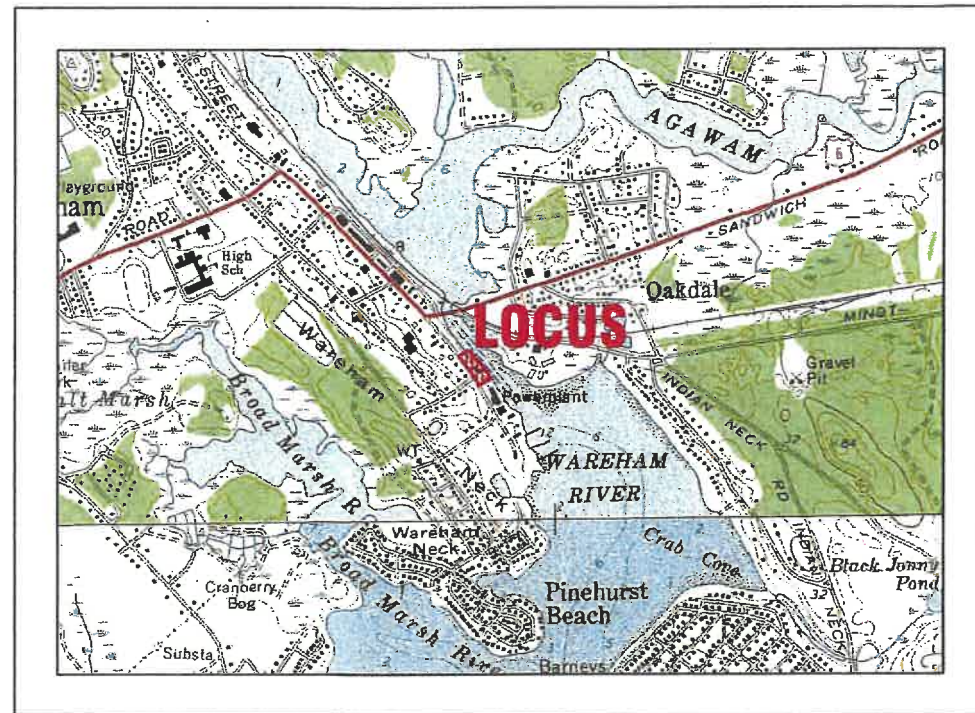


MAJOR MODIFICATION SITE DEVELOPMENT PLAN

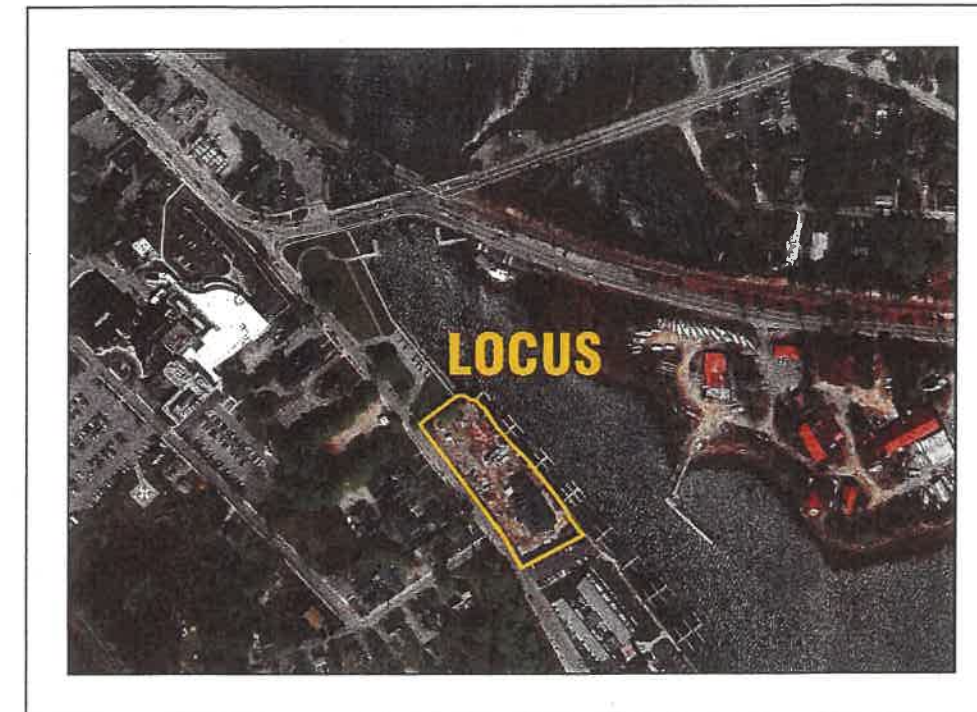
59 MAIN STREET WAREHAM, MASSACHUSETTS

OWNER: WARREN QOZB, LLC
P.O. BOX 1206
CARVER, MA 02330

APPLICANT: WARREN QOZB, LLC
P.O. BOX 1206
CARVER, MA 02330



— U.S.G.S. LOCUS PLAN —
SCALE: 1"=1000'



— AERIAL OVERVIEW —
SCALE: 1"=200'

ZONING DATA:

ZONE: WAREHAM VILLAGE 1 (WV1)
(WAREHAM VILLAGE 1 REINVESTMENT SUBDISTRICT)

SETBACKS:
MINIMUM LOT AREA: 5,000 S.F.
MINIMUM FRONTAGE: 75'
MINIMUM FRONT SETBACK: *
MINIMUM SIDE SETBACK: 10'
MINIMUM REAR SETBACK: 10'
MAXIMUM BUILDING HEIGHT: 40'
MAXIMUM BUILDING COVERAGE: 30%
MAXIMUM IMPERVIOUS SURFACE: 70%
LANDSCAPE BUFFER: AS SHOWN ON PLANS

*THE FRONT SETBACKS IN VILLAGE DISTRICTS SHALL BE THE AVERAGE SETBACKS OF FIVE (5) RESIDENTIAL STRUCTURES ON EITHER SIDE OF THE SUBJECT PROPERTY.

ZONING DATA TABLE:

ZONING TABLE	ALLOWED	PROVIDED
LOT AREA:	5,000 S.F.	61,187± S.F.
*FRONT SETBACK:	*	53.5'
SIDE SETBACK:	10'	11.3'
REAR SETBACK:	10'	29.5'±
BUILDING COVERAGE:	30%	18.8%±
IMPERVIOUS SURFACE:	70%	62.9%±

PARKING DATA:

REQUIRED:
MARINA: 0.5 SPACE PER SLIP
24 SLIPSx0.5 SPACE=12 SPACES

RESTAURANT/FUNCTION HALL: 1 SPACE PER 5 SEATS
150 SEATS/ 1 PER 5 SEATS=30 SPACES

RESTURANT W/O SEATING=3 SPACES

OFFICE: 1 SPACE PER 250 S.F. GFA
1,040 S.F./250=5 SPACES

TOTAL NUMBER OF PARKING SPACES REQUIRED: 50
TOTAL PROVIDED: 46 SPACES

**PLAN INDEX:
SHEET NO.:**

- 1
- 2
- 3
- 4
- 5
- 6
- 7
- 8
- 9
- 10
- 11

DESCRIPTION:

- COVER SHEET
- GENERAL NOTES & LEGEND
- EX. CONDITIONS & DEMOLITION
- LAYOUT PLAN
- UTILITIES PLAN
- GRADING & DRAINAGE PLAN
- LANDSCAPING PLAN
- EROSION CONTROL PLAN
- DETAIL SHEET 1
- DETAIL SHEET 2
- DETAIL SHEET 3

FLOOD ZONE DATA:

THE PROJECT IS LOCATED IN FLOOD ZONE AE-16 AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP NUMBER 25023C0489L, DATED JULY 6, 2021. THE PROJECT IS ALSO WITHIN THE LIMIT OF MODERATE WAVE ACTION (LMWA) AREA.



G. A. F. ENGINEERING, INC.
PROFESSIONAL ENGINEERS & LAND SURVEYORS
266 MAIN STREET, WAREHAM, MA 02571
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E-MAIL: info@gafenginc.com

NOVEMBER 22, 2021

REV.	DATE	BY	APP'D	DESCRIPTION
6	11/18/23	JMP	WFM	MAJOR MODIFICATION
5	7/5/23	JMP	WFM	SITE PLAN REVISIONS
4	6/23/22	JMP	WFM	SITE PLAN REVISIONS
3	2/15/22	JMP	WFM	REV. ZONING DATA TABLE
2	1/18/22	JMP	WFM	PER PEER REVIEW COMMENTS
1	1/4/22	JMP	WFM	REV. BLDG. & IMPERV. SURFACE COVERAGES

DATE: NOV. 22, 2021
DRAWN BY: JMP
CHECKED BY: WFM
JOB NO.: 20-9438
SCALE: AS NOTED

APPROVED BY: [Signature]
APPROVED: 11/18/23

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MAJOR MODIFICATION
SITE DEVELOPMENT PLAN
COVER SHEET

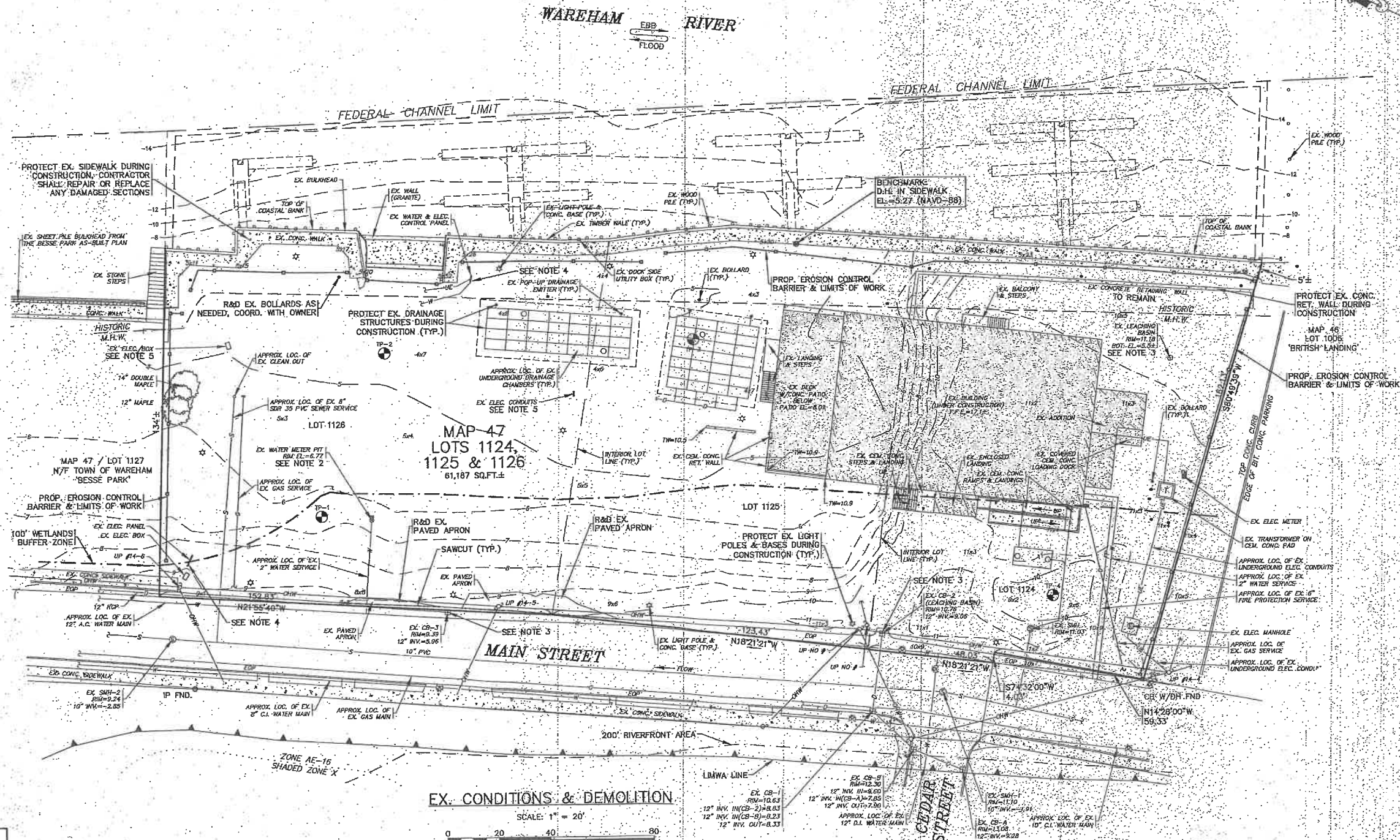
WAREHAM, MA
PREPARED FOR:
WARREN QOZB, LLC
P.O. BOX 1206
CARVER, MA

JOB NO.: 20-9438
DWG. 1 OF 11

PERMIT SET
(NOT FOR CONSTRUCTION)

NOTES:

1. CONTRACTOR SHALL PROVIDE AND MAINTAIN DOUBLE STAKED HAY BALES WITH SILT FENCE EROSION CONTROL BARRIER AS SHOWN ON THE PLANS. EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL ALL VEGETATION IS ESTABLISHED.
2. CONTRACTOR SHALL CONFIRM LOCATION AND CONDITION OF EXISTING WATER METER PIT AND COORDINATE WITH THE TOWN OF WAREHAM WATER DEPARTMENT PRIOR TO CONSTRUCTION. PROVIDE NEW H.D.C.I. FRAME AND COVER TO FINISHED GRADE. COVER TO READ "WATER". CONTRACTOR SHALL PROTECT EXISTING WATER METER PIT DURING CONSTRUCTION.
3. EXISTING CATCH BASINS SHALL HAVE A TEMPORARY SILT SACK OR AN APPROVED EQUAL INSTALLED WITHIN PRIOR TO CONSTRUCTION. CONTRACTOR SHALL REMOVE AND DISPOSE OF THE SILT SACKS AT THE COMPLETION OF CONSTRUCTION.
4. CONTRACTOR SHALL CONFIRM THE LOCATIONS OF ALL EXISTING ABOVE OR UNDERGROUND UTILITIES, INCLUDING WATER, SEWER, GAS AND ELECTRIC. CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO CONSTRUCTION. PROTECT EXISTING UTILITIES DURING CONSTRUCTION.
5. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL SUB CONTRACTOR FOR RELOCATING THE EXISTING ELECTRIC BOX AND ANY ELECTRIC CONDUITS.
6. ALL DEBRIS FROM DEMOLITION SHALL BE REMOVED FROM THE SITE AND NOT STOCKPILED.
7. ANY EXCAVATION/REMOVAL OF EXISTING FEATURES BELOW ADJACENT GRADE SHALL BE REFILLED WITH STRUCTURAL FILL AND COMPACTED.



