



This form was received on the date stamped here:

TOWN OF WAREHAM

ZONING BOARD OF APPEALS APPLICATION FOR A:

- VARIANCE
- SPECIAL PERMIT
- SITE PLAN REVIEW
- APPEAL

Certain uses are allowed in zoning districts only by means of a Variance and/or Special Permit from the Zoning Board of Appeals. Those uses are indicated in the Wareham Zoning By-Laws. Permits may be issued only after a public hearing. To apply for a public hearing for a Permit from the Zoning Board of Appeals, please do the following:

- Complete this form.
- Read information packets. (Directions attached)
- Submit application form and packet of information to Town Clerk for signature.
- Submit application form to Town Collector for signature.
- Submit completed form, packets, and appropriate fees\*\* to the Planning and Community Development Office.

\*\* See Directions for fees, or ask at the Planning and Community Development Office.

I hereby apply for a [check applicable]:  Variance  Special Permit  Site Plan  Appeal for a use at the following place:

STREET & NUMBER: 271 Main St. MAP: 47 LOT: 1151

ZONING DISTRICT: WV-1

USE REQUESTED: Public Safety Messaging Board

OWNER OF LAND & BUILDING: Wareham Fire District

ADDRESS OF OWNER: 271 Main St.

PERSON(S) WHO WILL UTILIZE PERMIT: Wareham Fire Dept and Water Dept.

ADDRESS: 2550 Cranberry Highway Wareham, MA. 02571

DATE: 6/26/23 SIGNATURE: [Signature]

WAREHAM TOWN CLERK  
2023 JUL 19 PM 4:55

Town Clerk: \_\_\_\_\_ Date: \_\_\_\_\_

Tax Collector: Kathy Dany Date: 6/26/23

Planning/Zoning Dept.: [Signature] Date: 7.19.23

Application fee paid: 750.00 Check #: 18786 Receipt: \_\_\_\_\_

Advertising fee paid: 150.00 Check #: 18749 Receipt: \_\_\_\_\_

Abutters fee paid: 241.50 Check #: 18785 Receipt: \_\_\_\_\_

TOWN OF WAREHAM

APPLICANT/CONTRACTOR/REPRESENTATIVE INFORMATION SHEET

Check Applicable:  Variance  Special Permit  Site Plan  Appeal

Date stamped in: \_\_\_\_\_ Date decision is due \_\_\_\_\_

Applicant's Name: Wareham Fire District

Applicant's Address: 2550 Cranberry Hwy. Wareham, MA. 02571

Telephone Number: 508-295-0450 x 101

Cell Phone Number: 508-294-1444

Email Address: Acunningham@warehamfiredistrict.org

Address of Property/Project: 271 Main St. Wareham, MA. 02571

Landowner's Name: Wareham Fire District

Owner's Address: 2550 Cranberry Hwy. Wareham, MA. 02571

Telephone Number: 508-295-0450 x 101

Contact Person: Andrew Cunningham Telephone Number: 508-295-0450 x 101

Map 47 Lot 1151 Zone WV-1

Date Approved \_\_\_\_\_ Date Denied \_\_\_\_\_

Comments: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



# TOWN of WAREHAM

*Massachusetts*

## BUILDING DEPARTMENT

Paul Turner  
Director of Inspectional Services

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June 21, 2023

Mr. John Aldo  
24 Fruit Street  
Mansfield, Massachusetts 02048

**RE: 271 Main Street / Map 47, Lot 1151**

Mr. Aldo,

I have reviewed your Sign Permit application S-23-19, submitted June 5, 2023 with a description of work stating "new earth formed I beam structure, 2 sided message display" located at 271 Main Street, Wareham, Massachusetts. At this time I must deny your request.

