

Addition & Alterations

TURNER AVE HOME RENOVATION

16 Turner Avenue, Wareham MA 02571

PROJECT DESCRIPTION

These plans describe an addition and alteration to a single family Cape style residence built in 1930. The scope of work includes renovation to the first floor as well as rebuilding an accessory structure with connecting mudroom to main residence.

The drawing set and specifications were developed by 8TFive Studio with support from team members listed in the Project Directory. 3D images for visualization purposes only.

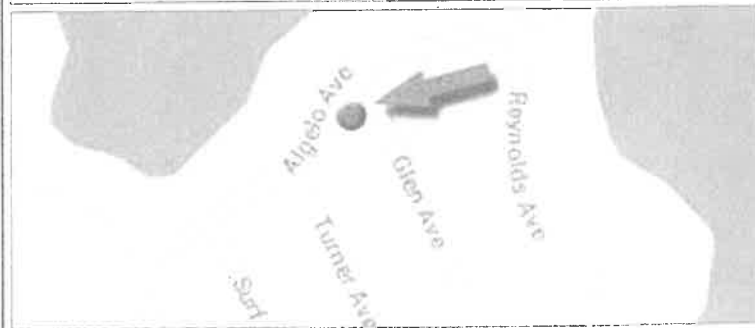


Drawing Disclaimer: This Document contains confidential and proprietary information that cannot be reproduced or divulged, in whole or in part, without written authorization from the Architect. Do not scale from a drawing. Work to figured dimensions only. All dimensions to be checked on site prior to the execution of any work. The Copyright of these drawings belong to 8TFive Studio, LLC

PROJECT ZONING DATA [Required] / (Provided)

Assessor's Data	Map (50-F)	Parcel (90-77)
Zoning Info	Zoning District (R-30)	Proposed Use (Same)
Property Info	Lot [30,000 SF]/(4,119 SF)	Frontage [150']/(50')
Blding Setbacks	Front [20']/(17.5') Side [10']/(10') Rear [10']/(7')	
Blding Restrictions	Coverage [25%]/(36%)	Height [35']/(21' 6")
Site Information	Water Supply (Public)	Sewage (Municipal)
Flood Zone	Within Area (Yes)	Zone VE-18
Floor Area	Exist. 1,344 SF Mod. +/- 345 SF New 1,689 SF	

VICINITY MAP



PROJECT CODE SUMMARY

Building Codes	International Residential Code (IRC) 2015
	Massachusetts Building Code Provisions of '780 CMR 51.00' 9th Edition - (Jan. 2018)
Local Jurisdiction	Zoning & General By-Laws
City, State	Wareham, MA
Occupancy Group	Residential (One/Two Family), R-3
Type of Construction	Type V-B (Wood Construction)

DRAWING INDEX

- Revision Date
- G0.01 Cover Sheet
 - G0.02 General Notes I
 - G0.03 General Notes II
 - G0.04 Specifications I
 - G0.05 Specifications II
 - G0.06 Structural Notes

- L1.01 Site & Area Plan

- AD1.0 Existing Foundation
- AD1.1 Existing 1st Floor
- AD1.2 Existing 2nd Floor
- AD1.3 Existing Roof Plan
- AD2.1 Ex. Exterior Elevations
- AD2.2 Ex. Exterior Elevations

- A1.01 1st Floor Plan
 - A1.02 2nd Floor Plan
 - A1.03 Roof Plan & Details
 - A2.01 Exterior Elevations
 - A2.02 Exterior Elevations
 - A3.01 Building Sections
 - A5.01 High Wind Details
 - A5.02 Deck Framing Details
 - A6.01 Door & Window Schedules
- Total Drawing Sheets: 22

PROJECT DIRECTORY

Building Department
54 Marion Road
Wareham, MA 02571
(508) 291-3100

Owner
Richard & Christine Wiggin
37 Tucker Avenue
Marlboro, MA 01752

Architect
Neil Silva - **8TFive Studio, LLC**
16 Jordan Lane
East Freetown, MA 02717
(774) 243-2432
nsilva@8tfive.com

Civil Engineer
G.A.F Engineering, INC
266 Main Street
Wareham, MA 02571
(508) 295-6600
info@gafenginc.com

General Contractor
Joe Mardo - **JM Craftsmanship**
1090 Walnut Plain Rd.
Rochester, MA 02770
(508) 843-3985
jmcraftsman@comcast.net

ARCHITECT STAMP

8TFIVE STUDIO
architectural design

16 Jordan Lane
East Freetown, MA 02717
(774) 243-2432 info@8TFive.com

REVISIONS

ADDRESS
16 Turner Avenue,
Wareham MA 02571

DRAWN BY
M.Ghaly
02/16/22

CLIENT
Mr. & Mrs. Wiggin

COVER SHEET

PROJECT STATUS
Concept Drawings

SCALE
1/2" = 1'-0"

G0.01

ENERGY COMPLIANCE REQUIREMENTS

See ResCheck Report, if Applicable

Project City	Project State	Stretch Code Adopt	Opening Fenestration			
			Fenestration U-factor	Skylight U-factor	Glazed Fenestration SHGC	
Wareham	MA	No	.30	.55	Not Required	
Ceiling R-value	Framed Wall R-value*	Mass Wall R-value	Floor R-value	Basement Wall R-value**	Slab R-value & Depth	Crawl Space Wall R-value
49	20 or 13+5	13/17	30	15/19	10, 2 ft	15/19

* '13+5' means R-13 cavity insulation plus R-5 continuous insulation.

** "15/19" means R-15 continuous insulation on the interior or exterior of the building or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation around the building.

PROJECT DESIGN CRITERIA

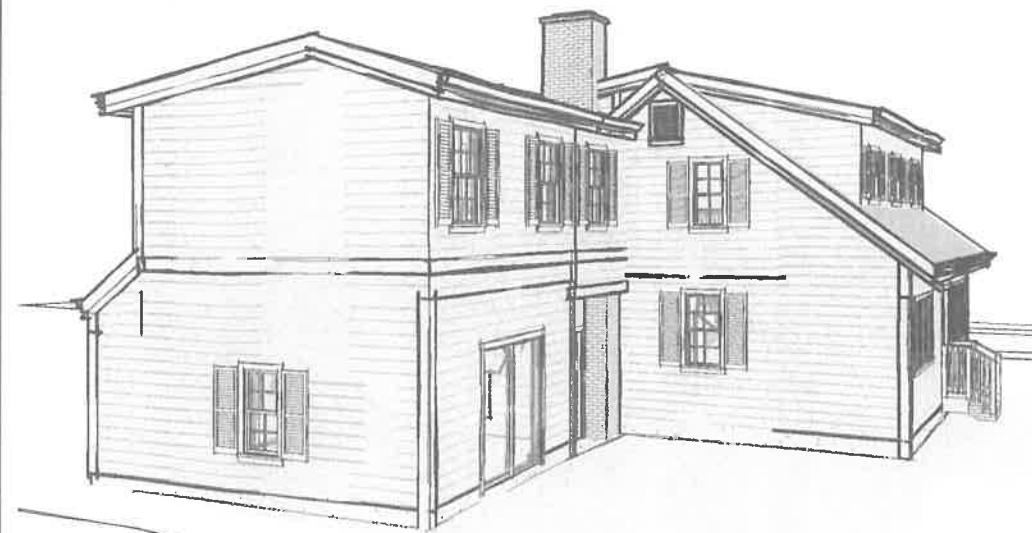
Refer to Site & Area Plan for Additional Notes

Ground Snow Load	Wind Design			Seismic Category	Subject to Damage from		
	Basic Wind Speed (II)	Wind Exposure	Topo Effects		Weathering	Frost Line Depth	Termite
30 PSF	138 MPH	B	No	Exempt (B)	Severe	48 in	Mod. - Heavy
Winter Design Temp	Ice Barrier Underlayment Required		Flood Hazards		Air Freezing Index	Climate Zone	Mean Annual Temp
Dry Bulb	Yes		See A-1.0		1500	5A	47.9 °F
Hurricane-Prone Region			Wind-Borne Debris Region		Protection of Openings		
Yes - per R202			Maybe - per R202 (See A-1.0)		Maybe - per R301.2.1.2		
Floor Dead	Floor Live	Attic Dead	Attic Live	Roof Dead	Roof Live	Snow Load	
20 PSF	40 PSF	10 PSF	20 PSF	20 PSF	20 PSF	30 PSF	

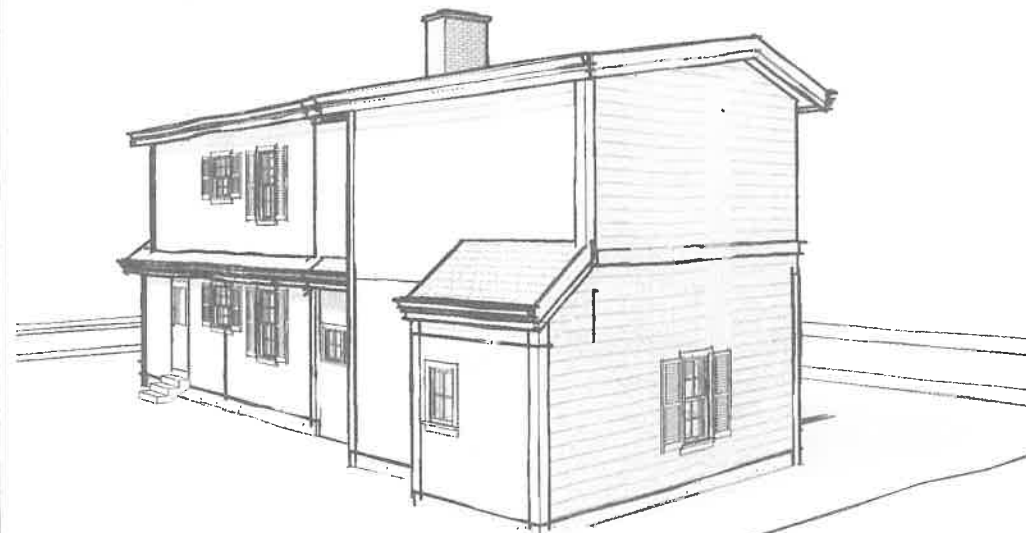
* The roof shall be designed for the live load indicated or the snow load, whichever is greater.

GENERAL NOTES

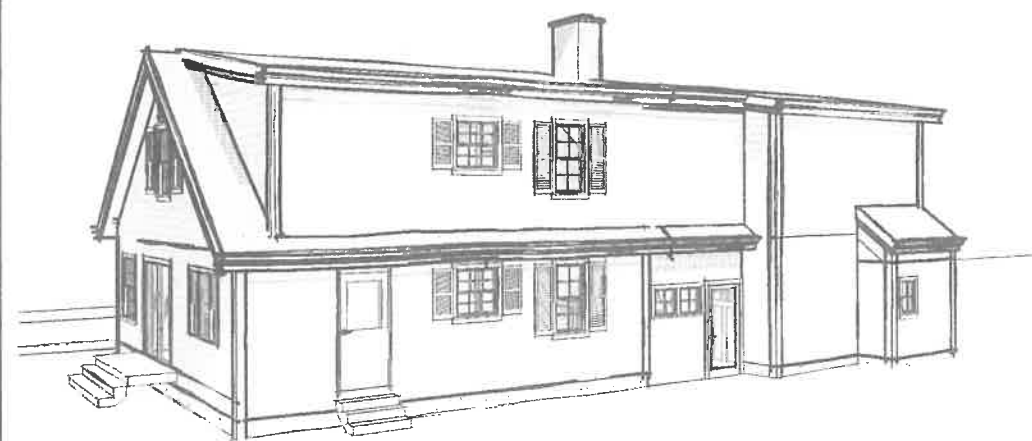
- All work shall be done in strict accordance with all applicable Building Codes adopted by Local Jurisdictions, latest editions, as amended by the State and Local Jurisdiction. Not all code requirements are explicitly called out on these drawings and the final responsibility for compliance is with the Contractor.
- The intent of the Construction Documents is to include all labor, materials, equipment, and transportation necessary for the complete and proper execution of the Work, consistent with good practice. Any work or item not specifically called for in the drawings but required for a complete and fully functioning installation consistent with the intent of the Construction Documents shall be supplied by the Contractor as if specified herein.
- The Contractor must adhere to the scope of work shown on the drawings. No work is authorized if it expands the original scope of work unless it is approved in writing by the Owner. Any work undertaken by the Contractor and any additional required documentation or cost to the project without prior written approval is the sole responsibility of the Contractor.
- Deviations or alterations to any portion of the Work or specific details will not be allowed unless approved by the Architect prior to work being done.
- Contractor to verify existing conditions before commencing with work in order to ensure conformance with Construction Documents. All inconsistencies shall be brought to the attention of the Architect prior to proceeding with any work.
- Any questions regarding the intent related to the layout of the new work shall be brought to the attention of the Architect prior to proceeding with any work.
- These Construction Documents (drawings, specifications and other documents), prepared by the Architect and the Architect's consultants, are instruments of professional service (Instruments of Service) for use solely with respect to this Project under contract with the Owner. This includes documents in electronic form. The Architect and the Architect's consultants shall be deemed the authors and owners of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights. The Instruments of Service shall not be used by the Owner, or future Owner, for this Project or future additions or alterations to this Project or for other projects, without the prior written agreement of the Architect. Any unauthorized use of the Instruments of Service shall be at the Owner's sole risk and without liability to the Architect.
- The Construction Documents, as instruments of professional service (Instruments of Service), may require interpretation or clarifications during the Construction phase. No warranties are expressed or implied in connection with providing the professional services, nor is any warranty or assurance provided as to the performance of the project.
- Manufacturers printed or published instructions shall be strictly complied with for the incorporation of all manufactured materials and equipment into the building.
- All materials shall be of the specified grades or better. Second hand or used material shall not be incorporated in the building without the specific approval of the Architect.
- Contractor shall be held responsible for all loss and damage that may happen to new or existing Work or to any of the materials used thereon until the acceptance of the Work by the owner. Damage incurred to existing conditions to remain are to be returned to their original condition.
- During construction, the premises shall be kept free from accumulations of waste materials or rubbish, and the Work shall be made broom clean intermittently. At the completion of the Work, all glass, floors, plumbing fixtures, etc., shall be left clean and free from debris, rubbish, etc.
- General Contractor and any subcontractors shall guarantee all work installed by him/her for a period of one (1) year from the date of Substantial Completion of the Work. The General Contractor and subcontractors agree that during the guarantee period, any defective work, and any other work damaged thereby, shall be replaced promptly and properly without cost to the Owner or Architect.



