

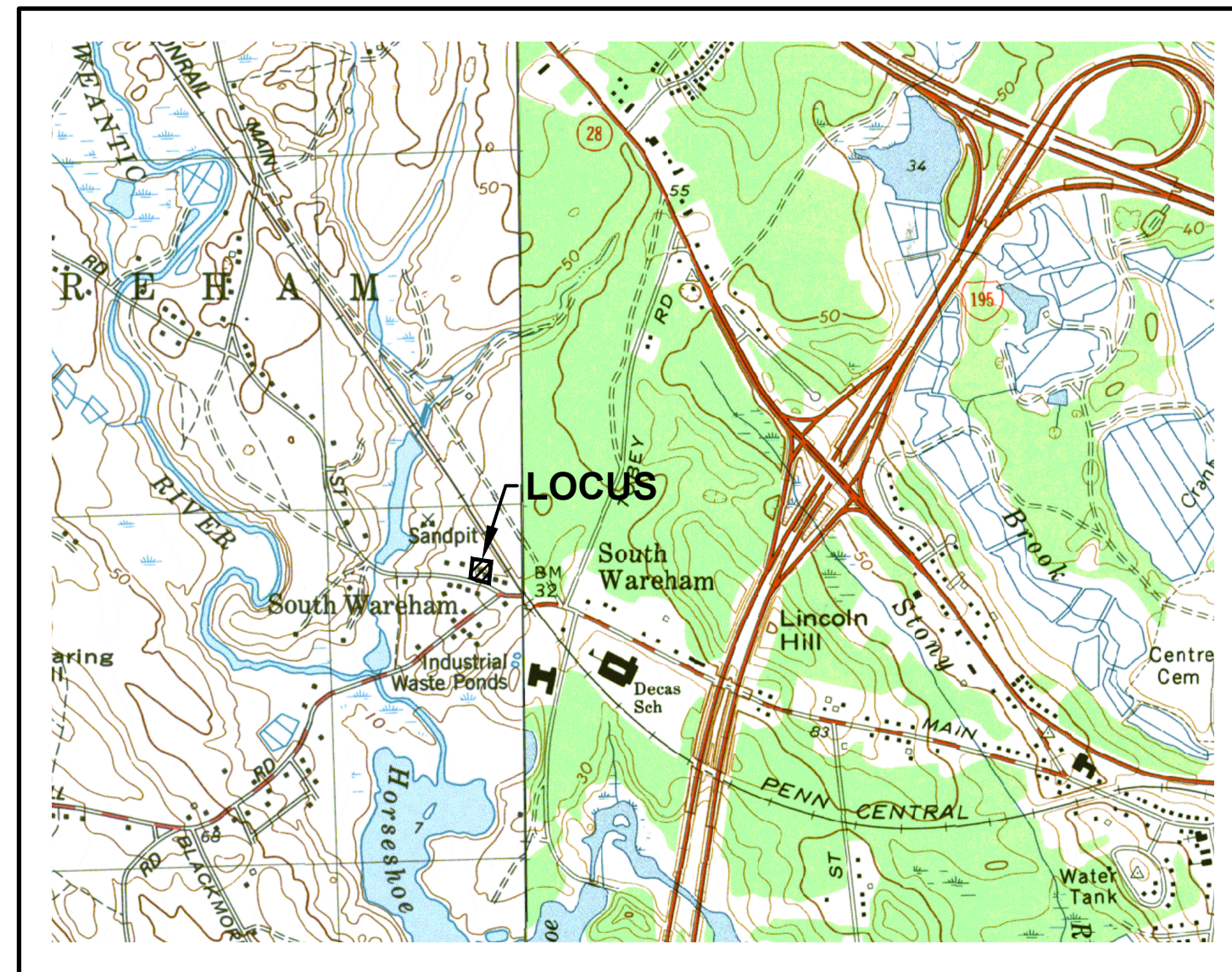
# SITE PLANS FOR 801 VILLAGE

LOCATED AT  
801 MAIN STREET  
WAREHAM, MASSACHUSETTS 02571

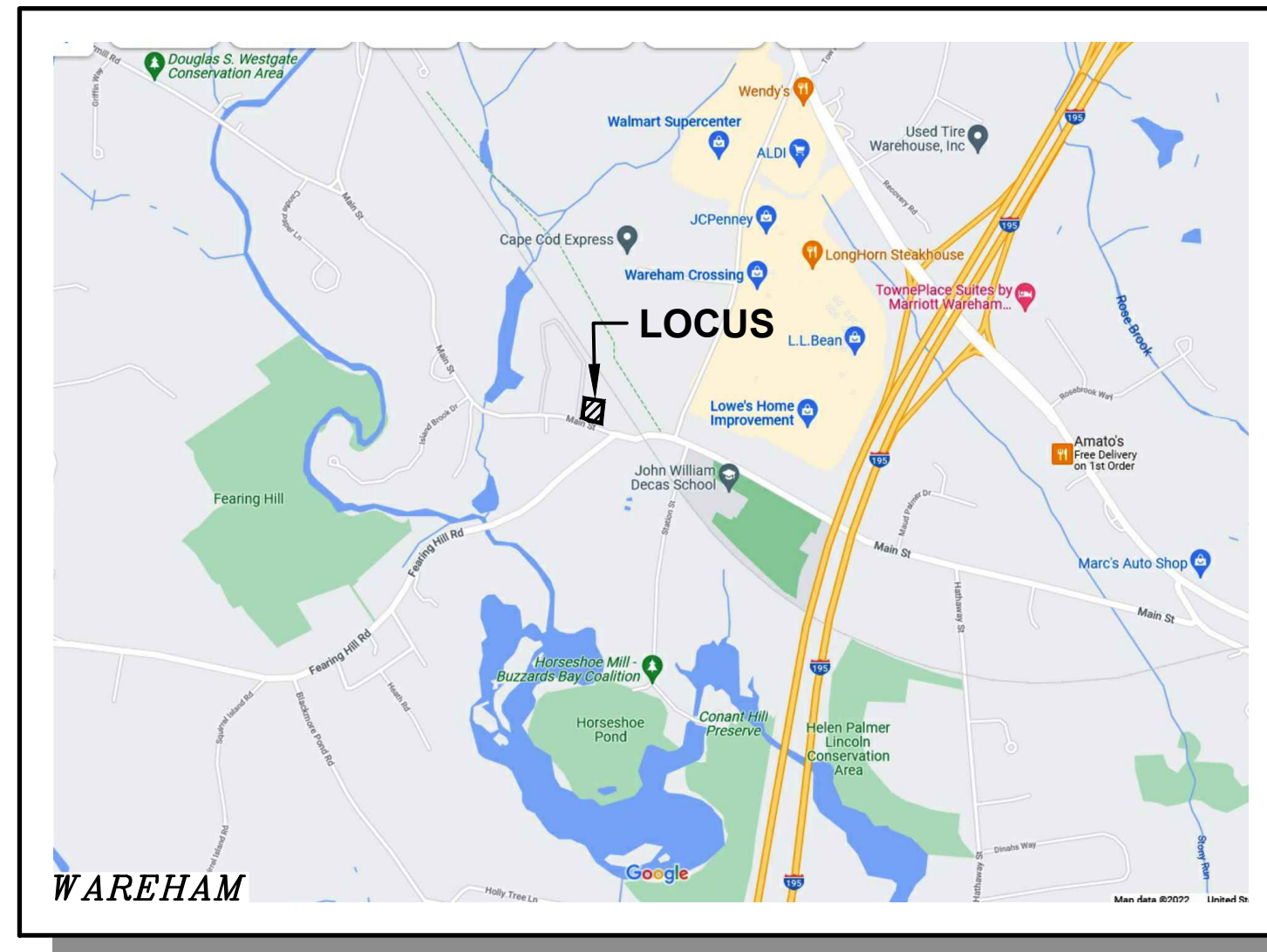
DATE: JUNE 30, 2022

REVISED: SEPTEMBER 23, 2022 PER TOWN COMMENTS

REVISED: OCTOBER 5, 2022



VICINITY MAP  
SCALE: 1" = 1,500'



LOCUS MAP  
SCALE: 1" = 1,500'



OVERALL LOCATION PLAN  
SCALE: 1" = 100'

INDEX OF PLANS		
SHEET NO.	TITLE	SCALE
1	COVER SHEET	1" = 100'
2	SITE PLAN	1" = 20'
3	DETAILS PLAN	N.T.S.

