

GENERAL NOTES:

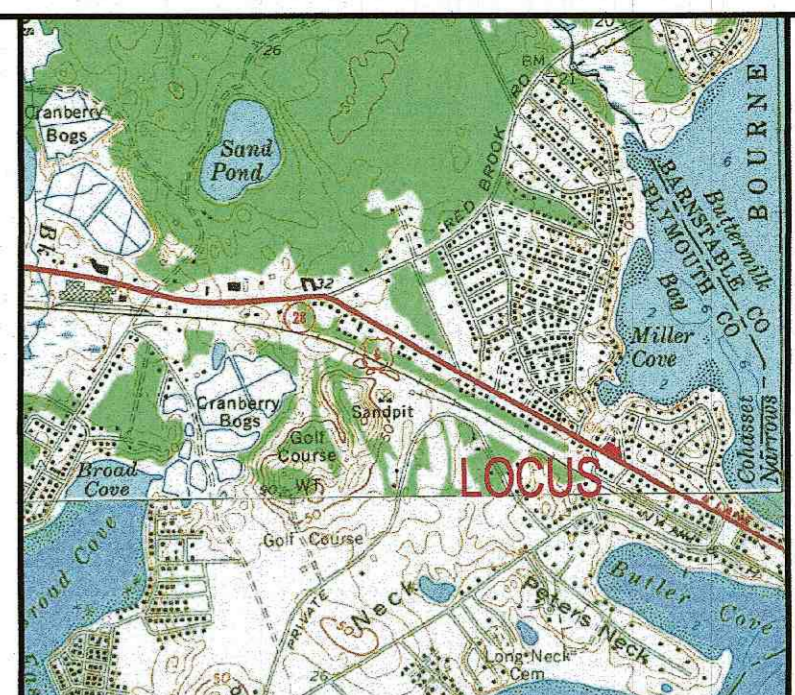
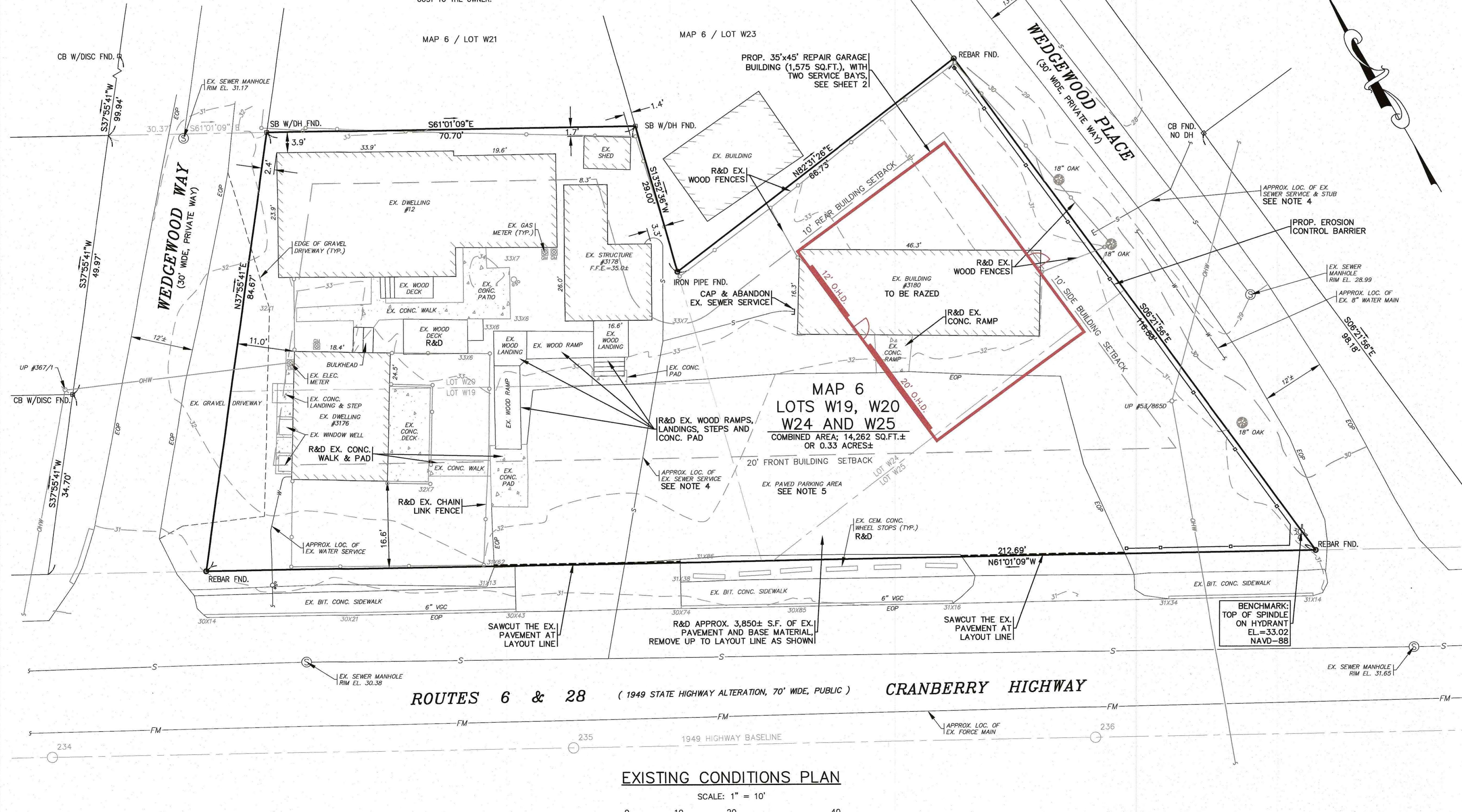
- ALL UNDERGROUND UTILITIES SHOWN OR NOT SHOWN WERE COMPILED ACCORDING TO AVAILABLE RECORD PLANS AND IN PART FROM FIELD SURVEY AND ARE APPROXIMATE ONLY. ACTUAL LOCATIONS MUST BE DETERMINED IN THE FIELD. BEFORE EXCAVATING, BLASTING, INSTALLING, BACKFILLING, GRADING, PAVEMENT RESTORATION, OR REPAIRING, ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN. SEE MGL CHAPTER 370, ACTS OF 1963. CONTRACTORS MUST CALL DIG-SAFE AT (888) DIG-SAFE OR (811) G.A.F. ENGINEERING, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN.
- EXISTING CONDITIONS INFORMATION IS BASED ON ACTUAL FIELD SURVEY, PRIVATE UTILITY PLANS, AND OTHER AVAILABLE SOURCES. ACTUAL FIELD SURVEY WAS PERFORMED BY G.A.F. ENGINEERING, INC. ON VARIOUS DATES AND MOST RECENTLY IN MAY OF 2022.