Your application is being denied under the following section of the Wareham Zoning By-Laws:

**Article 11 Signs;**

**1160 Prohibited Signs; section 1162;**

Signs which have blinking, flashing or fluttering lights or other illuminating devices which have a changing light intensity, brightness or color, are prohibited

**1172 Signs in Business and Commercial Districts; paragraph 2, note 3:**

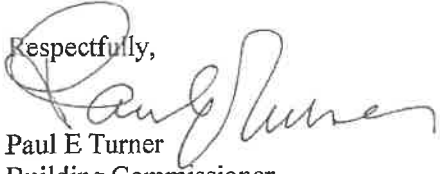
A free standing sign shall not exceed fifty (50) square feet of area when the establishment fronts on Route 28, or more than twenty-five (25) square feet of area when the establishment fronts on a street other than Route 28. No more than one freestanding sign shall be permitted on a lot. A free standing sign shall not extend over a public way.

Digital message display signs are not allowed as per section 1162 and the area of the proposed sign is 26.04 square feet, over the allowed 25.00 square feet.

Therefore, a **Variance** must be secured from the Zoning Board of Appeals in order to proceed with your application.

The subject dwelling is located in WV-1 zoning district.

Respectfully,

  
Paul E Turner  
Building Commissioner  
Zoning Enforcement Officer

**It is the owners' responsibility to check with other departments to ensure full compliance.**

**In accordance with the provisions of MGL chapter 40A §§ 15, you may apply to the Zoning Board of Appeals for the above noted relief within thirty (30) days of receipt of this letter.**

**WAREHAM FIRE DISTRICT**  
**WATER DEPARTMENT**  
**2550 CRANBERRY HIGHWAY, WAREHAM, MA 02571**  
Phone (508) 295-0450 Fax (508) 291-2737

July 6, 2023

Town of Wareham  
Zoning Board of Appeals  
Wareham, MA. 02571

RE: Denial of Sign Permit Application, 271 Main Street / Map 47, Lot 1151

Members of the Zoning Board:

This letter will serve as a statement indicating the general conditions existing, the proposed intentions, and the use of the property:

- 271 Main Street (AKA 273 Main Street) is the Main Street Headquarters of the Wareham Fire District Fire Department.
- There is no proposed different intended use of the property known at this time.
- The sign (Electronic messaging board) proposed area of installation is a square shaped grass area at the front of the building to the right side of the walkway leading to the front door.
- The proposed site of installation is approximately the center of this existing grass area, with a minimum of 5 feet from the inner edge of the existing sidewalk.
- The proposed use of the messaging board will be to post public safety announcements for both the Wareham Fire District Water and Fire Departments, but also for the Town of Wareham.
- This partnership of public announcements has already been implemented with use of the existing Town of Wareham messaging board at the Town Hall.
- The goal is not only to continue this beneficial cooperation, but to expand this shared use of two messaging boards increasing public awareness in general

If you have any questions regarding this matter or need assistance in the repair, please call me at (508) 295-0450 x101.