1 Lower-Right Perspective
For Visualization Purposes Only



2 Upper-Right Perspective
For Visualization Purposes Only



3 Lower-Left Perspective
For Visualization Purposes Only



4 Upper-Left Perspective
For Visualization Purposes Only

ARCHITECT STAMP

8TFIVE STUDIO
architectural design

16 Jordan Lane
East Freetown, MA 02717
(774) 243-2432 info@8TFive.com

REVISIONS

ADDRESS

16 Turner Avenue,
Wareham MA 02571

DRAWN BY

M. Ghaly
02/16/22

SCALE

12" = 1'-0"

General Notes 1

GO.02

PROJECT STATUS
Concept Drawings

CLIENT
Mr. & Mrs. Wiggins

Project #
20201174

SYMBOLS LEGEND

	Existing	
	Column Grid	
	Elevation Name X' - X"	Floor / Ceiling Level Reference
	Detail Designation	
	Building Section Designation	
	Wall Section Designation	
	Exterior / Interior Elevation Designation	
	Exterior / Interior Window Designation	
	Room Designation	
	Revision Designation	
	Door Designation	
	Glazing Type Designation	
	Demolition Designation	
	Louver Type Designation	
	Metal Panel Designation	
	Partition Type Designation	
	Sheet Numbering Code Designation	

MATERIAL LEGEND

	Acoustical Ceiling Tile	
	Aluminum	
	Batt Insulation	
	Brick	
	Ceramic Tile	
	Concrete	
	CMU	
	Earth	
	Glass	
	Gravel	
	Gypsum Wall Board	
	Marble	
	Particle Board	
	Plastic Laminate	
	Plywood	
	Rigid Insulation	
	Stone	
	Steel	
	Terrazzo	
	Wood Framing	
	Wood Blocking	
	Wood Finished	

Section Cut Patterns

Surface Patterns

ABBREVIATION LIST

A/C	AIR CONDITIONG	E	EAST	JST	JOIST	R	RISER (S)
ABV	ABOVE	EA	EACH	JT	JOINT	RAD	RADIUS
ACCESS	ACCESSORIES	EIFS	EXTERIOR INSULATION FINISH SYSTEM	KP	KEYPAD DEVICE	RCP	REFLECTED CEILING PLAN
ACT	ACOUSTICAL CEILING TILE	EL	ELEVATION	KPL	KICK PLATE	RD	ROOF DRAIN
ADH	ADHESIVE	ELEC	ELECTRICAL	LAM	LAMINATE(D)	RECEPT	RECEPTICAL
ADJ	ADJUSTABLE	ELEV	ELEVATION	LB	POUND(S)	REF	REFERENCE
AFF	ABOVE FINISHED FLOOR	ELEV	ELEVATOR	LG	LARGE	REF	REFRIGERATOR
ALT	ALTERNATE	EMER	EMERGENCY	LH	LEFT HAND	REQ	REQUIRE(D)
APP	APPROXIMATE	ENCL	ENCLOSURE	LIN FT	LINEAR FEET	RH	RIGHT HAND
ARCH	ARCHITECT (URAL)	EQ	EQUAL	LL	LIVE LOAD	RM	ROOM
AUTO	AUTOMATIC	EQP	EQUIPMENT	LLH	LONG LEG HORIZONTAL	RO	ROUGH OPENING
AVB	AIR/VAPOR BARRIER	EST	ESTIMATE	LLV	LONG LEG VERTICAL	S	SOUTH
AVG	AVERAGE	ETBR	EXISTING TO BE REMOVED	LRG	LARGE	SCHED	SCHEDULE
B.O.	BOTTOM OF	ETR	EXISTING TO REMAIN	LT	LIGHT(ING)	SD	STORM DRAIN
BLDG	BUILDING	EW	EACH WAY	LTD	LIMITED	SECT	SECTION
BLKG	BLOCKING	EX	EXISTING	M	METER	SF	SQUARE FOOT (FEET)
BLW	BELOW	EXH	EXHAUST	MACH	MACHINE	SGL	SINGLE
BNCH	BENCH	EXP JT	EXPANSION JOINT	MAINT	MAINTENANCE	SHWR	SHOWER
BOT	BOTTOM	EXT	EXTERIOR	MATL	MATERIAL	SIM	SIMILAR
BR	BUMPER RAIL	FA	FIRE ALARM	MAX	MAXIMUM	SM	SMALL
BRG	BEARING	FD	FLOOR DRAIN	MC	MEDICINE CABINET	SPEC	SPECIFICATION
BSMT	BASEMENT	FE	FIRE EXTINGUISHER	MECH	MECHANICAL	SQ	SQUARE
BW	BOTH WAYS	FEC	FIRE EXTINGUISHER CABINET	MFR	MANUFACTURER	SQ FT	SQUARE FOOT (FEET)
CAB	CABINET	FHC	FIRE HOSE CABINET	MH	MANHOLE	STC	SOUND TRANSMISSION COEFFICIENT
CDR	CARD READER	FIN	FINISH	MIN	MINIMUM	STD	STANDARD
CG	CORNER GUARD	FL	FLOOR(ING)	MISC	MISCELLANEOUS	STL	STEEL
CJ	CONTROL JOINT	FO	FRAMED OPENING	MLDG	MOULDING	STRUCT	STRUCTURAL
CL	CENTER LINE	FP	FIREPROOF(ING)	mm	MILLIMETER	SYS	SYSTEM
CLG	CEILING	FR	FLOOR RECEPTOR	MO	MASONRY OPENING	T	TREAD
CLR	CLEAR	FT	FOOT (FEET)	MPH	MILES PER HOUR	T.O.	TOP OF
CM	CONSTRUCTION MANAGER	FTG	FOOTING	MTD	MOUNT (ED) (ING)	TB	TOWEL BAR
cm	CENTIMETER	FUR	FURRING	MTL	METAL	TEL	TELEPHONE
CMU	CONCRETE MASONRY UNIT	FXC	FIRE EXTINGUISHER CABINET	MV	MICROWAVE	TG	TONGUE AND GROOVE
CO	CASED OPENING	G	GAS	MWK	MILLWORK	TG	TONGUE AND GROOVE
COL	COLUMN	GALV	GALVANIZED	N	NORTH	TLT	TOILET
CONC	CONCRETE	GB	GRAB BAR	N/A	NOT APPLICABLE	TV	TELEVISION
CONN	CONNECTION	GC	GENERAL CONTRACTOR	NIC	NOT IN CONTRACT	TYP	TYPICAL
CONST	CONSTRUCTION	GEN	GENERAL	NO (#)	NUMBER (S)	U	URINAL
CONT	CONTINUOUS	GL	GLASS / GLAZING	NRC	NOISE REDUCTION COEFFICIENT	UC	UNDERCOUNTER
COORD	COORDINATE (TION)	GND	GROUND	NTS	NOT TO SCALE	UG	UNDERGROUND
CSWK	CASEWORK	GR	GUARD RAIL	OC	ON CENTER	UNO	UNLESS NOTED OTHERWISE
CTR	CENTER	GWB	GYPSUM WALL BOARD	OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED	UTIL	UTILITY
CTRL	CONTROL	H/C	HANDICAPPED	OFI	OWNER FURNISHED & INSTALLED	VCT	VINYL COMPOSITION TILE
CU FT	CUBIC FOOT (FEET)	HB	HOSE BIB	OH	OPPOSITE HAND	VENT	VENTILATION
CW	CURTAIN WALL	HD	HAND DRYER	PL	PLATE	VERT	VERTICAL
DBL	DOUBLE	HDR	HEADER	PLBG	PLUMBING	VIF	VERIFY IN FIELD
DEG	DEGREE	HDWD	HARDWOOD	PLY	PLYWOOD	VOC	VOLATILE ORGANIC COMPOUND
DEMO	DEMOLITION	HDWR	HARDWARE	PREM	PREMIUM	VOL	VOLUME
DEV	DEVELOPMENT	HORIZ	HORIZONTAL	PREP	PREPARATION	W	WEST
DF	DRINKING FOUNTAIN	HR	HANDRAIL	PSF	POUNDS PER SQ FT	W/	WITH
DIA	DIAMETER	HT	HEIGHT	PT	PRESAURE TREATED	W/O	WITH OUT
DIFF	DIFFUSER	HVAC	HEATING, VENTILATION & A/C	PVC	POLYVINYL CHLORIDE	WD	WOOD
DIM	DIMENSION	IN	INCH	PWR	POWER	WGT	WEIGHT
DISP	DISPENSOR	INCL	INCLUDE	QLTY	QUALITY	WH	WATER HEATER
DMPF	DAMP PROOFING	INFO	INFORMATION	QTR	QUARTER	WM	WIRE MESH
DN	DOWN	INSUL	INSULATION	QTY	QUANTITY	WO	WINDOW OPENING
DO	DOOR OPENING	INT	INTERIOR			WWR	WELDED WIRE REINFORCEMENT
DP	DOOR PROTECTION	INTER	INTERMEDIATE				
DS	DOWNSPOUT						
DW	DISHWASHER						
DWG	DRAWING						

ARCHITECT STAMP

8TFIVE STUDIO
architectural design

16 Jordan Lane
East Freetown, MA 02717
(774) 243-2432 info@8TFive.com

REVISIONS

ADDRESS
16 Turner Avenue,
Wareham MA 02571

CLIENT
Mr. & Mrs. Wiggin

DRAWN BY
M.Ghaly
02/16/22

Project #
20201174

General Notes II

SCALE
1/2" = 1'-0"

PROJECT STATUS
Concept Drawings

G0.03

SPECIFICATIONS

The following Conditions of Contract are also included as if bound with this document:

- 1. Agreement between Owner and Architect
 - a. 2020-85v.1 Standard Form of Agreement (10/25/2021)

Technical specifications and administrative requirements for the Project are divided into 50 Divisions as follows. Division 1 General Requirements apply to all Work for the Project.

Procurement and Contracting Subgroup:

Division 00 Procurement and Contracting Requirements

General Requirements Subgroup:

Division 01 General Requirements

Facility Construction Subgroup:

- Division 02 Existing Conditions
- Division 03 Concrete
- Division 04 Masonry
- Division 05 Metals
- Division 06 Wood, Plastics, and Composites
- Division 07 Thermal and Moisture Protection
- Division 08 Openings
- Division 09 Finishes
- Division 10 Specialties
- Division 11 Equipment
- Division 12 Furnishings
- Division 13 Special Construction
- Division 14 Conveying Equipment
- Division 15 Reserved for Future Expansion
- Division 16 Reserved for Future Expansion
- Division 17 Reserved for Future Expansion
- Division 18 Reserved for Future Expansion
- Division 19 Reserved for Future Expansion

Facility Services Subgroup:

- Division 20 Reserved for Future Expansion
- Division 21 Fire Suppression
- Division 22 Plumbing
- Division 23 Heating Ventilating and Air Conditioning
- Division 24 Reserved for Future Expansion
- Division 25 Integrated Automation
- Division 26 Electrical
- Division 27 Communications
- Division 28 Electronic Safety and Security
- Division 29 Reserved for Future Expansion

Site and Infrastructure Subgroup:

- Division 30 Reserved for Future Expansion
- Division 31 Earthwork
- Division 32 Exterior Improvements
- Division 33 Utilities
- Division 34 Transportation
- Division 35 Waterway and Marine works
- Division 36 Reserved for Future Expansion
- Division 37 Reserved for Future Expansion
- Division 38 Reserved for Future Expansion
- Division 39 Reserved for Future Expansion

Process Equipment Subgroup:

- Division 40 Process Interconnections
- Division 41 Material Processing and Handling Equipment
- Division 42 Process Heating, Cooling, and Drying Equipment
- Division 43 Process Gas and Liquid Handling, Purification and Storage Equipment
- Division 44 Pollution and Waste Control Equipment
- Division 45 Industry-Specific Manufacturing Equipment
- Division 46 Water and Wastewater Equipment
- Division 47 Reserved for Future Expansion
- Division 48 Electrical Power Generation
- Division 49 Reserved for Future Expansion

SPECIFICATIONS (continued)

Section 01000 - General Requirements

Scope of Work:

- 1. It is intended that the Contractor provide all labor, materials, tools, equipment, transportation, and services necessary for proper completion of the work suitable for the intended use of the Owner, as shown on the drawings and specified. Anything not expressly set forth but which is reasonably implied or necessary for proper performance of the project shall be included as if specified herein.

Verification of Conditions:

- 1. Existing dimensions: Verify all dimensions indicated on the drawings with actual field conditions and features which could affect the work.
- 2. Inspection: Prior to installation of the work of each section, carefully inspect the installed work of all other trades and verify that all such work is complete to the point where the work may properly commence. Verify that all work of each section may be installed in complete accordance with the Contract Documents.

Documents:

- 1. Organization: The organization of the specifications and the arrangement of the drawings shall not control the Contractor in the division of the work nor in establishing the extent of work to be performed by any trade.
- 2. Discrepancies: Should an error or discrepancy appear in the Drawings or Specifications, or a conflict with the Contract Documents and actual job conditions, the Contractor shall immediately notify the Architect. Do not proceed with the work in the area(s) of discrepancy until all such discrepancies have been fully resolved.
- 3. Dimensions: Do not scale from the drawings. Where MFR's diagrams, shop drawings, etc. for equipment give specific rough-in dimensions, these dimensions shall take precedence over dimensions indicated on the drawings, provided that conflicts with other work have been reviewed and resolved with the Architect.

Coordination:

- 1. The Contractor shall provide coordination of the work.
- 2. Field Conditions: The Contractor shall examine the Drawings with actual field conditions. The general arrangement and location of the elements of the various systems is shown on the drawings or specified. Final locations, levels, etc. shall be governed by actual material used, by field conditions, and by the work of all trades. Space conflicts and interferences shall be resolved prior to proceeding.
- 3. Equipment: The Contractor shall verify dimensions of all equipment, etc., prior to ordering in insure compatibility with space provided, structural components, and architectural features of the work.

Standards:

- 1. Codes and Standards: The work shall comply with all governing codes, including standards referred to under such codes and the specifications, except said requirements shall be considered as minimum.
- 2. The contractor shall be licensed and bonded as required by the State in which work is to be done and shall provide his valid and current license number and bond information.

Certificate:

- 1. A permanent certificate shall be completed by the builder and posted on a wall in the space where the furnace is located, a utility room or other approved building location.
- 2. Where located on an electrical panel, the certificate shall not cover or obstruct the visibility of the circuit directory label, service disconnect label or other required labels.
- 3. The certificate shall list all required information about the building thermal envelope, such as but not limited to predominant R-values of insulation installed, U-factors and SHGC for fenestration, and results from any required performance testing, as prescribed by the Building Code.

SPECIFICATIONS (continued)

Submittals:

- 1. Provide types of submittals as listed below and the number of copies required:
 - Window/Door: Schedule
 - Cabinet: Shop drawings, door sample
 - Painting: Brush-outs and paint area of wall, trim
 - Texture: Gypsum board
 - Flooring: Samples or stain/finish sample
- 2. Submittal form: Include sufficient data to determine conformance with the Contract Documents. Resubmit as required in same quantities until final acceptance is obtained.
- 3. Work Progress Schedule: Within seven (7) calendar days after notice of award of the Contract, submit for review a complete bar chart indicating the work progress schedule. The schedule shall show by dates the expected starting times and completion of the component parts of the work.
- 4. Schedule of Values: Before the first application of payment, the Contractor shall submit a Schedule of Values based upon the Bid Form incorporating any additions and negotiated changes to the various portions of the work. This schedule shall be used only as a basis for the Contractor's applications for payment.
- 5. Insurance: The Contractor shall provide Certificates of Insurance which show that all State of Massachusetts required insurance will be in force for the duration of the job.

Products and Substitutions:

- 1. General: Provide products from one manufacturer for each type or kind as applicable. Provide secondary materials as recommended by manufacturers of primary materials. All materials shown on the drawings or specified herein shall be new, unused materials unless specifically marked otherwise.
- 2. Substitutions: Requests for use of alternative ("or equal") products shall be accompanied by complete information and descriptive data necessary to show the capacity of performance equal to the proposed alternate. The burden of proof as to comparative quality and suitability shall be upon the Contractor, who shall furnish at his own expense, information necessary to determine whether capacities of performance requirements will be met.

Protection:

- 1. General: The Contractor shall provide adequate protection and security for all parts of the existing site. Construction areas shall be fenced, barricaded and flagged as required to prevent conflicts with the use of the site. All damage done to existing property shall be neatly repaired or replaced at the Contractor's expense. Work shall be executed in careful, orderly manner, with the least possible disturbance to public and occupants of the area.
- 2. Utilities: The Contractor shall protect and save any and all utilities unless otherwise noted. If any existing utilities are exposed, the Architect shall be notified. Repairs on existing utilities shall not be performed without prior inspection and approval by the governing agency/Architect. Repairs as result of the Contractor's work shall be the responsibility of the Contractor.
- 3. Dust Control: The Contractor shall maintain dust control as required to abate any dust nuisance on and about the site which is the result of construction activities. Dust control also includes the use of dust barriers to protect the existing household.
- 4. Site cleanliness: During the construction period, the premises shall be kept free from accumulations of waste materials or rubbish, and the Work shall be made broom clean from time to time. The Contractor shall remove from the premises all excess construction materials and debris.
- 5. Noise levels and construction times shall be in accordance with the Local jurisdiction's ordinances. The General Contractor shall be responsible for all construction activities, including the subcontractors', to ensure conformance to the requirements.