- THE CONTRACTOR SHALL COORDINATE & OBTAIN ALL REQUIRED PERMITS, GIVE ALL NOTICES, COMPLY WITH ALL LAWS & REGULATIONS, & PAY ALL FEES ASSOCIATED WITH THE INSTALLATION OF THIS WORK.
- THE CONTRACTOR SHALL FIELD VERIFY, PRIOR TO CONSTRUCTION ALL EXISTING UNDERGROUND UTILITY LOCATIONS AND POINTS OF INTERCONNECTION.
- THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, SUPERVISION, TOOLS, EQUIPMENT, FUEL, POWER, SANITARY FACILITIES AND INCIDENTALS NECESSARY FOR THE FURNISHING, PERFORMANCE, TESTING, START-UP AND COMPLETION OF THIS WORK.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER & OWNER OF ANY CONFLICTS DISCOVERED ON SITE.
- ANY CHANGES TO THESE PLANS THAT ARE MADE IN THE FIELD DURING CONSTRUCTION SHALL BE RECORDED BY THE CONTRACTOR ON RECORD DOCUMENTS AND REPORTED TO THE OWNER AND ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AN EXCAVATION AND TRENCH PERMIT PURSUANT TO 520 CMR 14.00 AS APPLICABLE PRIOR TO THE START OF CONSTRUCTION.