Sincerely,

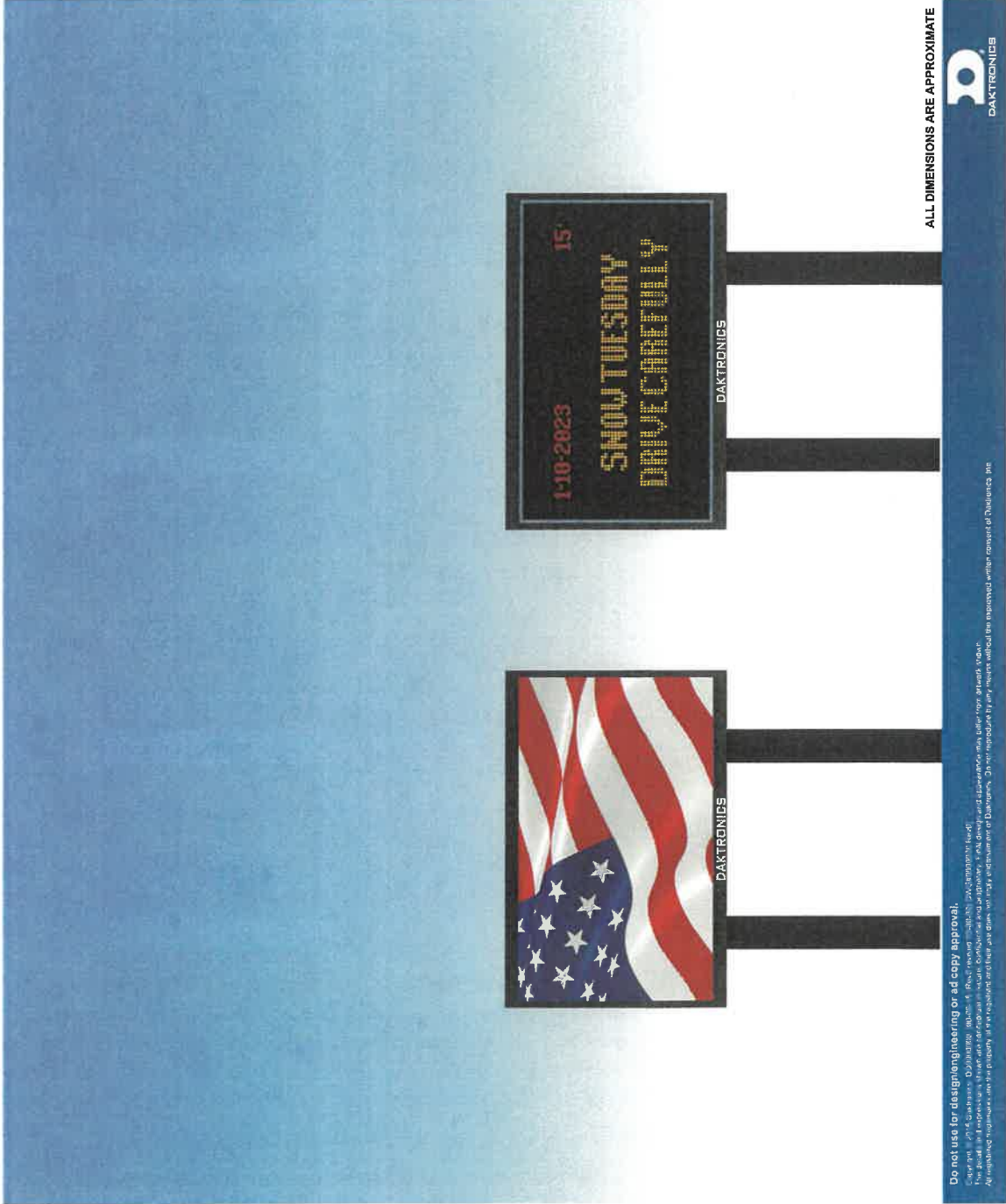
  
Andrew Cunningham  
Water Superintendent  
Wareham Fire District

# RENDERING DETAILS

Scoreboard Model:  
Daktronics GT6-108x180-10mm  
Full Color Message Display  
Cabinet Dimensions - 4'2" H x 6'3" W

