



10 New Driftway
P.O. Box 92
Scituate, MA 02066
(781) 545-0895

*Registered Professional Engineers,
Project Managers & Environmental Consultants*

April 18, 2023
Revised May 18, 2023

Wareham Zoning Board – Town Hall
54 Marion Road
Wareham, MA 02571

Re: Site Plan Review and Special Permit Applications
Applicant: Town Fair Tire, c/o John Wypychoski
2991-I Cranberry Highway, Wareham, MA (Cranberry Plaza)

Dear Chair Elkallassi and Members of the Board

On behalf of Town Fair Tire, Morse Engineering Company (MEC) hereby submits Site Plan Review and Special Permit Applications for Unit-I at Cranberry Plaza.

Cranberry plaza is a shopping center located at 2991 Cranberry Highway, Wareham. Unit I is currently vacant and located between East Wareham Liquors and Delken Professional Dry Cleaners and Laundromat. The unit is approximately 6208 s.f., and was previously occupied by Olympia Sports.

The “retail” use is allowed by right in the Wareham Commercial Strip zoning district. The “motor vehicle service” use is allowed by Special Permit from the Board of Appeals.

The following was included with the original submittal on April 18, 2023:

- Proposed Site Plan by MEC dated April 14, 2023.
- Architectural Plans by Architect Andrew C Milliken dated January 25, 2023
- Planning Board Tax Verification Form
- Application for Site Plan Review
- List of Abutters
- Site Plan Review Checklist
- Site Plan Review Application Checklist
- Town of Wareham ANR/Subdivision/Site Plan Review Form
- Site Plan Review Fee - \$750.00
- Peer Review Fee - \$2,150.00
- Legal Advertisement Fee – \$150.00 (Morse Check #3428)
- Abutter Notice Fee - \$241.50 (Morse Check #3429)

The following additional information associated with a Special Permit Application for the motor vehicle service use is submitted herewith:

- Proposed Site Plan by MEC revised May 18, 2023
- Special Permit Application.
- Building Inspector Denial
- Locus Deed
- Special Permit Fee – \$750.00 (Morse Check #3503)

Exterior improvements to the front of the building, include a new gable and sign, and new front entry doors. Exterior improvements to the rear, include overhead and pedestrian doors, a covered enclosure for tires and dumpsters, and an oil water separator for floor drains.

There will be no adverse impact to Town services and the welfare of the community because Town Fair Tire's needs will be similar to those of the previous tenant. The property is serviced by municipal water and sewer, and similar flows are anticipated. Fire and police demands will also be similar. And there will be no impact on schools and parks.

A Parking Summary included on the Site Plan calculates that 33 parking spaces are required for the retail and service bay uses. The Site Plan depicts ample existing parking within the front parking lot, as well as several queue spaces behind the building. The existing roadway, driveway and parking adequately services the unit.

There will be no impact on the ecology of the area because all work is proposed within existing impervious developed areas. Tires and dumpsters will be located within a covered area enclosed with a stockade fence. Floor drains will be directed to a proposed oil and water separator.

If you have any questions, please do not hesitate to call.

Very truly yours,

MORSE ENGINEERING COMPANY, INC.



Jeffrey M. Hassett, P.E.

Cc: Owner/Applicant

TOWN OF WAREHAM
ZONING BOARD OF APPEALS

APPLICATION FOR A PUBLIC HEARING FOR A VARIANCE/SPECIAL PERMIT

Certain uses are allowed in several zoning districts only by means of a Variance and/or Special Permit from the Zoning Board of Appeals. Those uses are indicated in the Wareham Zoning By-Laws. To apply for a Variance/Special Permit from the Zoning Board of Appeals, please do the following:

- o Complete this form.
- o Complete information packets. (Directions attached)
- o Submit application form and packet to Town Clerk for signature.
- o Submit application form and packet to Town Collector for signature.
- o Submit completed form, packets, and appropriate fees** to the Zoning Board of Appeals secretary.

**Permits may be issued only after a public hearing. There is a filing fee of \$300.00 per lot, per application for all non-conforming residential lots, whether built upon or not. There is a filing fee of \$750.00 per lot, per application for all commercial applications. In the case of a multi-family development, the fee is \$300.00 plus an additional \$50.00 for every unit over two (2). Please make check payable to the Town of Wareham.

**A check to cover two (2) legal advertisements for the public hearing should be made payable to Wareham Week in the amount of \$100.00.

**The applicant will also be responsible for the costs of sending out abutter notifications by Certified Mail. The cost is \$6.90 per certified letter to each abutter. Please see Zoning Board secretary for cost of mailings. Please make check payable to the Town of Wareham.

I hereby apply for a Variance/Special Permit for a use to be made of the following described place:

STREET & NUMBER: 2991-I Cranberry Highway LOT: 15 MAP: C
ZONING DISTRICT: Commercial Strip
USE REQUESTED: Town Fair Tire: Retail & Motor Vehicle Service (Special Permit)
OWNER OF LAND & BUILDING: TRT Wareham, LLC TEL.# 781-418-6203
ADDRESS OF OWNER: 3520 Piedmont Road Northeast, Suite 410, Atlanta, GA 30305
PERSON(S) WHO WILL UTILIZE PERMIT: Town Fair Tire c/o John Wypychoski
ADDRESS: 460 Coe Avenue, East Haven, CT 06511
DATE: 5/15/2023 SIGNATURE: *John Wypychoski for Town Fair Tire*
This application was received on the date stamped here:

Town Clerk: _____ Date: _____
Tax Collector: See attached Date: _____
Planning/Zoning Dept.: Vincent Raposo Date: 6/1/23
Application fee paid: 750.00 Check #: 3503 Receipt: _____
Advertising fee paid: 150.00 Check #: 3428 Receipt: _____
Abutters fee paid: 241.50 Check #: 3429 Receipt: _____

WAREHAM TOWN CLERK
2023 JUN 5 PM3:37

TOWN OF WAREHAM

APPLICANT/CONTRACTOR/REPRESENTATIVE INFORMATION SHEET

Check One: Variance Special Permit Site Plan Appeal

Date stamped in: _____ Date decision is due _____

Applicant's Name: Town Fair Tire c/o John Wypychoski

Applicant's Address: 460 Coe Ave, East Haven, CT 06511

Telephone Number: 800-972-2245

Cell Phone Number: 203-641-2502

Email Address: JWypychoski@townfairtire.com

Address of Property/Project: 2991-I Cranberry Highway, Wareham (Cranberry Plaza)

Landowner's Name: TRT Wareham, LLC c/o Alicia Busconi

Owner's Address: 3520 Piedmont Road Northeast, Suite 410, Atlanta, GA 30305

Telephone Number: 781-418-6203

Contact Person: Morse Engineering, Jeff Hassett, P.E. Telephone Number: 781-545-0895

Map 15 Lot C Zone Commercial Strip

Date Approved _____ Date Denied _____

Comments: _____



TOWN of WAREHAM

Massachusetts

BUILDING DEPARTMENT

Paul Turner
Director of Inspectional Services

May 17, 2023

Mr. John Wypychoski
460 Coe Avenue
East Haven, Connecticut 06251

RE: 2991 Cranberry Highway / Map 15, Lot C

Mr. Wypychoski,

I have reviewed your Building Permit application B-23-300, submitted May 15, 2023 to perform a tenant fit out for a Town Fair Tire shop located at 2991 Cranberry Highway, Wareham, Massachusetts. At this time I must deny your request.

