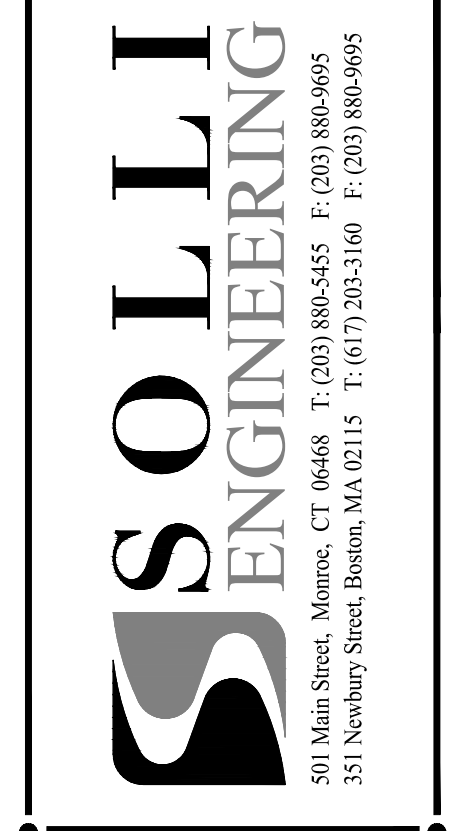
2.10



REVISIONS	
DATE	DESCRIPTION
4/12/21	TR Submission



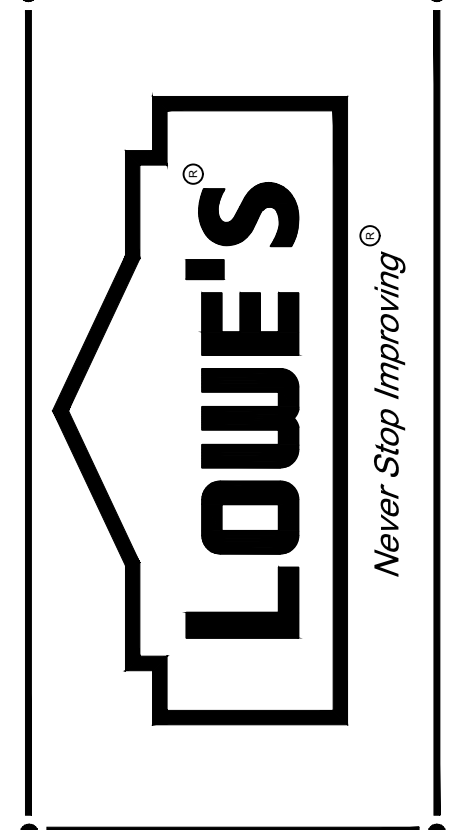
Kevin Solli, P.E.
MA 51952



LOWE'S HOME CENTERS, LLC.
1000 LOWE'S BOULEVARD
MOORESVILLE, NC 28117

704.758.1000 (PH.)

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PROPOSED TOOL RENTAL
SITE LAYOUT PLAN
LOWE'S OF WAREHAM, MA
(STORE #2376)
763 MAIN STREET
WAREHAM, MASSACHUSETTS 02571
PROJECT No. 2012801 | DRAWN BY: STJM | CHECKED BY: KMS

DRAWING NUMBER:

2.11

GRADING & DRAINAGE NOTES

- ALL SITE WORK TO BE COMPLETED IN ACCORDANCE WITH ALL PERMITS, APPROVALS AND CONDITIONS OF APPROVALS ISSUED BY THE TOWN OF WAREHAM FOR THIS PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS REQUIRED BY GOVERNMENT AND LOCAL AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY CONSTRUCTION PERMITS FROM LOCAL GOVERNING AUTHORITIES AND STATE REQUIRED TO PERFORM ALL REQUIRED WORK, INCLUDING FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES. THE CONTRACTOR SHALL POST ALL BONDS, EXCEPT MASSACHUSETTS DOT ENCROACHMENT PERMIT BOND, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "DIG SAFE" 72 HOURS BEFORE COMMENCEMENT OF WORK AT "811" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
- SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE SITE/CIVIL ENGINEER OF RECORD IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE STATE AND LOCAL GOVERNING AUTHORITIES.
- ALL DISTURBANCE INCURRED TO CITY, COUNTY, OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER.
- IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OR IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT.
- PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE SILING OF ANY WATERCOURSE OR WETLANDS IN ACCORDANCE WITH THE REGULATIONS OF THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
- ALL PIPE LENGTHS ARE HORIZONTAL DISTANCES AND ARE APPROXIMATE.
- EXISTING INVERTS THAT ARE CALLED OUT HEREON TO BE FIELD VERIFIED BY CONTRACTOR ARE TO BE APPROVED BY THE SITE/CIVIL ENGINEER OF RECORD PRIOR TO INSTALLATION. ALL PROPOSED INVERTS THAT ARE CALLED OUT HEREON TO BE FIELD VERIFIED BY CONTRACTOR ARE TO BE APPROVED BY THE SITE/CIVIL ENGINEER OF RECORD OF RECORD.

UTILITY NOTES

- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS, AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN IN THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE AND GAS SERVICE, ROOF DRAINS, AND ALL OTHER UTILITIES. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES SUCH A MANNER AS TO AVOID CONFLICTS AND TO ENSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO LOCATION OF AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES 72 HOURS PRIOR TO BEGINNING EXCAVATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ALL PAVEMENT REPAIRS REQUIRED AS A RESULT OF ANY UTILITY WORK.
- GENERAL CONTRACTOR SHALL PROVIDE 2x2x6" THICK CONCRETE APRON AT ALL CLEANOUTS, VALVES, AND METERS OUTSIDE OF THE BUILDING.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TAP AND THE ON FEES REQUIRED, AS WELL AS COST OF UNDERGROUND SERVICE CONNECTION TO THE BUILDING.
- ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
- CONTRACTOR TO COORDINATE GAS MAIN, WATER, ELECTRIC, AND TELEPHONE INSTALLATION WITH APPROPRIATE UTILITY COMPANIES.
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 2 FEET OF COVER FOR ALL UNDERGROUND ELECTRIC, TELEPHONE AND GAS UTILITIES.
- WHERE THE SANITARY SEWER LINE PASSES LESS THAN 18" BELOW THE WATER LINE, PROVIDE CONCRETE ENCASUREMENT. THE LENGTH OF THE ENCASUREMENT TO BE INCREASED TO THE NEAREST JOINT.
- WHERE THE SANITARY SEWER LINE PASSES ABOVE THE WATER LINES, ENCASE SEWER IN 6" THICK CONCRETE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE CROSSING, OR SUBSTITUTE RUBBER GASKETED PRESSURE PIPE FOR THE PIPE BEING USED FOR THE SAME DISTANCE.
- ALL PIPE LENGTHS ARE HORIZONTAL DISTANCES AND ARE APPROXIMATE.
- ALL DOMESTIC WATER AND SANITARY SEWER STUBS TO BE TERMINATED 5 FEET OUTSIDE OF THE BUILDING UNLESS OTHERWISE NOTED. THE END OF THESE SERVICE LINES SHALL BE TIGHTLY PLUGGED OR CAPPED AND MARKED UNTIL SUCH TIME AS CONNECTION IS MADE INSIDE BUILDING BY PLUMBING CONTRACTOR.
- SITE UTILITY CONTRACTOR SHALL PROVIDE ALL THE MATERIALS AND APPURTENANCES NECESSARY FOR THE COMPLETE INSTALLATION OF THE UTILITIES. ALL PIPE AND FITTINGS SHALL BE INSPECTED BY THE WATER DEPARTMENT INSPECTOR PRIOR TO BEING COVERED. THE INSPECTOR MUST ALSO BE PRESENT DURING PRESSURE TESTING AND DISINFECTION OF LATERALS AND HIS SIGNATURE OF APPROVAL IS REQUIRED.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES, REGULATIONS, AND/OR LOCAL STANDARDS IMPOSED BY LOCAL UTILITY AUTHORITIES.
- THE UTILITY CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE LOCAL UTILITY AUTHORITIES FOR CONNECTION TO THE EXISTING MAINS AND PAY ALL APPLICABLE FEES.
- CONTRACTOR SHALL ADJUST LOCATION OF PROPOSED WATER LINES AS REQUIRED TO AVOID CONFLICTS WITH STORM SEWER OR OTHER UTILITIES AT NO EXTRA COST.
- ALL MATERIAL SHALL BE APPROVED BY THE LOCAL UTILITY COMPANIES UNLESS DIRECTED OTHERWISE BY THE ENGINEER.
- INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY PROVIDER AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "DIGSAFE" 72 HOURS BEFORE COMMENCEMENT OF WORK AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
- BUILDING PLUMBING CONTRACTOR SHALL PAY ALL COST FOR WATER METERS, METER BOXES, VALVES, ETC. TO PROVIDE A COMPLETE JOB PER LOCAL AUTHORITY REQUIREMENTS.
- SHOULD LATENT SOIL CONDITIONS NECESSITATE, CONTRACTOR SHALL INSTALL SPECIAL SUPPORTS FOR PIPING AND/OR APPURTENANCES INCLUDING THE REMOVAL OF UNSUITABLE MATERIAL AND BACKFILLING WITH GRAVEL OR OTHER APPROVED MATERIAL. CONTRACTOR SHALL PERFORM ANY SUCH WORK AS DIRECTED BY THE SITE/CIVIL ENGINEER OF RECORD AND/OR SOILS ENGINEER AT NO COST TO OWNER.