DATE: NOV. 22, 2021 DRAWN BY: JMF CHECKED BY: WFM JOB NO.: 20-9438 SCALE: 1" = 20'	APPROVED BY: 	11/8/23	JMF	WFM	MAJOR MODIFICATION
		7/5/23	JMF	WFM	ADDED AS-BUILT ELEC. & TRANSFORMER LOCATIONS
		6/23/22	JMF	WFM	SITE PLAN REVISIONS
		2/15/22	JMF	WFM	NO CHANGE THIS SHEET
					PER PEER REVIEW COMMENTS
					ADDED TEST PIT LOCATIONS
					DESCRIPTION

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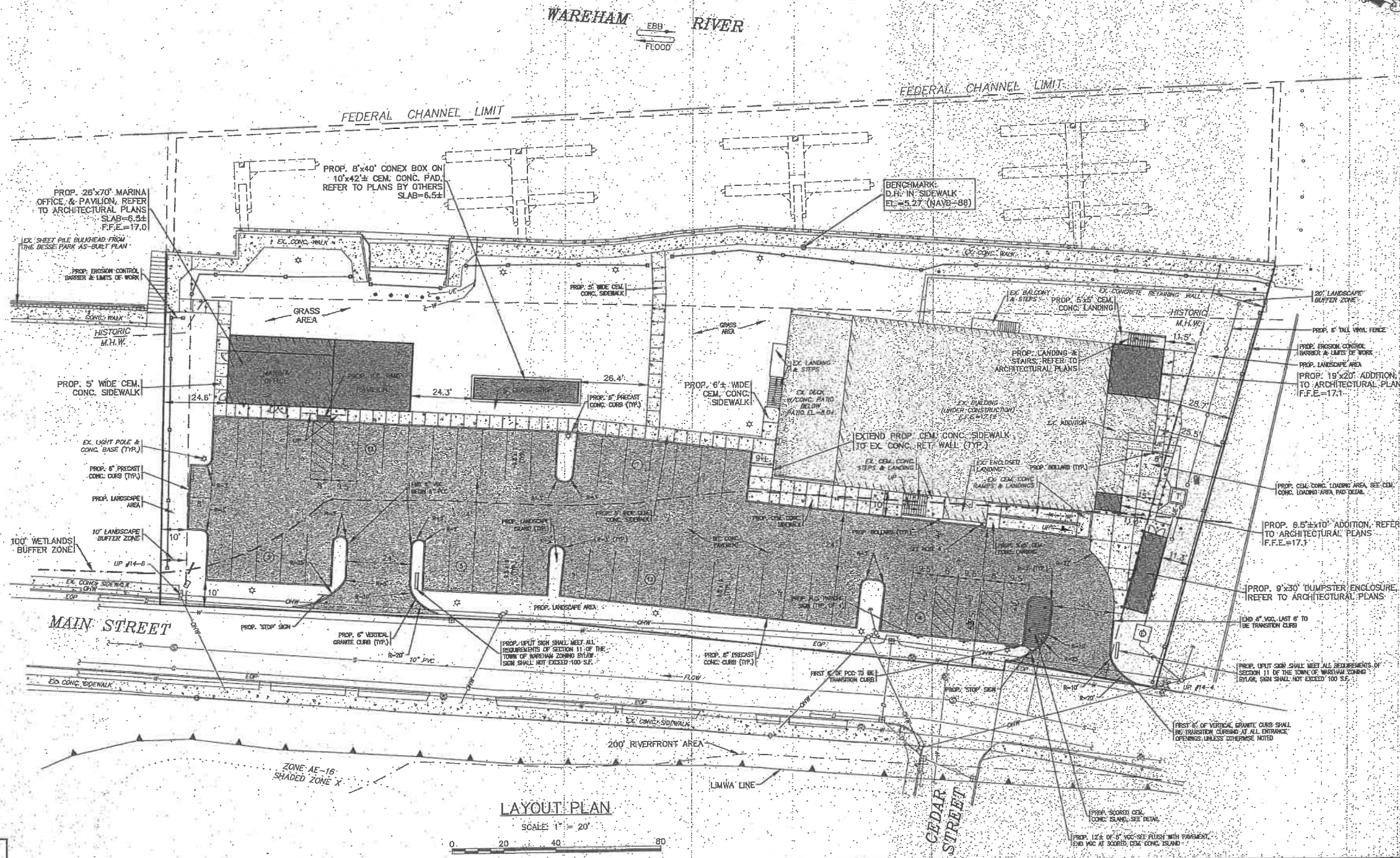
WARREN QOZB, LLC
 PREPARED FOR:
 58 MAIN STREET WAREHAM, MA
 P.O. BOX 1206 CARVER, MA

JOB NO.: 20-9438
 DWG: 3 OF 11

PERMIT SET
 (NOT FOR CONSTRUCTION)

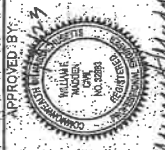
NOTES:

- REFER TO ARCHITECTURAL PLANS BY OTHERS FOR COMPLETE DIMENSIONS, CONSTRUCTION SPECIFICATIONS AND DETAILS OF THE PROPOSED MARINA OFFICE & PAVILION AND THE PROPOSED BUILDING ADDITIONS. CONTRACTOR SHALL CONFIRM FINISHED FLOOR ELEVATION WITH OWNER AND ARCHITECT PRIOR TO CONSTRUCTION. ALL CONSTRUCTION SHALL COMPLY WITH ALL ASCE 24, MASSACHUSETTS AND INTERNATIONAL BUILDING CODE REQUIREMENTS, AS APPLICABLE FOR CONSTRUCTION IN FLOOD ZONES. REFER TO ARCHITECTURAL & STRUCTURAL PLANS BY OTHERS.
- REFER TO PLANS BY OTHERS FOR COMPLETE DIMENSIONS, CONSTRUCTION SPECIFICATIONS AND DETAILS OF THE PROPOSED 8'x40' CONEX BOX. ALL CONSTRUCTION SHALL COMPLY WITH ALL ASCE 24, MASSACHUSETTS AND INTERNATIONAL BUILDING CODE REQUIREMENTS, AS APPLICABLE FOR CONSTRUCTION IN FLOOD ZONES.
- REFER TO ARCHITECTURAL PLANS BY OTHERS FOR COMPLETE DIMENSIONS, CONSTRUCTION SPECIFICATIONS AND DETAILS OF THE PROPOSED DUMPSTER ENCLOSURE. CONTRACTOR SHALL CONFIRM SLAB ELEVATION WITH OWNER AND ARCHITECT PRIOR TO CONSTRUCTION. ALL CONSTRUCTION SHALL COMPLY WITH ALL ASCE 24, MASSACHUSETTS AND INTERNATIONAL BUILDING CODE REQUIREMENTS, AS APPLICABLE FOR CONSTRUCTION IN FLOOD ZONES.
- REFER TO ARCHITECTURAL PLANS BY OTHERS FOR ALL PROPOSED HANDICAP RAMPS & LANDINGS DIMENSIONS, CONSTRUCTION SPECIFICATIONS AND DETAILS. ALL PROPOSED RAMPS & LANDINGS SHALL BE PROVIDED WITH HANDRAILS PER ADA AND BUILDING CODE REGULATIONS. ALL PROPOSED HANDICAP RAMPS & LANDINGS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ALL ADA AND BUILDING CODE REGULATIONS.
- REFER TO PLANS BY OTHERS FOR COMPLETE DIMENSIONS, CONSTRUCTION SPECIFICATIONS AND DETAILS OF ALL THE PROPOSED STAIRS AND LANDINGS. ALL CONSTRUCTION SHALL COMPLY WITH ALL ASCE 24, MASSACHUSETTS AND INTERNATIONAL BUILDING CODE REQUIREMENTS, AS APPLICABLE FOR CONSTRUCTION IN FLOOD ZONES.
- THE LAST 6" OF CURBING SHALL BE TRANSITION CURBING.
- TRANSFORMER ON CEMENT CONCRETE PAD, CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY FOR FINAL LOCATION, SIZE, CONFIGURATION AND ALL CONSTRUCTION DETAILS OF TRANSFORMER. TRANSFORMER SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH ALL FLOOD ZONE SPECIFICATIONS AND REGULATIONS, COORDINATE WITH LOCAL UTILITY COMPANY.



NO.	DATE	BY	REV.	DESCRIPTION
1	11/9/23	WFM	1	MAJOR MODIFICATION
2	7/9/23	JMP	1	SITE PLAN REVISIONS
3	6/23/22	JMP	1	SITE PLAN REVISIONS
4	2/15/22	JMP	1	INCREASED NW DRIVEWAY TO 24' WIDE
5	1/15/22	JMP	1	PER REE REVIEW COMMENTS
6	1/4/22	JMP	1	PER REV. BLDG. PLANS/TOWN COMMENTS

DATE: NOV. 22, 2023
 DRAWN BY: JMP
 CHECKED BY: WFM
 JOB NO.: 20-943B
 SCALE: 1" = 20'

APPROVED BY:

 William W. Quinn
 No. 32898
 State of Massachusetts

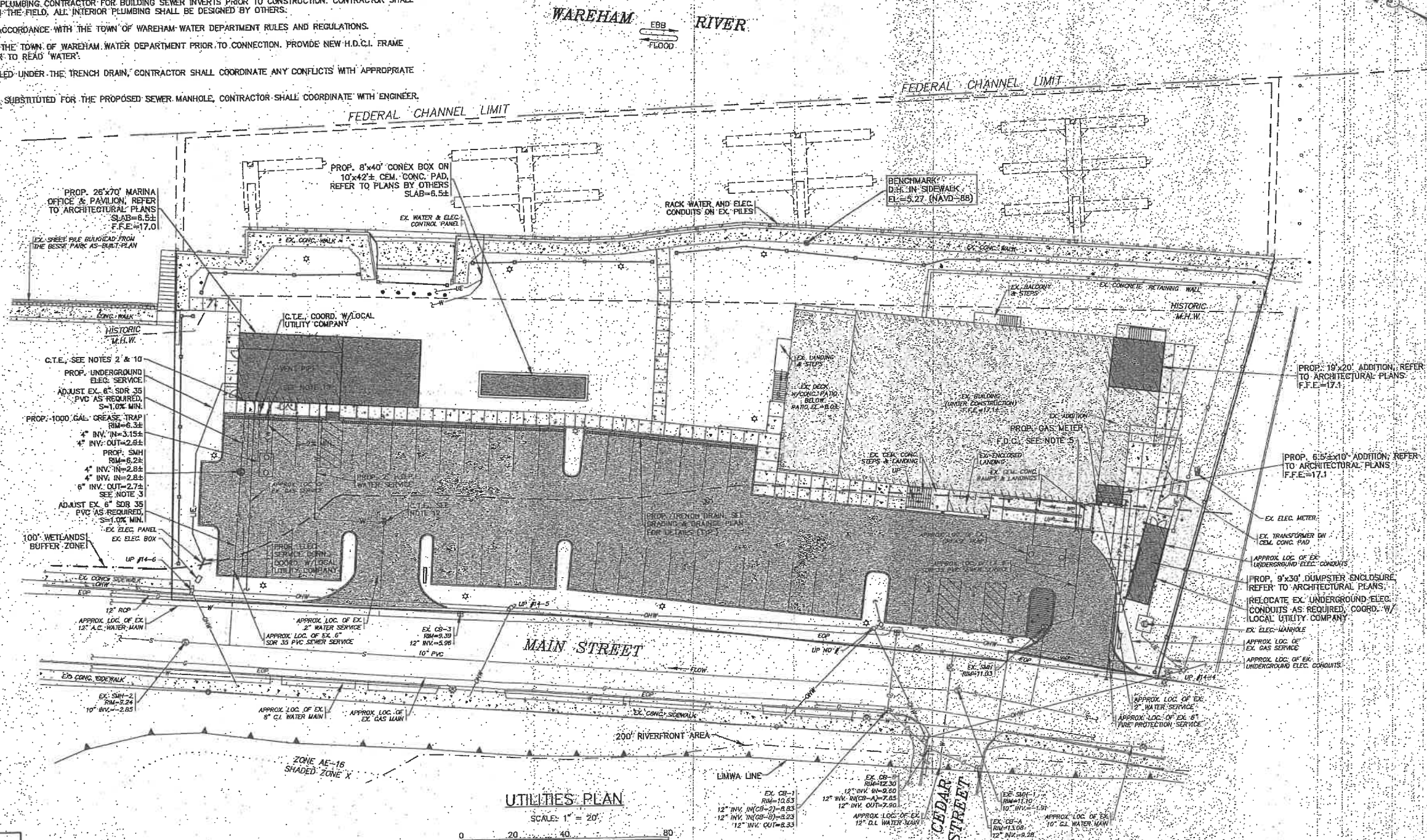
C.A.F. ENGINEERING, INC.
 PROFESSIONAL ENGINEERS & LAND SURVEYORS
 288 MAIN STREET - WAREHAM, MA 02571
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MAJOR MODIFICATION
 SITE DEVELOPMENT PLAN
 LAYOUT PLAN
 WAREHAM, MA
 59 MAIN STREET
 PREPARED FOR:
 WARREN QOZBI, LLC
 CARVER, MA
 P.O. BOX 1208