Your application is being denied under the following sections of the Wareham Zoning By-Laws:

Article 3: Use Regulations;

**320 Table of Principal Use Regulations, CS,
Commercial Uses, Motor vehicle service.**

Motor Vehicle Service is not an allowed Use in the Commercial Strip Zone, therefore a **Special Permit** will need to be secured from the Zoning Board of Appeals.

Article 15: Site Plan Review;

1520 Applicability.

Any new development expansion, or change of use other than a single family or two family residence which would, under the parking schedule "Number of Parking Spaces Required" of section 920, require ten (10) or more parking spaces, regardless of the number of parking spaces on the premises, shall be permitted only upon the issuance of a **Special Permit** from the Planning Board for Site Plan Review.

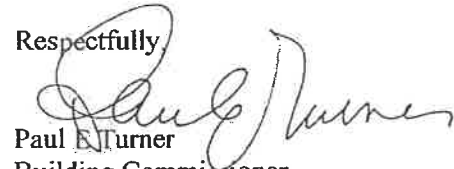
The Special Permit Granting Authority (SPGA) under Section 1510 Of this By-Law shall be the Planning Board provided, however, that where the applicable development requires a Special Permit, Comprehensive Permit or Variance from the Board of Appeals, the SPGA under Section 1510 of this By-Law shall be the Board of Appeals.

The change of use, Motor Vehicle Service is requiring five (5) parking spots per service bay and the added spaces for queue accommodations generates more than ten new parking spots, therefore site plan review will be required.

Therefore, a **Special Permit** must be secured from the Zoning Board of Appeals in order to proceed with your application.

The subject dwelling is located in CS zoning district.

Respectfully



Paul E. Turner
Building Commissioner
Zoning Enforcement Officer

It is the owners' responsibility to check with other departments to ensure full compliance.

In accordance with the provisions of MGL chapter 40A §§ 15, you may apply to the Zoning Board of Appeals for the above noted relief within thirty (30) days of receipt of this letter.

QUITCLAIM DEED

TEDESCHI DARMAN COMPANY LLC, a Massachusetts limited liability company, having an address at 14 Howard Street, Rockland, Massachusetts 02370 (the "Grantor"), for consideration of Thirty-Five Million Four Hundred Ninety-Six Thousand Seven Hundred Fifty-Three and 00/100 Dollars (\$35,496,753.00) paid, grants to TRT WAREHAM LLC, a Delaware limited liability company, having an address at c/o Dividend Capital Total Realty Trust, 518 17th Street, Suite 1700, Denver, Colorado 80202, Attn: Andrea Karp (the "Grantee"), with QUITCLAIM COVENANTS, the land, together with the buildings and other improvements thereon, situated at 2899-3015 Cranberry Highway, Wareham, Plymouth County, Massachusetts, said land being respectively bounded and described in Exhibit A, attached hereto and made a part hereof.

Said land is conveyed subject to and with the benefit of all rights, restrictions, easements and reservations of record appurtenant to and burdening said land, if any, insofar as the same may be now in force and applicable, and further subject to real estate taxes assessed for the current fiscal year, but not yet due and payable, which the Grantee, by its acceptance hereof, hereby assumes and agrees to pay.

For the Grantor's title, see (a) deed recorded with the Plymouth County Registry of Deeds in Book 15301, Page 269, (b) deed recorded with said Deeds in Book 24335, Page 213, and (c) Certificate of Title No. 91678 filed with the Plymouth Registry District of the Land Court.

[SIGNATURE ON FOLLOWING PAGE]

Received & Recorded
 PLYMOUTH COUNTY
 REGISTRY OF DEEDS
 03 AUG 2007 11:23AM
 JOHN R. BUCKLEY, JR.
 REGISTER
 Bk 34912 Pg 237-242

When Recorded Return To:
 Dividend Capital Total Realty Trust
 518 17th Street, Suite 1700
 Denver, CO 80202
 Attn: Andrea Karp

Witness my hand and seal this 25 day of July, 2007.

**TEDESCHI DARMAN COMPANY LLC, a
Massachusetts limited liability company**

By: Terrence C. Tedeschi
Name: Terrence C. Tedeschi
Title: Manager

For State Stamps see deed
filed with Plymouth Land
Court document # 626089
in the amount of \$ 161,866.32

Commonwealth of Massachusetts

Date July 25, 2007

County of Plymouth

On this 25th day of July, 2007, before me, the undersigned notary public, personally appeared Terrence C. Tedeschi, proved to me through satisfactory evidence of identification, which was personal knowledge, to be the person whose name is signed on the preceding or attached document, and acknowledged that he signed it voluntarily for its stated purpose, as Manager of Tedeschi Darman Company LLC.

Eugene V. Blanchard
Name: EUGENE V. BLANCHARD
Title: NOTARY PUBLIC
My commission expires: 7/6/12
Seal:



Exhibit A

Legal Description

PARCEL 1: 2885 Cranberry Highway, Wareham, MA

A certain parcel of land with the improvements thereon situated on the Southwesterly side of Cranberry Highway in Wareham, Plymouth County, Massachusetts, consisting of three tracts bounded and described as follows:

a) The land in Wareham known as East Wareham, Plymouth County, Massachusetts, bounded and described as follows:

Beginning at a point in the southwesterly side of Cranberry Highway, a state highway as laid out in 1949, at the northerly corner of land now or formerly of Andrew T. Wilson and Helen F. Wilson;

THENCE running SOUTH 5 degrees 19' WEST, three hundred twenty-four and 52/100 (324.52) feet more or less by land of said Wilson to a cement bound;

THENCE by the following courses and distances:

SOUTH 74 degrees 04' EAST, Sixty and 52/100 (60.52) feet to a stake;

SOUTH 18 degrees 52' WEST, Seventy-five and 46/100 (75.46) feet to a stake;

SOUTH 66 degrees 25' EAST, One hundred twenty-six and 83/100 (126.83) feet to a stake;

SOUTH 10 degrees 34' WEST, One hundred fifty-six and 37/100 (156.37) feet to a stake;

NORTH 77 degrees 02' WEST, One hundred twenty-nine and 34/100 (129.34) feet to a stake;

NORTH 62 degrees 53' WEST, One hundred three and 35/100 (103.35) feet to a stake;

NORTH 17 degrees 41' EAST, One hundred twenty-one and 44/100 (121.44) feet to a stake; standing in the turn of a brook;

NORTH 5 degrees 17' WEST, One hundred fifty-eight and NO/100 (158.00) feet by the brook to a stake standing in the middle of said brook;

NORTH 1 degree 56' EAST, Forty-seven and 59/100 (47.59) feet by the brook to a stake standing in the middle of said brook;

NORTH 5 degrees 08' WEST, Sixty and 49/100 (60.49) feet by the brook to a stake standing in the middle of said brook;

NORTH 14 degrees 59' WEST, Thirty and 65/100 (30.65) feet by the brook to a stake standing in the middle of said brook;

NORTH 65 degrees 23' WEST, Sixty-two and 63/100 (62.63) feet by a ditch to a stake standing in the middle of the ditch;

NORTH 11 degrees 23' WEST, Eighty-nine and 25/100 (89.25) feet by a ditch to a stake standing in the middle of the ditch;

NORTH 11 degrees 33' EAST, Forty-seven and 20/100 (47.20) feet by a ditch to a Massachusetts highway bound at said Cranberry Highway;

THENCE EASTERLY One hundred fifty (150) feet by said Cranberry Highway to the point of beginning. Containing 1.9 acres, more or less.

b) The land in that part of Wareham, Plymouth County, Massachusetts, known as East Wareham, with the buildings thereon, bounded and described as follows:

BEGINNING at a concrete bound in the southerly sideline of Sandwich Road (n/k/a Cranberry Highway) at the northwesterly corner of land of Henry J. Franklin, said concrete bound being distant 39.92 feet westerly from a Massachusetts highway bound; thence running

SOUTH 11 degrees 36' 10" West 199.86 feet by said land of Franklin to a stone post; thence

SOUTH 64 degrees 23' 50" East 16.92 feet by said land of Franklin to land of Mary E. Weich; thence

SOUTH 16 degrees 43' 45" West 224.59 feet by said land of Weich to a stake at land of Walton E. & Christine M. Truran; thence

NORTH 66 degrees 10' 45" West 125.82 feet by said land of Truran to a stake; thence

NORTH 18 degrees 22' 00" East 75.50 feet by said land of Truran to a stake; thence

NORTH 74 degrees 05' 15" West 59.76 feet by said land of Truran to a concrete bound; thence

NORTH 5 degrees 11' 00" East 325.79 feet by said land of Truran to a concrete bound in the southerly sideline of Sandwich Road; and thence

SOUTH 77 degrees 48' 45" East 213.75 feet by Sandwich Road to the point of beginning. Containing 1.8 acres more or less.

c) A certain parcel of land, together with the buildings thereon, situated on the Southerly side of the State Highway known as Routes 6 and 28 (Cranberry Highway) and formerly called Sandwich Road in Wareham, Plymouth County, Massachusetts; more fully bounded and described as follows:

Beginning at the Northeasterly corner of the premises herein conveyed at a stone post in line of said Highway being 3.03 feet Westerly from the Massachusetts Highway bound; being also the Northwesterly corner of land now or formerly of Warren A. Besse;

Thence South 18 degrees 43' West, 224 feet, more or less, in line of land now or formerly of said Besse to land now or formerly of the Estate of Hattie M. Davis to a stone bound;

Thence North 57 degrees 53' West, 88 feet by land now or formerly of said Davis Estate and land now or formerly of Frank W. Sherman to a stone post;

Thence North 18 degrees 7' East, 204.7 feet, more or less, by land now or formerly of said Frank W. Sherman to a stone bound on the Southerly line of said Highway;

Thence South 70 degrees 30' East, 88 feet to the point of beginning.

PARCEL TWO: 2891 Cranberry Highway, Wareham, MA

A certain parcel of land with the improvements thereon situated on the Southwesterly side of Cranberry Highway in Wareham, Plymouth County, Massachusetts, being shown as Lot C2 on a plan entitled, "Supplemental Plan for Land Court Case No. 35418A Prepared for Tedeschi-Darman Trust," dated February 24, 1978, prepared by Charles L. Rowley & Associates and recorded with Plymouth County Registry of Deed in Plan Book 20, Page 612.

Containing 30,010 square feet more or less according to said plan.

PARCEL THREE: 2899 Cranberry Highway, Wareham, MA

A certain parcel of land with the improvements thereon situated on the Southwesterly side of Cranberry Highway in Wareham, Plymouth County, Massachusetts, being shown as **Lot C1** on a plan entitled, "Supplemental Plan for Land Court Case No. 35418A Prepared for Tedeschi-Darman Trust," dated February 24, 1978, prepared by Charles L. Rowley & Associates and recorded with Plymouth County Registry of Deeds in Plan Book 20, Page 612.

Containing 30,814 square feet more or less according to said plan.

PARCEL FOUR: 2991 Cranberry Highway, Wareham, MA

Certain parcels of land with the improvements thereon situated on the Southwesterly side of Cranberry Highway in Wareham, Plymouth County, Massachusetts, being shown as **Lot C** on a plan entitled, "Form 'A' Subdivision Plan of Land in Wareham, Massachusetts prepared for Sumner Schein Architects and Engineers," dated October 12, 1993, prepared by Bostwick Engineering, Inc. and recorded with Plymouth County Registry of Deeds in Plan Book 36, Page 349, and shown as **Lot E** on a plan entitled, "Supplemental Plan for Land Court Case No. 35418A, Prepared for Tedeschi-Darman Trust," dated February 24, 1978, prepared by Charles L. Rowley & Associates and recorded with Plymouth County Registry of Deeds in Plan Book 20, Page 612.

Said Lot C containing 19.98 acres and said Lot E containing 25, 229 square feet, more or less, according to the respective plans.

PARCEL FIVE: 3003 Cranberry Highway, Wareham, MA

A certain parcel of land with the improvements thereon situated on the Southwesterly side of Cranberry Highway, Wareham, Plymouth County, Massachusetts, being shown as the parcel labeled, "**N/F Brian Tedeschi & Gary Darman, Trustees, Darman-Tedeschi Trust,**" and **Lot A** on a plan entitled, "Plan of Land in Wareham, MA Showing Lot To Be Conveyed To The Darman-Tedeschi Trust, prepared for Tedeschi Realty Corporation," dated Oct. 25, 1994, drawn by Bostwick Engineering, Inc., recorded with Plymouth County Registry of Deeds in Plan Book 37, Page 346.

Containing a total of 38, 373 square feet, more or less, according to said plan.

PARCEL SIX: 3015 and 3017 Cranberry Highway, Wareham, MA (includes registered land)

A certain parcel of land situated on the Southwesterly side of Cranberry Highway in Wareham, Plymouth County, Massachusetts, being shown as **Lot A** on a plan entitled, "Form 'A' Subdivision Plan of Land in Wareham, Massachusetts, Prepared for Tedeschi Realty

Corporation," dated June 9, 1993, prepared by Bostwick Engineering, Inc., and recorded with Plymouth County Registry of Deeds in Plan Book 35, Page 1190.

Containing 5.45 acres, more or less, according to said plan.

INCLUDED in the above Lot A are certain parcels of **REGISTERED** land being shown as Lot 30 and Lot 31 on Land Court Plan #16393S filed with Certificate of Title No. 6444.

1648780.3

APPLICATION FOR SITE PLAN REVIEW

Page 1

Applicant: Name: Town Fair Tire c/o John Wypychoski

Mailing address: 460 Coe Ave, East Haven, CT 06511

Telephone: 800-972-2245

Project: Street & Number: 2991-I Cranberry Highway, Wareham (Cranberry Plaza)

Assessor's Map: 15 Lot(s) C

Dwelling Units # Unit-I

Parking Spaces # The proposed use requires 20 parking spaces.

Acres: 19.77 Square Feet Commercial Space: Unit I = 6,028+/- s.f.

Briefly describe project: Town Fair Tire proposes to occupy a vacant unit (Unit I) at Cranberry Plaza. The units is 6,028 s.f. and was previously occupied by Olympia Sports.

Date: April 11, 2023

Signature of Applicant: *John Wypychoski for Town Fair Tire Inc.*

RECEIVED
JUN 01 2023
By *Amis Rapero*
Planning Dept.

WAREHAM TOWN CLERK
2023 JUN 5 PM3:37

[Home](#) » [Departments](#) » [Assessing Department](#) » [Abutter Request Form - Online](#) » [Webform results](#)

Submission #137

[View](#) [Delete](#)

Welcome to the website. For Help Documentation & Videos, please visit our [Municipal User Center](#) or, for schools, visit our [Schools User Center](#). It is recommended you write down the following credentials to login to the User Center - Username: "CivicOpen" and Password: "ClientUser10!"

