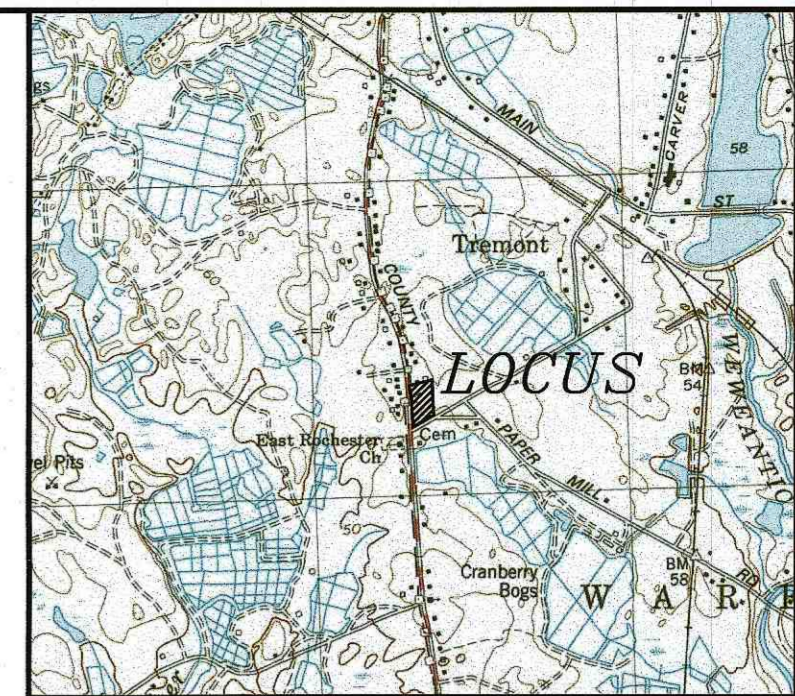


**NOTES:**

1. THE PURPOSE OF THIS PLAN IS TO DIVIDE EXISTING LOT 1037.A TO CREATE LOTS 1037.B AND 1037.C.
2. ALL LOTS SHOWN WILL BE SERVICED BY MUNICIPAL WATER AND ON SITE SOIL ABSORPTION SYSTEMS.
3. THERE ARE NO WETLANDS LOCATED ON EITHER LOT PER MASSGIS.
4. THE ROCHESTER ZONING BY-LAW REQUIRES LOTS TO HAVE 225 FEET OF FRONTAGE. LOT 1037.B HAS BEEN PROVIDED WITH A MINIMUM OF 225 FEET OF FRONTAGE AS A PORTION OF THE LOT FRONTAGE IS ON THE TOWN LINE.

**FLOOD ZONE DATA:**  
 THE PROJECT IS WITHIN FLOOD ZONE X. REFER TO THE F.E.M.A. FLOOD INSURANCE RATE MAP PANEL NUMBER 25023C0467K, DATED: JULY 6, 2021.

FOR REGISTRY USE ONLY



LOCUS MAP : SCALE 1" = 2000'

**LOT DATA:**  
 ASSESSORS MAP: 98 / LOT: 1037.A  
 ADDRESS: 738 COUNTY ROAD

OWNER:  
 ROBERT J. KRSTOFOLSKI SR.  
 738 COUNTY ROAD  
 WAREHAM, MA 02576

DEED REFERENCE: BOOK 52589, PAGE 199

**ZONING DATA:**  
 ZONE: MULTIPLE RESIDENCE 30 (MR-30)  
 MINIMUM LOT AREA: 30,000 S.F.  
 MINIMUM FRONTAGE: 150'  
 MINIMUM FRONT SETBACK: 20'  
 MINIMUM SIDE SETBACK: 10'  
 MINIMUM REAR SETBACK: 10'  
 MAXIMUM BUILDING HEIGHT: 35'  
 MAXIMUM BUILDING COVERAGE: 25%

"I CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS."  
 THE CERTIFICATION MADE HEREON IS INTENDED TO MEET THE REGISTRY OF DEEDS REQUIREMENTS AND IS NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE PROPERTY SHOWN.  
 ABUTTERS SHOWN ARE ACCORDING TO THE TOWN OF WAREHAM ASSESSORS RECORDS

APPROVED BY:  
  
 ROBERT A. BRAMAN, JR.  
 P.L.S. # 45850

TOWN OF WAREHAM  
 APPROVAL UNDER SUBDIVISION  
 CONTROL LAW NOT REQUIRED

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WAREHAM PLANNING BOARD

DATE \_\_\_\_\_

THIS ENDORSEMENT OF THE PLANNING BOARD SHOULD NOT BE CONSTRUED TO BE A DETERMINATION OF CONFORMANCE WITH ZONING REGULATIONS FOR ALL LOTS AFFECTED.

THIS ENDORSEMENT OF THE PLANNING BOARD SHOULD NOT BE CONSTRUED TO BE A DETERMINATION OF CONFORMANCE WITH THE WAREHAM ZONING BY-LAWS IN ACCORDANCE WITH DIVISION VI, ARTICLE I AND ITS IMPLEMENTING WETLANDS PROTECTION REGULATIONS AS WELL AS MASSACHUSETTS WETLAND PROTECTION ACT, M.G.L. CH. 131, §40 AND ITS IMPLEMENTING REGULATIONS, 310 CMR 10.00 FOR ALL LOTS AFFECTED.

THIS ENDORSEMENT OF THE PLANNING BOARD SHOULD NOT BE CONSTRUED TO BE A DETERMINATION OF CONFORMANCE WITH THE ZONING BY-LAWS RELATIVE TO IRREGULARLY SHAPED LOTS, UPLAND AREA, LOT WIDTH, OPEN SPACE AND LOT COVERAGE IN ACCORDANCE WITH ARTICLE 6, §615, ARTICLE 6, §612, ARTICLE 10, ARTICLE 6, §620 FOR ALL LOTS AFFECTED.