SPECIFICATIONS (continued)

Utilities:

- 1. General: Provide temporary utilities required for the performance of the Work.
- 2. Sanitary Facilities: Provide temporary sanitary toilet facilities for the duration of the Work. Locate on-site as approved by the Owner. Existing bathrooms are not be used.

Testing and Inspections:

- 1. The Contractor shall pay the costs for all testing and inspection required by government agencies and the Contract Documents. Refer to the Structural drawings for any special inspection requirements for welded connections and holdowns into existing foundations, etc.

Hazardous Materials:

- 1. If any ducts or other materials contain asbestos, the removal and disposal must be done in accordance with the requirements of E.P.A. and OSHA and by a certified asbestos removal contractor.
- 2. If any mold or lead is encountered, the removal and disposal must be done in accordance with the requirements of E.P.A. and OSHA and by a certified mold or lead abatement contractor.

Payments:

- 1. Progress payments will be based upon percent complete utilizing a schedule of values with a 10% retainage.
- 2. In lieu of providing a Construction Performance Bond, the Contractor shall provide verification of previous payments to all major subcontractors and suppliers with each payment request.
- 3. Change Orders: Any Change Order shall be agreed to advance, including amounts, prior to proceeding with the associated work. If a Change Order includes an increase to the Contract amount, the Contractor's profit and overhead shall not exceed the agreed upon percentage of the original contract.

Warranties:

- 1. General Contractor and any subcontractors shall guarantee all work installed by him/her for a period of one (1) year from the date of substantial completion of the Work. The Contractor and subcontractors agree that during the guarantee period, any defective work, and any other work damaged thereby, shall be replaced promptly and properly without cost to the Owner or Architect.

Closeout:

- 1. Final cleaning: At the completion of the work, all glass, floors, plumbing fixtures, etc. shall be thoroughly cleaned and polished. All parts of the new work shall be left in a thoroughly clean and satisfactory condition, with all plumbing, heating, and electrical in satisfactory working condition. All exterior areas shall be left clean and free from debris, rubbish and miscellaneous materials.
- 2. Records for the Owner: The Contractor shall assemble all certificates, warranties, and instruction and maintenance manuals into a clearly organized file or binder.
- 3. Punch List: The Owner and Architect will prepare a punch list of missing items, uncompleted work, and defective work to be completed or resolved to the Owner's satisfaction prior to occupancy. The Owner and Architect shall review and accept the punch list, which will be incorporated into the Notice of Substantial Completion filed by the Owner upon substantial completion of the Work.
- 4. Substantial Completion: The filing of the Notice of Substantial Completion by the Owner starts the warranty and guarantee period, as well as the lien period for the subcontractors. Retained amounts will be paid upon the expiration of the lien period or upon the General Contractor supplying unconditional lien releases from all subcontractors and material suppliers connected to the project.

ARCHITECT STAMP



16 Jordan Lane
East Freetown, MA 02717
(774) 243-2432 info@8TFive.com

REVISIONS

ADDRESS

16 Turner Avenue,
Wareham MA 02571

CLIENT

Mr. & Mrs. Wiggin

DRAWN BY

M.Ghaly
02/16/22

Project #

20201174

SCALE

1/2" = 1'-0"

Specifications I

PROJECT STATUS

Concept Drawings

SPECIFICATIONS (continued)

Section 02000 - Site Work

- Excavation shall include all labor, materials and equipment required to complete the preparatory, excavation, trenching, filling and backfilling, paving and site work grading for all building construction, and all re-grading.
- Foundation excavation shall be made, as a minimum, to depths shown or deeper if necessary in order to obtain bearing on solid, undisturbed soil or rock or as directed by the Soils Engineer in the field.
- Slope finish grade away from building at minimum of 5% typical. Slope concrete flatwork away from building at a minimum of 1% typical.

Section 03000 - Concrete

- Transmit mix concrete shall be delivered to the job with the proper watercement ratio to develop concrete of strength specified on the structural drawings or 3000 psi minimum.
- Re-Tempering of concrete shall not be permitted.
- Placing concrete shall be done against surfaces that have been well wetted down immediately before placing. Care shall be taken to embed reinforcement properly to prevent displacement of forms and steel. Any honeycombs or pockets shall be filled w/ cement grout & troweled smooth.

Section 06100 - Rough Carpentry

- All framing shall conform to the latest edition of the State Building Codes and details.
- All nailing shall conform to the latest edition of the State Building Codes and nailing schedules.
- Backing shall be provided for all other trades as required and blocking as required for any nailing of finish materials and bath accessories, towel bars, etc.
- All rough carpentry shall produce joints true and tight and well nailed with members assembled in accordance with the drawings. The shimming of sills, joists, short studs, trimmers, headers, or other framing members shall not be permitted. All walls and partitions shall be straight, plumb and accurately located. Carefully select all structural members. Individual pieces shall be selected so that knots and obvious minor defects will not interfere with the placing of bolts or proper nailing of the making of sound connections. Defects which render a piece unable to serve its intended function shall be discarded.
- Do all temporary bracing as required to hold the various elements in place until final support is securely anchored.
- Joist hangers, straps, framing anchors, etc. shall be by Simpson or equal.
- Provide fire blocking to cut off all concealed draft openings, both vertical and horizontal.

Section 06200 - Interior Millwork, Finish, and Trim

- Cabinet maker shall be reviewed and approved by Owner.
- All measurements shall be field taken. All millwork shall be scribed at adjacent surfaces for a tight fit.
- All finish millwork showing hammer marks or other damage will be rejected. Set solid backing for cabinets and trim and accessories as required. All exposed nailing for casework and trim shall be finish nails, set. All door and window frames and fascias shall be back primed before installation. Conceal all end grain.
- Miter all corners and scarf all splices.
- Contractor shall submit cabinet shop drawings, including hardware and samples as necessary, for final Owner review and approval. All drawers and pull-out shelves to be full extension/soft-close and all doors to have concealed European type hinges.

Section 07200 - Building Insulation

- Comply with governing codes and regulations. Provide certification of compliance as req'd by governing agencies.
- Thermal batt insulation: Insulation shall be formaldehyde free. Refer to Architectural drawings for R-values.
- Acoustic batt insulation: Insulation shall be formaldehyde free cotton batt.

SPECIFICATIONS (continued)

Section 07600 - Sheet Metal

- Unless otherwise noted, use 26 gauge galvanized. All exterior sheet metal nosings, gutters, leaders and flashings shall be watertight and shall allow for adequate expansion and contraction. Match existing conditions UNO.
- New gutters shall be as detailed and be installed to permit expansion and contraction. Mechanical fasteners are not allowed - solder all joints only.
- All galvanized sheet metal work only shall be rubbed down, cleaned and properly prepared to receive prime and finish coats of paint.
- Counterflash all vents and projections through roof. Provide cap with spark arrestor on fireplace flues, including existing chimneys if necessary.
- Flash all points and areas likely to leak whether or not indicated or specified.
- Provide galvanized sheet metal flashing typical but not limited to all window/door heads, trim bands, and intersections of roof and walls.

Section 08200 - Wood Doors and Frames

- All exterior doors to be 1-3/4" minimum solid stock primed for finish painting, unless otherwise indicated on the drawings.
- All interior doors to minimum 1-3/8" solid core doors pre-hung where frames required.
- No door to warp or twist out of straight in any part.
- Fit doors to provide uniform 1/16" to 1/8" clearance at jambs and heads. Provide 1/4" clearance above finish floor materials at door bottoms.

Section 08800 - Windows and Glass Doors

- Guarantee all glazed openings to be watertight for a two-year period.
- Contractor shall remove all excess putty and glazing marks. All glass shall be left sparkling clean at completion of Work.
- All vented sash and French doors shall be equipped with proper screens and operators.
- Unless otherwise directed, all door and window units shall be primed and ready for finish painting on the site.
- All exterior doors shall be provided with integral manufacturer's weatherstripping (jambs, head, sill).

Section 09210 - Gypsum Drywall

- 1/2" tapered edge sheetrock, 4'-0" wide, lengths as practical to minimize number of joints. 5/8" type "X" where indicated. Include MFR's trim, taping, and finishing materials. Provide metal corner bead for all external corners and edge trim for all exposed edges. All GWB to be screw attached.
- 1/2" sheetrock mold and moisture resistant gypsum wall board for base of tile mortar beds in bathrooms.

Section 09300 - Ceramic and Stone Tile

- No diagonal joints will be allowed. All joints shall register in all directions. Lay out tile modules as to avoid pieces smaller than half tiles.
- Hot-mopped waterproof pan to be supplied at shower. All tile to be installed over 1/2" job mixed reinforced portland cement setting bed.
- Grout to match color of tile typical unless otherwise noted or specified. Review color with Owner for approval.
- Seal all grout and quarry tiles or stone tiles with flat finish tile and grout sealer as recommended by the material supplier.
- All tile shall be clean, free from excess grout and other blemishes upon completion of work.
- Provide manufacturer's standard shapes as required including soap holder, bullnose, quarter round, etc.
- Layout of tile shall be reviewed with the Owner and Architect prior to install. Contractor shall take care to locate plumbing fixtures, trim etc. w/ tile module as practical.

SPECIFICATIONS (continued)

Section 09900 - Painting

- All surfaces shall be inspected before any work is begun. All necessary puttying, filling, spackle work, sanding and sealing of pitch pockets shall be done before actual painting is begun. Any portion not ready for painting shall be called to the attention of the General Contractor. The beginning of painting shall signify acceptance of existing conditions.
- Paint selection shall be in compliance with standards for Volatile Organic Compound and environmental regulations.
- Provide field-applied mock-ups of each color and finish selected on actual surfaces to be painted, for Architect and Owner walk-thru and approval prior to complete finish painting.
- Finish painting shall show no runs, brush marks, streaks or blemishes. All raised grain shall be sanded down before the next coat is applied.
- Contractor shall avoid damage to adjacent finished surfaces and shall use sufficient drop cloths to protect all work. Contractor shall keep opened cans of paint, thinner, and rags from becoming a fire hazard. Contractor shall be responsible for all staging and scaffolding required to complete this part of the contract.
- Backprime all exterior siding and trim.
- Any room requiring paint of any portion due to new work shall be completely re-painted.
- Provide minimum one prime and two finish coats at new work and two finish coats at existing, typical.

Section 10280 - Specialties

- All glass shower doors and enclosures and other glass within 18" of the floor shall be tempered glass unless the least dimension is no greater than 18". Sizes, thickness, and type of glass shall conform to the State Building Codes and as specified on drawings.
- Provide solid blocking for towel bars or any other accessories as needed. Locations to be verified with the Owner or Architect.

Section 22000 - Plumbing

- Subcontractors shall be responsible for design-build on the plumbing system to at least minimum standards set forth in appropriate local Building Codes and as indicated on the drawings. The work shall include all components for a complete and operable system.
- Any furring of ceiling, walls, etc. deemed necessary for concealed pipes, ducts, etc. not already indicated on the drawings will not be allowed unless approved by the Architect prior to performing work.
- Plumbing materials shall be installed in such a manner so that there is no noise or vibration during operation.
- Plumbing materials shall be as follows: Soil lines: ABS or Cast Iron for onestory, Cast-iron only for second floor down to below lowest level; Water service and supplies: Type "L" copper, Schedule 40 with wrought copper fittings, lead free solder; New gas lines: Schedule 40. Screw malleable iron fittings above grade. Connections below grade according to PGandE minimum requirements.
- Plumbing trim shall be located on tile layout as practical, to allow symmetrical layout of tiles as centered on floor and walls.
- Vents: Gang vents where possible and install on roof slopes as noted on the Roof Plan. Paint to match roof color.
- Do not cut structural elements without written approval.
- Test all systems for proper operation. Instruct Owner in proper operation of systems.

SPECIFICATIONS (continued)

Section 23000 - HVAC

- Subcontractors shall be responsible for design-build on the mechanical system to at least minimum standards set forth in appropriate local Building Codes and as indicated on the drawings. The work shall include all components for a complete and operable system.
- Any furring of ceiling, walls, etc. deemed necessary for concealed pipes, ducts, etc. not already indicated on the drawings will not be allowed unless approved by the Architect prior to performing work.
- The HVAC subcontractor shall verify new hot air register locations and quantities and provide additional if required for a properly balanced system. All new hot air register locations shall be reviewed with the Owner and Architect prior to installation.
- All mechanical equipment and ducts shall be installed in such a manner so that there is no noise or vibration during operation. Provide acoustically lined ducting for the return air system. Return-air grille shall be sized to minimize noise.
- Paint out flat black the inside of the return air plenum and duct behind the grille.
- Provide dampers in all duct lines and balance entire system.
- Flues: Sheet metal flues: shall be installed on roof slopes as indicated on the Roof Plan. Gang flues where possible. Sheet metal flues shall be painted to match roof color.
- Do not cut structural elements without written approval.
- Test all systems for proper operation. Instruct Owner in proper operation of systems.

Section 26000 - Electrical

- Subcontractors shall be responsible for design-build on the electrical system to at least minimum standards set forth in appropriate local Building Codes and as indicated on the drawings. Electrical contractor shall be responsible for determining if an electrical service upgrade will be required in order to accommodate the work as indicated.
- Any furring of ceiling, walls, etc. deemed necessary for concealed pipes, ducts, etc. not already indicated on the drawings will not be allowed unless approved by the Architect prior to performing work.
- Insure all new appliances, fixtures, equipment, mechanical units, etc. are supplied with proper power and controls as required by manufacturer's installation requirements, whether specifically indicated on the drawings or not.
- Locate all electrical boxes and light cans for switches, outlets, and downlights without wiring, for Architect and Owner walk-thru and approval. Assume minor adjustments will be made in the field, prior to wiring.
- Locate switches within rooms at strike side of door unless otherwise indicated on the drawings.
- Mounting heights shall be as required for proper connections to appliances, etc. Coordinate mounting height with equipment, cabinets, and backsplashes.
- Do not cut structural elements without written approval.
- Label circuits legibly in the electrical panel. Test all systems for proper operation. Instruct Owner in proper operation of systems.

Section 27000 - Communications

- All telephone, data, and TV cables shall be home run and terminated in distribution panels. Data shall be terminated in Cat-6 patch panels with RJ-45 sockets. TV cable shall be quad shielded RG-6. Telephone and data wire shall be Category 6. Runs parallel to power wiring shall be 12" min away or one stud bay. Cross power wiring at 90°.
- Communication system outlets: Device cover plates shall be modular type allowing multiple outlets, including RJ-45 and TV. Where TV, tel, and data are adjacent, they are to be ganged into same box. For bidding, assume one RJ-11 socket at single telephone outlets and one RJ-11 + one RJ-45 where 2 Cat-6 are indicated.

ARCHITECT STAMP



16 Jordan Lane
East Freetown, MA 02717
(774) 243-2432 info@8TFive.com

REVISIONS

ADDRESS

16 Turner Avenue,
Wareham MA 02571

DRAWN BY

M.Ghaly
02/16/22

Specifications II

CLIENT

Mr. & Mrs. Wiggin

Project #

20201174

SCALE

1/2" = 1'-0"

PROJECT STATUS

Concept Drawings

HEADER SCHEDULE

Table with columns: Span, Header Size, # Jack Studs at Ends. Rows for First Floor and Second Floor.

PROJECT DESIGN CRITERIA

Refer to Site & Area Plan for Additional Notes

Table with columns: Ground Snow Load, Wind Design, Seismic Category, Subject to Damage from (Weathering, Frost Line, Termite).