[Previous submission](#) [Next submission](#)

[Print](#) [Resend e-mails](#)

Submission information

Form: [Abutter Request Form - Online](#)
Submitted by Anonymous (not verified)
April 10, 2023 - 12:59pm
50.250.50.61

Contact Information

Jeff Hassett, Morse Engineering

Phone Number:

781-545-0895

Email Address:

JHassett@MorseCoInc.com

Date of Request:

April 10, 2023

Owners Name:

TRT Wareham, LLC

Property Location:

2991 Cranberry Highway

Map/Lot

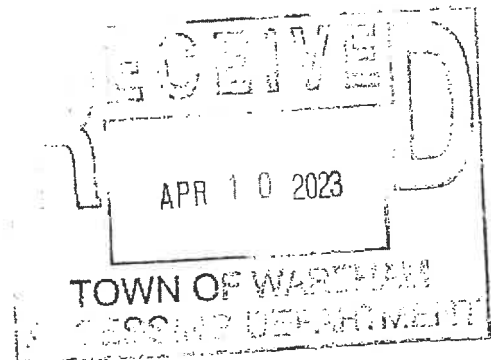
Map 15 Lot C

Distance Required

300'

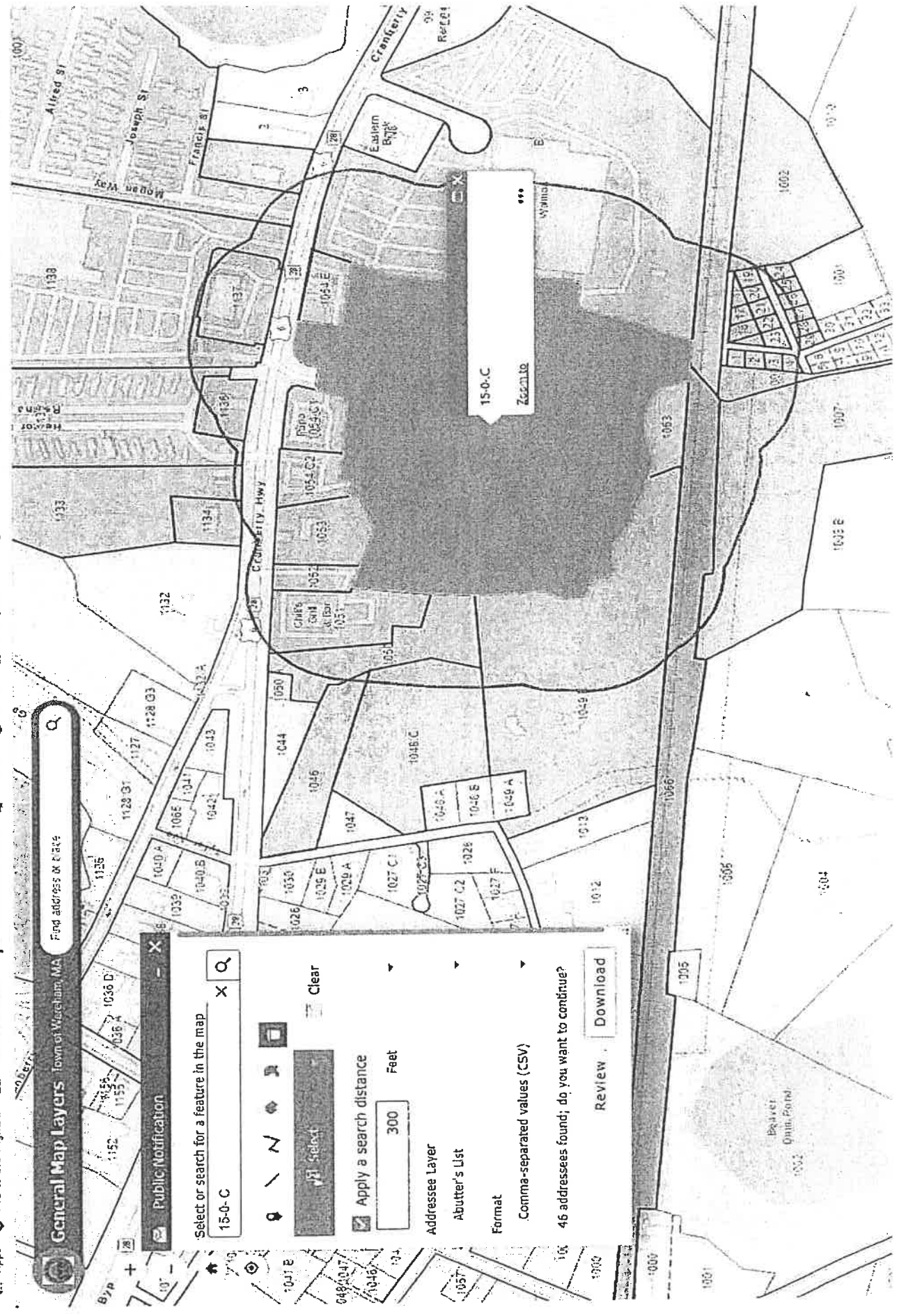
Which Board are you appearing before?

Planning Board - Site Plan Review



[Previous submission](#) [Next submission](#)

TOWN OF WAREHAM ABUTTERS					
MAP 15 LOT C 300'					
OWNER TRT WAREHAM LLC, C/O MARVIN F POER & COMPANY					
MAP & LOT	OWNERS	STREET ADDRESS	TOWN & STATE	ZIP CODE	
12-0-B	OSJ OF WAREHAM LLC, C/O PAT ROSE	375 COMMERCE PARK RD	N KINGSTOWN, RI	02852	
12-0-1	SARAO JOSEPH, C/O KATHERN SARAO	162 HOLWORTHY ST,	CAMBRIDGE, MA	02138-4508	
12-0-1000	INSTAR ELECTRIC COMPANY, PROPERTY TAX DEPT	PO BOX 2915,	HARTFORD, CT	06104	
12-0-1002	JOHNSON JOAN S TRUSTEE, MUDDY COVE REALTY TRUST	PO BOX 2259,	SARASOTA, FL	34230	
12-0-1011	COMMONWEALTH OF MASS, EXEC OFFICE OF TRANS & CONST	MULTI-MODEL RAIL UNIT, 10 PARK PLAZA RM 3170	BOSTON, MA	02116	
12-0-24	BOUSQUET DOROTHY O & HALL ROGER, L JR & BUCKLEY CARMEN L ET AL	C/O GARDEN HOMES ESTATES 2833 CRAN HWY	WAREHAM, MA	02571	
12-0-25	BEACH WILLIE, C/O NANCY S ANGUS & NANCY C ANGUS TRS	PO BOX 270,	BUZZARDS BAY, MA	02532	
12-0-26	BENTO JAMES J & FLORA S, C/O WESLEY FRIES	7 TOMAHAWK DR,	CENTERVILLE, MA	02362	
12-0-27	PETRUSEWICZ JOSEPH P, C/O CHRISTINA LUZAITIS	3 WARD ST,	SO BOSTON, MA	02127	
12-0-28	ANDRADE WILLIAM P TRUSTEE, ANDRADE LIVING TRUST	PO BOX 255,	ONSET, MA	02558	
129-0-1133	G TRADE INC, C/O PAMELA REEVES	535 BANYAN RD,	VERO BEACH, FL	32963	
129-0-1134	USSEF ENTERPRISES LLC,	2889 CRANBERRY HWY,	E PHEONIX, AZ	85028	
129-0-1135	LEGACY RED WING LLC C/O KAYLA VAWTER	10810 N TATUM BLVD SUITE 102-301	E WAREHAM, MA	02538	
129-0-1136	2900 CRANBERRY REALTY LLC, C/O MOBILE CIRK	2900 CRANBERRY HWY,	E WAREHAM, MA	02538	
129-0-1137	JULIEN & MONA MA LLC, C/O CVS #1247-02/OCC EXP DEPT	1 CVS DRIVE,	WOONSOCKET, RI	02895	
129-0-1138	HD DEVELOPMENT OF, MARYLAND INC	HOME DEPOT PROP TAX DEPT #2613, PO BOX 105842	ATLANTA, GA	30348-5842	
130-0-1	CEJ REAL ESTATE TRUST LLC, JAKUBOWSKI CHESTER S	C/O CEJ REAL ESTATE, 41 CONVERSE AVE	NEWTON, MA	02458	
130-0-1001	LEGACY MORGANS LLC C/O KAYLA VAWTER	10810 N TATUM BLVD SUITE 102-301	PHEONIX, AZ	85028	
14-0-1007	AMADO WILHEMINA,	PO BOX 762,	E WAREHAM, MA	02538	
15-0-C	TRT WAREHAM LLC, C/O MARVIN F POER & COMPANY	3520 PIEDMONT RD NE SUITE 410,	ATLANTA, GA	30305	
15-0-1046	STROSCIO CARMEN,	88 LONGMEADOW RD,	NORWOOD, MA	02062	
15-0-1049.B	GAUVIN DARRYL J. GAUVIN DAWNA M	18 TYLER AVE,	E WAREHAM, MA	02538	
15-0-1050	TRT WAREHAM LLC, C/O KEYPOINT PARTNERS	174 COLONY PLACE,	PLYMOUTH, MA	02360	
15-0-1053	GIANA CORP,	2889 CRANBERRY HWY,	E WAREHAM, MA	02538	
15-0-1063	BANFILL ELVIRA F, C/O HELTERMAN	28 FRANKLIN ST,	MORRISTOWN, NJ	07960	
CERTIFIED ABUTTERS AS THEY APPEAR					
ON OUR TAX ROLLS AS OF 4/10/2023					
<i>W. Renee Adams</i>					
ASSESSORS OFFICE					
REQUESTED BY					
JEFF HASSETT, MORSE ENGINEERING					
781 545-0895					
JHASSETT@MORSECOINC.COM					