DEMOLITION NOTES:

- IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE HIS/HER OWN DETERMINATION OF SUBSURFACE CONDITIONS, INCLUDING THE LOCATION OF ROCK AND THE ACTUAL LOCATION OF UTILITIES OR OTHER FEATURES WHICH MAY AFFECT HIS/HER WORK. ANY UNSUITABLE MATERIAL ENCOUNTERED DURING CONSTRUCTION WILL BE REPORTED TO THE ENGINEER OF RECORD FOR RESOLUTION AND CONSTRUCTION METHOD.
- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND APPARATUS NECESSARY AND SHALL DO ALL WORK REQUIRED TO COMPLETE THE DEMOLITION, REMOVAL AND ALTERATIONS OF EXISTING FACILITIES, INCLUDING PIPING SYSTEMS AND APPURTENANCES, DRAINAGE, PAVEMENT, LANDSCAPE AND SITE FEATURES ENCOUNTERED DURING THE INSTALLATION AS INDICATED ON THE DRAWINGS, AS HEREIN SPECIFIED, AND/OR AS DIRECTED BY THE DESIGN ENGINEER.
- ALL EQUIPMENT, PIPING, AND OTHER MATERIALS THAT ARE NOT TO BE RELOCATED OR TO BE RETURNED TO THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF BY HIM, AWAY FROM THE SITE OF THE WORK AND AT HIS OWN EXPENSE.
- ALL DEMOLITION OR REMOVAL OF EXISTING STRUCTURES, PAVEMENT, UTILITIES, EQUIPMENT, AND APPURTENANCES, LANDSCAPE AND SITE FEATURES SHALL BE ACCOMPLISHED WITHOUT DAMAGING THE INTEGRITY OF EXISTING STRUCTURES, EQUIPMENT, PAVEMENT, APPURTENANCES, AND TREES TO REMAIN.
- SUCH ITEMS THAT ARE DAMAGED SHALL BE EITHER REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE TO A CONDITION AT LEAST EQUAL TO THAT WHICH EXISTED PRIOR TO THE START OF HIS WORK TO THE SATISFACTION OF THE DESIGN ENGINEER AND/OR THE OWNER.
- PROVIDE TWO (2) COPIES OF PROPOSED METHODS AND OPERATIONS OF DEMOLITION TO THE OWNER AND ENGINEER FOR REVIEW PRIOR TO THE START OF WORK. INCLUDE IN THE SCHEDULE THE COORDINATION FOR SHUTOFF, CAPPING AND CONTINUATION OF UTILITY SERVICES AS REQUIRED.
- PROVIDE A DETAILED SEQUENCE OF WORK TO THE DESIGN ENGINEER AND THE OWNER FOR DEMOLITION AND REMOVAL WORK TO ENSURE THE UNINTERRUPTED PROGRESS OF THE OWNER'S OPERATIONS.
- ENSURE THE SAFE PASSAGE OF PERSONS AROUND THE AREA OF DEMOLITION. CONDUCT OPERATIONS TO PREVENT INJURY TO ADJACENT BUILDINGS, STRUCTURES, OTHER FACILITIES AND PERSONS.
- PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING, OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED AND ADJACENT FACILITIES TO REMAIN.
- THE CONTRACTOR SHALL PROMPTLY REPAIR DAMAGES CAUSED BY DEMOLITION OPERATIONS TO ADJACENT FACILITIES AT NO COST TO THE OWNER.

NOTES:

- CONTRACTOR SHALL PROVIDE AND MAINTAIN STAKED SILT FENCE EROSION CONTROL BARRIERS WHERE SHOWN ON THE PLAN.
- ALL DEBRIS FROM DEMOLITION INCLUDING ANY PAVEMENT & CURBING REMOVAL, UTILITIES REMOVAL, STONE REMOVAL, FENCE REMOVAL, TREE CLEARING, STUMPING, GRUBBING, ETC. SHALL BE REMOVED FROM THE SITE AND NOT STOCKPILED UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL CONFIRM THE EXACT LOCATIONS AND ELEVATIONS OF ALL EXISTING WATER LINES, SEWER LINES, ELECTRIC CONDUITS AND GAS LINES PRIOR TO CONSTRUCTION. ALL EXISTING UTILITY SERVICES SHALL BE REMOVED UNLESS OTHERWISE NOTED, COORDINATE WITH THE APPROPRIATE UTILITY COMPANY.
- CONTRACTOR SHALL CONFIRM LOCATION, TYPE, SIZE AND ELEVATION OF EXISTING SEWER SERVICE PRIOR TO CONSTRUCTION. CONFIRM WITH WAREHAM SEWER DEPARTMENT AND ENGINEER.
- REMOVE & DISPOSE APPROX. 3,850± S.F. OF EXISTING PAVEMENT AND BASE MATERIAL. EXCAVATE TOPSOIL & SUBSOIL TO A DEPTH TO RECEIVE PROPOSED PAVEMENT CROSS SECTION (WHERE REQUIRED).