GENERAL NOTES

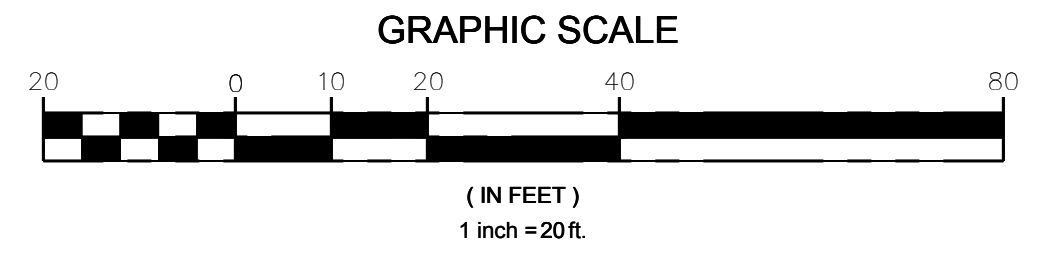
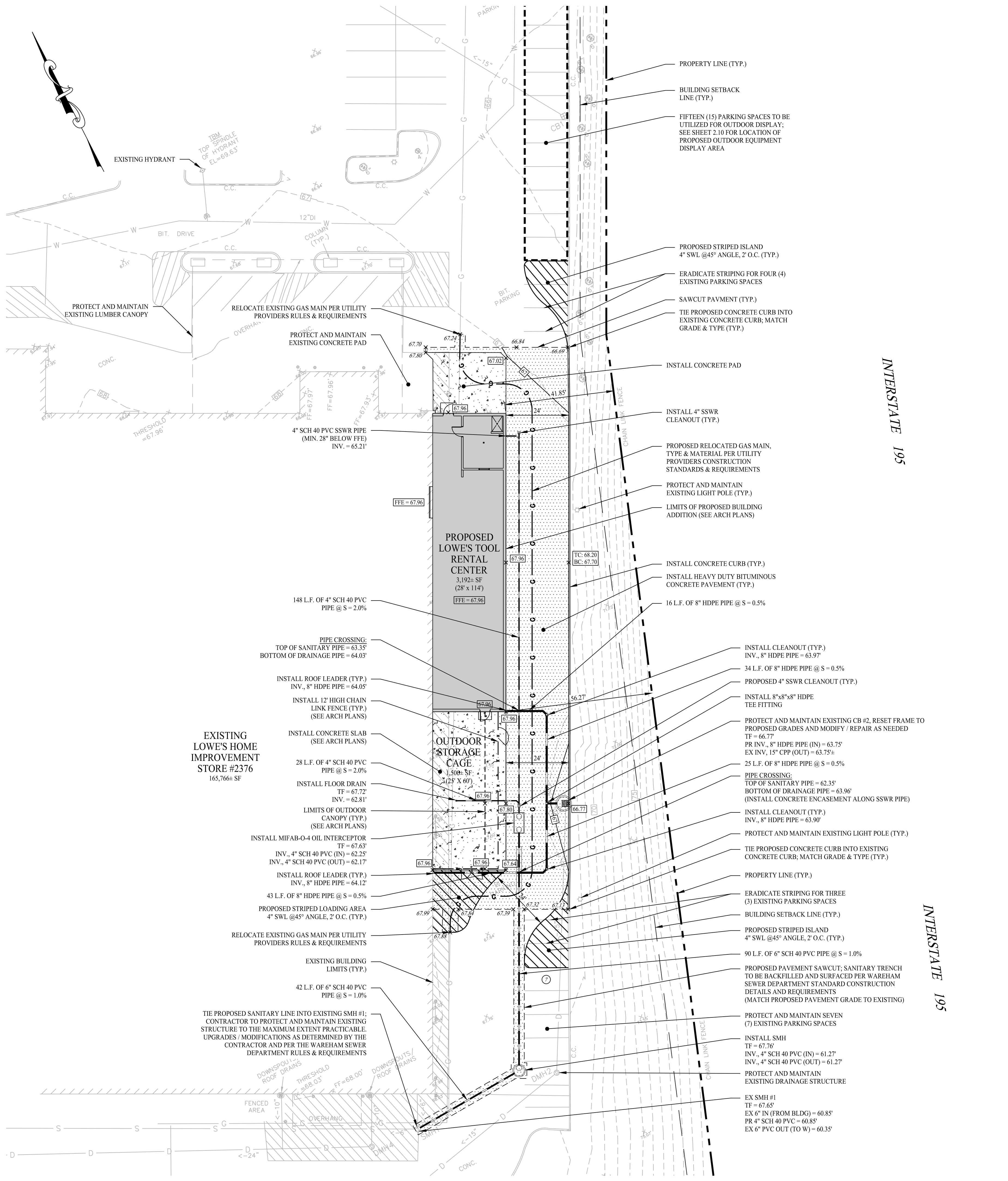
- THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
- ALL SITE WORK TO BE COMPLETED IN ACCORDANCE WITH ALL PERMITS, APPROVALS AND CONDITIONS OF APPROVALS ISSUED BY THE TOWN OF WAREHAM FOR THIS PROJECT.
- EXISTING BOUNDARY INFORMATION & SITE CONDITIONS TAKEN FROM AN EXISTING CONDITIONS SURVEY TITLED, "PLAN OF LAND IN WAREHAM, MA, 763 MAIN STREET", PREPARED FOR "SOLLI ENGINEERING, LLC", DATED 03/15/2021, SCALE 1" = 20'. BY NORTHEAST SURVEY CONSULTANTS.
- THE LOT, WHICH THE PROJECT AREA IS LOCATED ON, IS APPROXIMATELY 12.29 ACRES AND IS LOCATED WITHIN THE INDUSTRIAL ZONING DISTRICT OF THE TOWN OF WAREHAM, MASSACHUSETTS. THE LOT IS CURRENTLY DEVELOPED AND IMPROVED WITH A LOWE'S HOME IMPROVEMENT STORE (STORE #2376).
- THE PROJECT AREA LIES WITHIN TAN AREA OF MINIMAL FLOOD HAZARD (ZONE X), LOCATED OUTSIDE OF THE 50-YEAR FLOODPLAIN. FLOOD ZONE INFORMATION TAKEN FROM FEMA FLOOD INSURANCE RATE MAP NUMBER 250204881, EFFECTIVE DATE 07/17/2012.
- PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "DIG SAFE" 72 HOURS BEFORE COMMENCEMENT OF WORK AT "811" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY PROVIDER AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY AND SECURITY OF THE SITE DURING ALL PHASES OF CONSTRUCTION. THE ARCHITECT AND ENGINEER ARE NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK. JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
- THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL LOCAL AND STATE PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF EXISTING BUILDING, BUILDING EXPANSIONS AND OUTDOOR STORAGE CAGE.
- SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE SITE/CIVIL ENGINEER OF RECORD IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
- ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING AS APPLICABLE UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
- TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2' OFF THE FACE OF THE CURB, AND WITH 7' VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.
- THE CONTRACT LIMIT IS THE PROPERTY LINE AND EASEMENT LIMITS (AS SHOWN HEREON) UNLESS OTHERWISE SPECIFIED OR SHOWN ON THE CONTRACT DRAWINGS.
- PAVEMENT MARKING KEY:
4" SSWL = 4" SINGLE SOLID WHITE LINE
12" SSWB = 12" SINGLE SOLID WHITE STOP BAR
- PARKING SPACES SHALL BE STRIPED WITH 4" SSWL. HATCHED AREA SHALL BE STRIPED WITH 4" SSWL AT A 45° ANGLE, 2' ON CENTER. HATCHING, SYMBOLS, AND STRIPING FOR HANDICAPPED SPACES SHALL BE PAINTED BLUE. OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.
- THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS OR SIGNAGE DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE SITE/CIVIL ENGINEER OF RECORD. DURING CONSTRUCTION CONTRACTOR IS TO HAVE THE SITE MAINTAINED FREE OF ALL TRASH, LITTER, DEBRIS AND OVERGROWN VEGETATION.
- THE OWNER SHALL BE RESPONSIBLE TO HAVE THE SITE MAINTAINED FREE OF ALL TRASH, LITTER, DEBRIS AND OVERGROWN VEGETATION.
- PAVEMENT MARKINGS SHALL BE HOT APPLIED TYPE IN ACCORDANCE WITH MASSACHUSETTS DOT SPECIFICATIONS, UNLESS WHERE EPOXY RESIN PAVEMENT MARKINGS ARE INDICATED.