**APPLICANT:**

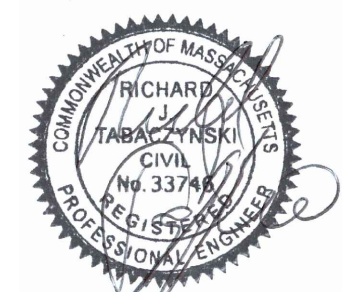
VILLAGES 801 MAIN STREET, LLC  
815 MAIN STREET – MGMT. OFFICE  
WAREHAM, MASSACHUSETTS 02571

**OWNER:**

VILLAGES 810 MAIN STREET, LLC  
15 FERNWOOD ROAD  
N. FALMOUTH, MASSACHUSETTS 02556

**ENGINEER:**

**Atlantic**<sup>®</sup>  
DESIGN ENGINEERS, INC.  
P.O. Box 1051, Sandwich, MA 02563  
(508) 888 – 9282



FILE: 3271.00-SITE-R2

Sheet	of
1	3
JOB NUMBER	
3271.00	



PROPOSED BUILDING/UNIT TABULATION								
BUILDING TYPE	STORIES	NUMBER OF BUILDINGS	NUMBER OF UNITS	NUMBER OF AFFORDABLE UNITS	BEDROOMS	HEIGHT	FLOOR AREA*	GROUND COVERAGE*
ATTACHED AND DETACHED CONDOMINIUM UNITS	2	5	8	7	3 - 1 BEDROOM 2 - 2 BEDROOM 3 - 3 BEDROOM TOTAL ON SITE=16	± 20 FT.	±1,232 SF 1 BEDROOM ±2,366 SF 2+3 BEDROOM ±2,212 SF EXISTING DWELLING ±1,511 SF CONVERTED BARN ±7,321 SF TOTAL SITE	±1,232 SF 1 BEDROOM ±1,183 SF 2+3 BEDROOM ±2,212 SF EXISTING DWELLING ±1,238 SF CONVERTED BARN ±5,865 SF TOTAL SITE

\*DOES NOT INCLUDE DECKS OR BASEMENTS OR ATTICS

SITE INFORMATION
TOTAL AREA OF DEVELOPMENT = 0.75± ACRES
TOTAL AREA OF WETLAND = N/A
TOTAL NUMBER OF UNITS = 8
NUMBER OF PARKING SPACES = 18

PROPOSED SITE/AREA SUMMARY
TOTAL SITE AREA = 0.75± ACRES
±20.0% OF SITE OCCUPIED BY BUILDINGS* AREA = 0.15± ACRES
±18.7% OF SITE OCCUPIED BY PAVED ROADWAY/DRIVEWAYS/SIDEWALK & DECK AREA = 0.14± ACRES
±61.3% OF SITE OCCUPIED BY WOODED/GRASSED/GRAVEL AREAS AREA = 0.46± ACRES

\*DOES NOT INCLUDE DECKS

PARKING REQUIREMENTS			
	AREA	REQUIRED	PROVIDED
DWELLING:			
2 SPACES/UNIT	8 UNIT	16.0 SPACES	18 SPACES
TOTAL:		16.0 SPACES	18 SPACES*

\*INCLUDES (1) HANDICAPPED ACCESSIBLE PARKING SPACE

DESIGN FORMULA: NO GARBAGE GRINDER ALLOWED WITH THIS DESIGN		
SYSTEM	REQUIRED	PROVIDED
DAILY FLOW: 16 BEDROOMS @ 110 GPD/BEDROOM	1760 GPD	
LEACHING AREA: (6) 65' x 2' LEACHING TRENCHES 2' EFFECTIVE DEPTH SIDEWALL: (2 x (2' x (65' + 2'))) x 6 BOTTOM: (65' x 2') x 6		1608 SF 780 SF 2388 SF
LEACHING CAPACITY: SIDEWALL: 1608 SF x 0.74 GAL/SF BOTTOM: 780 SF x 0.74 GAL/SF		1189.9 GPD 577.2 GPD 1767.1 GPD
SEPTIC TANK (2 COMPARTMENT): 1ST COMPARTMENT = 2 x DAILY FLOW 2ND COMPARTMENT = 1 x DAILY FLOW		3,520 GAL 1,760 GAL 5,280 GAL
TOTAL:	1760 GPD	1767.1 GPD