STRUCTURAL NOTES

- General: Refer to G-Series General Notes for additional requirements.
Lumber: Lumber and its fastenings shall conform to the applicable edition of the National Design Specifications for Wood Construction...
Wood Framing: All wood construction shall follow all recommended best practices set forth by the American Timber Institute.

GENERAL NAILING SCHEDULE (HIGH WIND - 110+ MPH)

Table with columns: Joint Description, Number of Common Nails, Number of Box Nails, Nail Spacing. Rows for Roof Framing, Wall Framing, Floor Framing, Roof Sheathing, Ceiling Sheathing, Wall Sheathing, Floor Sheathing.

* Corrosion resistant 11 gage roofing nails and 16 gage staples are permitted, check IBC for additional requirements.

SHEAR WALL NOTES

- 1. For hold downs, per astm test standards, anchor bolt nut should be finger tight plus 1/2 turn with a hand wrench.
2. Wood shrinkage can occur due to drying of the lumber, leaving the potential for movement if the nuts are not tightened enough.

HIGH WIND NOTES - 110+ MPH

- 1. Provide LSTA15 ridge strap at each rafter. Nail to each rafter with 6-10d nails.
2. Fasten each rafter to top plate with H2.5 straps.

ARCHITECT STAMP



16 Jordan Lane
East Freetown, MA 02717
(774) 243-2432 info@8TFive.com

REVISIONS

ADDRESS

16 Turner Avenue,
Wareham MA 02571

DRAWN BY

M.Ghaly
02/16/22

SCALE

1/2" = 1'-0"

Structural Notes

PROJECT STATUS
Concept Drawings



128'
 1/16" Graphic Scale

64'

32'

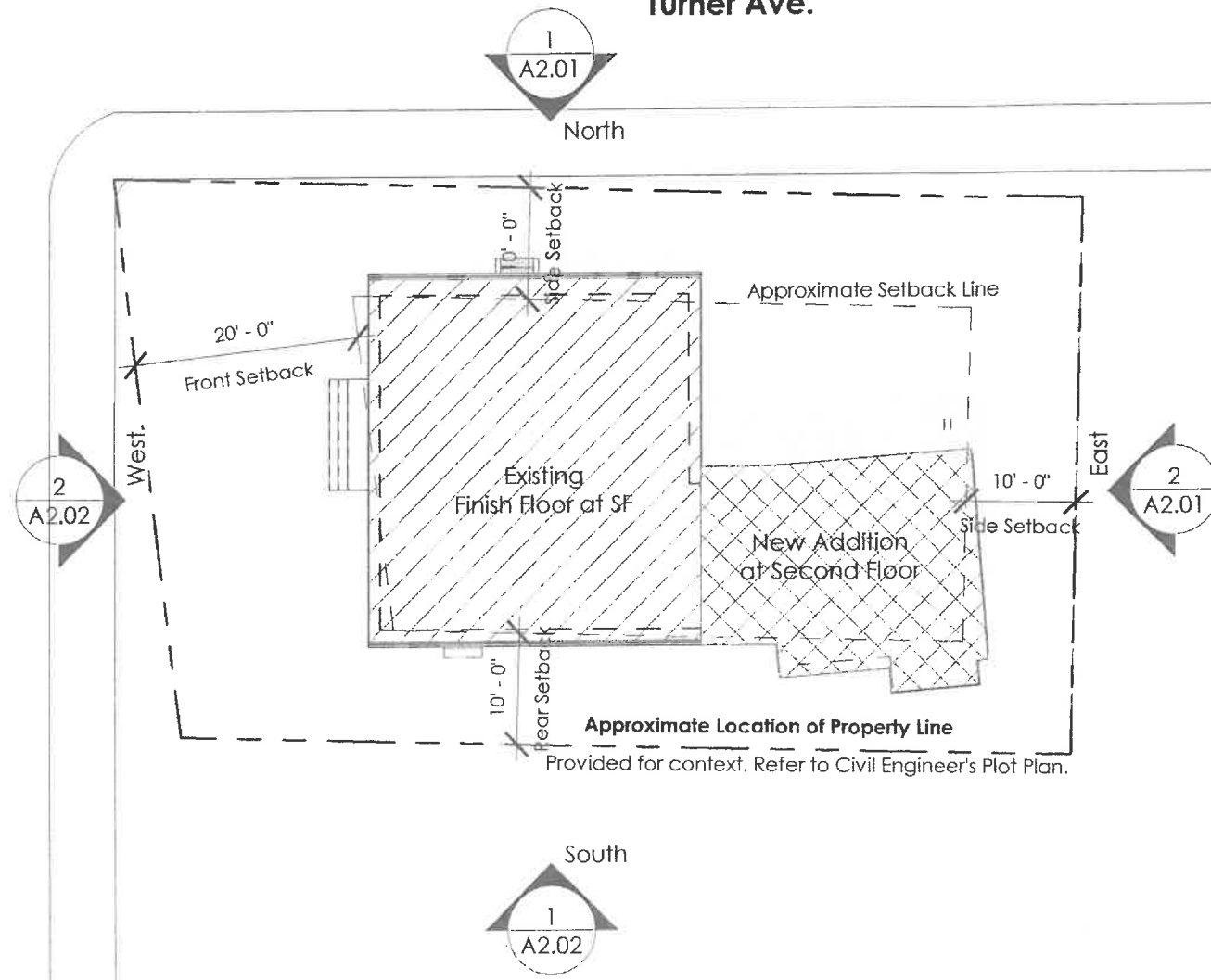
16'

8'

Algelo Ave.

Empty Lot Across Street Also Owned by Homeowners

Turner Ave.



1 Site - Plan
 Scale: 1/16" = 1'-0"



2 Site Section
 Scale: 1/16" = 1'-0"

SITE PLAN NOTES

Drainage:
 Provide 5% minimum positive drainage slope away from foundation at any new work and 2% general slope away from adjacent property line and towards the public right-of-way. All new downspouts to be drained to splash blocks, minimum 2 ft long, or sub-surface drain system as indicated.

Tree Preservation:
 Protect all existing trees as required to prevent damage or harm whenever applicable, including, without limitation, vehicles, machinery, or building supplies or materials (including fluids) during any construction. Provide protective chain link construction fencing around existing trees to the fullest extent possible. The intent is to preserve natural grades at the base of existing trees and minimize construction disturbance. The General Contractor shall take care during trenching, foundation excavations and construction to preserve and protect noted trees and their root systems.

Storm Drain Pollution Prevention:
 The Contractor is responsible for ensuring that no dirt or construction debris enters the City storm drain system.

1. Timing of grading activities shall be during the dry weather.
2. Provide temporary and permanent planting of exposed soil.
3. Provide temp. sediment basins & traps to contain run off.
4. Provide straw ground cover/mulching over soil prior to rainy season. Provide covers over stockpiles and excavated soils with secured tarps or plastic sheathing.
5. Provide temporary silt fences or straw rolls at downslope of construction zone prior to rainy season. Provide storm drain inlet filters as required.
6. Stabilize construction entrance as required.
7. Adjacent properties, undisturbed areas, and street/sidewalks to be protected from construction impacts.
8. Sediment laden water is not permitted to leave the site.
9. Measures shall be taken such that the storage, handling and disposal construction materials and wastes will be prevented to have contact with storm water.
10. The grading and drainage shall comply with all applicable National Pollutant Discharge Elimination System regulations set forth by the EPA to control storm water pollution.
11. The storm runoff generated by new work shall not drain onto adjacent properties. The existing storm drainage from the adjacent properties shall not be blocked by the new work.

ARCHITECT STAMP

8TFIVE STUDIO
 architectural design
 16 Jordan Lane
 East Freetown, MA 02717
 (774) 243-2432 info@8TFive.com

REVISIONS

ADDRESS
 16 Turner Avenue,
 Wareham MA 02571

CLIENT
 Mr. & Mrs. Wiggin

DRAWN BY
 M. Ghaly
 02/16/22

Project #
 20201174

SCALE
 As indicated

Site & Area Plan

PROJECT STATUS
 Concept Drawings

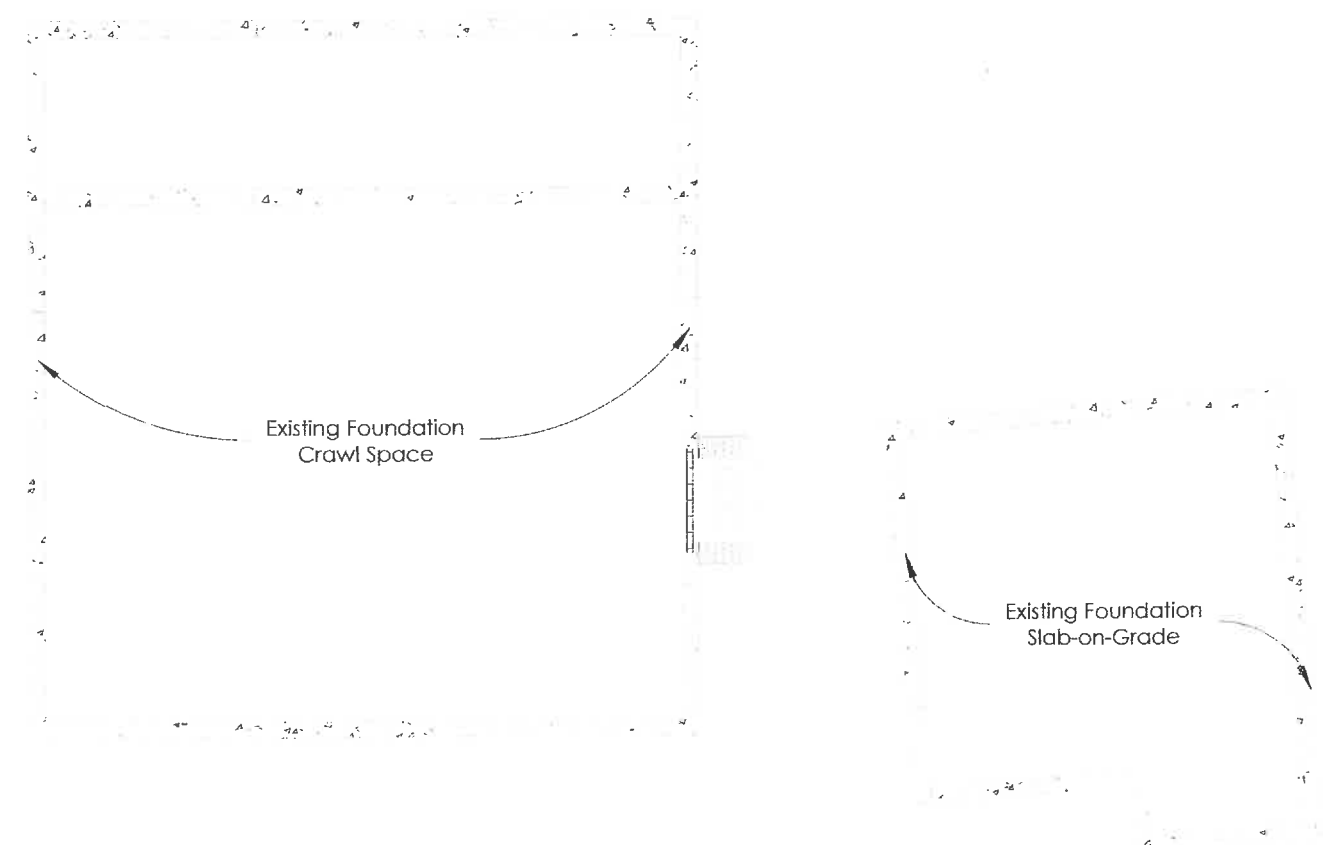
WINDOW SCHEDULE - EXISTING				
Refer to Door & Window Schedule Sheet				
Mark	Type	Size	Room	Comments

DOOR SCHEDULE - EXISTING				
Refer to Door & Window Schedule Sheet				
Mark	Type	Size	Room	Comments

MEASURED DRAWING DISCLAIMER

This measured drawing has been prepared, in part, based upon information furnished by others as well as with on-site field measurement, photography, and documentation. While this information is believed to be reliable, the Architect assumes no responsibility for the accuracy of this measured drawing or for any errors or omissions that may have been incorporated into it as a result of incorrect information provided to the Architect. Those relying on this measured document are advised to obtain verification of its accuracy on-site prior to construction.

- DEMOLITION NOTES**
- Demolition indicated is for general reference purposes only and is not intended to identify all of the demolition, removal of finishes, etc. General Contractor shall be responsible for all demolition and legal disposal of waste necessary to accommodate new work in whether indicated or not.
 - The Contractor must adhere to the scope of work shown on the drawings. No work is authorized if it expands the original scope of work unless it is approved in writing by the owner. Any work undertaken by the Contractor and any additional required documentation or cost to the project without prior written approval is the sole responsibility of the Contractor.
 - Coordinate removal of existing floor finishes to accommodate new proposed flooring. Adjust under-layments as necessary to ensure smooth/level transitions between different materials and new and existing work.
 - Remove vents, jacks, wiring, etc. where abandoned.
 - Notify Owner of any scheduled shut-off of utilities which serve currently occupied spaces.
 - Items to be salvaged for reinstallation are indicated as such on the Architectural drawings.
 - Perform demo Work to prevent dust and pollutant hazards. Do not endanger adjacent spaces, structures, or the public.



1 Basement - Existing Plan
Scale: 1/8" = 1'-0"

EXISTING CONDITIONS PHOTOS



Exterior Photo of Left Side



Exterior Photo of Front Side

Note: Imagery is from Assessor's Office, Google Street View and/or Personal Photos taken at or around (11/17/21).

ARCHITECT STAMP

8TFIVE STUDIO
architectural design

16 Jordan Lane
East Freetown, MA 02717
(774) 243-2432 info@8TFive.com

REVISIONS

ADDRESS
16 Turner Avenue,
Wareham MA 02571

CLIENT
Mr. & Mrs. Wiggin

DRAWN BY
M.Ghdly
02/16/22

Project #
20201174

Existing Foundation

SCALE
As indicated

PROJECT STATUS
Concept Drawings

20201174 - TURNER AVE HOME RENOVATION
 Formatted for 11x17
 © 2022 8TFive Studio, LLC

WINDOW SCHEDULE - EXISTING

Refer to Door & Window Schedule Sheet

Mark	Type	Size	Room	Comments
E1	Double Hung 2x	(2) 3-0 x 4-6		Egress,
E2	Casement 2x	2x 2x0 x 3-3		2x Casement,
E3	Double Hung 1x	3-0 x 4-6		
E5	Picture-Side Dbl Hungs	72" x 48"		
E6	Double Hung 1x	2-4 x 4-6		Shutters,
E7	Double Hung 1x	3-0 x 3-0		Shutters,
E8	Octagon	24" Dia.		
E9	Basement-Awning	32" x 19"		
E10	Octagon	24" Dia.		
E11	Double Hung 1x	2-0 x 4-0		Shutters,

DOOR SCHEDULE - EXISTING

Refer to Door & Window Schedule Sheet

Mark	Type	Size	Room	Comments
E1	Single-Entry	3-0 x 6-8		
E2	Single-Entry w Sidelights	3-0 x 6-8		
E3	Sliding-Entry	7-0 x 6-8		
E4	Single-Entry w/ Storm Dr	3-0 x 6-8		, Half-Lite
E5	Single-Flush	2-4 x 6-8		, Bath
E6	Single-Flush	2-0 x 6-8		, Closet
E9	Single-Entry	3-0 x 6-8		
E11	Bifold-4 Panel	7-0 x 6-8		
E12	Bifold-2 Panel	2-6 x 6-8		
E13	Sliding-Entry	7-0 x 6-8		

MEASURED DRAWING DISCLAIMER

This measured drawing has been prepared, in part, based upon information furnished by others as well as with on-site field measurement, photography, and documentation. While this information is believed to be reliable, the Architect assumes no responsibility for the accuracy of this measured drawing or for any errors or omissions that may have been incorporated into it as a result of incorrect information provided to the Architect. Those relying on this measured document are advised to obtain verification of its accuracy on-site prior to construction.