LOCUS MAP : SCALE 1" = 2083'

LOT DATA:
 ASSESSORS MAP: 6
 LOTS W19, W20, W24 & W25
 ADDRESS: 3178 CRANBERRY HIGHWAY
 OWNER: RONY'S REALTY LLC
 ADDRESS: 190 MT. PLEASANT STREET
 NEW BEDFORD, MA 02741

ZONING DATA:
 ZONE: CS STRIP COMMERCIAL; SETBACKS:
 MINIMUM LOT AREA: 30,000 SQ.FT. (SINGLE FAMILY & NON-RESIDENTIAL USE OR 45,000 2 FAMILY)
 MINIMUM FRONTAGE: 150' (SINGLE FAMILY & NON-RESIDENTIAL USE, OR 200' 2 FAMILY)
 MINIMUM FRONT SETBACK: 20'
 MINIMUM SIDE SETBACK: 10'
 MINIMUM REAR SETBACK: 10'
 MAXIMUM BUILDING HEIGHT: 40'
 MAXIMUM BUILDING COVER: 40%
 MAXIMUM IMPERVIOUS COVER: 65%
 DISTANCE FROM RESIDENTIAL USE: 40'
 ACCESSORY BUILDINGS
 MINIMUM FRONT SETBACK: 20'
 MINIMUM SIDE SETBACK: 10'
 MINIMUM REAR SETBACK: 15'
 MAXIMUM BUILDING HEIGHT: 30'

CALCULATED LOT DATA:
 MAXIMUM BUILDING COVER: 40%
 EXISTING BUILDING COVER: 19.3%
 MAXIMUM IMPERVIOUS COVER: 65%
 EXISTING IMPERVIOUS COVER: 50.4%

EXISTING	DESC.	PROPOSED	DESC.
30	CONTOURS	32x50	SPOT GRADES
32x5	SPOT GRADES	32x50	EROSION CONTROL
32x5	WETLANDS	32x50	FENCE
100' BUFFER ZONE	F.E.M.A. FLOOD ZONE	32x50	WATER LINE
CATCH BASIN (CB)	DRAIN MANHOLE (DMH)	32x50	SEWER LINE
OVERHEAD WIRES	UTILITY POLE	32x50	SEWER MANHOLE (SMH)
GUY POLE	WATER GATE VALVE	32x50	SEWER LINE
WATER SHUTOFF/CURB STOP	HYDRANT	32x50	FORCE MAIN
WATER LINE	UNDERGROUND ELECTRIC	32x50	TREE/BRUSH LINE
SEWER MANHOLE (SMH)	SEWER LINE	32x50	LIGHT POST
SEWER LINE	FORCE MAIN	32x50	GAS LINE
FORCE MAIN	TREE/BRUSH LINE	32x50	GAS GATE/VALVE
TREE/BRUSH LINE	LIGHT POST	32x50	GAS SHUTOFF
LIGHT POST	GAS LINE	32x50	GAS METER
GAS LINE	GAS GATE/VALVE	32x50	FENCE
GAS SHUTOFF	GAS METER	32x50	BOUND
GAS METER	FENCE	32x50	STONE WALL
FENCE	BOUND	32x50	REBAR
BOUND	STONE WALL	32x50	CONTOURS
REBAR	CONTOURS	32x50	SPOT GRADES
CONTOURS	SPOT GRADES	32x50	EROSION CONTROL
SPOT GRADES	EROSION CONTROL	32x50	FENCE
EROSION CONTROL	FENCE	32x50	WATER LINE
FENCE	WATER LINE	32x50	SEWER LINE
WATER LINE	SEWER LINE	32x50	ROOF DRAIN
SEWER LINE	ROOF DRAIN	32x50	UNDERGROUND ELECTRIC
ROOF DRAIN	UNDERGROUND ELECTRIC	32x50	REMOVE & DISPOSE
UNDERGROUND ELECTRIC	REMOVE & DISPOSE	32x50	