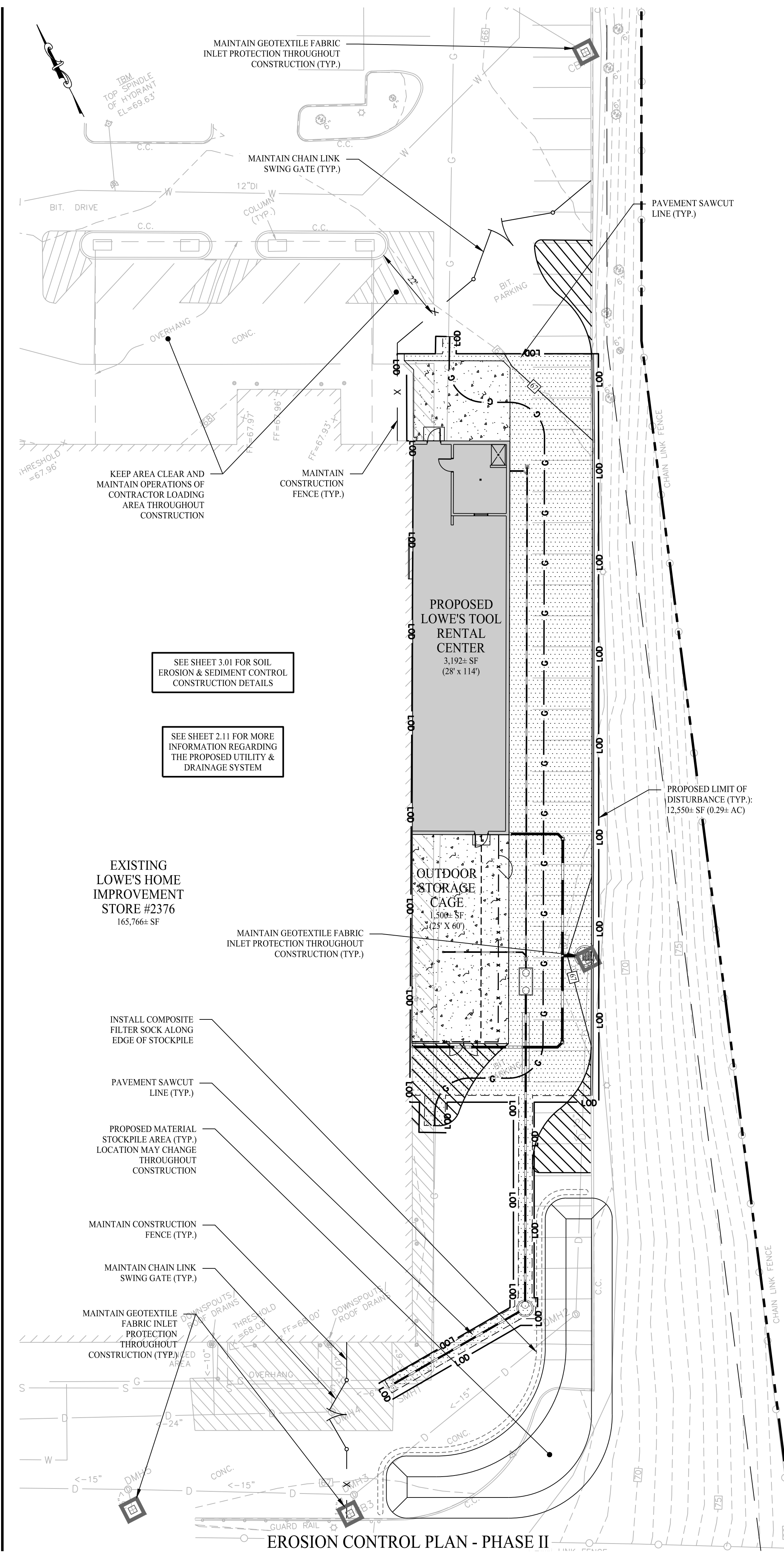
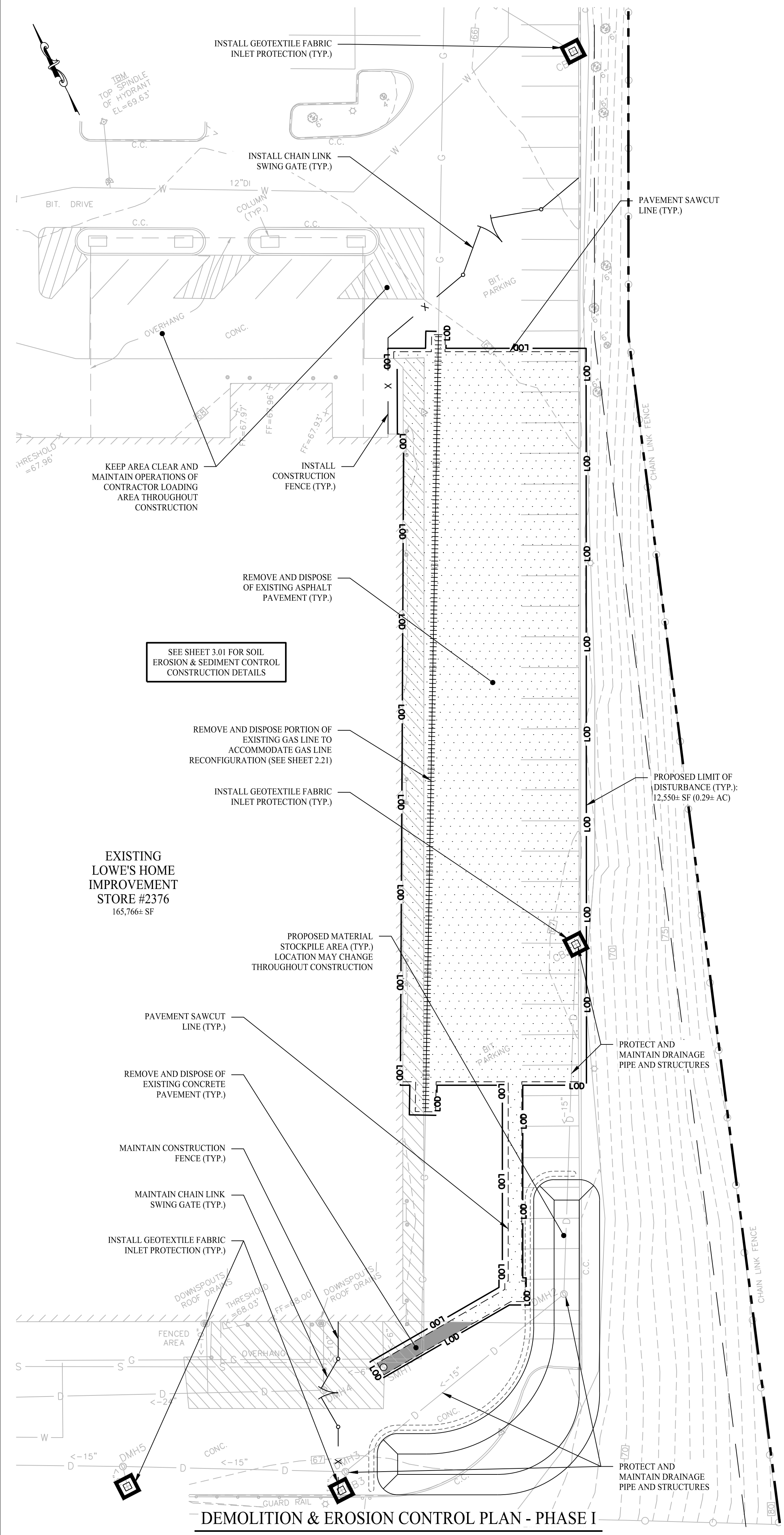
LEGEND