Paint Color:  
Black #8800

**SCOREBOARD  
ENTERPRISES**  
SALES - INSTALLATION - SERVICE



ALL DIMENSIONS ARE APPROXIMATE

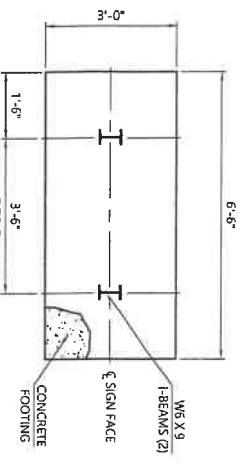
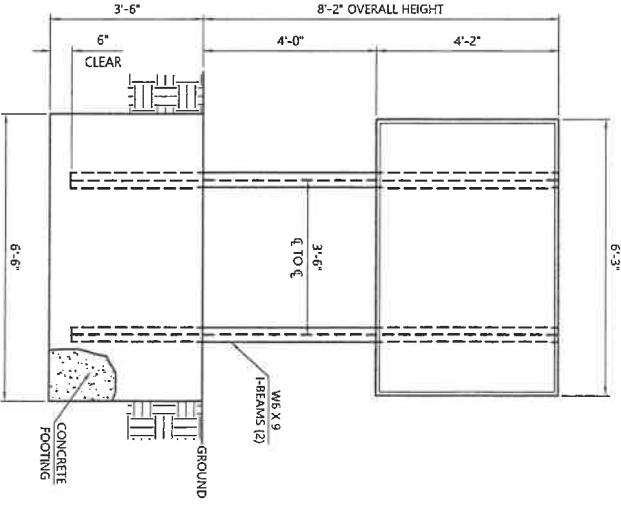


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Copyright © 2014 Daktronics. All rights reserved. This document is the property of Daktronics. All other trademarks are the property of their respective owners. All other trademarks are the property of their respective owners.  
The actual appearance of the scoreboard may vary slightly from the rendering shown here. All other trademarks are the property of their respective owners. All other trademarks are the property of their respective owners.  
All registered trademarks are the property of their respective owners. All other trademarks are the property of their respective owners.



**GENERAL NOTES:**

- All design, fabrication, installation and construction shall comply with applicable codes and standards. Specifics noted otherwise on the drawings.
- The Massachusetts State Building Code, 8th Edition shall apply unless otherwise noted.
- Requirements for Reinforced Concrete (CRS-14), American Institute of Steel Construction, Inc. (AISC) 360-16, and American Institute of Steel Construction, Inc. (AISC) 341-16 shall apply unless otherwise noted.
- Structural Welding Code - Steel (AWS D1.1) shall apply unless otherwise noted.
- All steel components shall be as listed below, unless noted otherwise:
  - Steel beams shall be ASTM A992, Grade 50.
  - Steel plates shall be ASTM A572, Grade 50.
  - All gages shall meet the requirements of ASTM A57, Type 5 or E, Grade B, or equal.
  - All structural tubing shall be ASTM A500.
- All bolted connections shall be made with ASTM A325 bolts and shall be installed as per AISC 360-16 and shall be protected from weathering/water/corrosion.
- All welded steel shall be made by a welder certified to AWS D1.1 and shall be installed as per AISC 360-16.
- All welds shall be made in a sequence that will balance the applied load or of welding which the welding progresses shall be filed completely as per AWS requirements.
- All concrete shall have a minimum compressive strength at 28 days of 3000 psi.
- Signage may be installed on the structure after the curing process has been properly maintained in accordance with ACI 308.2R.
- Signage shall be installed in a clear area of the structure where the support column is embedded directly to the bottom of the footing. The height of the sign shall be limited to a maximum height of 8'-2" and shall be installed with a minimum clear height of 6'-0" from the ground level. Signage design was considered as per ACI 308.2R and shall be installed as per ACI 308.2R.
- The foundation has been designed assuming:
  - Allowable lateral bearing pressure of 150 psf/ft (This value is used for column and sign footings)
  - 150 psf/ft corresponds to sand, silt, sand, clayey sand, clayey gravel, clayey gravel or equal.
  - If not confirmed other than those assumed are existing conditions, the contractor shall immediately notify the engineer in writing and shall be responsible for any potential impact on the adjacent footings.
  - If the structure is to be located in the proximity of a building or any other structure, the contractor shall be responsible for any potential impact on the adjacent footings.
  - If the structure is located on the side or top of a slope, the contractor shall be responsible for any potential impact on the adjacent footings.
  - All concrete shall be placed in direct contact with undisturbed soil. There shall be no backfill or other material placed between the concrete and the soil.
  - All concrete shall be placed in direct contact with undisturbed soil. There shall be no backfill or other material placed between the concrete and the soil.
- Contractor is in no way responsible for the safety of the structure or the foundation and the erection of the structure. The contractor shall be responsible for the safety of the structure and the erection of the structure in compliance with applicable OSHA regulations.
- If existing and proposed conditions are not shown, the contractor shall be responsible for the safety of the structure and the erection of the structure. The contractor shall be responsible for the safety of the structure and the erection of the structure in compliance with applicable OSHA regulations.
- Contractors will not be performing on-site work unless they have been approved by the engineer. The contractor shall be responsible for the safety of the structure and the erection of the structure in compliance with applicable OSHA regulations.
- Any deviation from these plans or non-compliance with applicable codes and standards shall be the responsibility of the contractor. The contractor shall be responsible for the safety of the structure and the erection of the structure in compliance with applicable OSHA regulations.