SITE PLAN REVIEW CHECKLIST

Plans shall be prepared by a registered architect, landscape architect, or Professional Engineer. 14 complete sets are required with the following information included:

1. GENERAL INFORMATION

- X Developer name, address, telephone number
- X Property owner name, address, telephone number, legal relationship between developer and property owner
- X Date of application
- X Statement briefly describing project
- X Locus map (1" = 2,000')
- X Location of property to surrounding area (this plan shall show at a scale of not less than 1" = 100' the general characteristics of all lands within 200' of the proposed site and shall include structures, parking areas, driveways, pedestrian ways and natural characteristics)
- X Zoning district (square feet within each district if more than one district)
- X Total area of project in square feet to include wetland and 100 year flood plain (both in square feet)
- X All contiguous land owned by the applicant or by the owner of the property. At the discretion of the Planning Board photographs of the site at size 8" x 10"

2. EXISTING FEATURES

Plans shall be accurately drawn to a scale of 1" = 20', 1" = 40', or 1" = 100' where practical and appropriate to the size of the proposal and shall show all existing natural, manmade, and legal features of the site. Such plans are to include but not be limited to the following:

- X Tree line of wooded area
- NA Individual trees 18" dbh or over
- NA Bogs or agricultural areas

- X All wetlands protected under CMR 10.02 (1) (a-d)
- X Flood plain (100 years) with base flood elevation data
- X Contour lines (2' intervals)
- NA General soil types

2b. EXISTING MANMADE FEATURES

- X Vehicle accommodation areas
- X Street, roads, private ways, walkways
- X Curbs, gutters, curb cuts, drainage grates
- X Storm drainage facilities, including manholes
- X Utility lines, including water, sewer, electric, telephone, gas, cable TV
- X Fire hydrants and location of dumpsters
- X Building, structures, and signs (free standing), including dimensions of each
- X Existing light fixtures

2C. EXISTING LEGAL FEATURES

- X Zoning of property (district lines)
- X Property lines (with dimensions identified)
- X Street right of way lines
- X Utility or other easement lines
- X Monuments

3. THE DEVELOPMENT PLAN

The development plan shall show proposed changes in the (a) existing natural features; (b) existing man made features and (c) existing legal features.

The Development Plan shall include:

- NA Square feet in every new lot
- NA Lot dimensions
- X Location and dimensions of all buildings and free standing signs as well as the distances from all buildings to lot lines, streets, or street right of way
- X Building elevations (side, front, and back for a typical unit) showing building height and any proposed wall signs
- X Location, dimensions, and designated use for all recreation areas
- X Location and dimension of all open space; indicate whether open space is to be dedicated to public use or to remain private
- X Streets (including street names) which conform to the design standards of the Planning Board's Rules and Regulations Governing the Subdivision of Land
- X Curbs and gutters, curb cuts, drainage grates
- X Drainage facilities including manholes, pipes, drainage ditches, and retention ponds
- X Sidewalks and walkways showing widths and materials
- X Outdoor illumination with lighting fixture size and type identified
- X Utilities; water, sewer, electric, telephone, gas, cable TV
- X Fire hydrant location
- X Dumpster (trash collection facilities)
- NA New contour lines resulting from earth movement (at 2' intervals) and indications of types of ground cover and other precautions to stabilize slopes
- X Vehicle parking, loading, and circulation areas showing dimensions
- NA Proposed new plantings by size and location or construction of other devices to comply with screening and shading requirements

4. IMPACT STATEMENT (See submittal letter)

In order to evaluate the impact of the proposed development to Town services and the welfare of the community, there shall be submitted an impact statement in two parts.

 X All applicable Town services including but not limited to schools, sewer services, water systems, parks, fire, and police.

 X The roads in the immediate vicinity of the proposed development (including an estimate of both peak and average daily counts)

 X The ecology of the area within the site and any significant off-site impacts

Part Two shall describe what actions have been taken to mitigate the impacts described in Part One

This application constitutes the applicant's willingness to work under the Town of Wareham's Zoning Bylaws. Any errors or omissions from this checklist or the Zoning Bylaw may result in the application not being placed on a Planning Board Agenda or denial of the Site Plan.

**Site Plan Review
Application Checklist**

Note to Applicant(s): The following checklist serves as an instrument to help ensure that all necessary information and materials are submitted with the application for Site Plan Review. Please verify that all related items listed below have been accounted for in your submission. (Refer to Article 15 of the Zoning By-Law of the Town of Wareham, Massachusetts, adopted October 2004).

Name of site: Cranberry Plaza Date: 4/18/2023
 Owner(s): TRT Wareham, LLC c/o Alicia Busconi
 Address: 3520 Piedmont Road Northeast, Suite 410, Atlantic GA 30305
 Telephone Number: abusconi@keypointpartners.com Cell Phone: 781-418-6203

Developer(s): Town Fair Tire c/o John Wypychoski
 Address: 460 Coe Avenue, East Haven, CT 06511
 Telephone Number: 800-972-2245 Cell Phone: JWypychoski@townfair.com

Relationship between Developer & Property Owner: Tenant

Surveyor: Morse Engineering Company
 Engineer: Morse Engineering Company
 Architect: Andrew C. Milliken
 Landscape Architect: NA

ITEM	Complete
Application for Site Plan Review – Special Permit filed with Planning Board (14 copies of application and supplementary materials)	X
Application for Special Permit – Residential Cluster Development filed with Planning Board (11copies of application and supplementary materials)	
Copies filed with Town Clerk	X
Filing Fees	X
GENERAL INFORMATION	
Developer Name, address, telephone number	X
Property Owner Name, address, telephone number	X
Date of Application	X
Statement briefly describing project	X
Locus Map (1" = 2,000')	X
Location of property to surrounding area (scale should be no less than 1" = 100') and general characteristics of all lands within 200' of the proposed site including structures, parking areas, driveways, pedestrian ways, and natural characteristics	X