JOB NO.: 20-943B
 DWG: 4 OF 11

NOTES:

1. EXTEND UTILITY SERVICES TO PROPOSED CONEX BOX AS REQUIRED. CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE SUB CONTRACTOR FOR DETAILS.
2. CONTRACTOR SHALL CONFIRM EXISTING 8" SDR 35 PVC SEWER LOCATION & ELEVATION PRIOR TO CONSTRUCTION. EXISTING 6" SEWER SHALL BE ADJUSTED AS REQUIRED. MAINTAIN 1.0% SLOPE TO EXISTING STUB.
3. ALL SEWER WORK SHALL BE DONE IN ACCORDANCE WITH THE TOWN OF WAREHAM SEWER COMMISSIONERS RULES AND REGULATIONS.
4. CONTRACTOR SHALL CONFIRM THE LOCATIONS OF ALL EXISTING ABOVE OR UNDERGROUND UTILITIES, INCLUDING WATER, SEWER, GAS AND ELECTRIC. WHEN REQUIRED THE CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE SUB CONTRACTOR PRIOR TO RELOCATING ANY EXISTING UTILITY.
5. CONTRACTOR TO COORDINATE WITH THE FIRE PROTECTION CONTRACTOR FOR ALL DETAILS ON THE PROPOSED BUILDING FIRE PROTECTION SYSTEM AND THE FIRE DEPARTMENT CONNECTION (F.D.C.).
6. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY FOR FINAL LOCATION AND ALL CONSTRUCTION DETAILS OF THE ELECTRIC SERVICE CONNECTION. REFER TO ELECTRICAL PLANS BY OTHERS FOR FINAL LOCATIONS AND ALL CONSTRUCTION DETAILS ON THE PROPOSED UNDERGROUND ELECTRIC.
7. THE FINAL LOCATIONS AND CONSTRUCTION DETAILS OF THE PROPOSED GAS METER SHALL BE DETERMINED BY THE LOCAL GAS COMPANY. CONTRACTOR SHALL COORDINATE WITH LOCAL GAS COMPANY PRIOR TO CONSTRUCTION.
8. IF REQUIRED, AT ANY WATER AND SEWER LINE CROSSING ONE FULL LENGTH OF SEWER PIPE SHALL BE 200 PSI PRESSURE RATED PIPE CENTERED OVER WATER LINE MEETING LATEST AWWA STANDARDS AND SHALL BE PRESSURE TESTED TO ENSURE WATER TIGHTNESS. WATER AND SEWER LINES SHALL HAVE A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN PIPES.
9. THE PROPOSED GREASE TRAP SHALL BE PROVIDED WITH (2) BOLTED & GASKETED HEAVY-DUTY CAST IRON (H.D.C.I.) FRAMES AND COVERS TO GRADE AS SHOWN. ALL COVERS SHALL BE SECURED TO PREVENT UNAUTHORIZED ACCESS. COVERS TO READ 'SEWER'. FINAL DESIGN OF PROPOSED GREASE TRAPS AND VENTS BY OTHERS. COORDINATE WITH PLUMBING CONTRACTOR.
10. CONTRACTOR SHALL COORDINATE WITH PLUMBING CONTRACTOR FOR BUILDING SEWER INVERTS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY CONFLICTS IN THE FIELD. ALL INTERIOR PLUMBING SHALL BE DESIGNED BY OTHERS.
11. ALL WATER WORK SHALL BE DONE IN ACCORDANCE WITH THE TOWN OF WAREHAM WATER DEPARTMENT RULES AND REGULATIONS.
12. CONTRACTOR SHALL COORDINATE WITH THE TOWN OF WAREHAM WATER DEPARTMENT PRIOR TO CONNECTION. PROVIDE NEW H.D.C.I. FRAME AND COVER TO FINISHED GRADE. COVER TO READ 'WATER'.
13. ALL PROPOSED UTILITIES TO BE INSTALLED UNDER THE TRENCH DRAIN, CONTRACTOR SHALL COORDINATE ANY CONFLICTS WITH APPROPRIATE SUB CONTRACTOR.
14. A DOGHOUSE SEWER MANHOLE MAY BE SUBSTITUTED FOR THE PROPOSED SEWER MANHOLE, CONTRACTOR SHALL COORDINATE WITH ENGINEER.



UTILITIES PLAN
SCALE: 1" = 20'
0 20 40 80

PERMIT SET
(NOT FOR CONSTRUCTION)

DATE	NOV. 22, 2021	APPROVED BY:	APPROVED BY:	MAJOR MODIFICATION
DRAWN BY:	JMP			SITE PLAN REVISIONS
CHECKED BY:	WFM			SITE PLAN REVISIONS
JOB NO.:	20-9438			INCREASED NW DRIVEWAY TO 24' WIDE
SCALE:	1" = 20'			PER PEER REVIEW COMMENTS
		REV.	DATE	BY
		1	1/4/22	JMP
		2	1/4/22	WFM
		3	1/4/22	WFM
		4	1/4/22	WFM
		5	1/4/22	WFM
		6	11/9/23	JMP
		7	7/5/23	JMP
		8	7/5/23	JMP

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E-MAIL: info@cafengr.com

MAJOR MODIFICATION
SITE DEVELOPMENT PLAN
UTILITIES PLAN

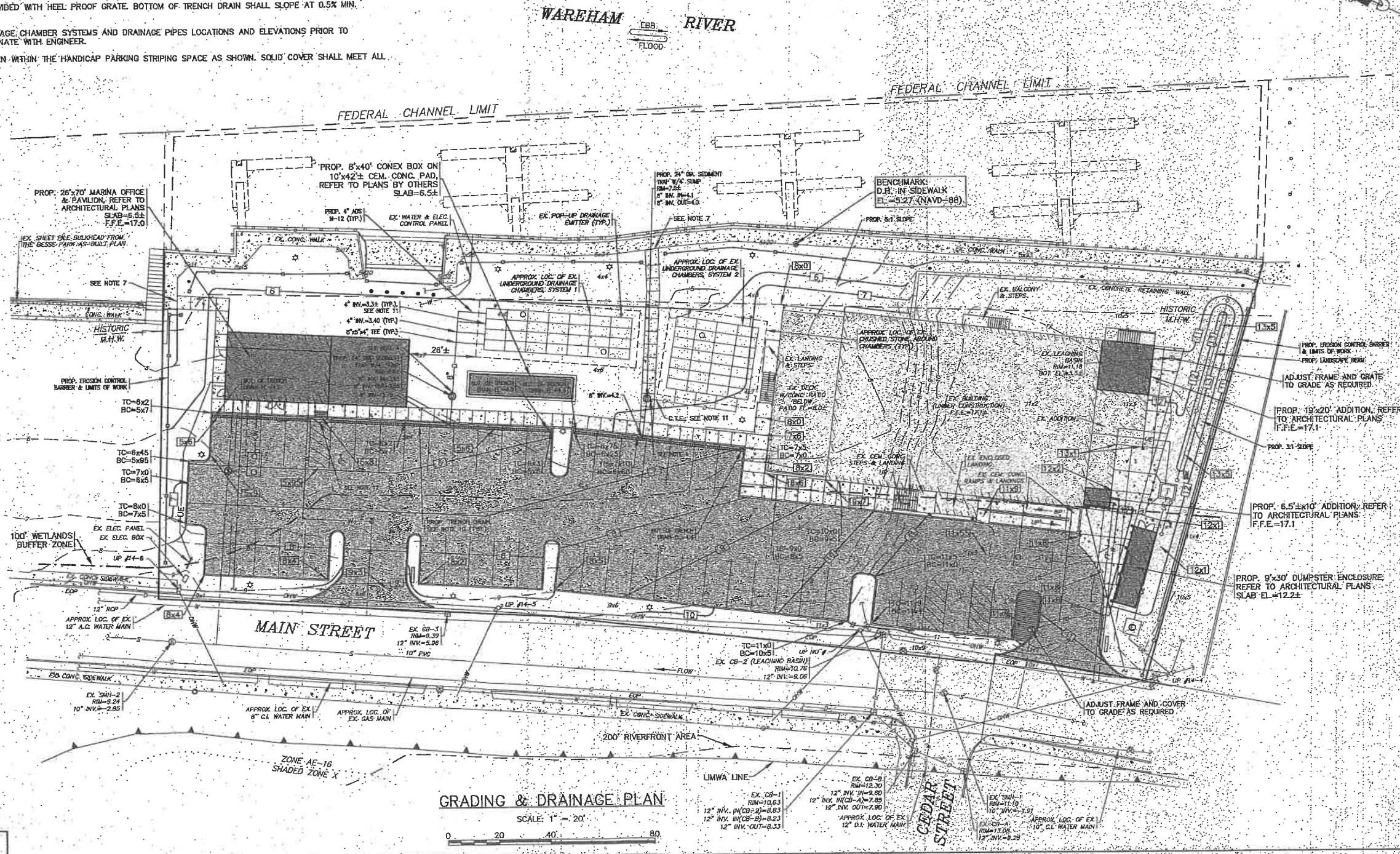
PREPARED FOR:
WARREN QOZB, LLC

WAREHAM, MA
CARVER, MA

JOB NO.: 20-9438
DWG: 5 OF 11

NOTES:

- REFER TO ARCHITECTURAL PLANS BY OTHERS FOR COMPLETE DIMENSIONS, CONSTRUCTION SPECIFICATIONS AND DETAILS OF THE PROPOSED MARINA OFFICE & PAVILION AND THE PROPOSED BUILDING ADDITIONS. CONTRACTOR SHALL CONFIRM FINISHED FLOOR ELEVATION WITH OWNER AND ARCHITECT PRIOR TO CONSTRUCTION. ALL CONSTRUCTION SHALL COMPLY WITH ALL ASCE 24, MASSACHUSETTS AND INTERNATIONAL BUILDING CODE REQUIREMENTS, AS APPLICABLE FOR CONSTRUCTION IN FLOOD ZONES. REFER TO ARCHITECTURAL & STRUCTURAL PLANS BY OTHERS.
- REFER TO PLANS BY OTHERS FOR COMPLETE DIMENSIONS, CONSTRUCTION SPECIFICATIONS AND DETAILS OF THE PROPOSED 8'x40' CONEX BOX. ALL CONSTRUCTION SHALL COMPLY WITH ALL ASCE 24, MASSACHUSETTS AND INTERNATIONAL BUILDING CODE REQUIREMENTS, AS APPLICABLE FOR CONSTRUCTION IN FLOOD ZONES.
- REFER TO ARCHITECTURAL PLANS BY OTHERS FOR COMPLETE DIMENSIONS, CONSTRUCTION SPECIFICATIONS AND DETAILS OF THE PROPOSED DUMPSTER ENCLOSURE. CONTRACTOR SHALL CONFIRM SLAB ELEVATION WITH OWNER AND ARCHITECT PRIOR TO CONSTRUCTION. ALL CONSTRUCTION SHALL COMPLY WITH ALL ASCE 24, MASSACHUSETTS AND INTERNATIONAL BUILDING CODE REQUIREMENTS, AS APPLICABLE FOR CONSTRUCTION IN FLOOD ZONES.
- PROPOSED 24" DIA. SEDIMENT TRAP WITH 4" SUMP SHALL BE PROVIDED WITH BOLTED & GASKETED H.D.C.I. FRAME AND COVER TO FINISHED GRADE. COVER TO BE SECURED TO PREVENT UNAUTHORIZED ACCESS. ALL OUTLET PIPES SHALL BE PROVIDED WITH A NYLOPLAST-ENVIROHOOD OR AN APPROVED EQUAL.
- WATER MAIN SERVICES SHALL BE INSTALLED A MINIMUM OF 18" BELOW ALL PROPOSED DRAINAGE LINES.
- DOWNSPOUTS ON FRONT & BACK OF THE EXISTING BUILDING SHALL BE PIPED TO THE INFILTRATION DRAINAGE SYSTEM #2. DOWNSPOUTS ON THE FRONT & BACK OF THE PROPOSED MARINA OFFICE & PAVILION BUILDING SHALL BE PIPED TO THE INFILTRATION DRAINAGE SYSTEM #1. REFER TO ARCHITECTURAL PLANS FOR ALL DOWNSPOUT LOCATIONS AND SIZES.
- ALL STONE AROUND PRECAST CEMENT CONCRETE LEACHING CHAMBERS SHALL BE 1.5"-2" DOUBLE WASHED CRUSHED STONE.
- MATCH PROPOSED SIDEWALK INTO EXISTING SIDEWALK LINE AND GRADE.
- FOR COMPLETE DRAINAGE OPERATION AND MAINTENANCE NOTES SEE SHEET 2.
- PROPOSED TRENCH DRAIN SHALL BE PROVIDED WITH HEEL PROOF GRATE. BOTTOM OF TRENCH DRAIN SHALL SLOPE AT 0.5% MIN. TOWARDS OUTLET PIPES.
- CONTRACTOR TO CONFIRM EXISTING DRAINAGE CHAMBER SYSTEMS AND DRAINAGE PIPES LOCATIONS AND ELEVATIONS PRIOR TO CONNECTION. CONTRACTOR SHALL COORDINATE WITH ENGINEER.
- PROVIDE SOLID COVER OVER TRENCH DRAIN WITHIN THE HANDICAP PARKING STRIPING SPACE AS SHOWN. SOLID COVER SHALL MEET ALL ADA REGULATIONS.