DEMOLITION NOTES

- Demolition indicated is for general reference purposes only and is not intended to identify all of the demolition, removal of finishes, etc. General Contractor shall be responsible for all demolition and legal disposal of waste necessary to accommodate new work in whether indicated or not.
- The Contractor must adhere to the scope of work shown on the drawings. No work is authorized if it expands the original scope of work unless it is approved in writing by the owner. Any work undertaken by the Contractor and any additional required documentation or cost to the project without prior written approval is the sole responsibility of the Contractor.
- Coordinate removal of existing floor finishes to accommodate new proposed flooring. Adjust under-layments as necessary to ensure smooth/level transitions between different materials and new and existing work.
- Remove vents, jacks, wiring, etc. where abandoned.
- Notify Owner of any scheduled shut-off of utilities which serve currently occupied spaces.
- Items to be salvaged for reinstallation are indicated as such on the Architectural drawings.
- Perform demo Work to prevent dust and pollutant hazards. Do not endanger adjacent spaces, structures, or the public.

EXISTING CONDITIONS PHOTOS



Exterior Photo of Left Side

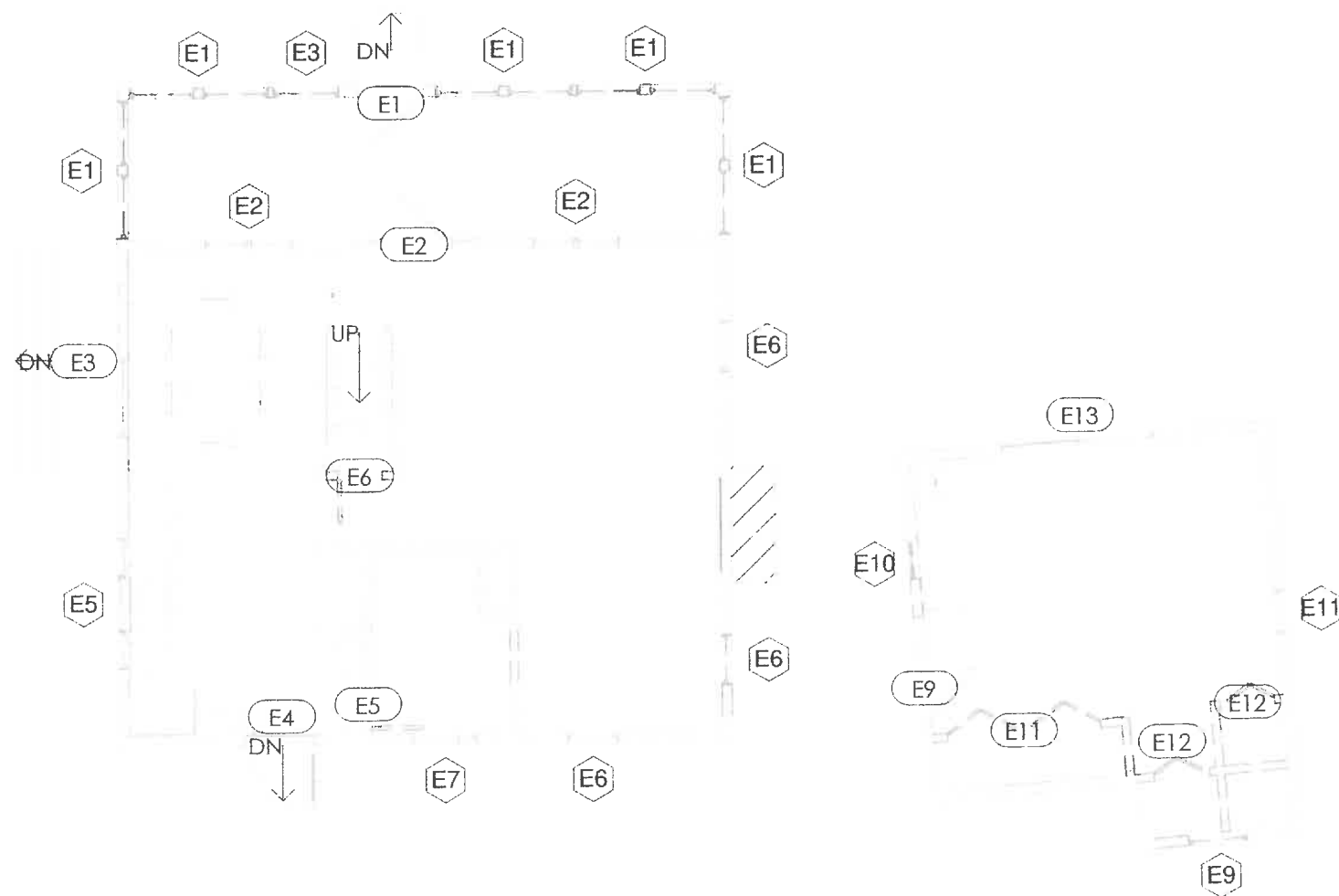


Exterior Photo of Front Side

Note: Imagery is from Assessor's Office, Google Street View and/or Personal Photos taken at or around (11/17/21).



1/8" Graphic Scale



1 Existing First Floor Plan
 Scale: 1/8" = 1'-0"

ARCHITECT STAMP



16 Jordan Lane
 East Freetown, MA 02717
 (774) 243-2432 info@8TFive.com

REVISIONS

ADDRESS
 16 Turner Avenue,
 Wareham MA 02571

DRAWN BY
 M. Ghaly
 02/16/22

Existing 1st Floor

CLIENT
 Mr. & Mrs. Wiggin

Project #
 20201174

SCALE
 As indicated

PROJECT STATUS
 Concept Drawings

AD1.1

WINDOW SCHEDULE - EXISTING Refer to Door & Window Schedule Sheet

Mark	Type	Size	Room	Comments
E12	Double Hung 1x	2-0 x 4-0		<varies>

DOOR SCHEDULE - EXISTING Refer to Door & Window Schedule Sheet

Mark	Type	Size	Room	Comments
E15	Single-Flush	2-6 x 6-8		, Bedroom
E15	Single-Flush	2-6 x 6-8		, Bedroom
E16	Bifold-4 Panel	5-0 x 6-8		
E16	Bifold-4 Panel	5-0 x 6-8		

MEASURED DRAWING DISCLAIMER

This measured drawing has been prepared, in part, based upon information furnished by others as well as with on-site field measurement, photography, and documentation. While this information is believed to be reliable, the Architect assumes no responsibility for the accuracy of this measured drawing or for any errors or omissions that may have been incorporated into it as a result of incorrect information provided to the Architect. Those relying on this measured document are advised to obtain verification of its accuracy on-site prior to construction.

DEMOLITION NOTES

1. Demolition indicated is for general reference purposes only and is not intended to identify all of the demolition, removal of finishes, etc. General Contractor shall be responsible for all demolition and legal disposal of waste necessary to accommodate new work in whether indicated or not.
2. The Contractor must adhere to the scope of work shown on the drawings. No work is authorized if it expands the original scope of work unless it is approved in writing by the owner. Any work undertaken by the Contractor and any additional required documentation or cost to the project without prior written approval is the sole responsibility of the Contractor.
3. Coordinate removal of existing floor finishes to accommodate new proposed flooring. Adjust under-layments as necessary to ensure smooth/level transitions between different materials and new and existing work.
4. Remove vents, jacks, wiring, etc. where abandoned.
5. Notify Owner of any scheduled shut-off of utilities which serve currently occupied spaces.
6. Items to be salvaged for reinstallation are indicated as such on the Architectural drawings.
7. Perform demo Work to prevent dust and pollutant hazards. Do not endanger adjacent spaces, structures, or the public.

EXISTING CONDITIONS PHOTOS

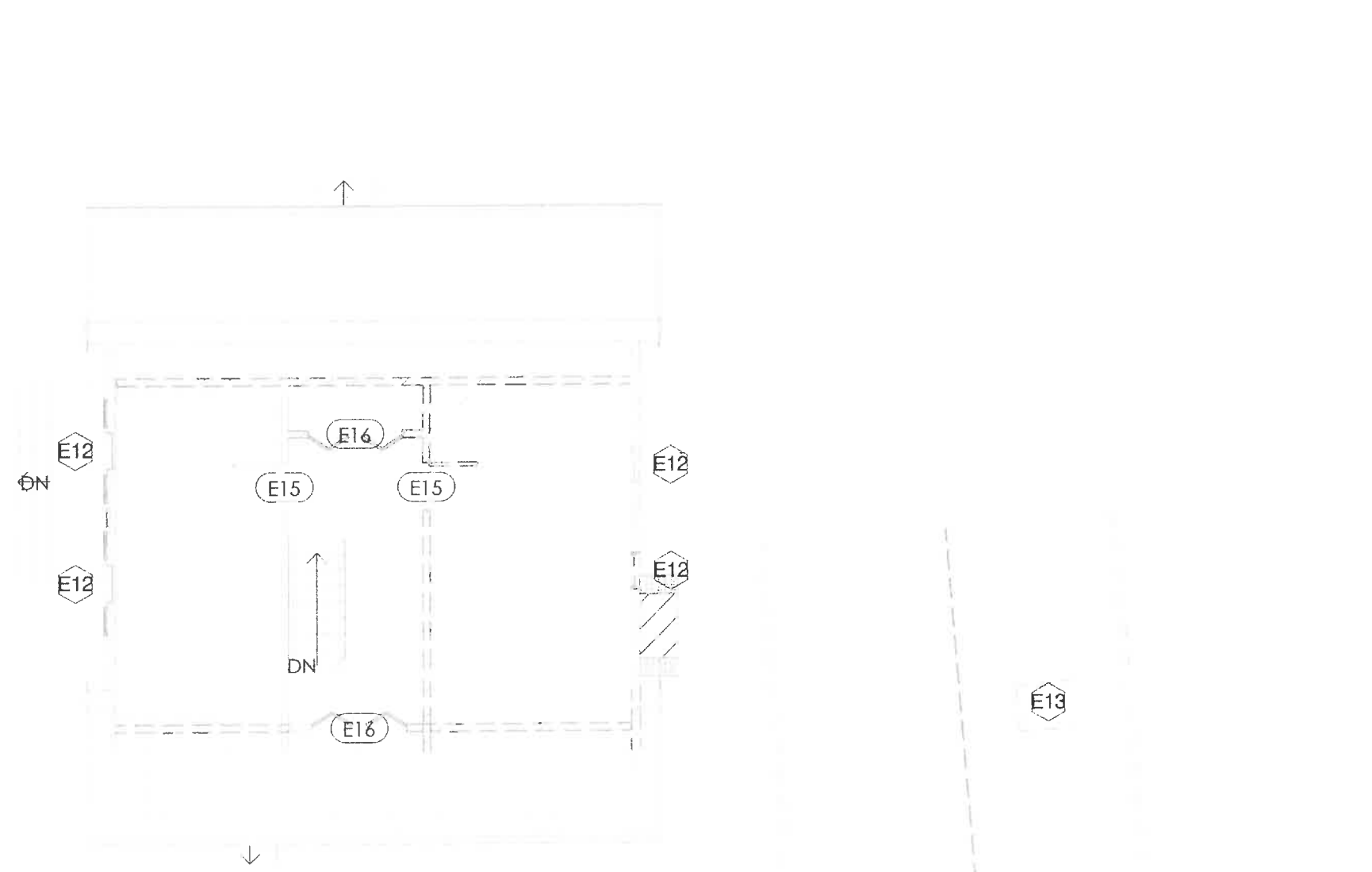


Exterior Photo of Left Side



Exterior Photo of Front Side

Note: Imagery is from Assessor's Office, Google Street View and/or Personal Photos taken at or around (11/17/21).



1 Existing Second Floor Plan
Scale: 1/8" = 1'-0"

ARCHITECT STAMP

8TFIVE STUDIO
architectural design
16 Jordan Lane
East Freetown, MA 02717
(774) 243-2432 info@8TFive.com

REVISIONS

ADDRESS
16 Turner Avenue,
Wareham MA 02571

CLIENT
Mr. & Mrs. Wiggin

DRAWN BY
M. Ghaly
02/16/22

Project #
20201174

Existing 2nd Floor

SCALE
As indicated

PROJECT STATUS
Concept Drawings

AD1.2

© 2022 8TFive Studio, LLC
 Formatted for 11x17
 20201174 - TURNER AVE HOME RENOVATION

WINDOW SCHEDULE - EXISTING Refer to Door & Window Schedule Sheet

--

DOOR SCHEDULE - EXISTING Refer to Door & Window Schedule Sheet

--

MEASURED DRAWING DISCLAIMER

This measured drawing has been prepared, in part, based upon information furnished by others as well as with on-site field measurement, photography, and documentation. While this information is believed to be reliable, the Architect assumes no responsibility for the accuracy of this measured drawing or for any errors or omissions that may have been incorporated into it as a result of incorrect information provided to the Architect. Those relying on this measured document are advised to obtain verification of its accuracy on-site prior to construction.

DEMOLITION NOTES

1. Demolition indicated is for general reference purposes only and is not intended to identify all of the demolition, removal of finishes, etc. General Contractor shall be responsible for all demolition and legal disposal of waste necessary to accommodate new work in whether indicated or not.
2. The Contractor must adhere to the scope of work shown on the drawings. No work is authorized if it expands the original scope of work unless it is approved in writing by the owner. Any work undertaken by the Contractor and any additional required documentation or cost to the project without prior written approval is the sole responsibility of the Contractor.
3. Coordinate removal of existing floor finishes to accommodate new proposed flooring. Adjust under-layments as necessary to ensure smooth/level transitions between different materials and new and existing work.
4. Remove vents, jacks, wiring, etc. where abandoned.
5. Notify Owner of any scheduled shut-off of utilities which serve currently occupied spaces.
6. Items to be salvaged for reinstallation are indicated as such on the Architectural drawings.
7. Perform demo Work to prevent dust and pollutant hazards. Do not endanger adjacent spaces, structures, or the public.