**NOTICE:**  
 CORNERSTONE ENGINEERING, INC. IS RESPONSIBLE FOR COLUMN AND FOOTING DESIGN ONLY. DISPLAY COMPONENTS AND ATTACHMENT ARE THE RESPONSIBILITY OF THE SIGN MANUFACTURER.

**JAMES E. WRIGHT, JR.**  
 Digitally signed by James E. Wright, Jr.  
 DN: cn=James E. Wright, Jr., o=Cornerstone Engineering, Inc., ou=Engineering, email=jwright@cornerstoneeng.com, c=US

Project #: 230375  
 Drawn By: CRS  
 Dwg #: CA27896  
 Date: 05/25/2023  
 Scale: 1/2"=1'-0"  
 Sheet: 1 of 1

PREPARED FOR:  
**SCOREBOARD ENTERPRISES, INC.**  
 274 Fruit Street - Mansfield, MA 02048  
 Town of Wareham Video Marquee @ 8'-2" Overall Height  
 273 Main Street - Wareham, Massachusetts

**CORNERSTONE ENGINEERING, INC.**  
 1020 William Blount Drive - Maryville, TN 37801  
 (865) 273-2688 - www.cornerstoneTN.com

MA D.E. # 41140



Sent from my iPhone

*Looking North*



## Wendy Lemieux

---

**From:** Andrew Cunningham  
**Sent:** Thursday, July 6, 2023 11:33 AM  
**To:** Wendy Lemieux  
**Subject:** FW: Fire station sign

Same thing

**From:** Andrew Cunningham <acunningham@warehamfiredistrict.org>  
**Sent:** Thursday, July 6, 2023 10:40 AM  
**To:** Andrew Cunningham <acunningham@warehamfiredistrict.org>  
**Subject:** Fire station sign