GRADING & DRAINAGE PLAN

SCALE: 1" = 20'

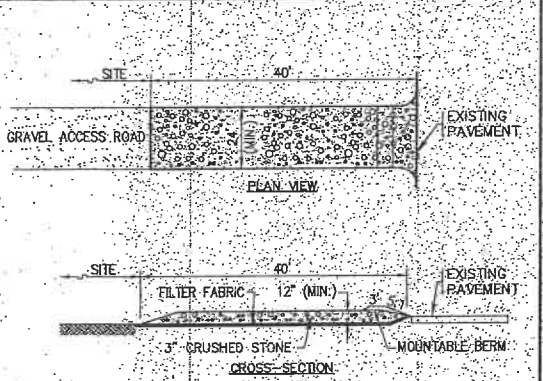
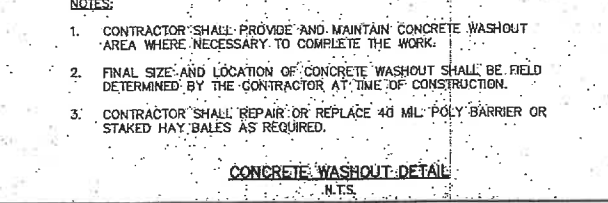
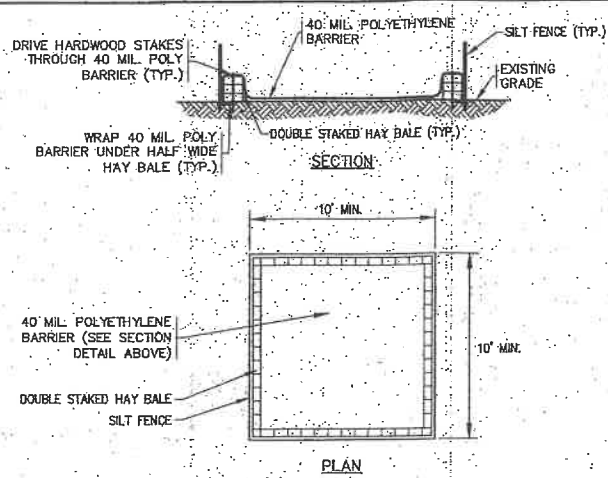
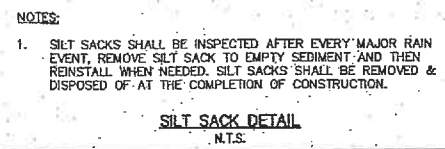
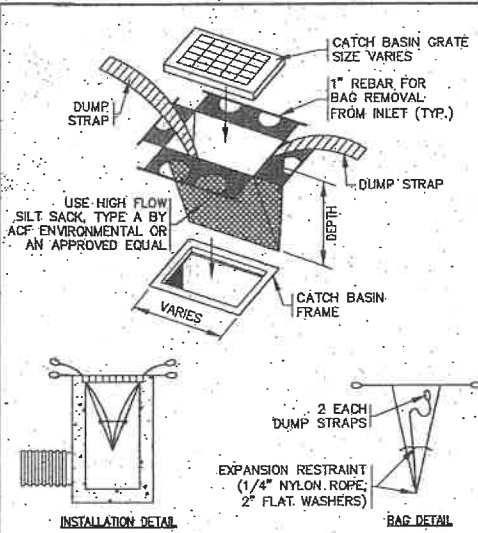
DATE	NOV. 22, 2021	APPROVED BY	WARREN QOZB			
DATE	NOV. 22, 2021	APPROVED BY	WARREN QOZB			
DRAWN BY	JMP	MAJOR MODIFICATION	SITE PLAN REVISIONS			
CHECKED BY	WFM		SITE PLAN REVISIONS			
JOB NO.	20-9438		PER PEER REVIEW COMMENTS			
SCALE	1" = 20'		PER REV. BLDG. PLANS/TOWN COMMENTS			
		REV.	DATE	BY	APP'D	DESCRIPTION
		6	11/18/23	JMP	WFM	
		5	7/5/23	JMP	WFM	
		4	6/23/22	JMP	WFM	
		3	2/15/22	JMP	WFM	
		2	1/19/22	JMP	WFM	
		1	1/11/22	JMP	WFM	

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MAJOR MODIFICATION
 SITE DEVELOPMENT PLAN
 GRADING & DRAINAGE PLAN
 50 MAIN STREET
 WAREHAM, MA
 PREPARED FOR
WARREN QOZB, LLC
 P.O. BOX 1206
 CARVER, MA

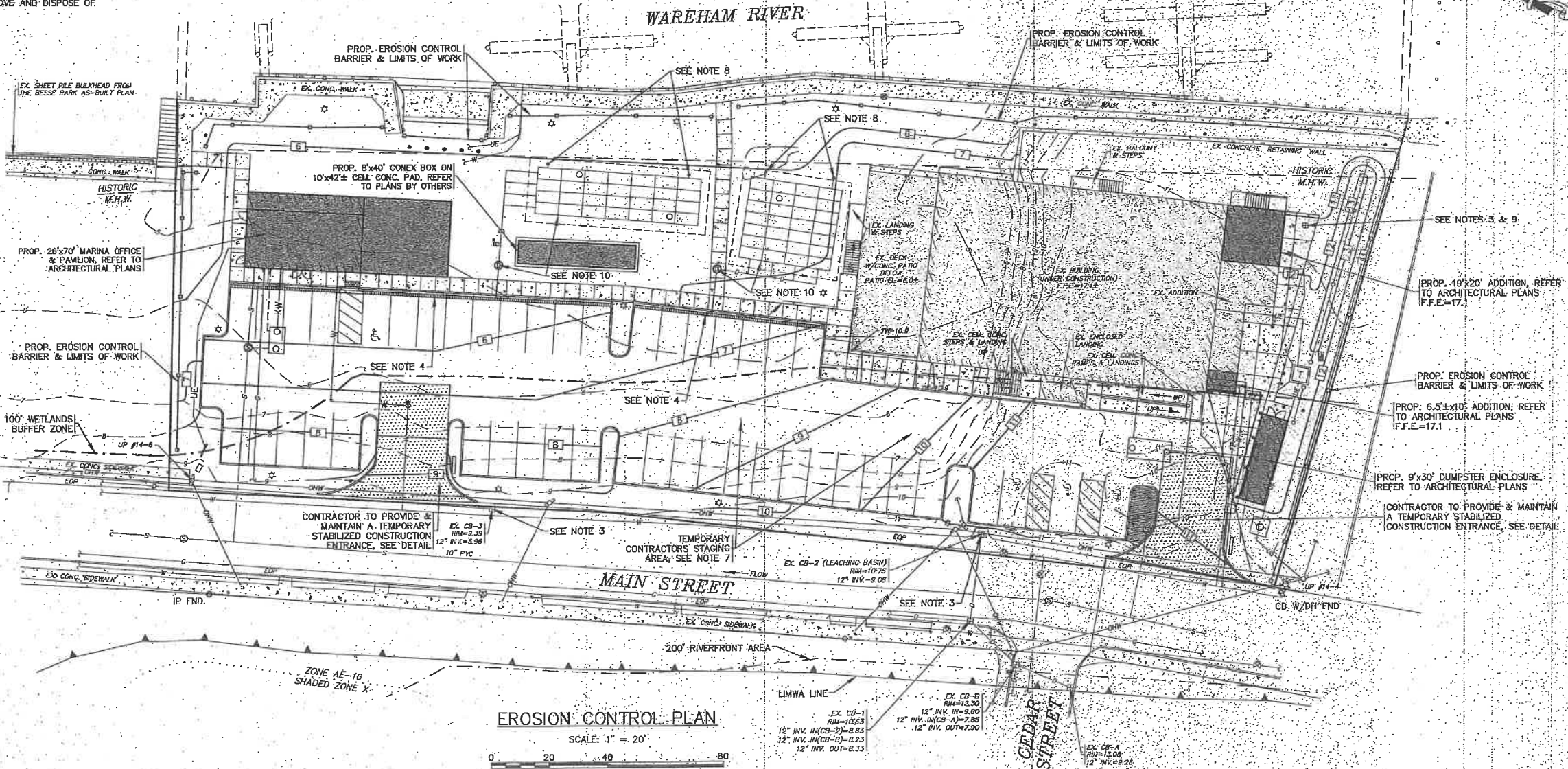
NOTES:

- CONSTRUCTION ENTRANCE WILL NEED TO BE INSTALLED BEFORE ANY CONSTRUCTION ACTIVITY OCCURRING ON-SITE.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN DOUBLE STAKED HAY BALES WITH SILT FENCE EROSION CONTROL BARRIER AS SHOWN ON THE PLANS. EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL ALL VEGETATION IS ESTABLISHED.
- EXISTING CATCH BASINS SHALL HAVE A TEMPORARY SILT SACK OR AN APPROVED EQUAL INSTALLED WITHIN PRIOR TO CONSTRUCTION. CONTRACTOR SHALL REMOVE AND DISPOSE OF THE SILT SACKS AT THE COMPLETION OF CONSTRUCTION.
- ALL TRENCH DRAINS SHALL BE INSPECTED WEEKLY DURING CONSTRUCTION. IF THERE IS ANY SEDIMENT BUILDUP, THE AFFECTED STRUCTURES SHALL BE CLEANED IMMEDIATELY, AND ALL MATERIAL REMOVED SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.
- CONTRACTOR SHALL SIZE, PROVIDE AND MAINTAIN DEWATERING EQUIPMENT FOR THE CONTROL, COLLECTION AND DISPOSAL OF GROUND AND SURFACE WATER WHERE NECESSARY TO COMPLETE THE WORK. DEWATERING IF REQUIRED SHALL BE DIRECTED TO A DEWATERING BASIN OR A DIRTBAG. FINAL SIZE AND LOCATION OF DEWATERING EQUIPMENT SHALL BE DETERMINED BY THE CONTRACTOR AT TIME OF CONSTRUCTION.
- CEMENT CONCRETE WASHOUT AREA SHALL BE A RING OF DOUBLE STAKED HAY BALES WITH SILTATION FENCE AND LINED WITH A 40-MIL POLYETHYLENE BARRIER. SEE DETAIL. FINAL WASHOUT SIZE AND LOCATION SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR AT TIME OF CONSTRUCTION.
- THE FINAL LOCATION OF CONTRACTOR'S STAGING AREA SHALL BE DETERMINED BY THE CONTRACTOR AT TIME OF CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH OWNER.
- PROTECT THE POP-UP DRAINAGE EMITTER DURING CONSTRUCTION WITH A 12" PERFORATED PIPE PLACE AROUND THE UNIT DURING CONSTRUCTION.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL INSPECT THE EXISTING LEACHING BASIN FOR ANY DEBRIS OR SEDIMENT ACCUMULATION. REMOVE AND DISPOSE OF ANY DEBRIS AND SEDIMENT AS REQUIRED. EXISTING LEACHING BASIN SHALL BE PUMPED CLEAN UPON COMPLETION OF CONSTRUCTION.
- AT THE COMPLETION OF CONSTRUCTION THE CONTRACTOR SHALL INSPECT ALL DRAINAGE STRUCTURES FOR EVIDENCE OF SEDIMENT OR DEBRIS ACCUMULATION. REMOVE AND DISPOSE OF ANY DEBRIS AND SEDIMENT AS REQUIRED.



- NOTES:**
- ENTRANCE WIDTH SHALL BE 24 FEET MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.

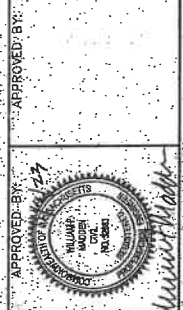
- NOTES:**
- THE SILTATION FENCE SHALL BE ACI ENVIRONMENTAL MODEL LS125.
 - SILTATION FENCING SHALL BE INSTALLED DOWNSLOPE OF ALL PROPOSED AND EXISTING DISTURBED AREAS, OR AS SHOWN ON THE PLANS.
 - THE EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL A VEGETATIVE COVER HAS BEEN FIRMLY ESTABLISHED.
 - EROSION CONTROL MEASURES SHALL FOLLOW THE PERFORMANCE STANDARDS OF THE USDA SOIL CONSERVATION SERVICE, AND ANY APPLICABLE STATE AND/OR LOCAL CONSERVATION AUTHORITY.