EXISTING CONDITIONS PHOTOS

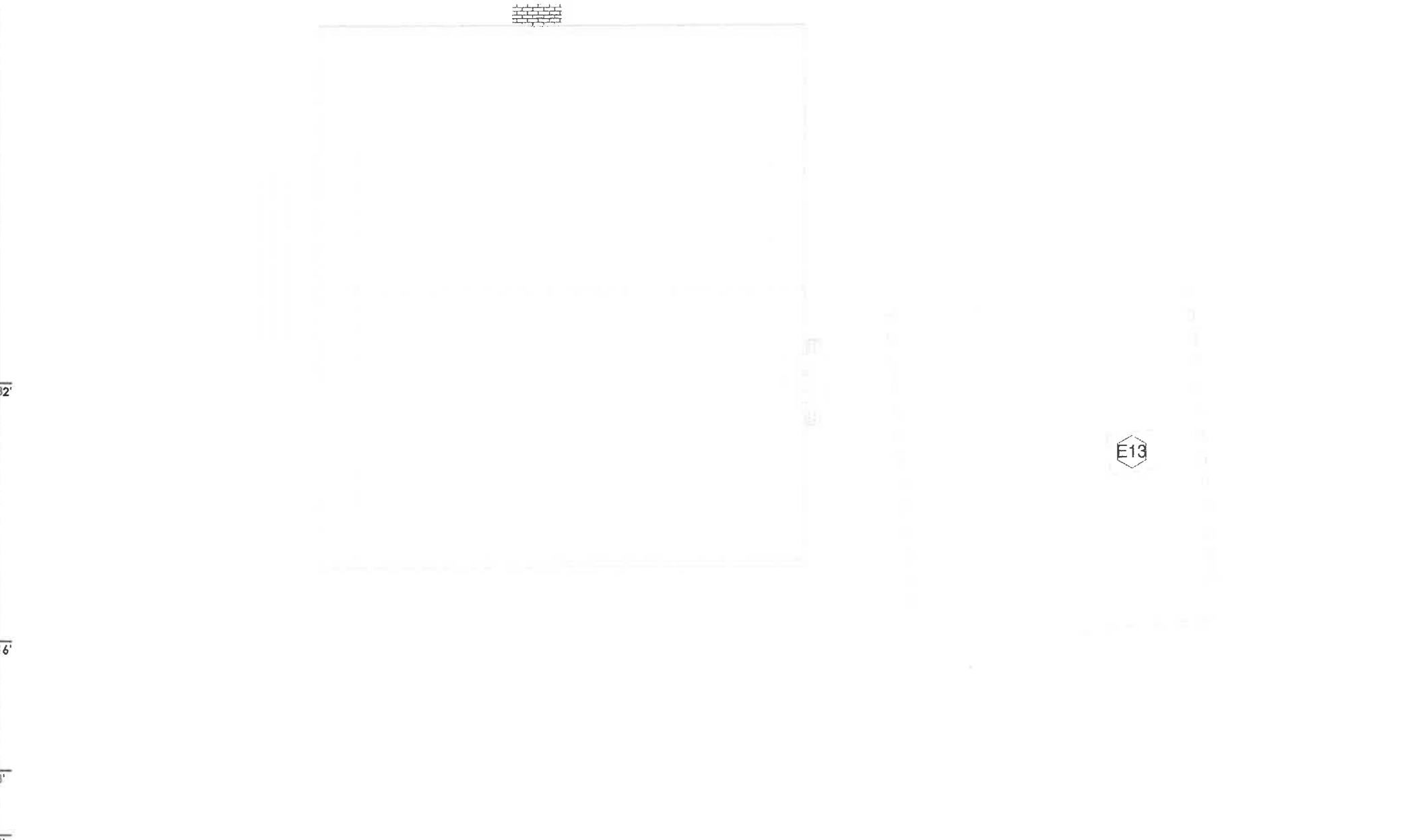


Exterior Photo of Left Side



Exterior Photo of Front Side

Note: Imagery is from Assessor's Office, Google Street View and/or Personal Photos taken at or around (11/17/21).



1 Roof - Existing Plan
 Scale: 1/8" = 1'-0"

ARCHITECT STAMP

8TFIVE STUDIO
 architectural design
 16 Jordan Lane
 East Freetown, MA 02717
 (774) 243-2432 info@8TFive.com

REVISIONS

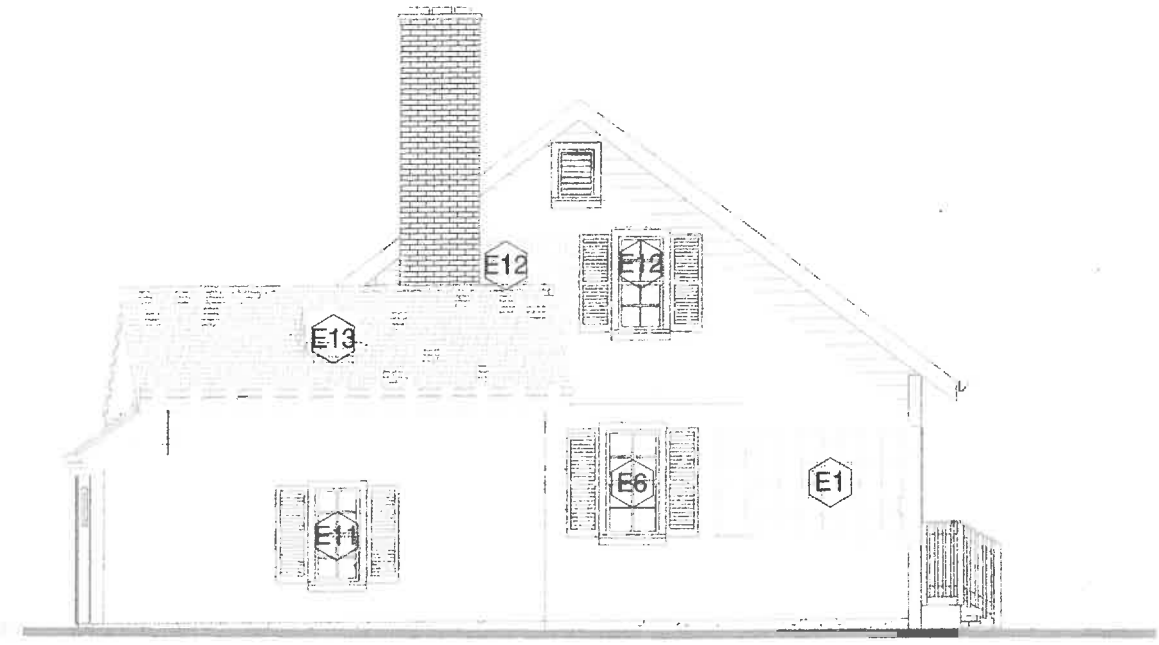
ADDRESS 16 Turner Avenue, Wareham MA 02571
CLIENT Mr. & Mrs. Wiggin
DRAWN BY M.Ghaly 02/16/22
PROJECT # 20201174

Existing Roof Plan

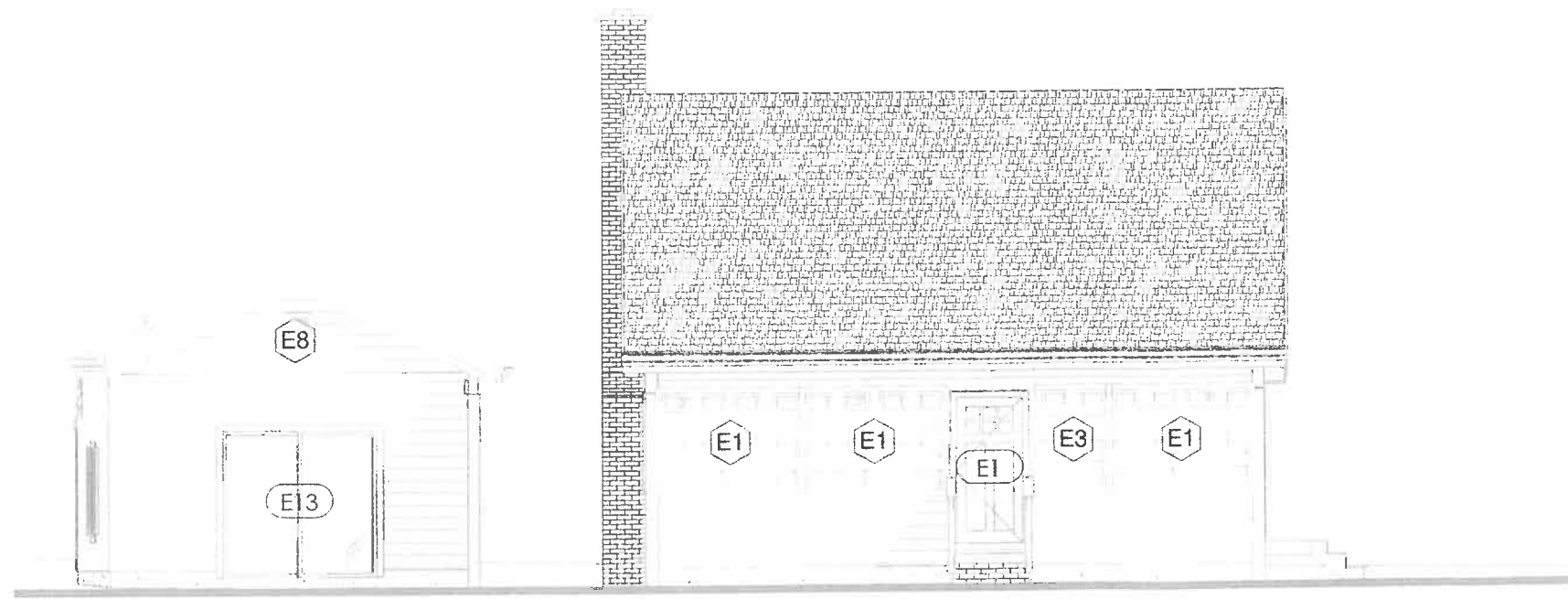
PROJECT STATUS Concept Drawings
SCALE As indicated

AD1.3

2 East - Existing
Scale: 1/8" = 1'-0"



1 North - Existing
Scale: 1/8" = 1'-0"



MEASURED DRAWING DISCLAIMER

This measured drawing has been prepared, in part, based upon information furnished by others as well as with on-site field measurement, photography, and documentation. While this information is believed to be reliable, the Architect assumes no responsibility for the accuracy of this measured drawing or for any errors or omissions that may have been incorporated into it as a result of incorrect information provided to the Architect. Those relying on this measured document are advised to obtain verification of its accuracy on-site prior to construction.

DEMOLITION NOTES

1. Demolition indicated is for general reference purposes only and is not intended to identify all of the demolition, removal of finishes, etc. General Contractor shall be responsible for all demolition and legal disposal of waste necessary to accommodate new work in whether indicated or not.
2. The Contractor must adhere to the scope of work shown on the drawings. No work is authorized if it expands the original scope of work unless it is approved in writing by the owner. Any work undertaken by the Contractor and any additional required documentation or cost to the project without prior written approval is the sole responsibility of the Contractor.
3. Coordinate removal of existing floor finishes to accommodate new proposed flooring. Adjust under-layments as necessary to ensure smooth/level transitions between different materials and new and existing work.
4. Remove vents, jacks, wiring, etc. where abandoned.
5. Notify Owner of any scheduled shut-off of utilities which serve currently occupied spaces.
6. Items to be salvaged for reinstallation are indicated as such on the Architectural drawings.
7. Perform demo Work to prevent dust and pollutant hazards. Do not endanger adjacent spaces, structures, or the public.

Ex. Exterior Elevations

PROJECT STATUS
Concept Drawings

SCALE
As indicated

ADDRESS
16 Turner Avenue,
Wareham MA 02571

CLIENT
Mr. & Mrs. Wiggin

REVISIONS

8TFIVE STUDIO
architectural design

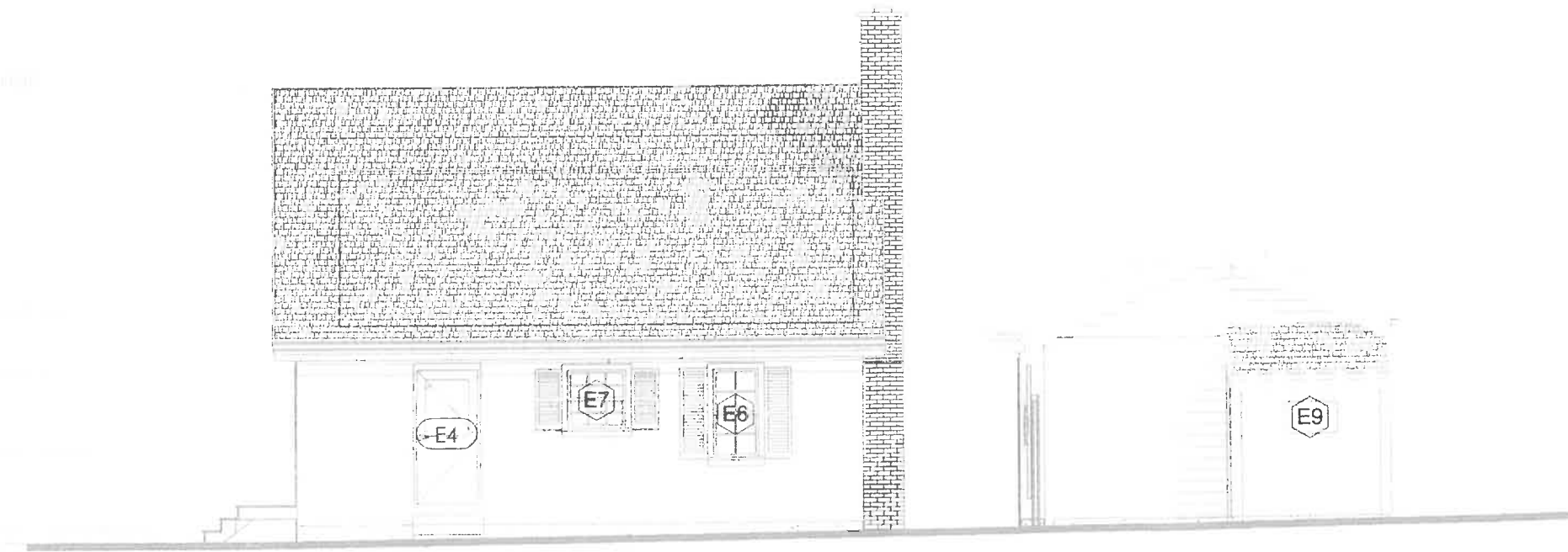
16 Jordan Lane
East Freetown, MA 02717
(774) 243-2432 info@8TFive.com

ARCHITECT STAMP

2 West - Existing
 Scale: 1/8" = 1'-0"



1 South - Existing
 Scale: 1/8" = 1'-0"



MEASURED DRAWING DISCLAIMER

This measured drawing has been prepared, in part, based upon information furnished by others as well as with on-site field measurement, photography, and documentation. While this information is believed to be reliable, the Architect assumes no responsibility for the accuracy of this measured drawing or for any errors or omissions that may have been incorporated into it as a result of incorrect information provided to the Architect. Those relying on this measured document are advised to obtain verification of its accuracy on-site prior to construction.

DEMOLITION NOTES

1. Demolition indicated is for general reference purposes only and is not intended to identify all of the demolition, removal of finishes, etc. General Contractor shall be responsible for all demolition and legal disposal of waste necessary to accommodate new work in whether indicated or not.
2. The Contractor must adhere to the scope of work shown on the drawings. No work is authorized if it expands the original scope of work unless it is approved in writing by the owner. Any work undertaken by the Contractor and any additional required documentation or cost to the project without prior written approval is the sole responsibility of the Contractor.
3. Coordinate removal of existing floor finishes to accommodate new proposed flooring. Adjust under-layments as necessary to ensure smooth/level transitions between different materials and new and existing work.
4. Remove vents, jacks, wiring, etc. where abandoned.
5. Notify Owner of any scheduled shut-off of utilities which serve currently occupied spaces.
6. Items to be salvaged for reinstallation are indicated as such on the Architectural drawings.
7. Perform demo Work to prevent dust and pollutant hazards. Do not endanger adjacent spaces, structures, or the public.

© 2022 8TFive Studio, LLC
Formatted for 11 x 17
20201174 - TURNER AVE HOME RENOVATION

WINDOW SCHEDULE Refer to Door & Window Schedule Sheet for All Windows

Mark	Type	Size	Room	Comments
4	Casement 3x	3x 2-4 x 5-0		3x.
6	Double Hung 1x	4-0 x 4-6	Sunroom	

DOOR SCHEDULE Refer to Door & Window Schedule Sheet for All Doors

Mark	Type	Size	Room	Comments
2	Single-Entry	3-0 x 6-8		
3	Bifold-4 Panel	4-0 x 6-8	Guest Room	
5	Single-Flush	2-4 x 6-8	<varies>	Bath

FLOOR PLAN NOTES

Dimensions:
All dimensions are to face of stud for new construction and finish face for existing conditions, unless otherwise noted.

Wall Construction:
1. All exterior walls to be framed with 2x6. Interior walls to be 2x4, unless noted otherwise. Refer to Floor Plan.
2. All exterior walls to be sheathed whether shear or not.

Wall Insulation:
1. All thermal or acoustical walls to be insulated full depth.
2. Refer to Building Section sheet for Energy Requirements.

Bathrooms:
1. Bath walls to be provided with 2x6 wall blocking for towel bars, shower rods, etc. Coordinate accessories with Owner.
2. Shower: To be smooth, hard, non-absorbent surface over a moisture resistant underlayment 70" min. above drain inlet.
3. Shower enclosures: If applicable to be tempered glass, 24" min door. Actual size to be reviewed with Owner.
4. Shower size: Stall showers to be min 1024 sq in and capable of encompassing 30" dia. See Plan for sizing & placement.
5. Refer to MEP plans for fixture flow rates, notes, etc.