	EXISTING BUILDING LIMITS
	PROPOSED BUILDING
	CAGE AREA FENCING
	BUILDING OVERHANG LINE / CANOPY
	BUILDING DOOR
	CAGE GATES
	SAWCUT PAVEMENT LINE
	CONCRETE CURB
	HEAVY DUTY BITUMINOUS CONCRETE PAVEMENT
	CONCRETE SIDEWALK / PAVEMENT
	PARKING SPACE COUNT
	MAJOR CONTOURS
	MINOR CONTOURS
	EXISTING MAJOR CONTOURS
	EXISTING MINOR CONTOURS
	CONTOUR LABEL
	PROPOSED SPOT ELEVATION
	EXISTING SPOT ELEVATION
	STORM DRAIN PIPE
	GAS LINE
	SANITARY SEWER PIPE
	SANITARY MANHOLE
	TYPE "C" CATCH BASIN
	GREASE / OIL INTERCEPTOR

ABBREVIATIONS

@	AT
BC	BOTTOM OF CURB
CB	CATCH BASIN
DMH	DRAINAGE MANHOLE
EX	EXISTING
FPE	FINISHED FLOOR ELEVATION
HDPE	HIGH-DENSITY POLYETHYLENE
INV	INVERT
L.F.	LINEAR FEET
MIN.	MINIMUM
O.C.	ON CENTER
PR	PROPOSED
R	RADIUS
S	SLOPE
SCH	SCHEDULE
SSWR	SANITARY SEWER
STRM	STORMWATER
TC	TOP OF CURB
TF	TOP OF FRAME
TYP	TYPICAL





GENERAL NOTES

1. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
2. ALL SITE WORK TO BE COMPLETED IN ACCORDANCE WITH ALL PERMITS, APPROVALS AND CONDITIONS OF APPROVAL ISSUED BY THE TOWN OF WAREHAM FOR THIS PROJECT.
3. EXISTING BOUNDARY INFORMATION & SITE CONDITIONS TAKEN FROM AN EXISTING CONDITIONS SURVEY TITLED, "PLAN OF LAND IN WAREHAM, MA, 763 MAIN STREET", PREPARED FOR "SOLLI ENGINEERING, LLC," DATED 11/20/2021, SCALE 1" = 20' BY SURVEY CONSULTANTS.
4. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "DIG SAFE" 72 HOURS BEFORE COMMENCEMENT OF WORK AT "811" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN OBTAINED FROM AVAILABLE UTILITIES PROVIDER AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND SECURITY OF THE SITE DURING ALL PHASES OF CONSTRUCTION. THE ARCHITECT AND ENGINEER ARE NOT RESPONSIBLE FOR THE SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
6. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL LOCAL AND STATE PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
7. SHOULD ANY UNCHARTERED OR INCORRECTLY CHARTERED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
8. REFER TO SHEET 3.01 FOR THE SOIL EROSION AND SEDIMENT CONTROL CONSTRUCTION DETAILS.