EROSION CONTROL PLAN

SCALE: 1" = 20'

DATE	NOV. 22, 2021	APPROVED BY:	WARREN QOZB
DATE	11/29/23	MAJOR MODIFICATION	
	7/5/23	SITE PLAN REVISIONS	
	6/23/22	SITE PLAN REVISIONS	
	2/19/22	INCREASED NW BRIVWAY TO 24' WDE	
	1/19/22	PER PEER REVIEW COMMENTS	
	1/19/22	PER REV. BLDG. PLANS/TOWN COMMENTS	
	REV. 1	DATE	BY

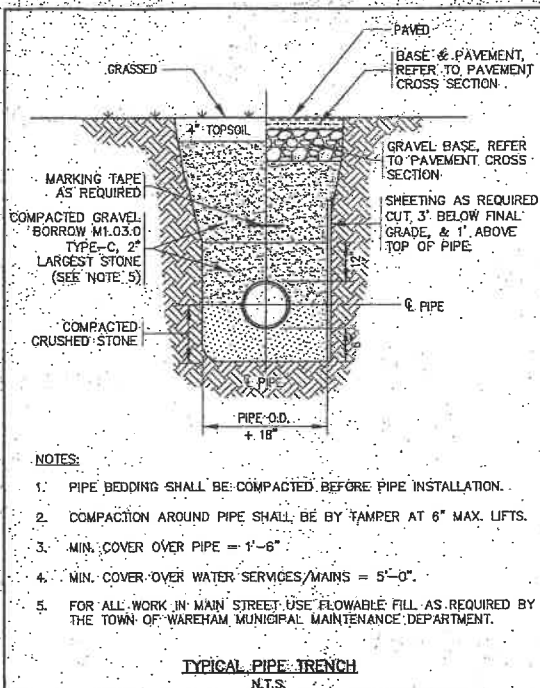


G.A.F. ENGINEERING, INC.
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 WAREHAM, MA 02571

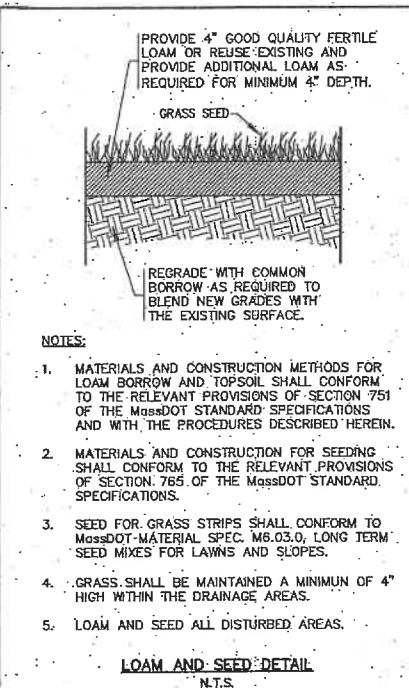
PERMIT SET
 (NOT FOR CONSTRUCTION)

JOB NO.: 20-9438
 DWG.: 8 OF 11



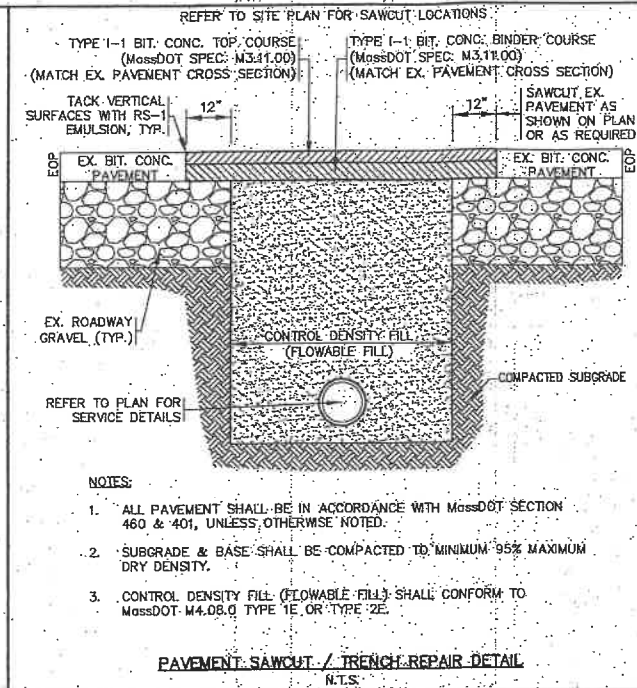
- NOTES:**
- PIPE BEDDING SHALL BE COMPACTED BEFORE PIPE INSTALLATION.
 - COMPACTION AROUND PIPE SHALL BE BY TAMPER AT 6" MAX. LIFTS.
 - MIN. COVER OVER PIPE = 1'-6"
 - MIN. COVER OVER WATER SERVICES MAINS = 5'-0"
 - FOR ALL WORK IN MAIN STREET USE FLOWABLE FILL AS REQUIRED BY THE TOWN OF WAREHAM MUNICIPAL MAINTENANCE DEPARTMENT.

TYPICAL PIPE TRENCH
N.T.S.



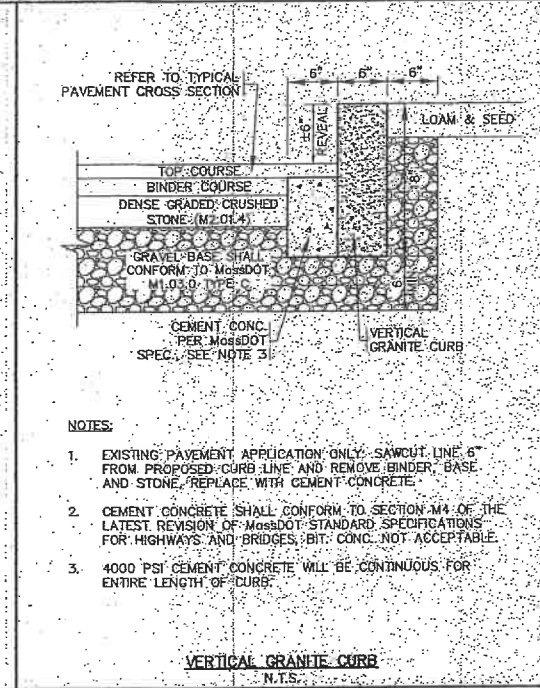
- NOTES:**
- MATERIALS AND CONSTRUCTION METHODS FOR LOAM BORROW AND TOPSOIL SHALL CONFORM TO THE RELEVANT PROVISIONS OF SECTION 751 OF THE MASSDOT STANDARD SPECIFICATIONS AND WITH THE PROCEDURES DESCRIBED HEREIN.
 - MATERIALS AND CONSTRUCTION FOR SEEDING SHALL CONFORM TO THE RELEVANT PROVISIONS OF SECTION 765 OF THE MASSDOT STANDARD SPECIFICATIONS.
 - SEED FOR GRASS STRIPS SHALL CONFORM TO MASSDOT MATERIAL SPEC. M6.03.0, LONG TERM SEED MIXES FOR LAWNS AND SLOPES.
 - GRASS SHALL BE MAINTAINED A MINIMUM OF 4" HIGH WITHIN THE DRAINAGE AREAS.
 - LOAM AND SEED ALL DISTURBED AREAS.

LOAM AND SEED DETAIL
N.T.S.



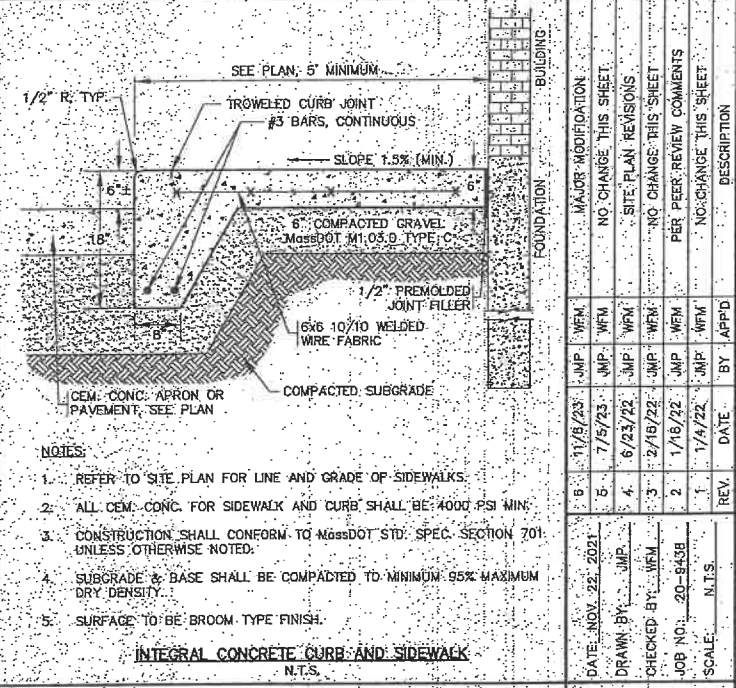
- NOTES:**
- ALL PAVEMENT SHALL BE IN ACCORDANCE WITH MASSDOT SECTION 460 & 401, UNLESS OTHERWISE NOTED.
 - SUBGRADE & BASE SHALL BE COMPACTED TO MINIMUM 95% MAXIMUM DRY DENSITY.
 - CONTROL DENSITY FILL (FLOWABLE FILL) SHALL CONFORM TO MASSDOT M4.08.0 TYPE 1E OR TYPE 2E.

PAVEMENT SAWCUT / TRENCH REPAIR DETAIL
N.T.S.



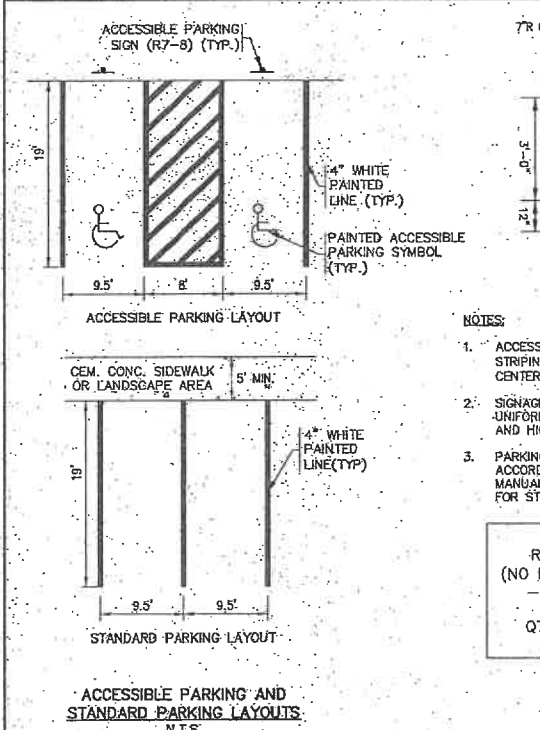
- NOTES:**
- EXISTING PAVEMENT APPLICATION ONLY - SAWCUT LINE 6" FROM PROPOSED CURB LINE AND REMOVE BINDER, BASE AND STONE, REPLACE WITH CEMENT CONCRETE.
 - CEMENT CONCRETE SHALL CONFORM TO SECTION M4 OF THE LATEST REVISION OF MASSDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES; BIT. CONC. NOT ACCEPTABLE.
 - 4000 PSI CEMENT CONCRETE WILL BE CONTINUOUS FOR ENTIRE LENGTH OF CURB.

VERTICAL GRANITE CURB
N.T.S.

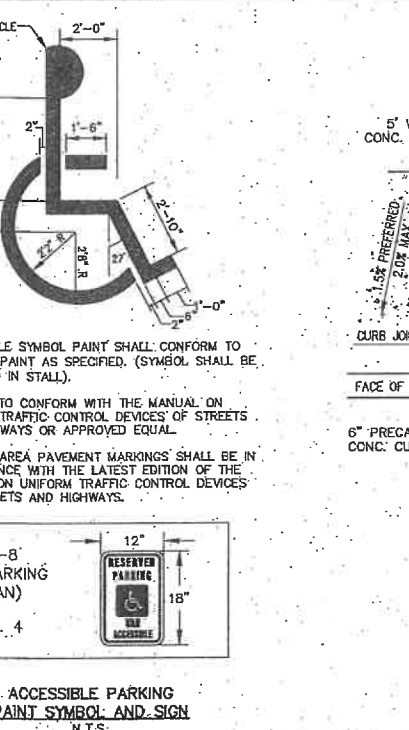


- NOTES:**
- REFER TO SITE PLAN FOR LINE AND GRADE OF SIDEWALKS.
 - ALL CEM. CONC. FOR SIDEWALK AND CURB SHALL BE 4000 PSI MIN.
 - CONSTRUCTION SHALL CONFORM TO MASSDOT STD. SPEC. SECTION 701 UNLESS OTHERWISE NOTED.
 - SUBGRADE & BASE SHALL BE COMPACTED TO MINIMUM 95% MAXIMUM DRY DENSITY.
 - SURFACE TO BE BROOM TYPE FINISH.

INTEGRAL CONCRETE CURB AND SIDEWALK
N.T.S.