Exhaust Vents:
1. Exterior vents to be min 3 ft away from doors, windows, operable skylights and roof vents.

Handrails & Guardrails:
Railing systems and posts to be wood with handrail 34" - 38" above stair treads. Guardrails to be 42" min above finish floor. Provide no more than 4" space between balustrades. Complete railing system to conform to Building Code per resistant loading.

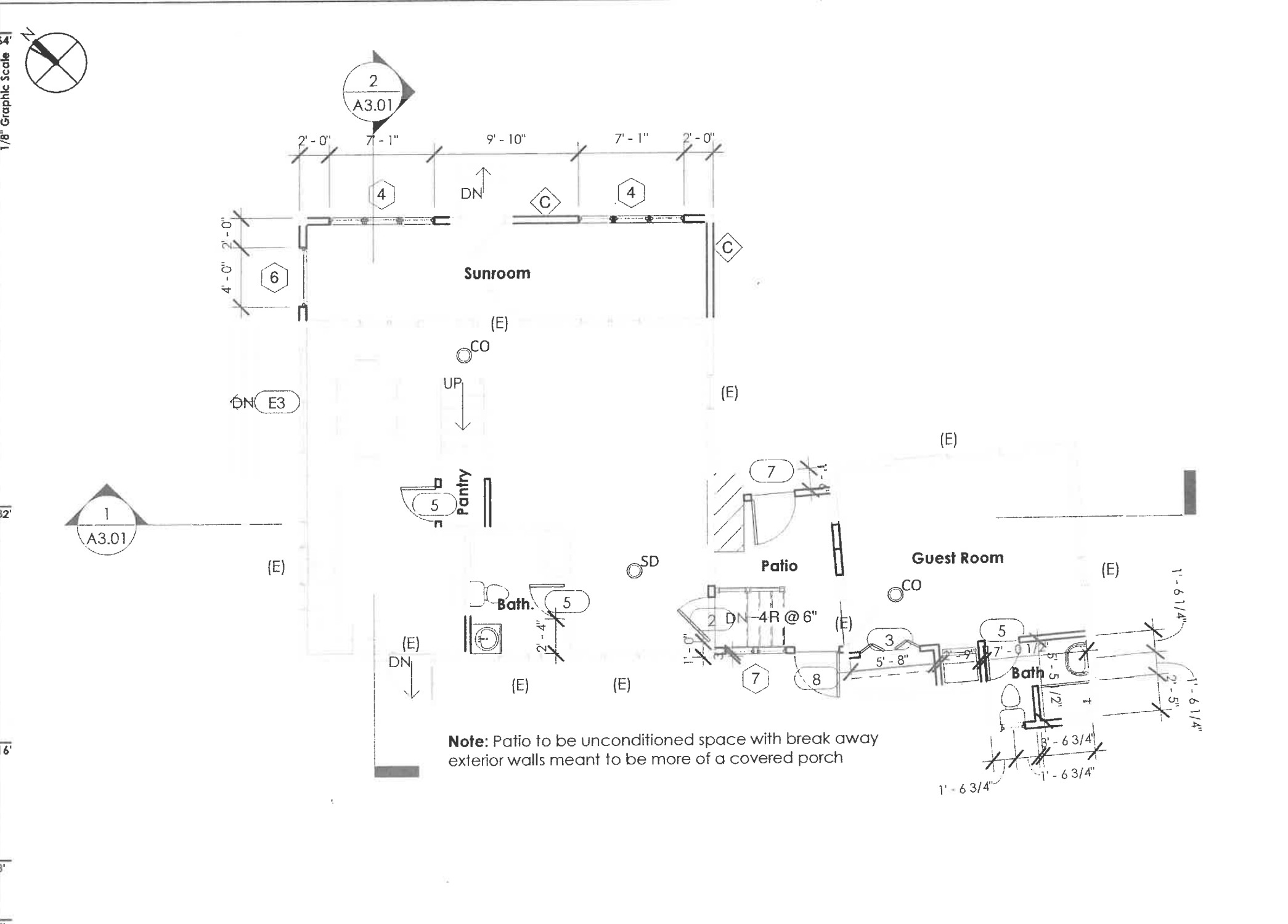
REFLECTED CEILING NOTES

General:
1. Provide power as required to all built-in elements as required whether indicated or not.

Lighting:
1. All recessed fixtures at insulated ceilings to be IC rated and certified air tight. All exterior fixtures, shower fixtures and fixtures over tubs are to be "suitable for damp locations".
2. All fluorescent light fixtures must meet energy efficiency requirements, ie electronic ballast, four-pin CFL, etc.
3. Outdoor lighting permanently mounted to the building are to be high efficacy or be provided an outdoor motion sensor with auto on/off and an integral photo sensor. Refer to plans for specific fixture and control requirements.
4. Provide dimmers (sized for load) typical for all fixtures, except fluorescent and exterior light fixtures and those with motion/occupancy sensors. Match type to fixture type.
5. Provide transformer (remote) as required for any low voltage fixtures. (except as noted where provided).

Detectors:
Smoke detectors and CO detectors to be 110V with battery backup, all interconnected. All smoke alarms shall either be dual sensor (photo/ion) or may be photoelectric when more than 20 feet from a kitchen, wood burning stove or fireplace.

Framing & Location:
1. Contractor shall take care in planning rough framing layout as it relates to the need to center fixtures in hallways, recesses, and other areas where relationships don't offer any latitude or field adjustments.
2. Mounting heights of all outlets as they relate to counters/desks or other built-in elements or details should carefully discussed and coordinated.
3. Contractor shall "box" the job with housings only, for Owner review prior to wiring. Adjustments should be expected without additional charges.



1 First Floor Plan
Scale: 1/8" = 1'-0"

ARCHITECT STAMP

8TFIVE STUDIO
 architectural design
 16 Jordan Lane
 East Freetown, MA 02717
 (774) 243-2432 info@8TFive.com

REVISIONS

ADDRESS 16 Turner Avenue, Wareham MA 02571
CLIENT Mr. & Mrs. Wiggin

DRAWN BY M. Ghaly
 02/16/22
Project # 20201174

SCALE As indicated

1st Floor Plan
PROJECT STATUS Concept Drawings

A1.01

© 2022 8TFive Studio, LLC Formatted for 11 x 17 20201174 - TURNER AVE HOME RENOVATION

WINDOW SCHEDULE Refer to Door & Window Schedule Sheet for All Windows

Mark	Type	Size	Room	Comments
1	Double Hung 1x	2-4 x 4-6	Room	Shutters,
2	Double Hung 1x	2-4 x 4-6		Shutters,
3	Double Hung 1x	3-0 x 3-0		Shutters,
5	Double Hung 1x	3-0 x 4-6	<varies>	Egress, <varies>
6	Double Hung 1x	3-0 x 3-0		Shutters,

DOOR SCHEDULE Refer to Door & Window Schedule Sheet for All Doors

Mark	Type	Size	Room	Comments
1	Single-Flush	2-8 x 6-8	Bedroom	
3	Bifold-4 Panel	4-0 x 6-8	Bedroom	
4	Opening-Cased	6-0 x 6-8	Room	
5	Single-Flush	2-4 x 6-8		Bath
9	Bifold-4 Panel	7-0 x 6-8	Common	

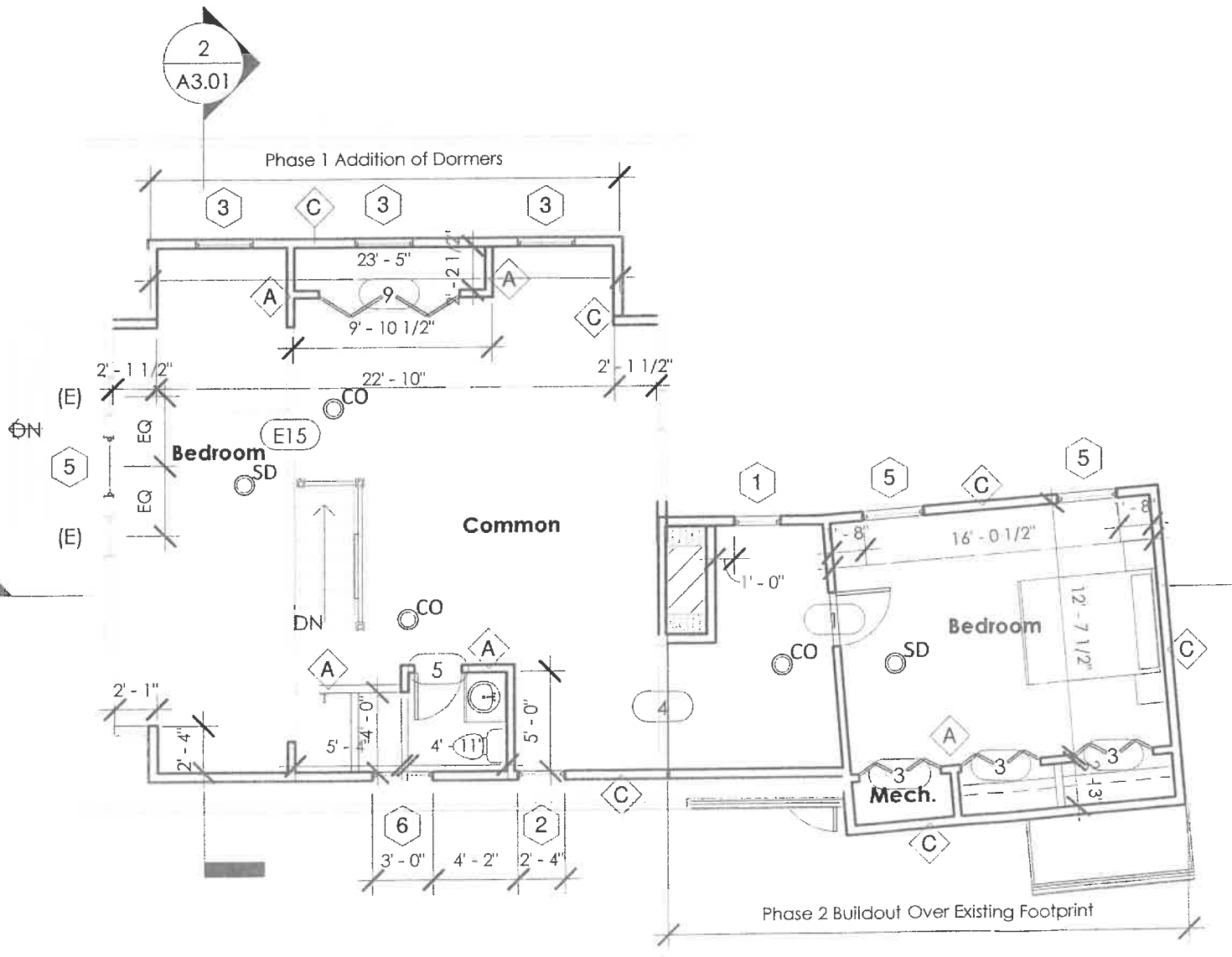
FLOOR PLAN NOTES

- Dimensions:**
All dimensions are to face of stud for new construction and finish face for existing conditions, unless otherwise noted.
- Wall Construction:**
1. All exterior walls to be framed with 2x6. Interior walls to be 2x4, unless noted otherwise. Refer to Floor Plan.
2. All exterior walls to be sheathed whether shear or not.
- Wall Insulation:**
1. All thermal or acoustical walls to be insulated full depth.
2. Refer to Building Section sheet for Energy Requirements.
- Bathrooms:**
1. Bath walls to be provided with 2x6 wall blocking for towel bars, shower rods, etc. Coordinate accessories with Owner.
2. Shower: To be smooth, hard, non-absorbent surface over a moisture resistant underlayment 70" min. above drain inlet.
3. Shower enclosures: If applicable to be tempered glass, 24" min door. Actual size to be reviewed with Owner.
4. Shower size: Stall showers to be min 1024 sq in and capable of encompassing 30" dia. See Plan for sizing & placement.
5. Refer to MEP plans for fixture flow rates, notes, etc.
- Exhaust Vents:**
1. Exterior vents to be min 3 ft away from doors, windows, operable skylights and roof vents.
- Handrails & Guardrails:**
Railing systems and posts to be wood with handrail 34" - 38" above stair treads. Guardrails to be 42" min above finish floor. Provide no more than 4" space between balustrades. Complete railing system to conform to Building Code per resistant loading.

REFLECTED CEILING NOTES

- General:**
1. Provide power as required to all built-in elements as required whether indicated or not.
- Lighting:**
1. All recessed fixtures at insulated ceilings to be IC rated and certified air tight. All exterior fixtures, shower fixtures and fixtures over tubs are to be "suitable for damp locations".
2. All fluorescent light fixtures must meet energy efficiency requirements, ie electronic ballast, four-pin CFL, etc.
3. Outdoor lighting permanently mounted to the building are to be high efficacy or be provided an outdoor motion sensor with auto on/off and an integral photo sensor. Refer to plans for specific fixture and control requirements.
4. Provide dimmers (sized for load) typical for all fixtures, except fluorescent and exterior light fixtures and those with motion/occupancy sensors. Match type to fixture type.
5. Provide transformer (remote) as required for any low voltage fixtures. (except as noted where provided).
- Detectors:**
Smoke detectors and CO detectors to be 110V with battery backup, all interconnected. All smoke alarms shall either be dual sensor (photo/ion) or may be photoelectric when more than 20 feet from a kitchen, wood burning stove or fireplace.
- Framing & Location:**
1. Contractor shall take care in planning rough framing layout as it relates to the need to center fixtures in hallways, recesses, and other areas where relationships don't offer any latitude or field adjustments.
2. Mounting heights of all outlets as they relate to counters/desks or other built-in elements or details should carefully discussed and coordinated.
3. Contractor shall "box" the job with housings only, for Owner review prior to wiring. Adjustments should be expected without additional charges.

1/8" Graphic Scale



Note: Proposed phased development would be for only dormers over existing primary residence. 2nd Phase would be for addition of existing detached structure. Structural Engineer to be consulted on existing footings for detached building for additional 2nd level bedroom.

1 Second Floor Plan
Scale: 1/8" = 1'-0"

8TFIVE STUDIO
 architectural design
 16 Jordan Lane
 East Freetown, MA 02717
 (774) 243-2432 info@8TFive.com

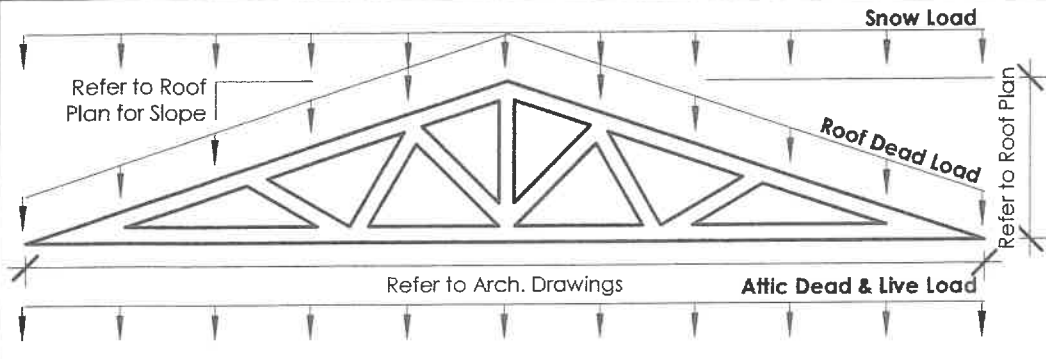
REVISIONS

ADDRESS 16 Turner Avenue, Wareham MA 02571
CLIENT Mr. & Mrs. Wiggin
DRAWN BY M.Ghaly 02/16/22
Project # 20201174

SCALE As indicated

2nd Floor Plan
PROJECT STATUS Concept Drawings

A1.02



2 Typical Truss Loading Diagram
 Scale: 1/8" = 1'-0"

PROJECT DESIGN CRITERIA *Refer to Site & Area Plan for Additional Notes*

Ground Snow Load	Wind Design			Seismic Category	Subject to Damage from		
	Basic Wind Speed (II)	Wind Exposure	Topo Effects		Weathering	Frost Line Depth	Termite
30 PSF	138 MPH	B	No	Exempt (B)	Severe	48 in	Mod. - Heavy
Winter Design Temp	Ice Barrier Underlayment Required		Flood Hazards	Air Freezing Index	Climate Zone	Mean Annual Temp	
Dry Bulb	Yes		See A-1.0	1500	5A	47.9 °F	
Hurricane-Prone Region			Wind-Borne Debris Region	Protection of Openings			
Yes - per R202			Maybe - per R202 (See A-1.0)	Maybe - per R301.2.1.2			
Floor Dead	Floor Live	Attic Dead	Attic Live	Roof Dead	Roof Live	Snow Load	
20 PSF	40 PSF	10 PSF	20 PSF	20 PSF	20 PSF	30 PSF	

* The roof shall be designed for the live load indicated or the snow load, whichever is greater.