Zoning district (sq. feet within each district if more than one)	X
Total area of project to include wetland and 100 year floodplain (both in sq. feet)	X
All contiguous land owned by the applicant or by owner of property	X
Photographs of site (8" by 10") – at discretion of Permitting Authority	X
List of abutters, certified by Board of Assessors	X
Number of dwellings which could be constructed by means of a conventional development plan, considering the whole tract, exclusive of water bodies and land prohibited from development by legally enforceable restrictions, easements, or covenants. This includes: <ul style="list-style-type: none"> • Any bank, freshwater wetland, coastal wetland, beach, dune, flat, marsh, or swamp bordering the ocean, any estuary, creek, river, stream, pond, or lake • Lake under any of the water bodies listed above; • Land subject to tidal action • Land subject to coastal storm flowage or slopes in excess of fifteen (15) percent are not to be counted in figuring the number of permissible units of conventional development. 	NA
EXISTING FEATURES	
(Scale 1" = 20', 1" = 40', or 1" = 100' where practical and appropriate to the size of the proposal) Must include a minimum of the following:	X
1. Existing Natural Features <ul style="list-style-type: none"> a. Tree line of natural area; b. Individual trees 18" dbh or over; c. Bogs or agricultural areas; d. All wetlands protected under 310 CMR 10.01 (1) (a-d); floodplain (100 year) with base flood elevation data; e. Contour lines (2' intervals); f. General soil types. 	X
2. Existing Man-Made Features <ul style="list-style-type: none"> a. Vehicle accommodation areas; streets, roads, private ways, walkways; b. Curbs, gutters, curb cuts, drainage grates; c. Storm drainage facilities including manholes; d. Utility lines including water, sewer, electric, telephone, gas, cable TV; e. Fire hydrants and location of dumpsters; f. Buildings, structures, and signs (free standing) including dimensions of each; g. Exterior lighting features. 	X
3. Existing Legal Features <ul style="list-style-type: none"> a. Zoning of property (district lines); b. Property lines (with dimensions identified); c. Street right-of-way lines; d. Utility or other easement lines; e. Monuments. 	X

DEVELOPMENT PLAN	
Proposed changes to existing natural features, existing man-made features, and existing legal features including the following;	
• Area of each new lot in square feet;	NA
• Lot dimensions;	NA
• Location and dimensions of all buildings and freestanding signs as well as the distances from all buildings to lot lines, streets, or street;	X
• Location, dimension, and designated use for all recreation areas;	NA
• Location and dimension of all open space (indicate whether such open space is to be dedicated to public use or remain private);	X
• Streets (including street names) which conform to the design standards of the Planning Board's Rules and Regulations Governing the Subdivision of Land;	X
• Curbs and gutters, curb cuts, drainage grates;	X
• Drainage facilities including manholes, pipes, drainage ditches, and retention ponds;	X
• Sidewalks and walkways showing widths and materials;	X
• Outdoor illumination with lighting fixture size and type identified;	X
• Utilities – Water, sewer, electric, telephone, gas, cable TV;	X
• Fire hydrant locations;	X
• Dumpster (trash collection facilities);	X
• New contour lines resulting from earth movement (2' intervals) and indications of types of ground cover and other precautions to stabilize slopes;	NA
• Vehicle parking, loading, and circulation areas showing dimensions and layout of parking spaces, travel lanes, aisles, and driveways;	X
• Proposed new plantings by size and location or construction of other devices to comply with screening and shading requirements.	NA
IMPACT STATEMENT	
Part One: Description of neighborhood and impact of proposed development on all applicable town services including but not limited to schools, sewer service, water system, parks, fire, and police protection;	X
Traffic report of existing and future traffic within and adjacent to proposed development. (Include estimate of both peak and average daily traffic count);	NA
Analysis of site in regards to wetlands, coastal wetlands, slopes, soil conditions, 100 year flood plain, and other natural features as Planning Board may request;	NA
Environmental Impact Assessment Report relating to proposed plan and copy of environmental impact report if otherwise required in order to illustrate the ecology of the area within the site and any significant off-site impacts;	X
Evaluation of open land proposed within cluster, with respect to size, shape, location, natural resource value, and accessibility by residents of the Town or of the cluster;	NA

Part Two: Description of actions that have been taken to mitigate the impacts described in Part One.	X
---	---

**TOWN OF WAREHAM
ANR/SUBDIVISION/SITE PLAN REVIEW FORM**

Check one: ANR _____ Form B _____ Form C _____ Site Plan Review X

Date stamped in April 18, 2023 Date decision in due _____

Applicant's name(s) Town Fair Tire c/o John Wypychoski

Applicant's address 460 Coe Avenue, East Haven, CT 06511

Telephone number 800-972-2245 JWypychoski@townfair.com

Address of property 2991-I Cranberry Highway

Landowner's name TRT Wareham, LLC c/o Alicia Busconi

Owner's address 3520 Piedmont Road Northeast, Suite 410, Atlanta, Georgia, 30305

Telephone number 781-418-6203 abusconi@keypointpartners.com

Contact person Jeff Hassett, P.E. - Morse Engineering Telephone 781-545-0895

Map # 15 Lot # C Zone Commercial Strip

Date Approved _____ Date Denied _____

Comments (state reasons for denial or stipulations of approval)

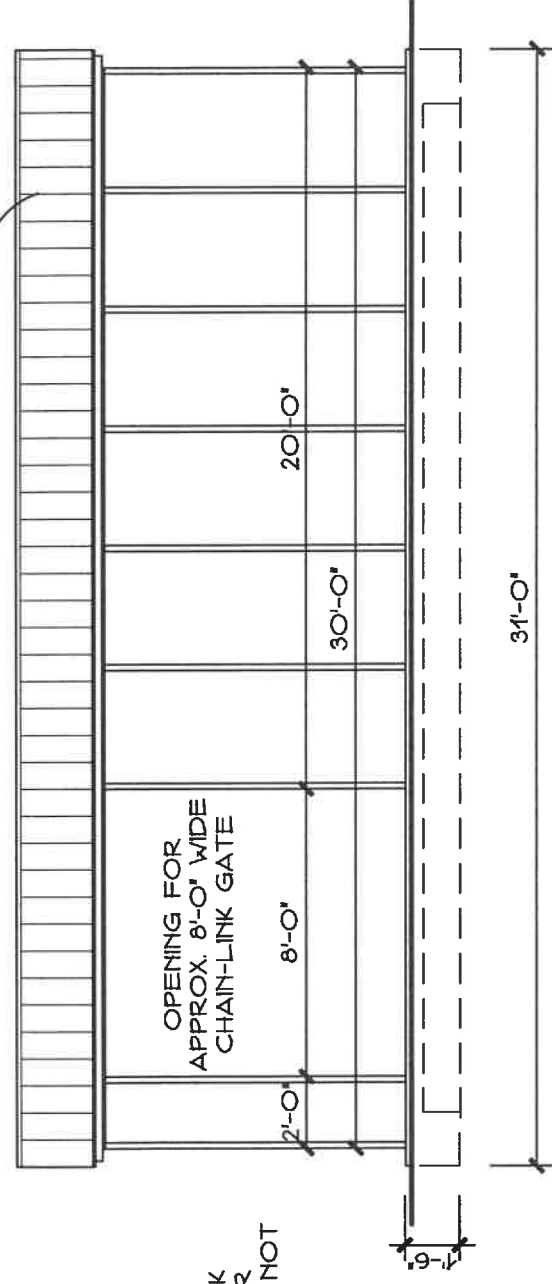
Conditions for: _____

PLANNING BOARD
TAX VERIFICATION FORM

This verifies that _____ (name of applicant) is up-to-date on the taxes for the property(ies) he/she owns in Wareham. If the applicant is not the current owner of the property that the application addresses, the current owner TRT Wareham, LLC (name of property owner) is up-to-date on taxes and on all properties he/she owns in the Town of Wareham.