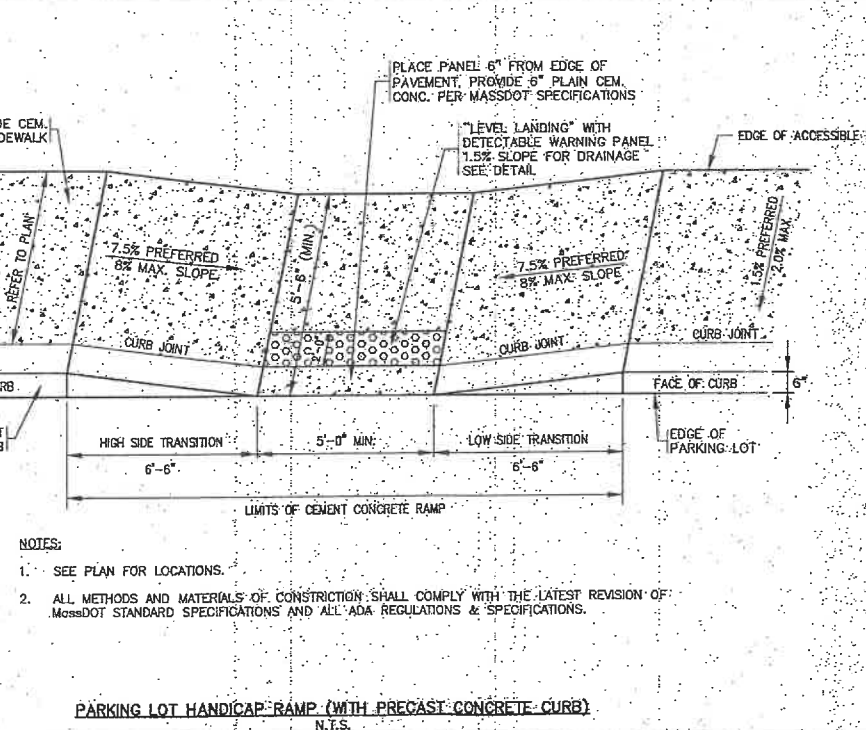


ACCESSIBLE PARKING AND STANDARD PARKING LAYOUTS
N.T.S.



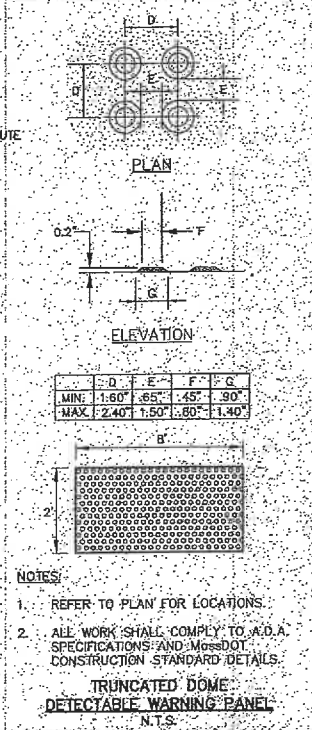
- NOTES:**
- ACCESSIBLE SYMBOL PAINT SHALL CONFORM TO STRIPING PAINT AS SPECIFIED. (SYMBOL SHALL BE CENTERED IN STALL).
 - SIGNAGE TO CONFORM WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS OR APPROVED EQUAL.
 - PARKING AREA PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.

ACCESSIBLE PARKING PAINT SYMBOL AND SIGN
N.T.S.



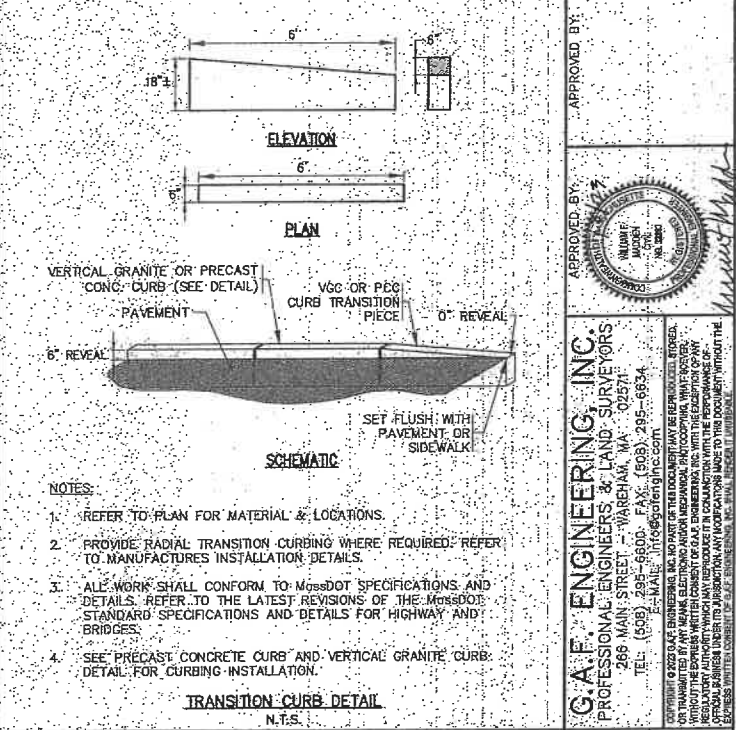
- NOTES:**
- SEE PLAN FOR LOCATIONS.
 - ALL METHODS AND MATERIALS OF CONSTRUCTION SHALL COMPLY WITH THE LATEST REVISION OF MASSDOT STANDARD SPECIFICATIONS AND ALL ADA REGULATIONS & SPECIFICATIONS.

PARKING LOT HANDICAP RAMP (WITH PRECAST CONCRETE CURB)
N.T.S.



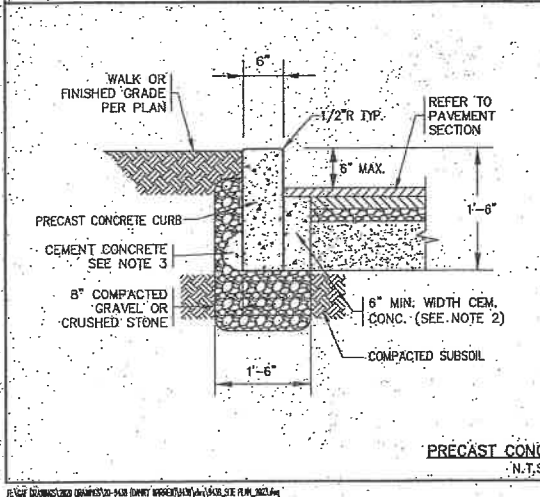
- NOTES:**
- REFER TO PLAN FOR LOCATIONS.
 - ALL WORK SHALL COMPLY TO ADA SPECIFICATIONS AND MASSDOT CONSTRUCTION STANDARD DETAILS.

TRUNCATED DOME DETECTABLE WARNING PANEL
N.T.S.



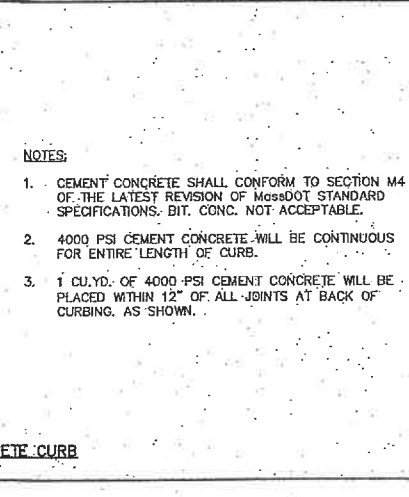
- NOTES:**
- REFER TO PLAN FOR MATERIAL & LOCATIONS.
 - PROVIDE RADIAL TRANSITION CURBING WHERE REQUIRED; REFER TO MANUFACTURER'S INSTALLATION DETAILS.
 - ALL WORK SHALL CONFORM TO MASSDOT SPECIFICATIONS AND DETAILS; REFER TO THE LATEST REVISIONS OF THE MASSDOT STANDARD SPECIFICATIONS AND DETAILS FOR HIGHWAY AND BRIDGES.
 - SEE PRECAST CONCRETE CURB AND VERTICAL GRANITE CURB DETAIL FOR CURBING INSTALLATION.

TRANSITION CURB DETAIL
N.T.S.



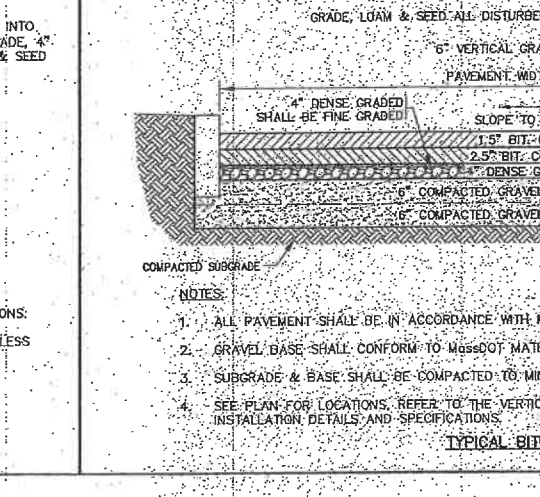
- NOTES:**
- CEMENT CONCRETE SHALL CONFORM TO SECTION M4 OF THE LATEST REVISION OF MASSDOT STANDARD SPECIFICATIONS. BIT. CONC. NOT ACCEPTABLE.
 - 4000 PSI CEMENT CONCRETE WILL BE CONTINUOUS FOR ENTIRE LENGTH OF CURB.
 - 1 CU. YD. OF 4000-PSI CEMENT CONCRETE WILL BE PLACED WITHIN 12" OF ALL JOINTS AT BACK OF CURBING, AS SHOWN.

PRECAST CONCRETE CURB
N.T.S.



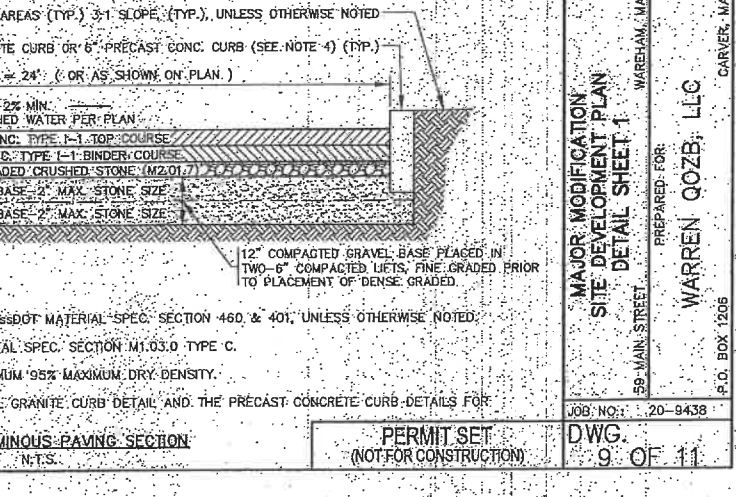
- NOTES:**
- REFER TO SITE PLAN FOR LINE AND GRADE OF SIDEWALKS.
 - ALL CONCRETE SHALL BE 4000 PSI PER SECTION 701 OF MASSDOT STD. SPECIFICATIONS.
 - SIDEWALK CONSTRUCTION SHALL CONFORM TO MASSDOT STD. SPEC. SECTION 701 UNLESS OTHERWISE NOTED.
 - SUBGRADE & BASE SHALL BE COMPACTED TO MINIMUM 95% MAXIMUM DRY DENSITY.
 - SURFACE TO BE BROOM TYPE FINISH.

CEMENT CONCRETE SIDEWALK
N.T.S.



- NOTES:**
- ALL PAVEMENT SHALL BE IN ACCORDANCE WITH MASSDOT MATERIAL SPEC. SECTION 460 & 401, UNLESS OTHERWISE NOTED.
 - GRAVEL BASE SHALL CONFORM TO MASSDOT MATERIAL SPEC. SECTION M1.03.0 TYPE C.
 - SUBGRADE & BASE SHALL BE COMPACTED TO MINIMUM 95% MAXIMUM DRY DENSITY.
 - SEE PLAN FOR LOCATIONS, REFER TO THE VERTICAL GRANITE CURB DETAIL AND THE PRECAST CONCRETE CURB DETAILS FOR INSTALLATION DETAILS AND SPECIFICATIONS.

TYPICAL BITUMINOUS PAVING SECTION
N.T.S.



PERMIT SET (NOT FOR CONSTRUCTION)

APPROVED BY: [Signature]

DATE: NOV. 22, 2023

DRAWN BY: J.M.P.

CHECKED BY: W.F.M.

JOB NO.: 20-9438

SCALE: N.T.S.

MAJOR MODIFICATION: NO CHANGE THIS SHEET.