ZONING REQUIREMENTS TOWN OF WAREHAM ZONING BYLAWS; REVISED OCTOBER 9, 2019 MULTIPLE RESIDENCE 30 (MR-30)		
	REQUIRED	PROPOSED
MINIMUM LOT SIZE	30,000 SF	32,771 SF
MINIMUM LOT FRONTAGE	150 FEET	179 FEET
MINIMUM YARDS:		
FRONT YARD	20 FEET	14.7 FEET
SIDE YARD	10 FEET	11.2 FEET
REAR YARD	10 FEET	10.0 FEET
MAXIMUM BUILDING HEIGHT	35 FEET	35 FEET
MAXIMUM % OF LOT COVERED BY BUILDINGS	25%	20%
MAXIMUM % OF LOT COVERED BY IMPERVIOUS AREA	NR	NR
ACCESSORY BUILDINGS:		
FRONT YARD	*	*
SIDE YARD	10 FEET	N/A
REAR YARD	15 FEET	N/A
HEIGHT	20 FEET	N/A

\* FRONT SETBACKS OF ACCESSORY BUILDINGS SHALL BE EQUAL TO OR GREATER THAN THE EXISTING PRINCIPAL BUILDING'S FRONT SETBACK.

**A. Site Information**

Robert F. Kearnes  
Owner Name  
801 Main Street  
Street Address or Lot #  
Wareham  
City/Town  
David D. Coughanowr, ASE #461  
Contact Person (if different from Owner)

MA  
State  
02571  
Zip Code  
508 364-0894  
Telephone Number

**B. Test Results**

Observation Hole #	11/18/2021		11/18/2021	
	Date	Time	Date	Time
2	11:30 AM	11:30 AM	11:50 AM	11:50 AM
Depth of Perc	62 in		54 in	
Start Pre-Soak	0:00		0:00	
End Pre-Soak	5:31		8:20	
Time at 12"	n/a		n/a	
Time at 9"	n/a		n/a	
Time at 6"	n/a		n/a	
Time (9"-6")	n/a		n/a	
Rate (Min./Inch)	less than 2 mpi in C soils		less than 2 mpi in C soils	
Test Passed:	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	
Test Failed:	<input type="checkbox"/>		<input type="checkbox"/>	

David D. Coughanowr  
Test Performed By:  
Patrick MacDonald  
Witnessed By:

Deep Observation Hole Number: 2

Depth (in.)	Soil Horizon/Layer	Soil Matrix Color/Moist (Munsell)	Redoximorphic Features (mottles)			Soil Texture (USDA)		Coarse Fragments % by Volume		Soil Structure	Soil Consistence (Moist)	Other
			Depth	Color	Percent	Gravel	Cobbles & Stones					
0-12	Ap	10 YR 3/2				Loam						Friable
12-32	Bw	10 YR 4/6				Loamy Sand						Friable
32-84	C1	10 YR 5/4				Med-Css Sand						Loose
84-120	C2	10 YR 6/3				Medium Sand						Loose

Deep Observation Hole Number: 4

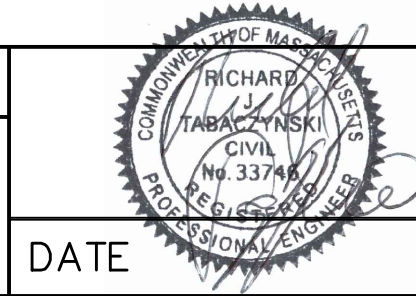
Depth (in.)	Soil Horizon/Layer	Soil Matrix Color/Moist (Munsell)	Redoximorphic Features (mottles)			Soil Texture (USDA)		Coarse Fragments % by Volume		Soil Structure	Soil Consistence (Moist)	Other
			Depth	Color	Percent	Gravel	Cobbles & Stones					
0-10	Ap	10 YR 2/2				Loam						Friable
10-30	Bw	10 YR 4/6				Loamy Sand						Friable
30-80	C1	10 YR 6/4				Medium Sand						Loose
80-120	C2	10 YR 6/3				Medium Sand						Loose