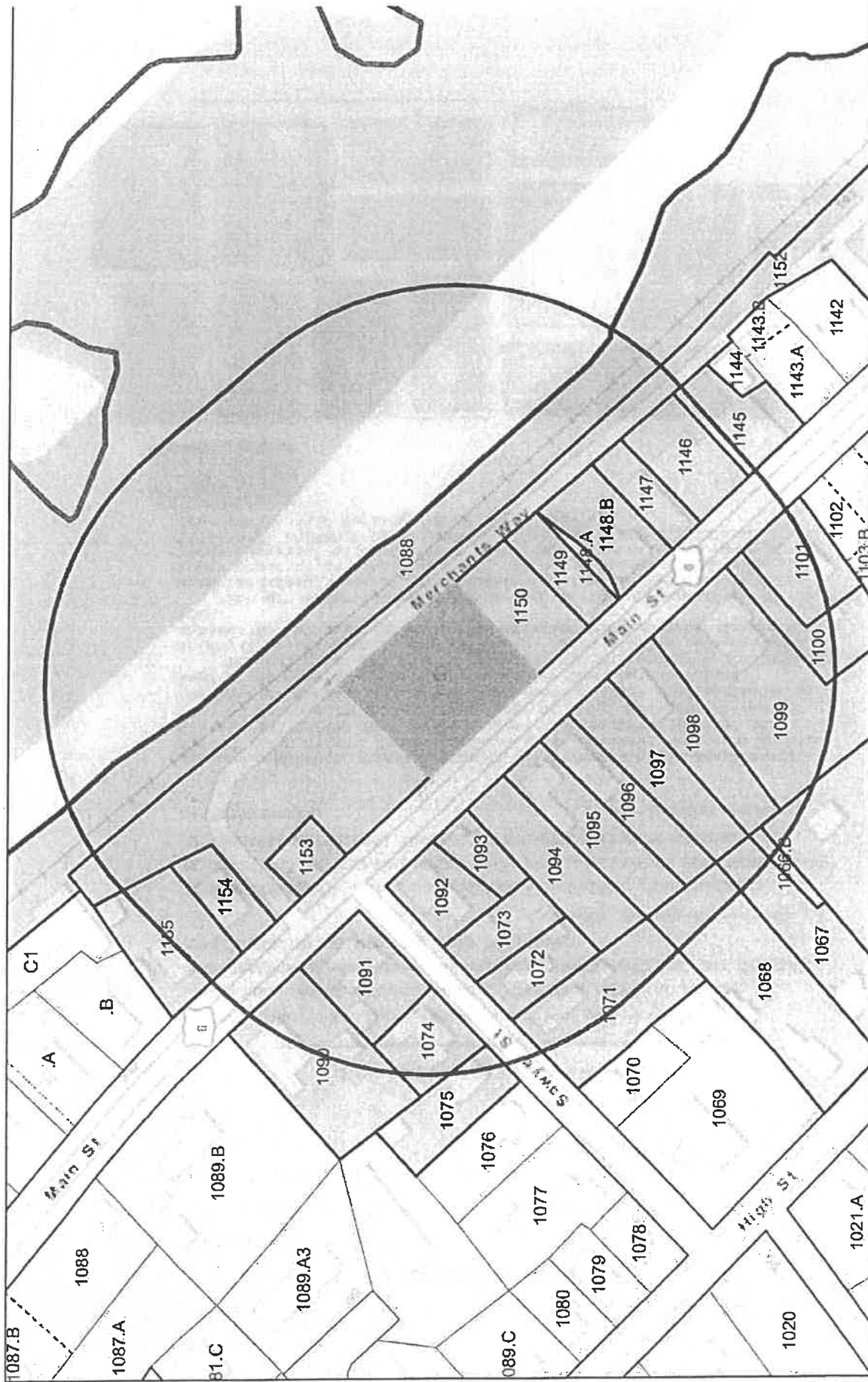


*Looking South*

251172A

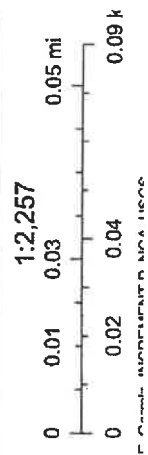
MAP & LOT	OWNERS	STREET ADDRESS	TOWN & STATE	ZIP CODE
TOWN OF WAREHAM ABUTTERS				
MAP 47 LOT 1151 300'				
OWNER WAREHAM FIRE DISTRICT				
132-0-1088	COMM OF MASS, EXEC OFFICE OF TRANS & CONST	MULTI-MODEL RAIL UNIT, 10 PARK PLAZA RM 3170	BOSTON, MA	02116
47-0-1066.A	SCHIAVONE SILVESTRO TRUSTEE + BUILDING BLOCK REALTY TRUST	76 BAYVIEW ST	WAREHAM, MA	02571
47-0-1067	BURKE STACEY M, GROEZINGER ERIK R	113 HIGH ST,	WAREHAM, MA	02571
47-0-1068	ABBOTT DARREN S,	115 HIGH ST,	WAREHAM, MA	02571
47-0-1071	DARZENTA NICHOLAS S TRUSTEE & 12 SAWYER ST REALTY TRUST	6 WOODSPRING FARM LN	SANDWICH, MA	02563
47-0-1072	WALSH TIMOTHY F TRUSTEE, TIMOTHY F WALSH NOMINEE TR	C/O HI-RES ENGINEERING PO BOX 1504	SAGAMORE BEACH, MA	02562
47-0-1073	COSTELLO ANDREW F JR, COSTELLO GERALDINE G	6 SAWYER ST,	WAREHAM, MA	02571
47-0-1074	BISCEGLIA PAUL M,	106 GUNNING PT RD,	PLYMOUTH, MA	02360
47-0-1075	11 SAWYER STREET LLC	66 PUTNAM RD	SOMERVILLE, MA	02145
47-0-1090	SEWELL SHEILA A, STROM GAIL T	5 LINCOLN AVE,	NASHUA, NH	03060
47-0-1091	304 MAIN STREET REALTY LLC,	PO BOX 1205,	ONSET, MA	02558
47-0-1092	D & D REALTY PARTNERS LLC,	PO BOX 1379,	ONSET, MA	02558
47-0-1095	FISHMAN COLLIN	280 MAIN ST	WAREHAM, MA	02571
47-0-1096	HAYES CONSTANCE TR 274 MAIN, ST REALTY TRUST	20 TOWER TERRACE,	WAREHAM, MA	02571
47-0-1097	AKINS PATRICIA, ELKALLASSI NAZIH ET AT TRUSTEES	20 TOWER TERR,	WAREHAM, MA	02571
47-0-1098	NYMAN ROBERT M TRUSTEE,	15 TARPULIN WAY,	WAREHAM, MA	02571
47-0-1099	MADDEN WILLIAM F, MADDEN KAROL KULIG TRS	11 MELISSA ANNE LANE,	MATTAPOISETT, MA	02739
47-0-1101	UNITED STATES OF AMERICA,	258 MAIN ST,	WAREHAM, MA	02571