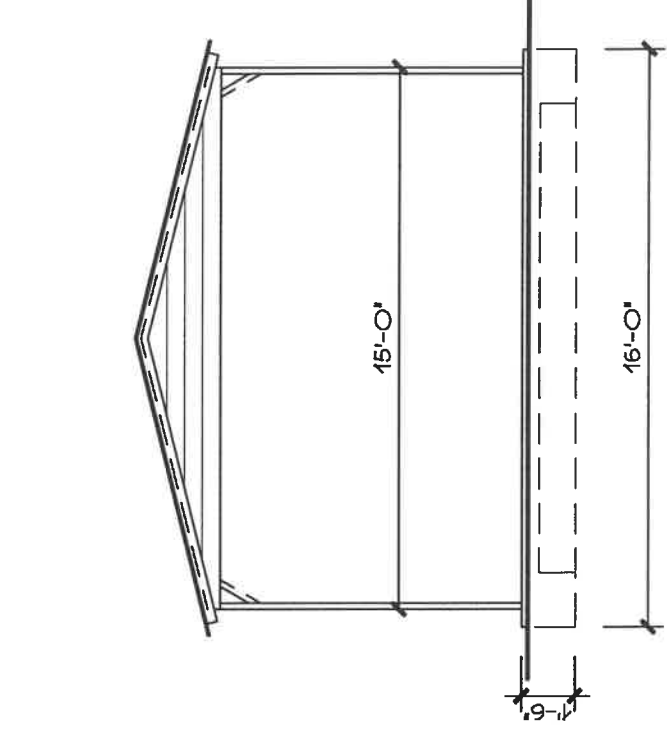
John Foster
John Foster, Tax Collector

CARPOR-T-TYPE CANOPY (15' X 30' OUTSIDE DIMENSIONS)



CHAIN-LINK DUMPSTER ENCLOSURE NOT SHOWN

OPENING FOR APPROX. 8'-0" WIDE CHAIN-LINK GATE



6" CONC. SLAB (3500 PSI MIN.) WITH W.W.M. REINFORCING

4" POROUS FILL

(2) #4 BARS

SLAB DETAIL

FORM HAUNCHES AROUND PERIMETER OF SLAB

TIRE CAGE CANOPY

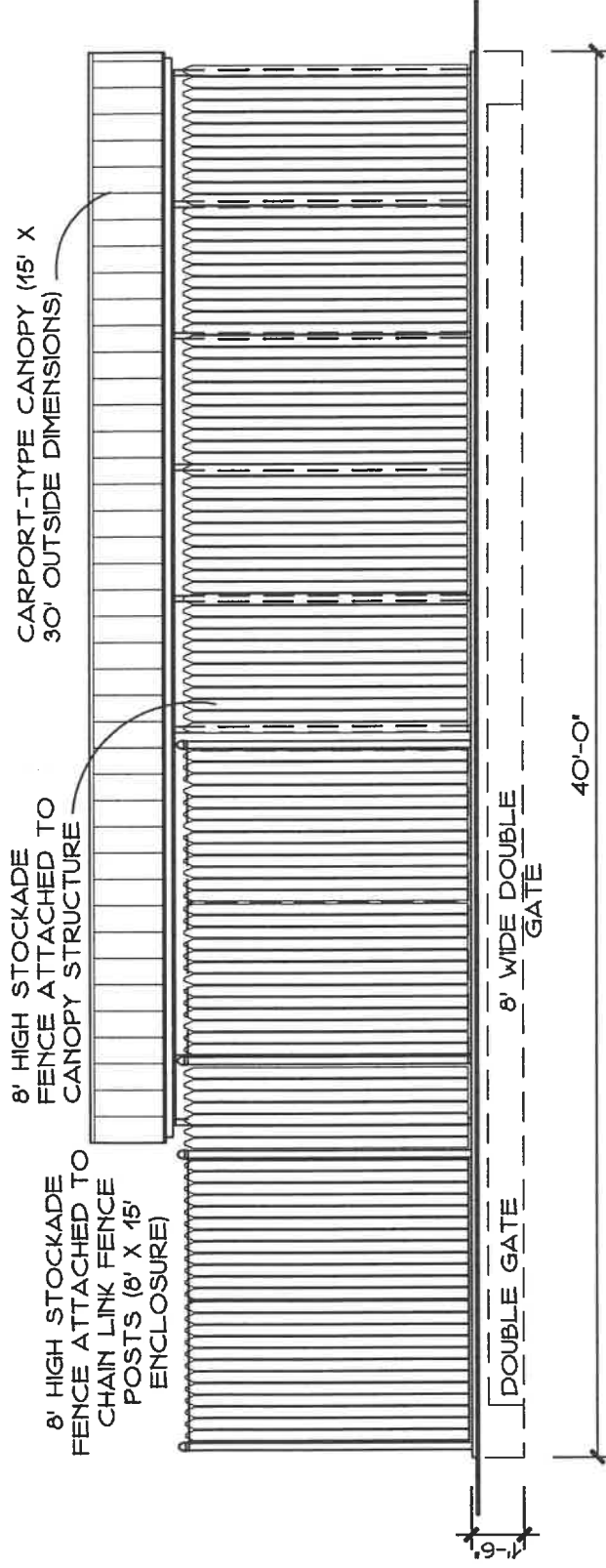
SCALE: 3/16" = 1'-0"

Town Fair Tire Center

ARCHITECT ANDREW C. MILLIKEN

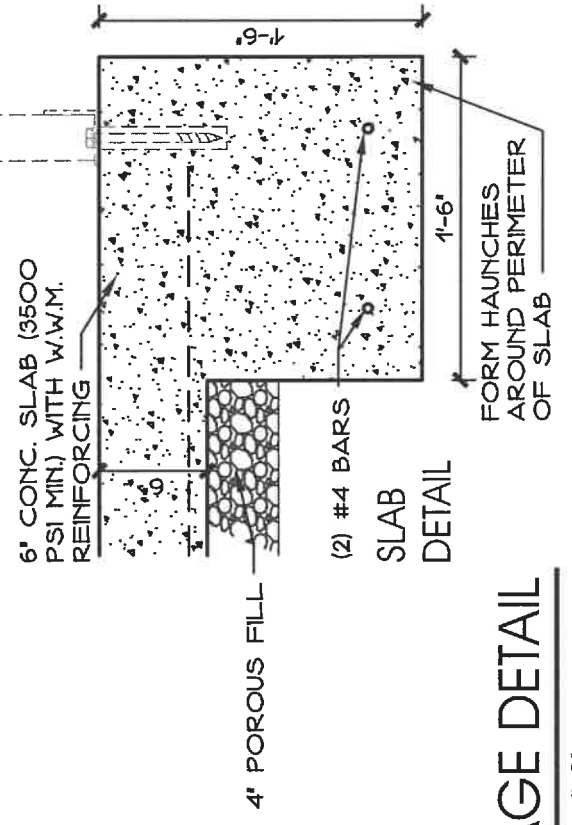
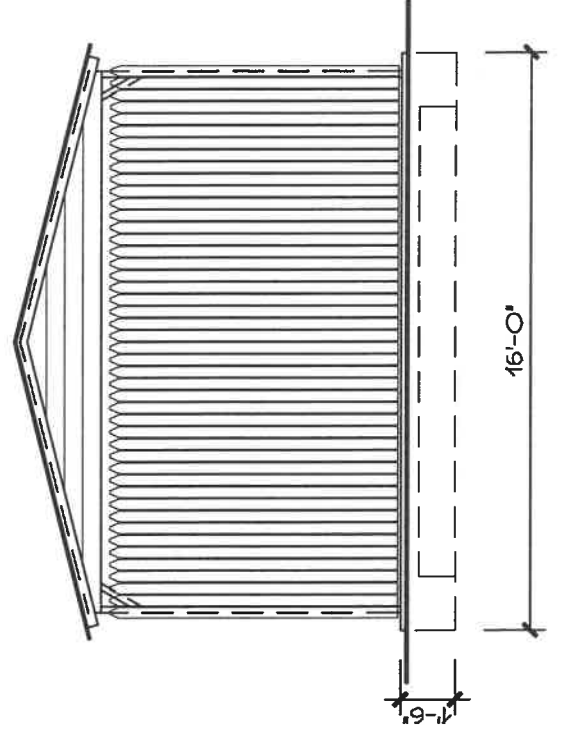
Cranberry Plaza, Wareham, Massachusetts