- GENERAL NOTES:**
- OWNER OF RECORD: VILLAGES 810 MAIN STREET, LLC  
15 FERNWOOD ROAD  
N. FALMOUTH, MASSACHUSETTS 02556  
BOOK 56106 PAGE 264
  - THE SUBJECT PROPERTY IS IDENTIFIED AS LOT 1011-A, ON THE TOWN OF WAREHAM ASSESSOR MAP 88. TOTAL LAND AREA IS 0.75± ACRES.
  - BASED UPON A REVIEW OF THE TOWN OF WAREHAM ZONING MAP AND PROPERTY CARDS, THE SUBJECT PROPERTY LIES WITHIN THE MULTIPLE RESIDENCE 30 (MR-30) DISTRICT AND DOES NOT LIE WITHIN ANY OVERLAY DISTRICTS.
  - THE PROPERTY LINES SHOWN HEREON, ARE BASED UPON PLAN ENTITLED "APPROVAL NOT REQUIRED PLAN OF LAND AT 801 MAIN STREET, WAREHAM, MA" PREPARED BY JC ENGINEERING, INC. DATED AUGUST 21, 2018, RECORDED AT THE PLYMOUTH COUNTY REGISTRY OF DEEDS IN PLAN BOOK 63, PAGE 63, DEEDS OF RECORD AND A FIELD SURVEY BY ATLANTIC DESIGN ENGINEERS IN JANUARY AND FEBRUARY OF 2022 AND ARE BASED UPON THE NORTH AMERICAN DATUM OF 1983 (NAD83).
  - EXISTING CONDITIONS DEPICTED HEREON ARE BASED FIELD SURVEYS BY ATLANTIC DESIGN ENGINEERS IN JANUARY AND FEBRUARY OF 2022. ELEVATIONS ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
  - THE PROPERTY LIES WITHIN A FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) BASED UPON A REVIEW OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 25023C0469K, DATED JULY 6, 2021.
  - THE PROPERTY IS NOT LOCATED WITHIN A ZONE II OR AN INTERIM WELLHEAD PROTECTION AREA BASED UPON A REVIEW OF THE MASSACHUSETTS GEOGRAPHIC INFORMATION SYSTEM AND TOWN ZONING MAP.
  - THE PROPERTY DOES NOT LIE WITHIN AN ESTIMATED HABITAT OF RARE WILDLIFE AND/OR A PRIORITY HABITAT OF RARE SPECIES BASED UPON A REVIEW OF THE NATURAL HERITAGE AND ENDANGERED SPECIES PROGRAM MAPS OBSERVED ON THE MASSACHUSETTS GEOGRAPHIC INFORMATION SYSTEM.
  - THE PROPERTY DOES NOT LIE WITHIN AN AREA OF CRITICAL ENVIRONMENTAL CONCERN (ACEC) BASED UPON A REVIEW OF THE MASSACHUSETTS GEOGRAPHIC INFORMATION SYSTEM.
  - ALL UNITS TO BE SERVED BY TOWN WATER AND A COMMON ON-SITE SEPTIC SYSTEM.

**Atlantic** DESIGN ENGINEERS, INC.  
P.O. Box 1051, Sandwich, MA 02563 (508) 888 - 9282

Designed by: \_\_\_\_\_  
 Drawn by: \_\_\_\_\_  
 Checked by: \_\_\_\_\_  
 Survey chk. by: \_\_\_\_\_  
 Approved by: \_\_\_\_\_