G.A.F. ENGINEERING, INC.
 PROFESSIONAL ENGINEERS & LAND SURVEYORS
 266 MAIN STREET - WAREHAM, MA 02571
 TEL: (508) 295-6600 FAX: (508) 295-6634
 E-MAIL: info@gafengr.com

EXISTING CONDITIONS SITE PLAN
 PREPARED FOR:
RONY'S REALTY LLC
 3178-3180 CRANBERRY HIGHWAY WAREHAM, MA
 190 MT. PLEASANT STREET NEW BEDFORD, MA

DATE: NOV. 29, 2022
 DRAWN BY: JH
 CHECKED BY: WFM
 JOB NO.: 21-9794
 SCALE: 1" = 10'

APPROVED BY: *[Signature]*

PER TOWN COMMENTS
 WFM
 JUMP
 DATE
 REV. BY APP'D

JOB NO.: 21-9794
 DWG. 1 OF 2

PERMIT SET
 (NOT FOR CONSTRUCTION)

EXISTING CONDITIONS PLAN

SCALE: 1" = 10'



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CONSTRUCTION NOTES:

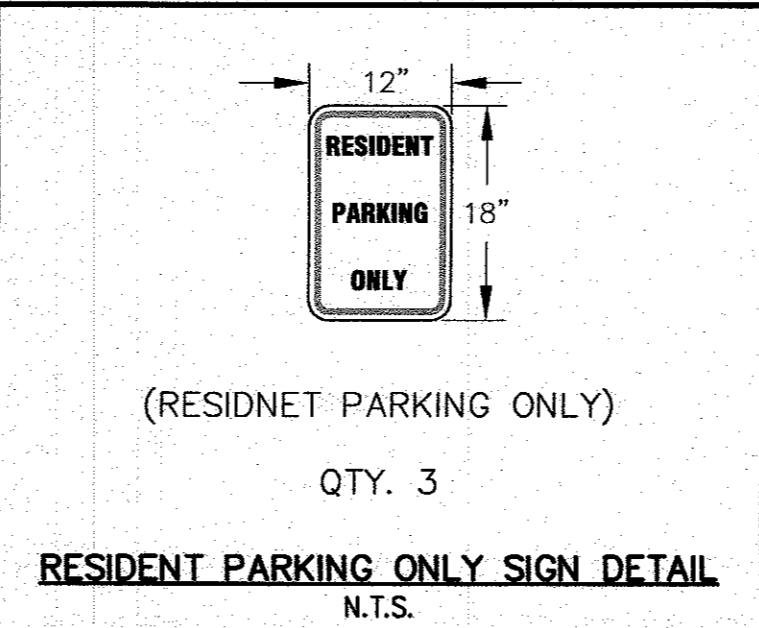
- IN GENERAL, THE PLANS ARE DIAGRAMMATIC AND ARE NOT INTENDED TO SHOW EVERY FITTING, CHANGE IN DIRECTION OR DETAIL OF CONSTRUCTION.
- THE LOCATION OF UTILITIES WERE OBTAINED FROM VARIOUS SOURCES OF INFORMATION. THE EXACT LOCATION AND COMPLETENESS IS NOT GUARANTEED. THE CONTRACTOR MUST NOTIFY DIG SAFE PRIOR TO THE START OF CONSTRUCTION (1-888-DIG-SAFE OR 811). G.A.F. ENGINEERING, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE SAFETY OF PERSONNEL AND PROTECTION OF PROPERTY AT THE SITE OR ADJACENT THERETO INCLUDING TREES, SHRUBS, LAWNS, PAVEMENTS, ROADWAYS, STRUCTURES AND UNDERGROUND UTILITIES NOT DESIGNED FOR REMOVAL, RELOCATION, OR REPLACEMENT.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION REQUIRED FOR THE INSTALLATION OF THIS WORK.
- ALL MATERIALS SHALL BE NEW AND FREE FROM DEFECTS AND OF GOOD QUALITY.
- THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM THE ACCUMULATION OF WASTE MATERIAL AND OTHER DEBRIS RESULTING FROM THIS WORK.
- ALL PAVEMENT MARKINGS DISTURBED BY CONSTRUCTION SHALL BE RESTORED AS PART OF THIS WORK.
- THE CONTRACTOR SHALL INSTITUTE ALL SAFETY MEASURES NECESSARY TO PROTECT THE PUBLIC SAFETY. THIS SHALL INCLUDE, BUT NOT LIMITED TO, BARRICADES, SIGNS, LIGHTING, FENCES, POLICE DETAILS, AND ANY OTHER MEANS AS DIRECTED. NO TRENCHES ARE TO REMAIN OPEN OVERNIGHT.
- ELEVATIONS ARE IN FEET AND TENTHS AND ARE BASED ON THE DATUM OF NAVD-88.
- ALL SEWER AND PLUMBING WORK SHALL CONFORM WITH 248 CMR 10.00 UNIFORM STATE PLUMBING CODE AND THE TOWN OF WAREHAM SEWER DEPARTMENTS SPECIFICATIONS.
- ALL METHODS AND MATERIALS SHALL CONFORM WITH MASSDOT STANDARDS AND SPECIFICATIONS, AND THE REQUIREMENTS OF THE TOWN OF WAREHAM MUNICIPAL MAINTENANCE DEPARTMENT.
- ALL UTILITY INSTALLATIONS SHALL BE IN CONFORMANCE WITH ALL APPLICABLE TOWN, STATE AND FEDERAL REQUIREMENTS & REGULATIONS.