47-0-1145	CONRY DENNIS J,	245 MAIN ST,	WAREHAM, MA	02571
47-0-1147	KALKANIS TED, KALKANIS LITSA	257 MAIN ST,	WAREHAM, MA	02571
47-0-1148.A	KIERNAN BUILDING INC THE, C/O PAMELA C KIERNAN	PO BOX 640	WAREHAM, MA	02571
47-0-1148.B	SOVEREIGN CAPE COD INVESTOR LLC, C/O TAMMELL CROW CO	P.O. BOX 1610,	BUFFALO, NY	14205
47-0-1151	WAREHAM FIRE DISTRICT,	2550 CRAN HWY,	WAREHAM, MA	02571
47-0-1153	MOHAMED OSSAMA,	274 MARION RD,	WAREHAM, MA	02571
47-0-1155	STEEL LISA D & CASCARELLA SHAUNA J	317 MAIN ST,	WAREHAM, MA	02571
CERTIFIED ABUTTERS AS THEY APPEAR				
ON OUR TAX ROLLS AS OF 6/27/2023				
<i>W. Renee Adams</i>				
ASSESSORS OFFICE				
REQUESTED BY ANDREW CUNNINGHAM				
508 295-0450 X101				
ACUNNINGHAM@WAREHAMFIREDISTRICT.ORG				

# ArcGIS Web Map



6/27/2023, 10:39:15 AM

- Parcels with CAMA Data Parcel Lines
- Town Line
- Common Line
- Property Line MiscPolys
- Public Road
- Private Road ROW



1:2,257

I, the undersigned clerk of the National Bank of Wareham, certify that at a meeting of the Board of Directors of said Bank, duly called and held on the twenty-second day of March 1938, a quorum being present and voting, the following vote was passed.

VOTED: That the land and building owned by this Bank located at 273-275 Main Street, Wareham, Mass., formerly the Sisson's Garage Property, be sold for the sum of \$10,000.00 to the Wareham Fire District, notes of the District maturing \$1,000.00 each year at the rate of 2% per annum to be accepted in part payment thereof and that either the President or Cashier of this Bank be and hereby are authorized to execute the necessary deed in connection with the transfer of the property.

Attest: *Arthur E. Griffin*  
.....  
Clerk of The National Bank of Wareham  
pro tem.