DEMOLITION NOTES

1. CONTRACTOR SHALL SECURE ALL PERMITS, PAY ALL FEES AND PERFORM CLEARING AND GRUBBING AND DEBRIS REMOVAL PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
2. SEDIMENT AND EROSION CONTROLS AS SHOWN ON THE SEDIMENT AND EROSION CONTROL PLANS AND DEMOLITION PLAN SHALL BE INSTALLED BY THE DEMOLITION CONTRACTOR PRIOR TO START OF DEMOLITION AND CLEARING AND GRUBBING OPERATIONS.
3. REMOVE AND DISPOSE OF ANY SIDEWALKS, FENCES, WALLS, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED MANNER. THE CONTRACTOR SHALL NOTIFY THE TOWN OF WAREHAM, MA, 763 MAIN STREET, WAREHAM, MA 01956, BY AN APPROVED HAULER. HAULER SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS.
4. THE CONTRACTOR SHALL SECURE ALL PERMITS FOR THEIR DEMOLITION AND DISPOSAL OF THEIR DEMOLITION MATERIAL TO BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL POST BONDS AND PAY PERMIT FEES AS REQUIRED. BUILDING DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS AND DISPOSAL OF ALL BUILDING DEMOLITION DEBRIS IN AN APPROVED OFF-SITE LANDFILL.
5. ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR.
6. THE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS AND PROPERTY CORNERS DURING DEMOLITION ACTIVITIES. ANY CONTRACTOR DISTURBED PINS, MONUMENTS, AND/OR PROPERTY CORNERS, THEY SHALL BE RELOCATED AND SURVEYED AT THE EXPENSE OF THE CONTRACTOR.
7. THE DEMOLITION CONTRACTOR SHALL STABILIZE THE SITE AND KEEP EROSION CONTROL MEASURES IN PLACE UNTIL THE COMPLETION OF THEIR WORK OR UNTIL THE COMMENCEMENT OF WORK BY THE SITE CONTRACTOR, WHICHEVER OCCURS FIRST, AS REQUIRED OR DEEMED NECESSARY BY THE ENGINEER OR OWNER'S REPRESENTATIVE. THE SITE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF EXISTING EROSION AND SEDIMENTATION CONTROLS AND FOR INSTALLATION OF ANY NEW EROSION AND SEDIMENTATION CONTROLS AS PER THE SEDIMENT AND EROSION CONTROL PLAN, AT THAT TIME.
8. IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNERS ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNERS ENVIRONMENTAL CONSULTANT.
9. THE CONTRACTOR SHALL ADHERE TO ALL OSHA FEDERAL STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOSTS, ETC. IN PROXIMITY OF OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY PROVIDER FEES SHALL BE PAID BY THE CONTRACTOR.
10. CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED OR AS ORDERED BY THE ENGINEER OR AS REQUIRED BY THE LOCAL GOVERNING AUTHORITY, OR AS REQUIRED BY PERMIT STIPULATIONS.
11. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS AT ALL TIMES UNLESS WRITTEN APPROVAL FROM THE APPROPRIATE GOVERNING AGENCY IS GRANTED. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE HAS BEEN OBTAINED FROM AVAILABLE INFORMATION INCLUDING UTILITY PROVIDER AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES INCLUDING SERVICES AND STORM DRAINAGE SYSTEMS. PRIOR TO DEMOLITION OR CONSTRUCTION THE CONTRACTOR SHALL CONTACT "DIG SAFE" 72 HOURS BEFORE COMMENCEMENT OF WORK AT "811" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
12. THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, DRAINAGE STRUCTURE, SWALE AND/OR SIDEWALKS DISTURBED DURING DEMOLITION TO THEIR ORIGINAL CONDITION OR BETTER TO THE SATISFACTION OF THE OWNER. NO WORK ON THIS SITE SHALL BE INITIATED BY THE CONTRACTOR UNTIL A PRE-CONSTRUCTION MEETING WITH OWNER AND CIVIL ENGINEER IS REQUIRED.
13. ALL EXISTING UTILITIES TO THE BUILDING AREA TO BE PROTECTED AND MAINTAINED THROUGHOUT CONSTRUCTION.
14. THE CONTRACTOR SHALL NOT COMMENCE DEMOLITION OR UTILITY DISCONNECTIONS UNTIL AUTHORIZED TO DO SO BY THE OWNER.
15. ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAS NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY, AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
16. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL AND STATE REQUIREMENTS AND REGULATIONS.
17. PRIOR TO DEMOLITION ALL TRASH AND DEBRIS PRESENT ON-SITE SHALL BE PICKED UP AND REMOVED OR PROPERLY.

SOIL EROSION AND EROSION CONTROL NOTES

- SEDIMENT AND EROSION CONTROL NARRATIVE**
THE SEDIMENT AND EROSION CONTROL PLAN WAS DEVELOPED TO PROTECT THE EXISTING IMPROVEMENTS AND STORM DRAINAGE SYSTEMS, ADJACENT PROPERTIES, AND ANY ADJACENT WETLAND AREA AND ANY ADJACENT WATER COURSE FROM SEDIMENT LAIDEN SURFACE RUNOFF AND EROSION.
- CONSTRUCTION SCHEDULE**
THE ANTICIPATED STARTING DATE FOR CONSTRUCTION IS SUMMER 2021 WITH COMPLETION ANTICIPATED BY FALL 2021. APPROXIMATE EROSION CONTROL MEASURES AS DESCRIBED HEREIN SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF ALL SITE CLEARING OR CONSTRUCTION ACTIVITY. SCHEDULE WORK TO MINIMIZE THE LENGTH OF TIME THAT BARE SOIL WILL BE EXPOSED.
- CONTINGENCY EROSION PLAN**
THE CONTRACTOR SHALL INSTALL ALL SPECIFIED EROSION CONTROL MEASURES AND WILL BE REQUIRED TO MAINTAIN THEM IN THEIR INTENDED FUNCTIONING CONDITION. THE AGENTS OF THE TOWN OF WAREHAM HAVE THE AUTHORITY TO REQUIRE SUPPLEMENTAL MAINTENANCE OR ADDITIONAL MEASURES IF FIELD CONDITIONS ARE ENCOUNTERED BEYOND WHAT WOULD NORMALLY BE ANTICIPATED.
- OPERATION REQUIREMENTS**
ROUGH GRADING OPERATIONS:
1. DURING THE REMOVAL AND/OR PLACEMENT OF EARTH AS INDICATED ON THE GRADING AND DRAINAGE PLAN, TOPSOIL SHALL BE STRIPPED AND APPROPRIATELY STOCKPILED FOR REUSE, IF REQUIRED.
2. ALL STOCKPILED TOPSOIL THAT REMAINS FOR MORE THAN 30 DAYS SHALL BE SEED, MULCHED WITH HAY, AND ENCLOSED BY A SILTATION FENCE OR COMPOSITE FILTER SOCKS.
3. AN EROSION CONTROL BOND MAY BE REQUIRED TO BE POSTED WITH THE TOWN OF WAREHAM TO ENSURE IMPLEMENTATION OF THE EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE POSTING OF THIS BOND AND FOR INQUIRIES TO THE TOWN OF WAREHAM FOR INFORMATION ON THE METHOD, TYPE AND AMOUNT OF THE BOND POSTING UNLESS OTHERWISE DIRECTED BY THE OWNER.
4. VISUAL SITE INSPECTIONS SHALL BE CONDUCTED WEEKLY, AND AFTER EACH MEASURABLE PRECIPITATION EVENT OF 0.1 INCHES OR GREATER BY QUALIFIED PERSONNEL, TRAINED AND EXPERIENCED IN EROSION AND SEDIMENT CONTROL, TO ASCERTAIN THAT THE EROSION AND SEDIMENT CONTROL MEASURES ARE OPERATIONAL AND EFFECTIVE IN PREVENTING POLLUTION. A WRITTEN REPORT OF EACH INSPECTION SHALL BE KEPT, AND INCLUDE:
A) A SUMMARY OF THE SITE CONDITIONS, EAS, BARRIERS, AND COMPLIANCE; AND
B) THE DATE, TIME, AND NAME OF THE PERSON CONDUCTING THE INSPECTION
C) RECOMMENDATIONS TO MAKE REPAIRS WHEN NECESSARY.
- SEDIMENT AND EROSION CONTROL NOTES**
1. THE SEDIMENT AND EROSION CONTROL PLAN IS ONLY INTENDED TO DESCRIBE THE SEDIMENT AND EROSION CONTROL TREATMENT FOR THIS SITE. SEE SEDIMENT AND EROSION CONTROL DETAILS AND CONSTRUCTION SEQUENCE. REFER TO SITE PLAN FOR GENERAL INFORMATION AND OTHER CONTRACT PLAN AND FOR APPROPRIATE INFORMATION.
2. THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THIS SEDIMENT AND EROSION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE PROPER INSTALLATION AND MAINTENANCE OF EROSION CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED WITH CONSTRUCTION ON THE SITE OF THE REQUIREMENTS AND OBJECTIVES OF THIS PLAN, INFORMING THE GOVERNING AUTHORITY OR LOCAL GOVERNING AGENCY OF ANY TRANSFER OF THIS RESPONSIBILITY, AND PROVIDING A COPY OF THE SEDIMENT AND EROSION CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.
3. AN EROSION CONTROL BOND MAY BE REQUIRED TO BE POSTED WITH THE TOWN OF WAREHAM TO ENSURE IMPLEMENTATION OF THE EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE POSTING OF THIS BOND AND FOR INQUIRIES TO THE TOWN OF WAREHAM FOR INFORMATION ON THE METHOD, TYPE AND AMOUNT OF THE BOND POSTING UNLESS OTHERWISE DIRECTED BY THE OWNER.
4. VISUAL SITE INSPECTIONS SHALL BE CONDUCTED WEEKLY, AND AFTER EACH MEASURABLE PRECIPITATION EVENT OF 0.1 INCHES OR GREATER BY QUALIFIED PERSONNEL, TRAINED AND EXPERIENCED IN EROSION AND SEDIMENT CONTROL, TO ASCERTAIN THAT THE EROSION AND SEDIMENT CONTROL MEASURES ARE OPERATIONAL AND EFFECTIVE IN PREVENTING POLLUTION. A WRITTEN REPORT OF EACH INSPECTION SHALL BE KEPT, AND INCLUDE:
A) A SUMMARY OF THE SITE CONDITIONS, EAS, BARRIERS, AND COMPLIANCE; AND
B) THE DATE, TIME, AND NAME OF THE PERSON CONDUCTING THE INSPECTION
C) RECOMMENDATIONS TO MAKE REPAIRS WHEN NECESSARY.