MARCH 8, 2023



DUMPSTER ENCLOSURE

TIRE CAGE



TIRE CAGE DETAIL

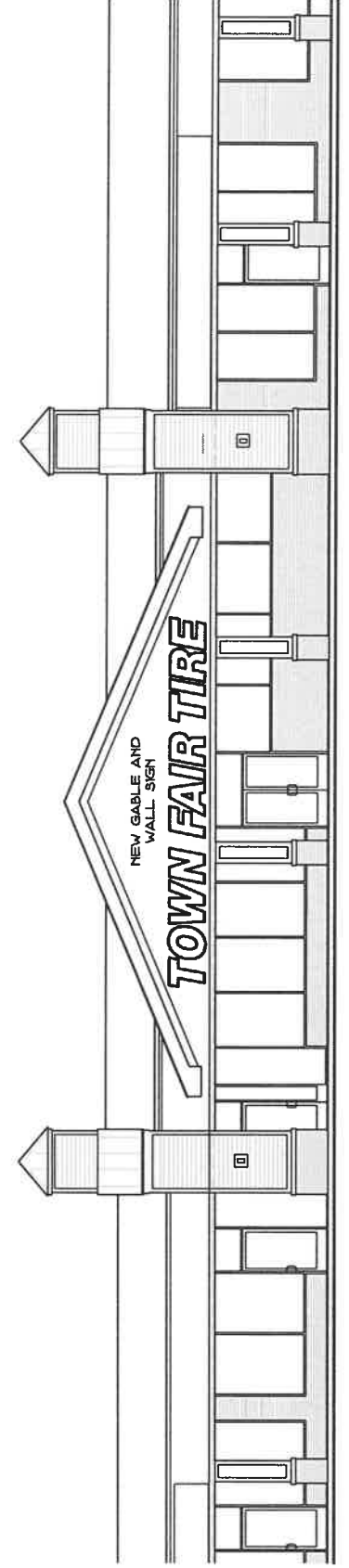
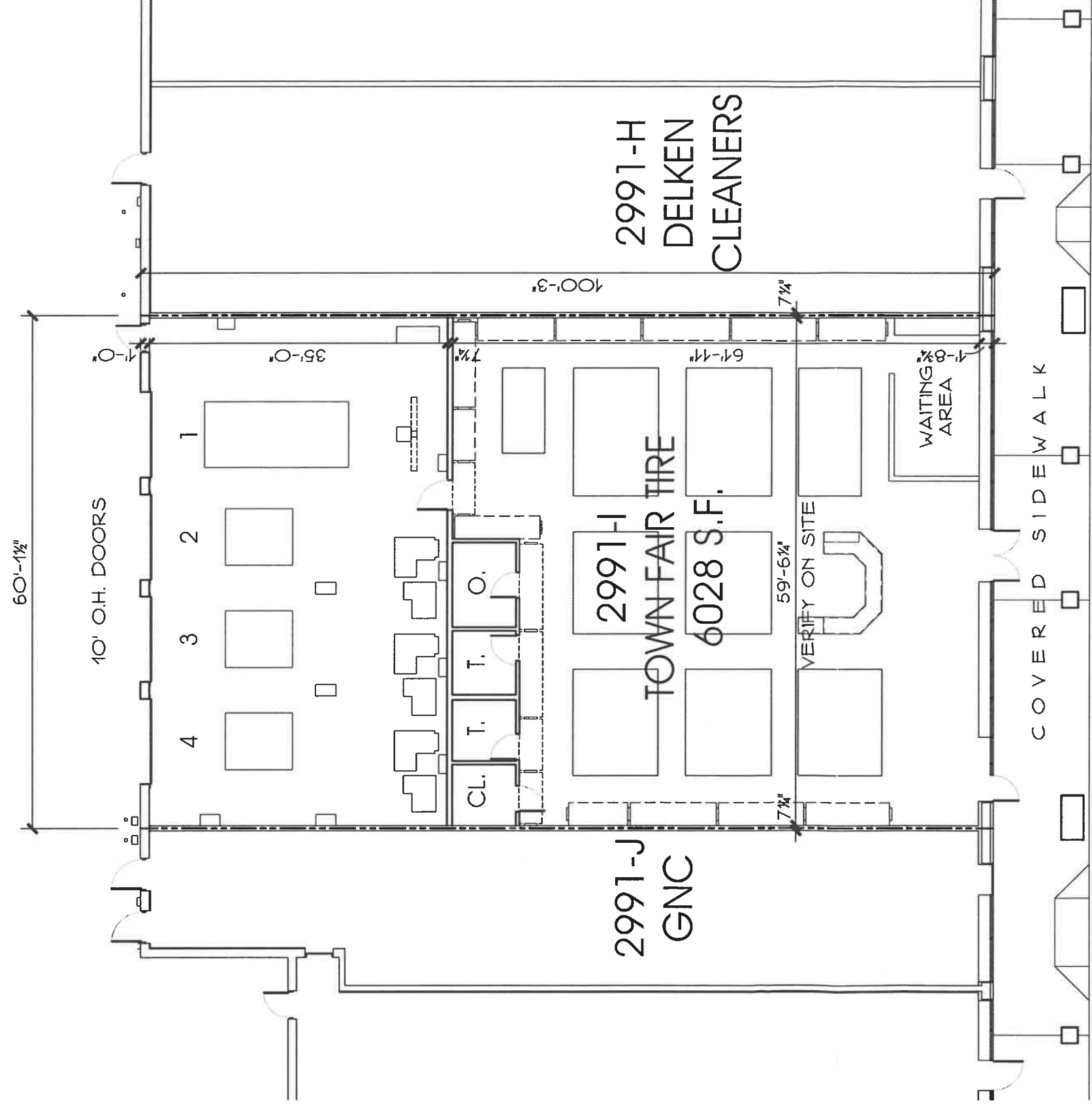
SCALE: 3/16" = 1'-0"

Town Fair Tire Center

ARCHITECT ANDREW C. MILLIKEN

Cranberry Plaza, Wareham, Massachusetts

MARCH 8, 2023



Town Fair Tire Center

ARCHITECT ANDREW C. MILLIKEN



Cranberry Plaza, Wareham, MA

JANUARY 25, 2023