DRAINAGE INSTALLATION NOTES:

- ALL DRAINAGE PIPES, UNLESS OTHERWISE NOTED, ARE TO BE ADS N-12 PIPE WITH SOIL TIGHT JOINTS AND FITTINGS. REFER TO PLAN FOR LOCATION, SIZES AND SLOPES.
- ALL ROOF DRAIN PIPES, UNLESS OTHERWISE NOTED, ARE TO BE 6" ADS N-12 PIPE WITH SOIL TIGHT JOINTS AND FITTINGS. MINIMUM SLOPE TO BE 1.00%. REFER TO PLAN FOR LOCATIONS.
- MINIMUM COVER ON PIPES SHALL NOT BE LESS THAN 1.5 FEET.
- ALL WORK AND MATERIAL SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF WAREHAM MUNICIPAL MAINTENANCE DEPARTMENT.

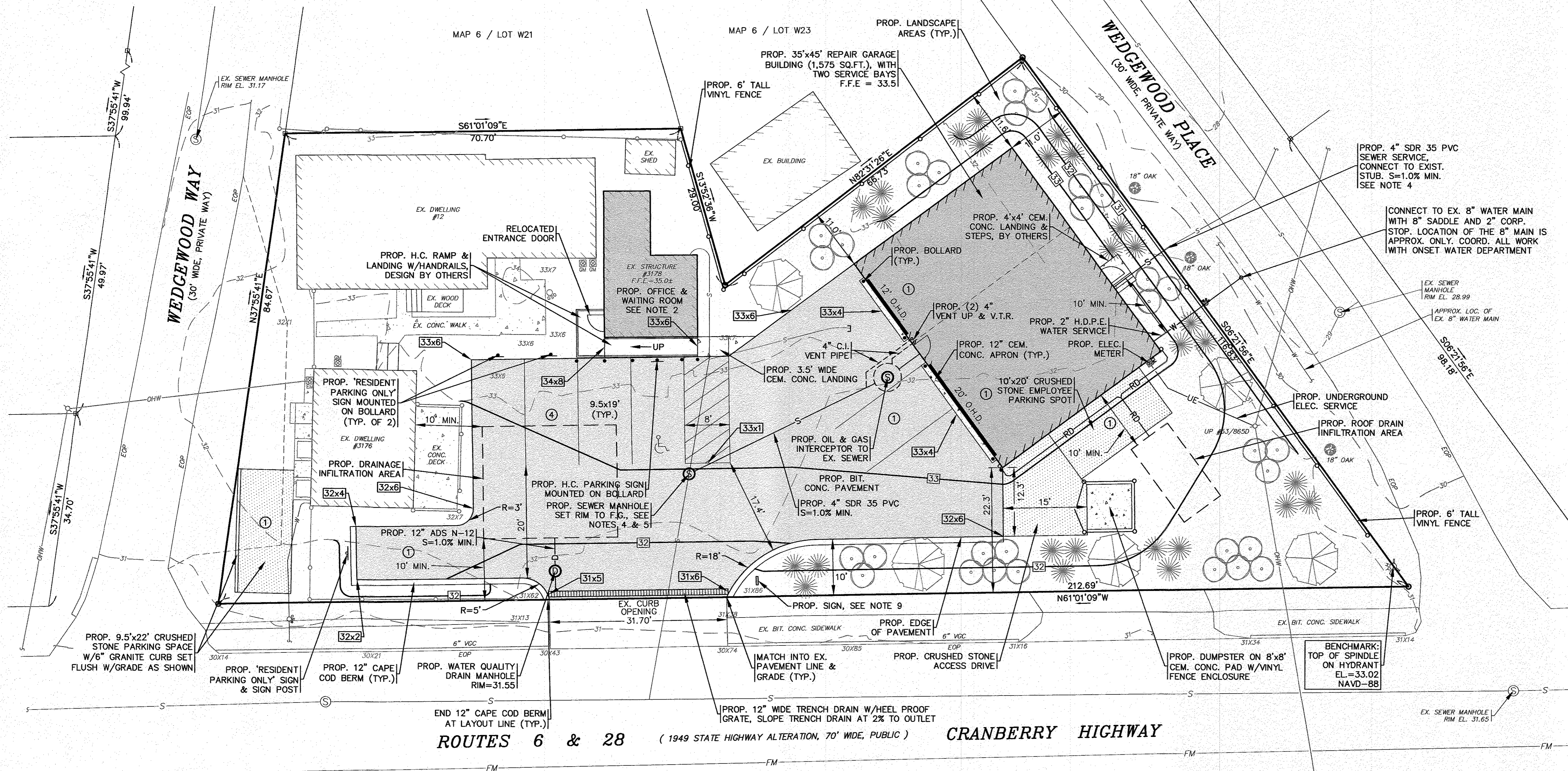
WATER INSTALLATION NOTES:

- ALL WATER MAINS, SERVICES, GATE VALVES/GATE BOX, CURB STOPS, HYDRANTS, FITTINGS, ETC. & METHOD OF INSTALLATION SHALL CONFORM TO THE ONSET FIRE DISTRICT AND ONSET WATER DEPARTMENTS RULES & REGULATIONS.
- WATER SERVICE SHALL BE PRESSURE TESTED, FLUSHED & DISINFECTED IN ACCORDANCE WITH THE ONSET FIRE DISTRICT AND ONSET WATER DEPARTMENTS REQUIREMENTS.
- CONTRACTOR TO COORDINATE WITH THE ONSET FIRE DISTRICT AND ONSET WATER DEPARTMENT FOR THE INSPECTIONS OF THE WATER MAIN INSTALLATION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS TO COMPLETE THE INSTALLATION OF THE WATER SERVICE.
- THE CONTRACTOR SHALL OBTAIN A COPY OF THE "ONSET FIRE DISTRICT, WATER DEPARTMENT GENERAL PROCEDURES, CONSTRUCTION SPECIFICATIONS & MATERIAL SPECIFICATIONS" FROM THE ONSET WATER DEPARTMENT BEFORE PROCEEDING WITH THE INSTALLATION OF THE WATER SERVICE.
- ALL WATER SERVICE LINES SHALL BE INSTALLED A MINIMUM OF 10' FROM SEWER SERVICE LINES.