SITE PLAN REVISIONS:

NO CHANGE THIS SHEET

PER REEVIEW COMMENTS:

NO CHANGE THIS SHEET

DATE:

BY: APPD

DESCRIPTION:

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PROFESSIONAL ENGINEERS & LAND SURVEYORS
268 MAIN STREET - WAREHAM, MA 02571
TEL: (508) 299-6600 FAX: (508) 299-6634
E-MAIL: info@gafeng.com

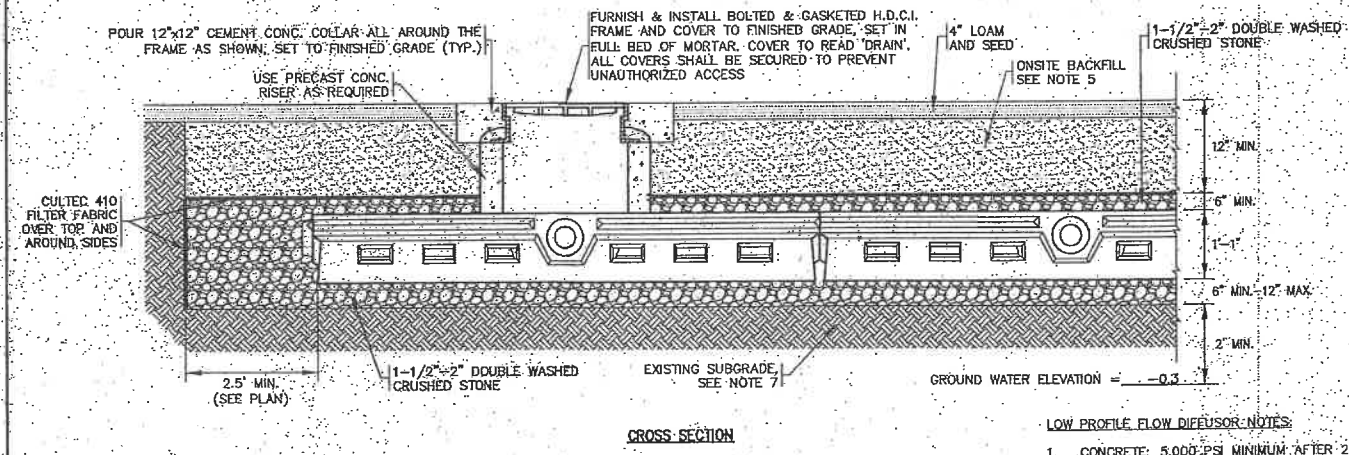
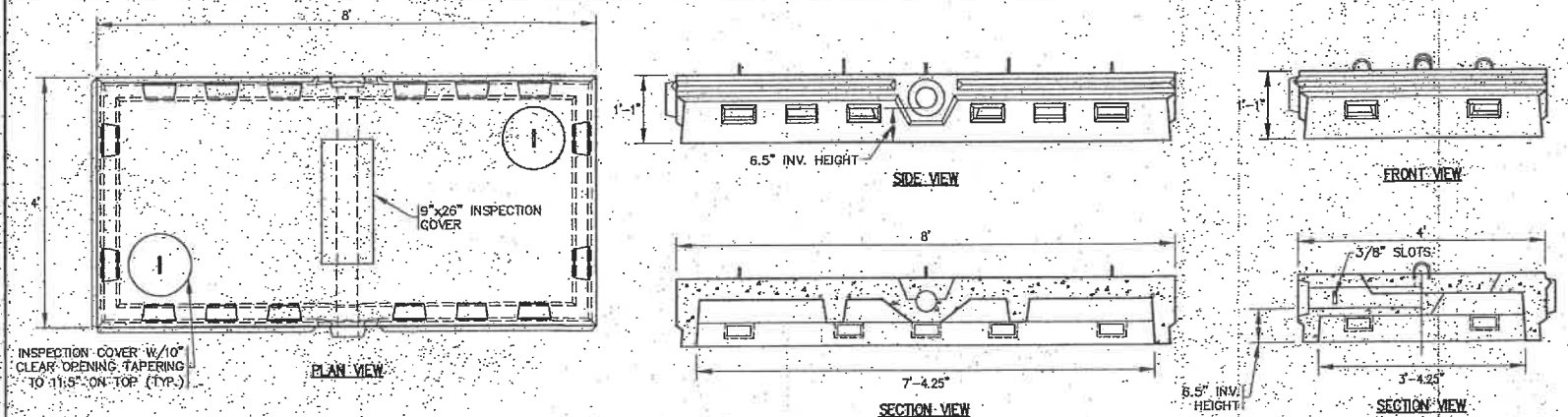
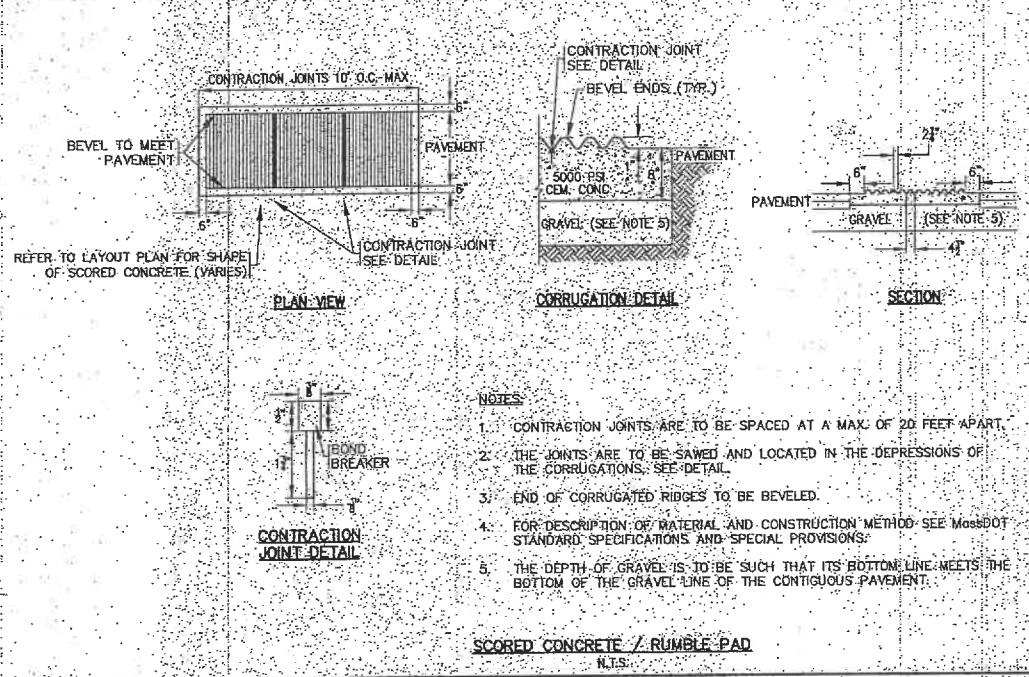
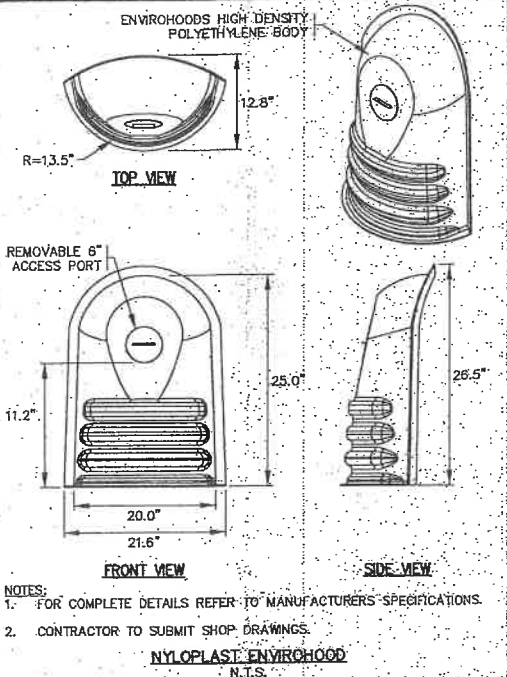
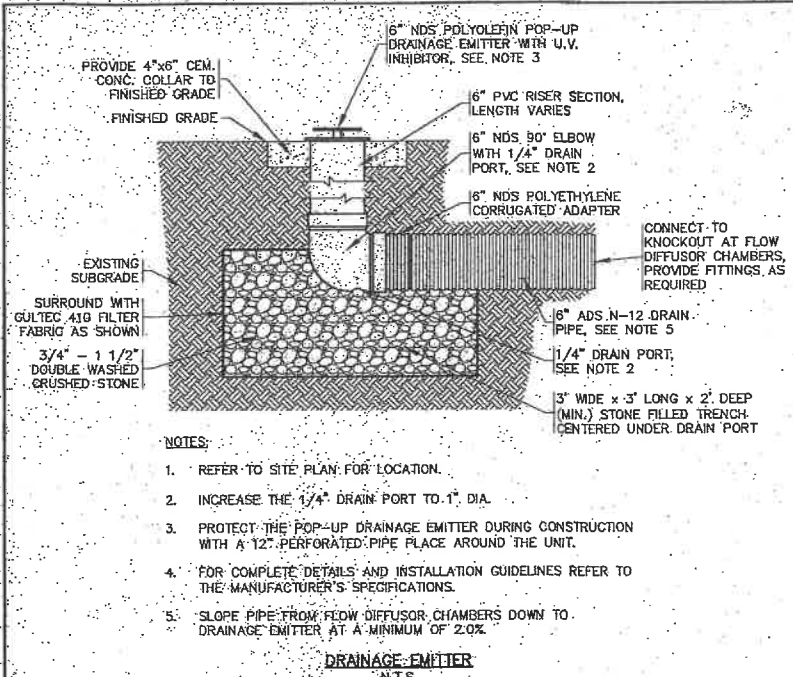
WARREN QOZB, LLC
99 MAIN STREET WAREHAM, MA 02571
PREPARED FOR: WARREN QOZB, LLC
P.O. BOX 12008 CARVER, MA

MAJOR MODIFICATION SITE DEVELOPMENT PLAN DETAIL SHEET 1

WARREN QOZB, LLC

JOB NO.: 20-9438

DWG. 9 OF 11

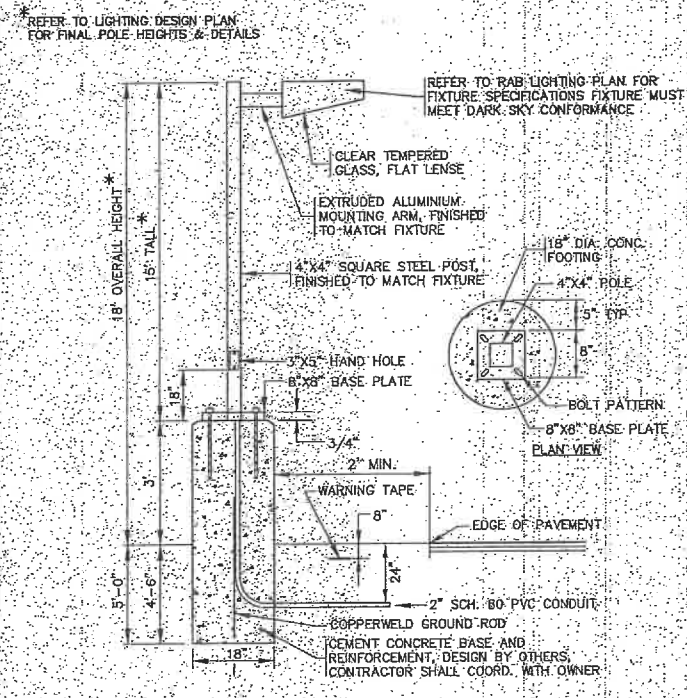


SYSTEM ELEVATIONS:

DESC./EL.	BOTTOM OF STONE	BOTTOM OF CHAMBER	TOP OF CHAMBER	TOP OF STONE	4" INVERT
SYSTEM 1	1.8	2.8	3.9	4.4	3.35
SYSTEM 2	1.8	2.8	3.9	4.4	3.35

PERMIT SET
(NOT FOR CONSTRUCTION)

LOW PROFILE FLOW DIFFUSER CHAMBERS
N.T.S.



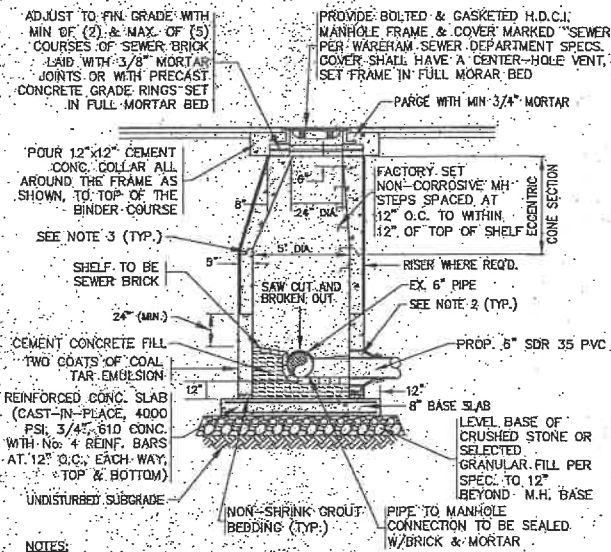
DATE	BY	APPD	DESCRIPTION
11/28/23	JMP	WFA	MAJOR MODIFICATION
7/5/23	JMP	WFA	ADDED ENVIROHOOD DETAIL, MISC. NOTES
6/23/22	JMP	WFA	SHE PLAN REVISIONS
2/15/22	JMP	WFA	PER PEER REVIEW COMMENTS
1/18/22	JMP	WFA	PER PEER REVIEW COMMENTS
1/4/22	JMP	WFA	NO CHANGE THIS SHEET
	REV.	DATE	BY

APPROVED BY: [Signature]