SCALE  
SCALE 1" = 20'  
0 5 10 20 40



NO.	BY	DATE	REVISION
1	BR	10/5/22	PER TOWN COMMENTS
2	BR	9/23/22	PER TOWN COMMENTS

APPLICANT:  
VILLAGES 801 MAIN STREET, LLC  
815 MAIN STREET - MGMT. OFFICE  
WAREHAM, MASSACHUSETT 02571

SITE PLAN  
OF  
801 VILLAGE  
WAREHAM, MASSACHUSETTS  
JUNE 30, 2022

Sheet of  
2 3  
JOB NUMBER  
3271.00

FILE: 3271.00-SITE-R2

**WATER SYSTEM NOTES:**

1. A DUAL SPRING CHECK VALVE BACKFLOW DEVICE IS REQUIRED ON EACH RESIDENTIAL DOMESTIC SERVICE.
2. A TESTABLE DUAL CHECK VALVE ASSEMBLY (DCVA) OR REDUCED BACK PRESSURE-ZONE (RPZ) BACKFLOW PROTECTION DEVICE IS REQUIRED ON EACH COMMERCIAL/BUSINESS BUILDING AND ALL PROPOSED NEW FIRE SPRINKLER CONNECTIONS, TYPE REQUIRED DEVICE INSTALLED WILL BE DEPENDENT UPON THE POTENTIAL HAZARDS AT EACH LOCATION.
3. ALL RPZ DEVICES MUST INCLUDE THE INSTALLATION OF A MEANS TO CATCH WATER AND PROPERLY DIVERT THAT WATER TO A FLOOR DRAIN OR OTHER DESIGNATED LOCATION FROM THE BOTTOM OF THE DEVICE. THIS IS REQUIRED FOR ROUTINE TESTING PROCEDURES AND FOR CONTROL OF WATER WITHIN THE FACILITY.
4. ALL NEW WATER INFRASTRUCTURE INSTALLATIONS SHALL COMPLY WITH THE WAREHAM FIRE DISTRICT RULES & REGULATIONS **ADOPTED FEBRUARY 11, 2002 UPDATED MARCH 2022**. DOCUMENT CAN BE FOUND AT [HTTP://WWW.WAREHAMFIREDISTRICT.ORG/](http://www.warehamfire.org)
5. PLEASE NOTE THE FOLLOWING SECTION OF THE WFD RULES AND REGULATIONS: SECTION 4.0 - WATER MAIN MATERIALS

ALL WATER MAIN MATERIALS USED WITHIN THE WFD SYSTEM SHALL CONFORM TO ANSI/AWWA STANDARDS, AND WHERE APPLICABLE, HAVE NATIONAL SANITARY FOUNDATION APPROVAL. ALL MATERIAL MUST BE INSTALLED AS TO HAVE NO LEAKAGE UNDER 150 POUNDS HYDROSTATIC PRESSURE. IN GENERAL, THE WFD HAS STANDARDIZED ON LEAD-FREE MATERIALS AND DUCTILE IRON FOR PIPE AND FITTINGS. CAST IRON FITTINGS SHALL NOT BE ACCEPTED.

PIPE: ALL WATER MAIN PIPE SHALL BE BURIED AT A DEPTH OF NO LESS THAN 4.5 FEET AND NOT MORE THAN 6 FEET DEEP AND CONFORM TO ONE OF THE FOLLOWING STANDARDS:

A) DISTRICT OWNED WATER MAINS: CLASS 52 (OR BETTER) OR PRESSURE CLASS 350 NORTH AMERICAN MADE CEMENT LINED DUCTILE IRON PIPE.

i. PIPES WILL BE MANUFACTURED BY MCWANE DUCTILE, US PIPE, AMERICAN PIPE, OR APPROVED EQUAL.

ii. PIPE SHALL MEET THE LATEST REVISION OF THE FOLLOWING STANDARDS:

ANSI/AWWA C104/A21.4 CEMENT - MORTAR LININGS ANSI/AWWA C105-A21.5 POLYETHYLENE ENCASEMENT FOR DUCTILE IRON PIPE ANSI/AWWA C110/ A21.10 DUCTILE-IRON AND GREY-IRON FITTINGS, 3 INCH THROUGH 48 INCH FOR WATER ANSI/AWWA C111/A21.11 RUBBER - GASKET JOINTS ANSI/AWWA C115/A21.15 FLANGED PIPE ANSI/AWWA C150/A21.50 DESIGN ANSI/AWWA C151/A21.51 WATER PIPE ANSI/AWWA C153/A21.53 FITTINGS - DUCTILE IRON ANSI/AWWA C600 INSTALLATION

iii. ALL PRODUCTS SHALL BE CONSTRUCTED OF DUCTILE IRON. CAST IRON PRODUCTS ARE ONLY ACCEPTABLE IF WRITTEN PERMISSION IS PROVIDED BY THE WFD.