LEGEND



REVISIONS	
DATE	DESCRIPTION
4/12/21	TR Submission

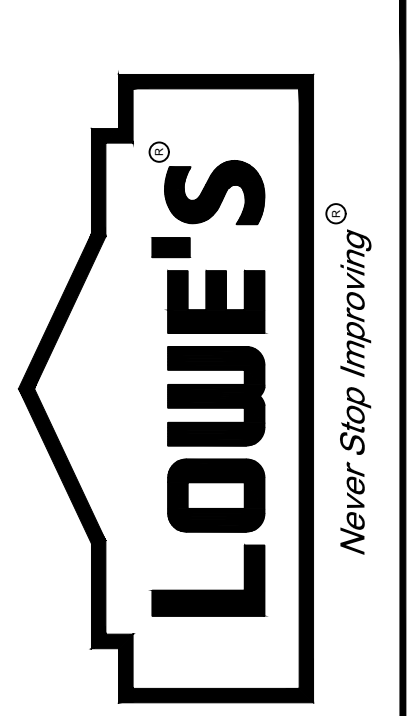


Kevin Solli, P.E.
No. 15192

SOLLI ENGINEERING
501 Main Street, Moore, CT 06468 T: (203) 880-5455 F: (203) 880-9695
351 Newbury Street, Boston, MA 02115 T: (617) 203-2160 F: (203) 880-9695

LOWE'S HOME CENTERS, LLC.
1000 LOWE'S BOULEVARD
MOORESVILLE, NC 28117

704.758.1000 (PH.)




**PROPOSED TOOL RENTAL
EROSION CONTROL PLAN**

LOWE'S OF WAREHAM, MA
(STORE #2376)
763 MAIN STREET
WAREHAM, MASSACHUSETTS 02571

PROJECT No.: 2012801 | DRAWN BY: STIMI | CHECKED BY: KMS

DRAWING NUMBER:
2.31

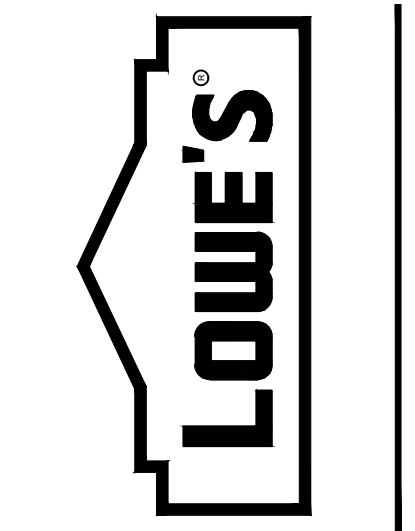
REVISIONS	
PRE-BID SET	POST-BID SET
DATE	DESCRIPTION


 04/12/2021

Douglas S. Tayrien & S. Architect
 1437 South Boulder, Suite 550
 Tulsa, Oklahoma 74119
 T. 918.587.8600
 F. 918.587.8601
 www.sgadesigngroup.com

LOWE'S HOME CENTERS, LLC
 1000 LOWE'S BOULEVARD
 MOORESVILLE, NC 28117
 704.758.1000 (PH.)

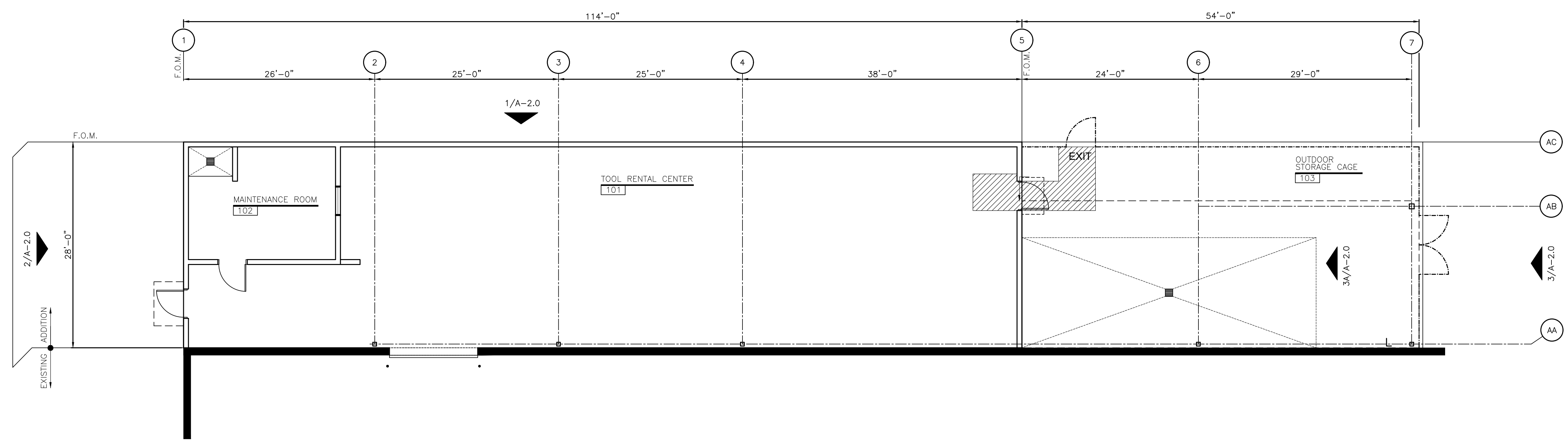
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FLOOR PLAN
LOWE'S OF
2421 CRANBERRY HWY, SUITE 100
WAREHAM, MA 02571

CRITERIA	04/12/2021
ISSUE DATE:	
PERMIT SET	
ISSUE DATE:	
CONSTRUCTION SET	
ISSUE DATE:	
DRAWING NUMBER:	

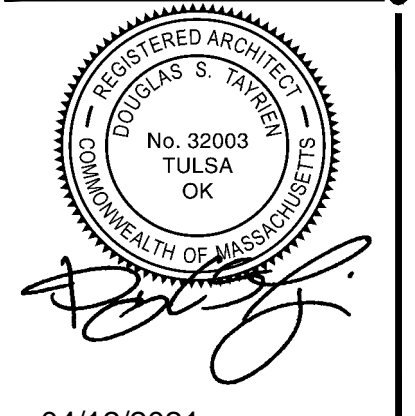
VGH **A-1.0**



1 FLOOR PLAN
 SCALE: 1/8"=1'-0"
 PROJECT
 MAGNETIC

ORIGINAL	
SECOND	
FINAL	

REVISIONS	
DATE	DESCRIPTION

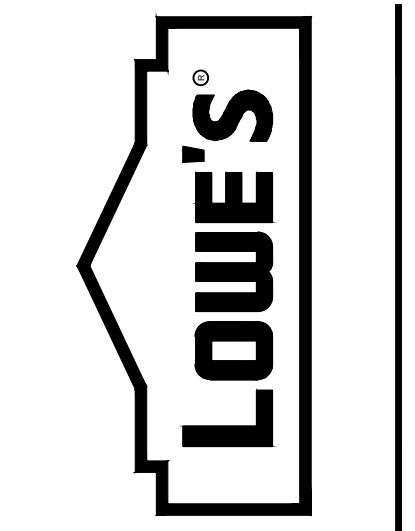


04/12/2021

Douglas S. Tavrien S.S.
 Architect
 1437 South Boulder, Suite 550
 Tulsa, Oklahoma 74119
 T. 918.597.8801
 F. 918.597.8804
 www.sgtadesigngroup.com

LOWE'S HOME CENTERS, LLC
 1000 LOWE'S BOULEVARD
 MOORESVILLE, NC 28117
 704.758.1000 (PH.)