STATUTE FORM OF  
**Quitclaim Deed**

.....The National Bank of Wareham.....  
to  
Wareham Fire District.....

.....  
Nov. 24, 1939

at 11 o'clock and 25 minutes a. m.  
Received and Entered with Plymouth  
County Registry of Deeds

Book 1773 Page 599.  
Attest *Edward P. Warner*  
Register.

From the office of  
~~STEFSON and CLARK~~  
MIDDLEBOROUGH  
*Stefson*  
*Wareham*  
NOV 24 1939

The National Bank of Wareham, a corporation organized under the laws of the United States of America, with a usual place of business in Wareham, Plymouth County, Massachusetts,

County, Massachusetts,

being unmarried, for consideration paid, grants to Wareham Fire District, a municipal corporation organized by law, and situated in Wareham, Plymouth County, Massachusetts,

with Quitclaim covenants

except as hereinafter provided,

the land in Wareham, Plymouth County, Massachusetts, with the buildings thereon standing, bounded and described as follows: Beginning at a point in the Easterly line of Main Street formed by the intersection of the Southerly line of land formerly of James Galligan and the said Easterly line of Main Street, which point is indicated by the Southwesterly corner of a stone post; thence along the Easterly line of Main Street 77.4 feet to a point; thence Easterly and parallel with the Southerly line of said Galligan's land 133.5 feet to the lands of the Railroad Company; thence Northerly and parallel with the Easterly line of Main Street 77.4 feet to the Southerly line of said Galligan's land; thence Westerly along said Southerly line to the point of beginning, be said several dimensions more or less. Also the right to use the land between said premises and the Court house lot on the South as a driveway in common with the owner of the same.

Being the same premises conveyed to said Bank by deed of Marion Sisson Scott, dated April 21, 1933, and recorded with Plymouth County Registry of Deeds, Book 1644, Page 512, and by deed of Marion Sisson Scott, guardian of Gordon Bailey Sisson et al, dated April 29, 1933, and recorded with said Deeds, Book 1644, Page 513.

The taxes assessed as of January 1, 1938 are to be pro rated between the grantor and the grantee, and the grantor hereby agrees to pay one-fourth thereof, and by the acceptance of this deed the grantee agrees to pay three-fourths thereof.

The above described premises were formerly the Sisson's Garage Property and are located at 273-275 Main Street, Wareham, Mass.

~~wife of said grantor~~

~~release to the said grantee all rights of DOWER and HOMESTEAD and all other interests therein.~~

~~husband of said grantor~~

~~release to the said grantee all right to an estate by the CURTESY and all other interests therein.~~

IN WITNESS WHEREOF the said The National Bank of Wareham has caused its corporate seal to be hereto affixed and these presents to be signed, acknowledged and delivered in its name and behalf by Joseph W. Whitcomb, its ~~Witness~~ <sup>hand and seal this</sup> ~~day~~ <sup>day</sup> its Cashier, this eighth day of April, A. D. 1938.

~~of~~ 19

THE NATIONAL BANK OF WAREHAM

By *Joseph W. Whitcomb*  
Cashier



COMMONWEALTH OF MASSACHUSETTS

Plymouth, ss. On this <sup>8th</sup> day of April, A. D. 1938, before me appeared Joseph W. Whitcomb, to me personally known, who being by me duly sworn did say ~~ss.~~ that he is the Cashier of The National Bank ~~19~~ of Wareham, and that the ~~ss.~~ seal affixed to the foregoing instrument is the corporate seal of said corporation and that said instrument was signed and sealed in ~~Then personally appeared the above named~~ behalf of said corporation by authority of a vote of its Board of Directors and the said Joseph W. Whitcomb acknowledged said instrument to be the free ~~and acknowledged the foregoing instrument to be~~ ~~free act and deed.~~ ~~before me~~ act and deed of said corporation.

*Blauche C. Peaton*  
Justice of the Peace.

My commission expires 19