iv. EXTERIOR OF PIPE SHALL BE PROVIDED WITH ZINC COATING AS FOLLOWS:

- 1) CONSISTS OF A LAYER OF ARC APPLIED OR PAINT APPLIED, 99.99% PURE ZINC COATING HAVING A MASS OF 200G/M<sup>2</sup>
- 2) HAS A FINISH LAYER OF STANDARD SHOP APPLIED BITUMINOUS PAINT IN ACCORDANCE WITH AWWA C-104.
- 3) PIPE MARKINGS SHALL INCLUDE THE WORD "ZINC" IN THE PIPE MARKINGS OR LABEL REQUIRED BY A WW A C-151 AND/OR OTHER MARKINGS AS DEEMED APPROPRIATE BY THE MANUFACTURER.
- 4) SHALL COMPLY WITH ALL APPLICABLE PARTS OF ISO 8179 FOR ZINC COATINGS.
- 5) MINOR SCRATCHES IN THE ZINC COATING WILL NOT NEED TO BE REPAIRED DUE TO THE SELF-HEALING NATURE OF ZINC COATINGS BUT LARGER AREAS SHALL BE REPAIRED BY FIELD APPLICATION OF A ZINC RICH PAINT IN ACCORDANCE WITH ISO 8179.

B) PRIVATE OWNED MAINS - BEYOND DISTRICT OWNED GATE VALVES: MATERIAL LISTED IN PARAGRAPH A) ABOVE OR ii. C-900 DR-14 PVC (PERMITTED ONLY BEYOND DISTRICT OWNED GATE VALVES) i. WHERE ORGANIC CONTAMINANTS EXIST (E.G. PETROLEUM) IN THE SOIL THAT ARE NOT COMPATIBLE PROVIDING SAFE WATER WITH PVC PIPE, PVC PIPE SHALL NOT BE USED. IN SUCH SITUATIONS ONLY DUCTILE IRON PIPE SHALL BE ACCEPTABLE. iii. FITTINGS SHALL BE DUCTILE IRON.

C) PIPE LAYING CONDITIONS: PIPE LAYING CONDITIONS SHALL BE TYPE 5 (TABLE 1).

D) RESTRAINING SYSTEM: ALL PIPES SHALL BE RESTRAINED. RESTRAINTS SHALL BE PROVIDED BY SURE STOP 350 GASKETS (GRIPPER) FOR SIZES 3 INCH TO 24 INCHES IN DIAMETER AND TR FLEX OVER 24 INCHES IN DIAMETER OR EQUAL BY APPROVED MANUFACTURERS (FIELD LOK 350, FAST GRIP). WHERE SOIL IS BELIEVED TO PROVIDE THE NECESSARY FRICTION FOR RESTRAINT, PERMISSION SHALL BE OBTAINED BY THE WFD IN WRITING AND CALCULATIONS BY CERTIFIED BY A PROFESSIONAL ENGINEER IN THE STATE OF MASSACHUSETTS SHALL BE PROVIDED. THRUST BLOCKS OR MECHANICAL JOINT RESTRAINTS CAN BE PROVIDED AS DESCRIBED BELOW ARE ACCEPTABLE ALTERNATIVES WHERE APPROPRIATE.

6. ALL HYDRANTS SHALL BE MUELLER SUPER CENTURION TRAFFIC MODEL HYDRANTS. HYDRANTS SHALL HAVE A GATE VALVE ATTACHED TO AN ANCHORING TEE. ALL HYDRANTS AND ALL GATE VALVES SHALL BE OPEN-LEFT.
7. IF NEEDED THE DEVELOPER SHALL PROVIDE WFDWD WITH FIXTURE COUNT CALCULATION PER 248 CMR 10.14(4), AND AWWA-M22 TO VALIDATE SERVICE LINE AND SIZING OF THE DOMESTIC SERVICE WATER METER SHALL BE ADEQUATE.