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EXTERIOR AND INTERIOR ELEVATIONS
 LOWE'S OF
 2421 CRANBERRY HWY, SUITE 100
 WAREHAM, MA 02571

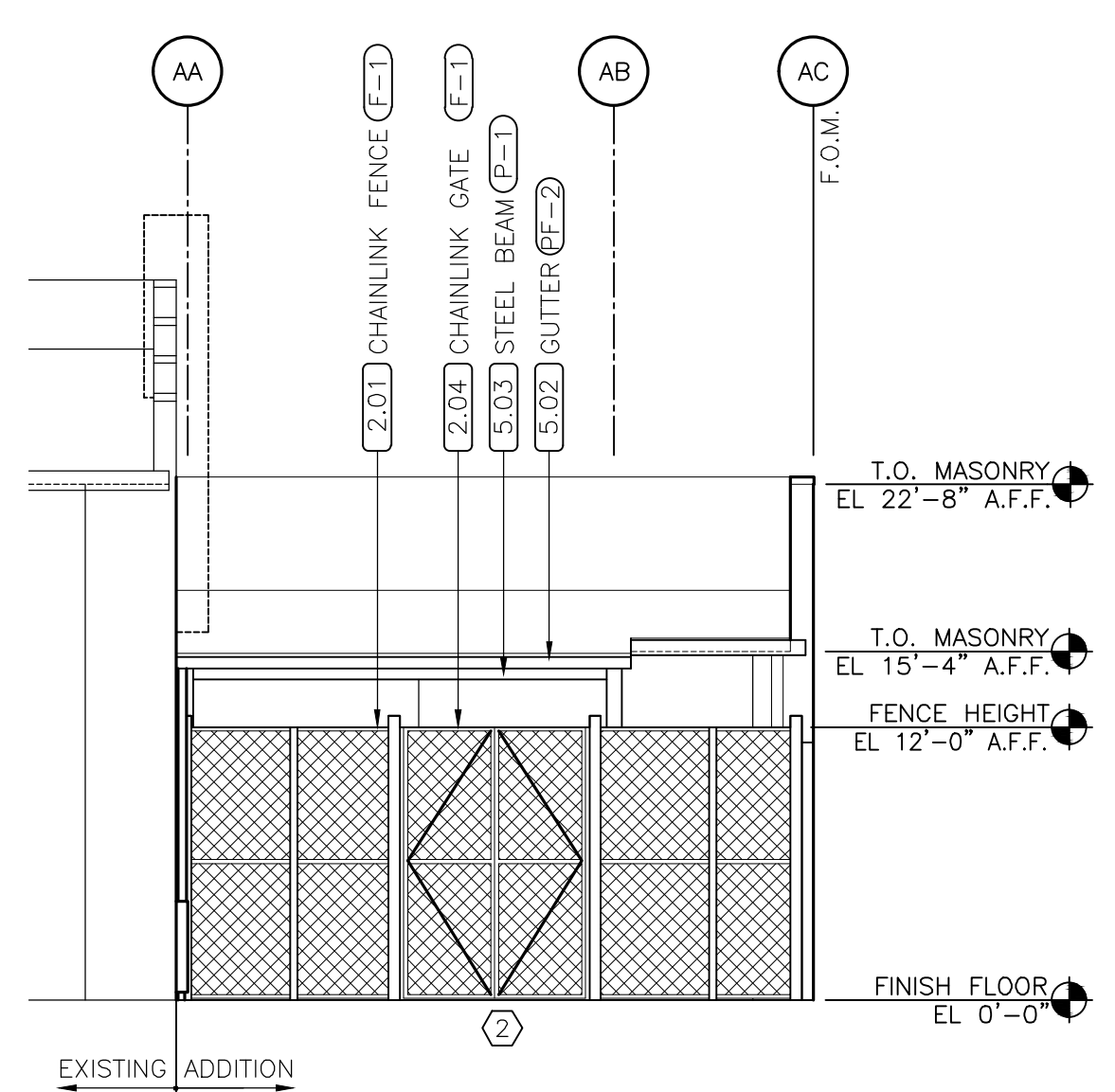
CRITERIA
 ISSUE DATE: 04/12/2021
 PERMIT SET
 ISSUE DATE:
 CONSTRUCTION SET
 ISSUE DATE:
 DRAWING NUMBER:

A-2.0

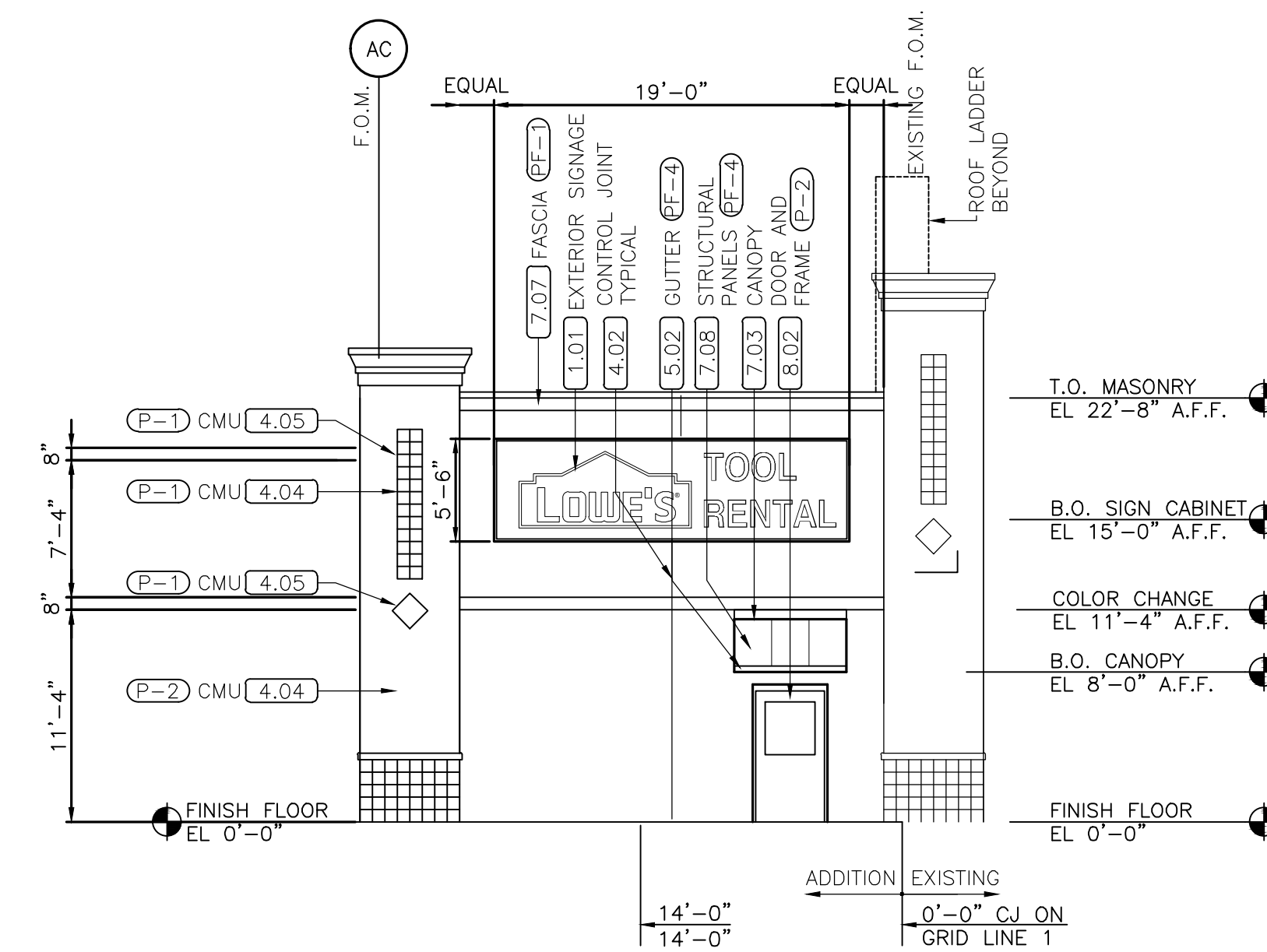
FINISHES	
F-1 FACTORY BLACK VINYL COATED FABRIC (CHAINLINK FABRIC)	PF-1 LOWE'S WARM WHITE (PREFINISHED)
F-2 NOT USED	PF-2 LOWE'S LIGHT BEIGE (PREFINISHED)
P-1 LIGHT BEIGE (PAINT TO MATCH EXISTING)	PF-3 MANUFACTURER'S STANDARD WHITE
P-2 MEDIUM BEIGE (PAINT TO MATCH EXISTING)	PF-4 LOWE'S BLUE (PREFINISHED)
P-3 MANUFACTURER'S STANDARD BLACK (PAINT)	NA NATURAL ANODIZED (ALUMINUM)
P-4 NOT USED	
P-5 OSHA YELLOW (PAINT)	
P-6 MANUFACTURER'S STANDARD BRIGHT WHITE (PAINT)	