G.A.F. ENGINEERING, INC.
PROFESSIONAL ENGINEERS & LAND SURVEYORS
888 MAIN STREET, WAREHAM, MA 01956
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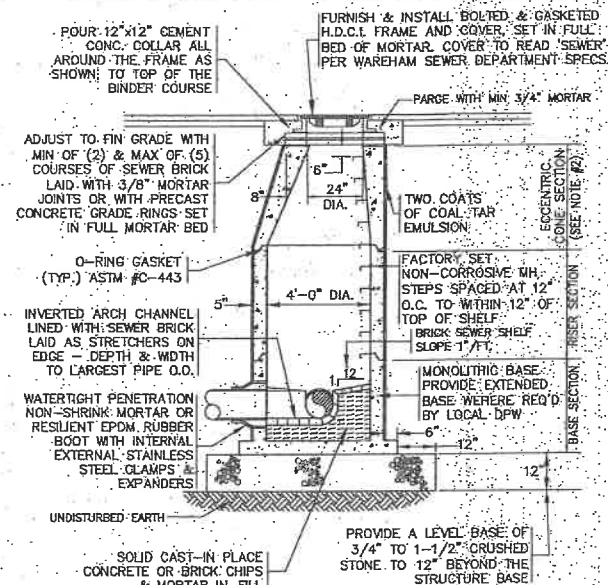
WARREN COZB, LLC
159 MAIN STREET, WAREHAM, MA
P.O. BOX 1206, CARVER, MA

MAJOR MODIFICATION
SITE DEVELOPMENT PLAN
DETAIL SHEET 2
JOB NO. 20-9438
DWG. 10 OF 11



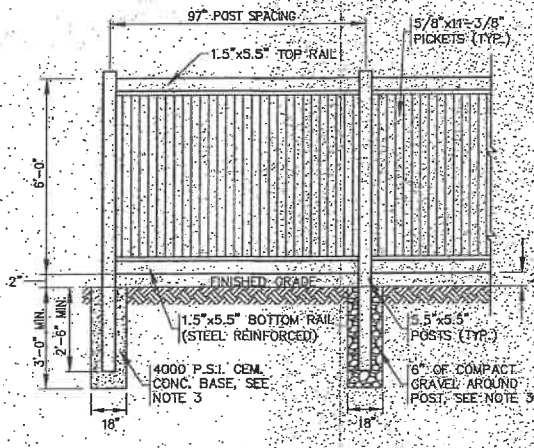
- NOTES:**
1. ALL STRUCTURES SHALL BE PRECAST CONC. AND BE DESIGNED FOR HS-20 LOADING. SECTION HEIGHTS VARY.
 2. USE WATERTIGHT PENETRATION NON-SHRINK MORTAR OR RESILIENT EPDM RUBBER BOOT WITH INTERNAL/EXTERNAL STAINLESS STEEL CLAMPS & EXPANDERS.
 3. ALL STRUCTURE JOINTS AND PENETRATIONS SHALL BE WATER TIGHT. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
 4. REFER TO PLANS FOR PIPE SIZES, INVERTS, RIMS AND LOCATIONS.

DOGHOUSE SEWER MANHOLE
N.T.S.



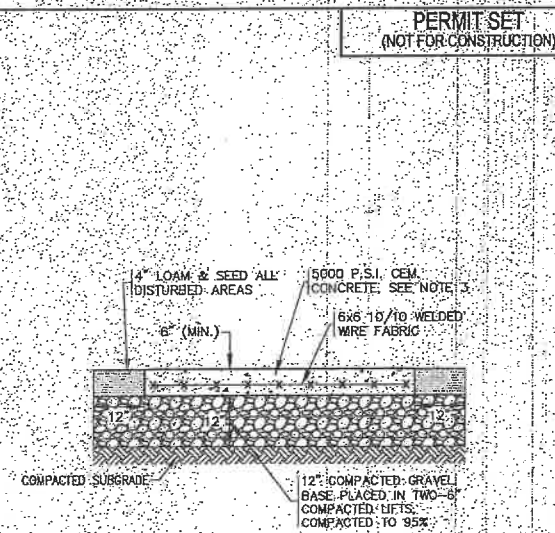
- NOTES:**
1. ALL STRUCTURES SHALL BE PRECAST CONC. IN ACCORDANCE WITH ASTM-C-478 WITH H-20 LOADING. SECTION HEIGHTS VARY.
 2. FOR SHALLOW INSTALLATION AND WHEN APPROVED BY THE ENGINEER, FLAT TOP H-20 SLAB ALLOWED. SUBMIT SHOP DWGS.
 3. ALL STRUCTURE JOINTS AND PENETRATIONS SHALL BE WATER TIGHT. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
 4. REFER TO PLANS FOR PIPE SIZES, INVERTS, RIMS AND LOCATIONS.

SEWER MANHOLE
N.T.S.



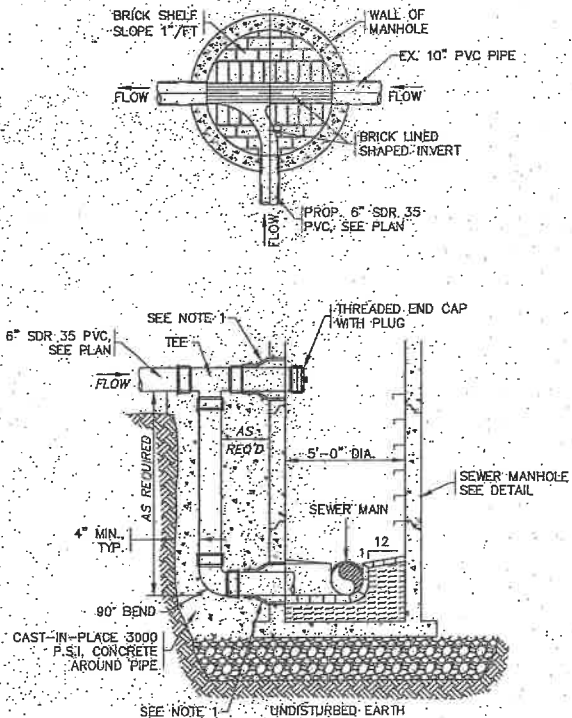
- NOTES:**
1. REFER TO MANUFACTURERS SPECIFICATIONS FOR COMPLETE DETAILS AND INSTALLATION GUIDELINES.
 2. REFER TO PLAN FOR LOCATIONS.
 3. CEMENT CONCRETE BASE SHALL BE USED AT ALL ENDS, ANGLE POINTS AND GATE POSTS. POSTS SHALL BE INSTALLED TO A DEPTH OF 2'-6" MIN. OR TO A DEPTH AS REQUIRED FOR FROST ADEQUATE PROTECTION.

VINYL FENCE DETAIL
N.T.S.



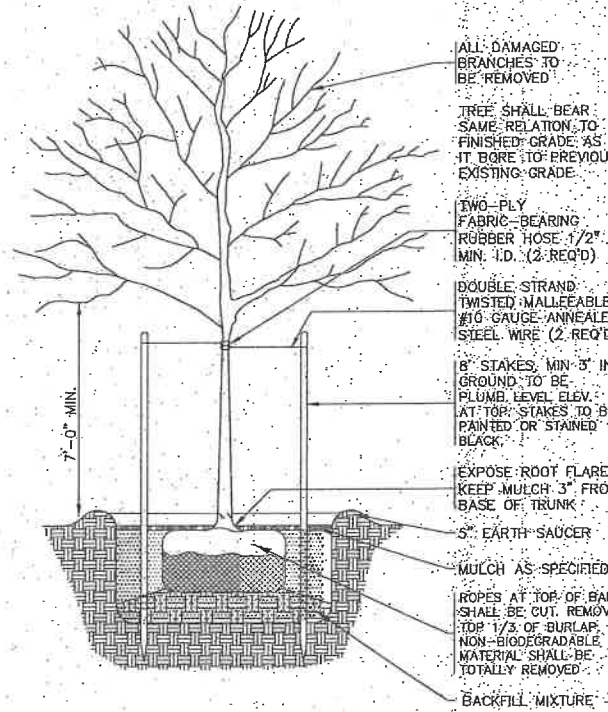
- NOTES:**
1. CEMENT CONCRETE PAD SHALL BE 6" THICK.
 2. CONSTRUCTION JOINTS TO BE SET AT INTERVALS OF 1/4 OF LENGTH.
 3. STRENGTH OF THE CEMENT CONCRETE SHALL BE 5000 P.S.I. @ 28 DAYS.
 4. SUBGRADE & BASE SHALL BE COMPACTED TO MINIMUM 95% MAXIMUM DRY DENSITY.
 5. SEE PLAN FOR LOCATIONS.
 6. SEE GRADING & DRAINAGE PLAN FOR ELEVATIONS.

CEMENT CONCRETE LOADING AREA/RAMPSTER PAD
N.T.S.



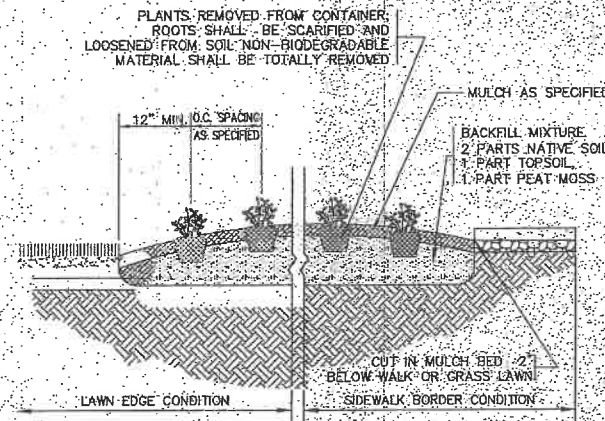
- NOTES:**
1. USE WATERTIGHT PENETRATION NON-SHRINK MORTAR OR RESILIENT EPDM RUBBER BOOT WITH INTERNAL/EXTERNAL STAINLESS STEEL CLAMPS & EXPANDERS.
 2. ALL STRUCTURE JOINTS AND PENETRATIONS SHALL BE WATER TIGHT.
 3. REFER TO PLANS FOR PIPE SIZES, INVERTS, RIMS AND LOCATIONS.

OUTSIDE DROP - SEWER MANHOLE (IF REQUIRED)
N.T.S.

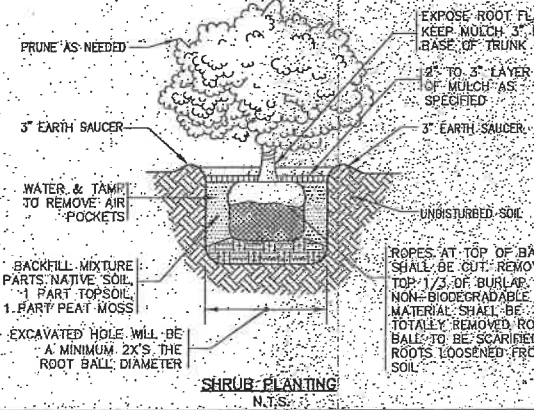


- NOTES:**
1. REFER TO LANDSCAPING PLAN FOR PLANTING LOCATIONS.

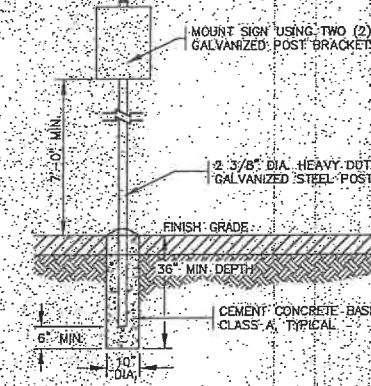
SHADE TREE PLANTING DETAIL
N.T.S.



GROUND COVER PLANTING DETAIL
N.T.S.

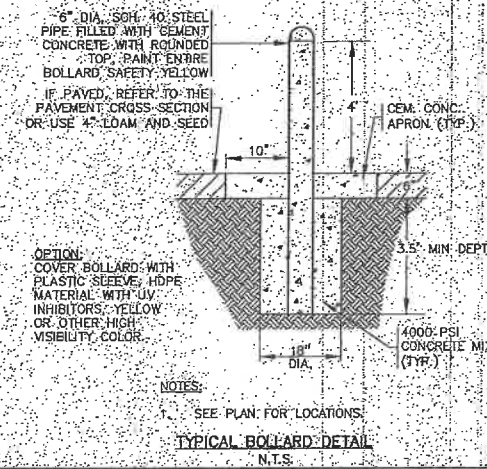


SHRUB PLANTING
N.T.S.



- NOTES:**
1. ALL SIGNS, MARKINGS AND DIMENSIONS SHALL BE IN CONFORMANCE WITH THE MOST RECENT EDITIONS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), MCDOT AND TOWN OF WAREHAM STANDARDS AND SPECIFICATIONS.
 2. ALL HARDWARE USED SHALL BE CADMIUM OR ZINC PLATED.

TYPICAL SIGN POST
N.T.S.



- NOTES:**
- OPTION COVER BOLLARDS WITH PLASTIC SLEEVE, HDPE MATERIAL WITH UV INHIBITORS, YELLOW OR OTHER HIGH VISIBILITY COLOR.
- SEE PLAN FOR LOCATIONS.

TYPICAL BOLLARD DETAIL
N.T.S.

DATE	NOV. 22, 2022	APPROVED BY:	DATE	NOV. 22, 2022	APPROVED BY:
DRAWN BY:	JMP	DATE	NOV. 22, 2022	APPROVED BY:	JMP
CHECKED BY:	JMP	DATE	NOV. 22, 2022	APPROVED BY:	JMP
JOB NO.	20-9438	SCALE	N.T.S.	REV.	BY
				1	JMP
				2	JMP
				3	JMP
				4	JMP
				5	JMP
				6	JMP

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TEL: (508) 826-6800 FAX: (508) 826-9554
WWW.GAF-ENG.COM

MAJOR MODIFICATION
SITE DEVELOPMENT PLAN
DETAIL SHEET 3

WARREN QOZB, LLC
P.O. BOX 1205
GARVER, MA

DATE: NOV. 22, 2022