NOTES:

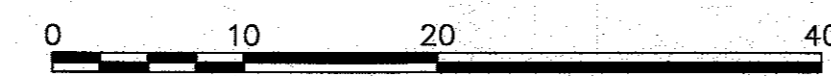
- REFER TO ARCHITECTURAL PLANS BY OTHERS FOR ALL PROPOSED BUILDING DIMENSIONS, CONSTRUCTION NOTES AND DETAILS. CONTRACTOR SHALL CONFIRM FINISHED FLOOR ELEVATION WITH OWNER PRIOR TO CONSTRUCTION.
- REFER TO ARCHITECTURAL PLANS BY OTHERS FOR COMPLETE LAYOUT AND CONSTRUCTION DETAILS ON RENOVATING EXISTING STRUCTURE #3178 INTO THE PROPOSED OFFICE AND WAITING ROOM.
- REFER TO ARCHITECTURAL PLANS BY OTHERS FOR PROPOSED HANDICAP RAMP & LANDING DIMENSIONS, CONSTRUCTION SPECIFICATIONS AND DETAILS. PROPOSED RAMP & LANDING SHALL BE PROVIDED WITH HANDRAILS PER ADA AND BUILDING CODE REGULATIONS. THE PROPOSED HANDICAP RAMP & LANDING SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ALL ADA REGULATIONS.
- ALL SEWER WORK SHALL BE DONE IN ACCORDANCE WITH THE TOWN OF WAREHAM SEWER COMMISSIONERS RULES AND REGULATIONS. CONFIRM SEWER CONNECTION LOCATION & ELEVATION PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL CONFIRM LOCATION, TYPE, SIZE AND ELEVATION OF EXISTING SEWER SERVICE PRIOR TO CONSTRUCTION. CONFIRM WITH WAREHAM SEWER DEPARTMENT AND ENGINEER.
- FINAL BUILDING SEWER INVERTS SHALL BE DETERMINED AT TIME OF CONSTRUCTION, CONTRACTOR SHALL COORDINATE WITH PLUMBER.
- CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANY FOR FINAL LOCATION AND ALL CONSTRUCTION DETAILS OF THE PROPOSED UTILITY SERVICE CONNECTION.
- THE FINAL LOCATIONS, DEPTHS AND CONSTRUCTION DETAILS OF THE PROPOSED UNDERGROUND ELECTRIC SERVICE AND ELECTRIC METER SHALL BE DETERMINED BY THE LOCAL UTILITY COMPANY. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY AND ELECTRICIAN PRIOR TO CONSTRUCTION.
- PROPOSED SIGN SHALL MEET ALL REQUIREMENTS OF SECTION 11 OF THE TOWN OF WAREHAM ZONING BYLAW, DESIGN BY OTHERS.
- LOAM AND SEED ALL DISTURBED AREAS.



ROUTES 6 & 28 (1949 STATE HIGHWAY ALTERATION, 70' WIDE, PUBLIC) CRANBERRY HIGHWAY

PROPOSED SITE IMPROVEMENTS PLAN

SCALE: 1" = 10'



PERMIT SET
(NOT FOR CONSTRUCTION)

CALCULATED LOT DATA:

- MAXIMUM BUILDING COVER: 40%
- PROPOSED BUILDING COVER: 25.1%
- MAXIMUM IMPERVIOUS COVER: 65%
- PROPOSED IMPERVIOUS COVER: 61.7%

REPAIR GARAGE PARKING DATA:

- REQUIRED:
1 SPACE PER 250 S.F. GFA
338 S.F./250 S.F.=2 SPACES
- 2 PARKING SPACES PER BAY
2 BAYS=4 PARKING SPACES
- TOTAL REQUIRED= 6 PARKING SPACES
- PROVIDED:
TOTAL PROVIDED= 6 PARKING SPACES

DATE: NOV. 29, 2022	APPROVED BY:	DATE: NOV. 29, 2022	DATE: NOV. 29, 2022
DRAWN BY: JH		JOB NO.: 21-9794	DATE: 3/6/23
CHECKED BY: WFM		SCALE: 1" = 10'	REV.
JOB NO.: 21-9794		DATE: 3/6/23	DATE: 3/6/23
G.A.F. ENGINEERING, INC. PROFESSIONAL ENGINEERS & LAND SURVEYORS 286 MAIN STREET - WAREHAM, MA 02571 TEL: (508) 295-6600 FAX: (508) 295-6634 E-MAIL: info@gafeng.com		PROPOSED IMPROVEMENTS SITE PLAN PREPARED FOR: RONY'S REALTY LLC 190 MT. PLEASANT STREET NEW BEDFORD, MA	DWG. NO.: 21-9794 2 OF 2