NOTE: REFER TO SPECIFICATIONS FOR APPROVED MANUFACTURERS. UNLESS SPECIFICALLY CALLED OUT, CONTACT MANUFACTURER FOR LOWE'S NATIONAL ACCOUNT COLOR FORMULAS.

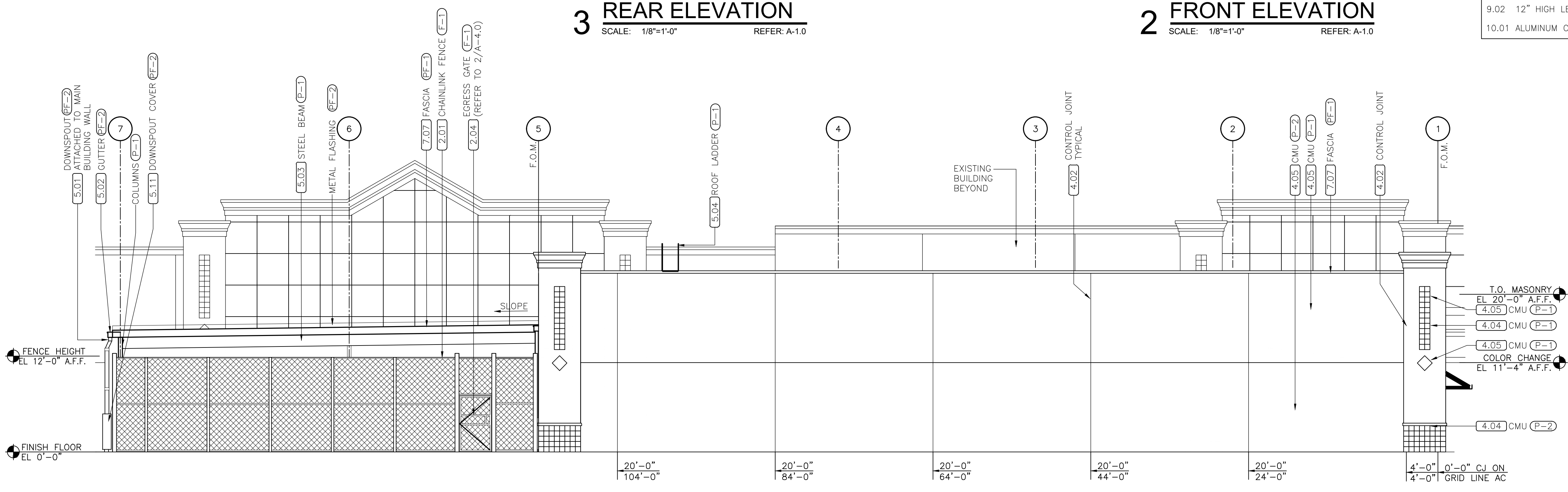
- KEYNOTES**
- SIGNAGE - FURNISHED AND INSTALLED BY OWNER (LOWE'S).
 - CHAINLINK FENCE WITH BLACK VINYL COATED FABRIC (REFER TO SHEET A-2.0 AND SPECIFICATION SECTION 02822).
 - 2.02, 2.03 NOT USED.
 - CHAINLINK GATE (REFER TO SHEET A-2.0 AND SPECIFICATION SECTION 02822).
 - EXTERIOR DRAIN (REFER TO PLUMBING DRAWINGS AND SPECIFICATION SECTION 15431).
 - NOT USED.
 - FLOOR DRAIN (REFER TO PLUMBING DRAWINGS AND SPECIFICATION SECTION 15431).
 - NOT USED.
 - CONCRETE SIDEWALK.
 - 3.03-3.06 NOT USED.
 - CONCRETE SLAB ON GRADE (REFER TO STRUCTURAL PLANS).
 - JOINT SEALANT OVER 1/2" EXPANSION JOINT FILLER (REFER TO SPECIFICATION SECTION 07920).
 - NOT USED.
 - MASONRY CONTROL JOINT, TYPICAL (REFER TO SHEETS A-3.01 AND S-3.0).
 - NOT USED.
 - SPLIT FACE CMU.
 - SMOOTH FACE CMU.
 - METAL DOWNSPOUTS.
 - METAL GUTTER.
 - STEEL TUBE, PAINTED.
 - ROOF ACCESS LADDER, PAINTED (REFER TO SHEET A-4.0).
 - 5.05-5.07 NOT USED.
 - PROVIDE 4" PIPE BOLLARDS 2'-6" A.F.F. (REFER TO DETAIL 1/S-0.2). NUMBER AND LOCATIONS PER ARCHITECTURAL PLANS AND DOOR DETAILS.
 - 5.09-5.10 NOT USED.
 - STEEL DOWNSPOUT COVER (REFER TO DETAIL 7/A-3.0).
 - NOT USED.
 - 7.01-7.02 NOT USED.
 - CANOPY.
 - 7.04-7.06 NOT USED.
 - PREFINISHED METAL FASCIA.
 - STRUCTURAL METAL ROOF PANEL.
 - OVERHEAD DOOR.
 - HOLLOW METAL DOOR AND FRAME TYPICAL, PAINTED.
 - UNOBSTRUCTED PATH, AS DIMENSIONED (REFER TO GENERAL NOTES).
 - 12" HIGH LETTERS PAINTED WHITE.
 - ALUMINUM CANOPY 5'-0" x 3'-0" MOUNT AT 8'-0" A.F.F. (REFER TO SPECIFICATION SECTION 10530).



3 REAR ELEVATION
 SCALE: 1/8"=1'-0" REFER: A-1.0



2 FRONT ELEVATION
 SCALE: 1/8"=1'-0" REFER: A-1.0



1 SIDE ELEVATION
 SCALE: 1/8"=1'-0" REFER: A-1.0

ORIGINAL
 SECOND
 FINAL