THIS ENDORSEMENT OF THE PLANNING BOARD SHOULD NOT BE CONSTRUED TO BE A DETERMINATION OF CONFORMANCE WITH THE EARTH REMOVAL REGULATIONS IN ACCORDANCE WITH DIVISION IV, ARTICLE III OF THE TOWN BY-LAWS FOR ALL LOTS AFFECTED.

DATE	BY	REV.	DESCRIPTION
6/14/22	RAB	1	FRONTAGE, AREAS
	BRG		
	APP'D		

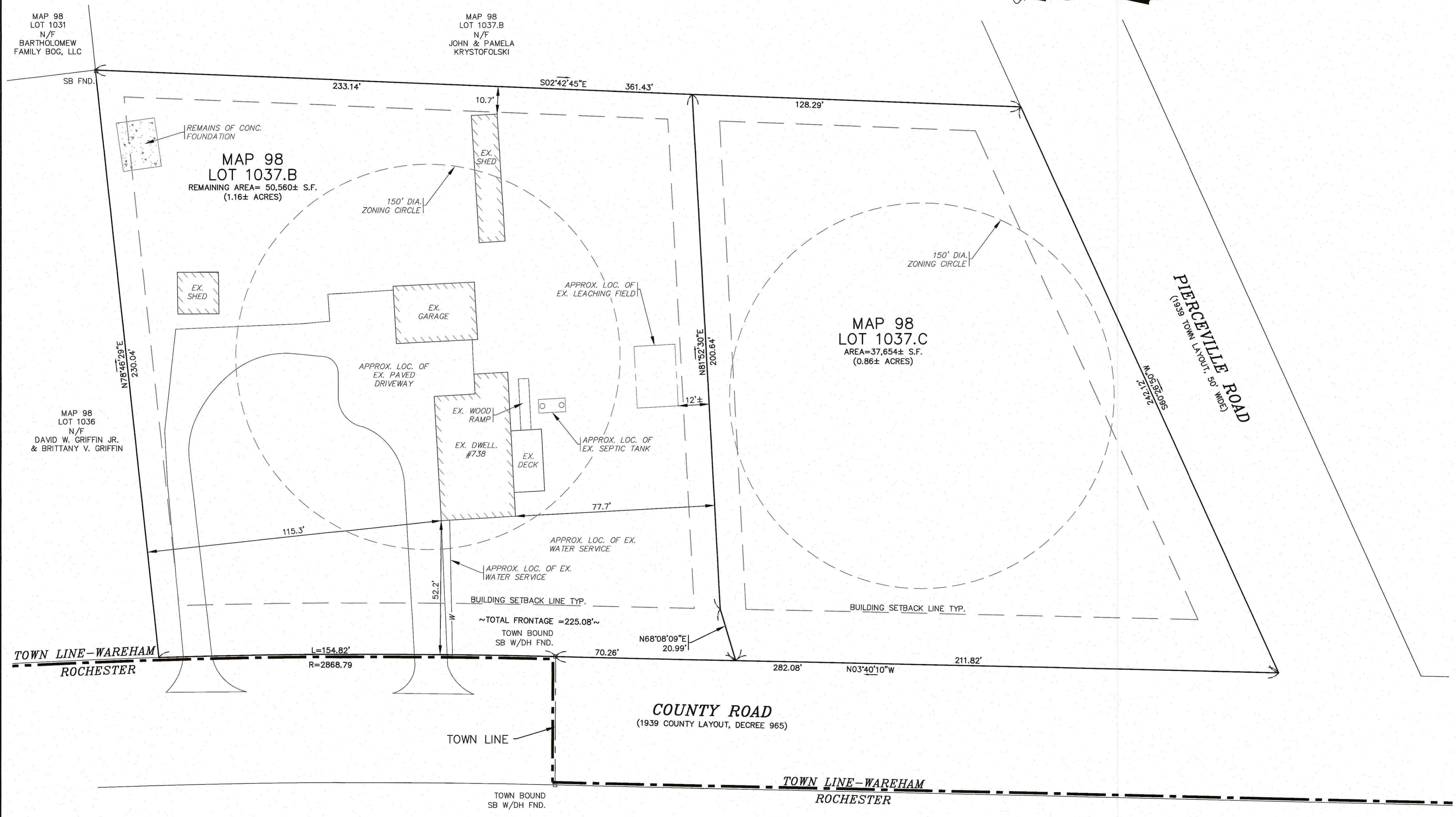
  

DATE: MAY 26, 2022	DRAWN BY: JMP	CHECKED BY: RAB	JOB NO.: 22-9845	SCALE: 1" = 20'
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APPROVAL NOT REQUIRED  
 PLAN OF LAND  
 WAREHAM, MA  
 PREPARED FOR:  
 ROBERT J. KRSTOFOLSKI, JR.  
 49 PIERCEVILLE ROAD  
 WAREHAM, MA

JOB NO.: 22-9845  
 DWG. 1 OF 1



**PLAN REFERENCE:**  
 REFER TO PLAN ENTITLED "PLAN OF LAND, PREPARED FOR ROBERT M. KRSTOFOLSKI & ROSEMARY KRSTOFOLSKI" PREPARED BY CHARLES L. ROWLEY & ASSOCIATES, DATED FEBRUARY 10, 1992, AND RECORDED IN THE PLYMOUTH COUNTY REGISTRY OF DEEDS PLAN BOOK 34, PAGE 1136.