ROOF PLAN NOTES

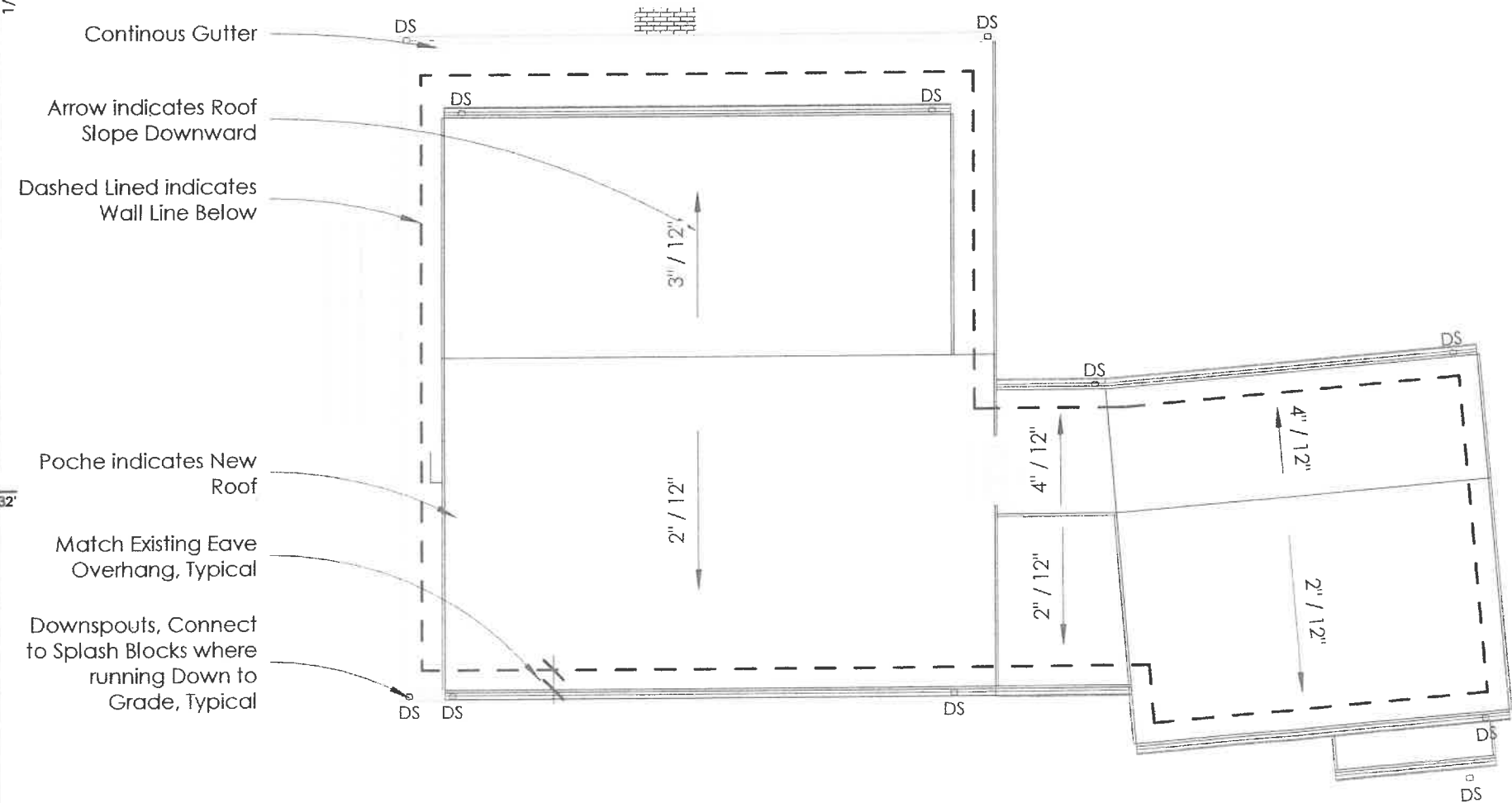
General:

1. Paint all roof top sheet metal to match roofing material.
2. Locate all roof top vents, flues, and exhausts to the side or rear facing roof slopes, unless otherwise noted.
3. Plumbing vents are to be a minimum of 10 feet away from, or at least 3 feet above any operable skylights.
4. Refer to Exterior Elevations for roofing requirements, materials and additional notes.

Roof Venting:
 All vents are to be provided with insect screens. General Contractor to verify any existing vents removed or blocked by new work shall be replaced with additional ventilation.

Attic Area:

1. Any new area includes California framed roof over existing.
2. Area is vented by continuous high ridge vents & eave vents.



1 Roof - Plan
 Scale: 1/8" = 1'-0"

ATTIC INSULATION NOTES

Flat and sloped ceilings use R-49 fiberglass batts or loose blown insulation. Attic access must be weather stripped and insulated to a level equivalent to the surrounding surface insulation.

Ceilings with Attic Spaces:

1. Installing R-38 over 100 percent of the ceiling area requiring insulation shall be deemed to satisfy the requirements for R-49 wherever the full height of uncompressed R-38 insulation extends over the wall top plate at the eaves.

Ceilings without Attic Spaces:

1. If the conditions of the roof/ceiling assembly does not allow sufficient space for the required insulation, the minimum required insulation for such assemblies shall be R-30. This reduction of insulation shall be limited to 500 sf or 20 percent of the total insulated ceiling area, whichever is less.

ARCHITECT STAMP

8TFIVE STUDIO
architectural design

16 Jordan Lane
East Freetown, MA 02717
(774) 243-2432 info@8TFive.com

REVISIONS

ADDRESS
16 Turner Avenue,
Wareham MA 02571

DRAWN BY
M.Ghaly
02/16/22

CLIENT
Mr. & Mrs. Wiggin

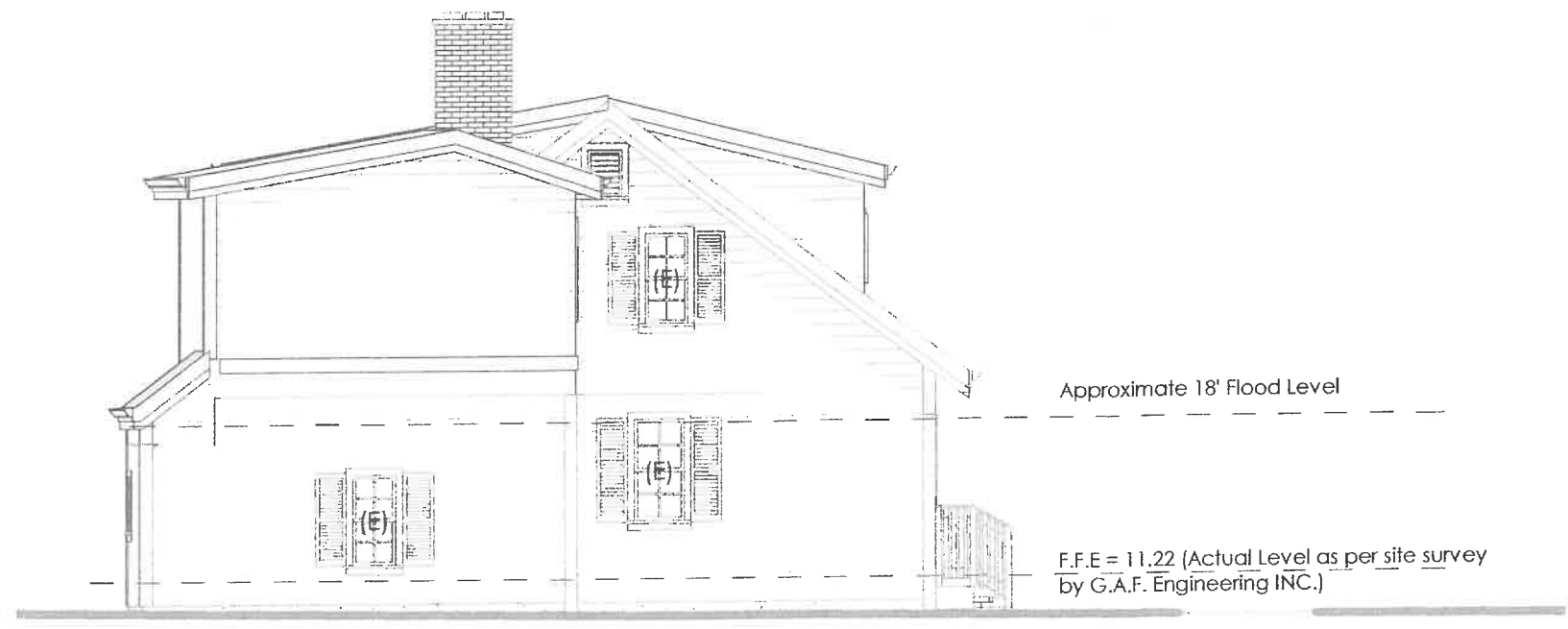
Project #
20201174

Roof Plan & Details

PROJECT STATUS
Concept Drawings

SCALE
As indicated

1/8" Graphic Scale



2 East
Scale: 1/8" = 1'-0"



1 North
Scale: 1/8" = 1'-0"

EXTERIOR ELEVATION NOTES

- Sloped Roofing:**
1. Composition shingle roofing to match existing, UL Class A minimum fire resistance.
 2. Installation shall be per Manufacturer's and State's Building Code requirements for shingle roofing.
 3. Flash at all transitions per mfr's req'ts and industry standards.
- Gutters and Downspouts:**
1. Galv sheet metal gutters and downspouts to match existing.
 2. Downspouts to be daylighted & surface drained to grade.
- Flashing:**
1. All roof flashing (tile pans, roof to wall, valleys, pipe collars, vents, cricket chimney flashing, attic vents) to be sheet metal. Flashing shall be provided at all the following transitions per IBC: All doors and windows to have sheet metal head flashing; Above projecting wood trim; At porches, closed decks, or stairs to wall or floors; At all wall and roof intersections.
- Attic Venting:**
1. Refer to Roof Plan
- Finishes:**
1. New exterior siding to match existing, UNO.
 2. New exterior wood to be painted to match existing.

ARCHITECT STAMP



16 Jordan Lane
East Freetown, MA 02717
(774) 243-2432 info@8TFive.com

REVISIONS

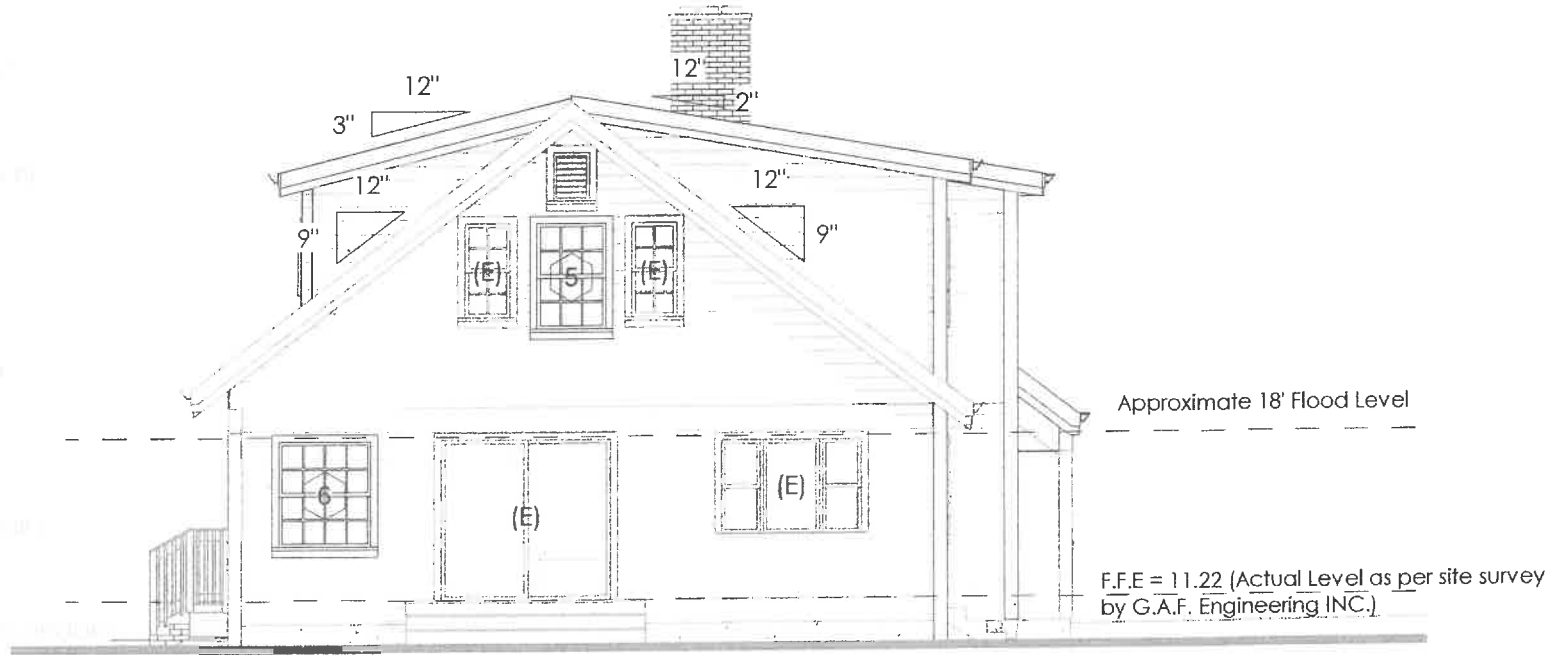
ADDRESS	16 Turner Avenue, Wareham MA 02571
CLIENT	Mr. & Mrs. Wiggin
DRAWN BY	M.Ghaly 02/16/22
Project #	20201174

Exterior Elevations

PROJECT STATUS
Concept Drawings

SCALE
As indicated

2 West
Scale: 1/8" = 1'-0"



1 South
Scale: 1/8" = 1'-0"



EXTERIOR ELEVATION NOTES

Sloped Roofing:
 1. Composition shingle roofing to match existing, UL Class A minimum fire resistance.
 2. Installation shall be per Manufacturer's and State's Building Code requirements for shingle roofing.
 3. Flash at all transitions per mfr's req'ts and industry standards.

Gutters and Downspouts:
 1. Galv sheet metal gutters and downspouts to match existing.
 2. Downspouts to be daylighted & surface drained to grade.

Flashing:
 1. All roof flashing (tile pans, roof to wall, valleys, pipe collars, vents, cricket chimney flashing, attic vents) to be sheet metal. Flashing shall be provided at all the following transitions per IBC: All doors and windows to have sheet metal head flashing; Above projecting wood trim; At porches, closed decks, or stairs to wall or floors; At all wall and roof intersections.

Attic Venting:
 1. Refer to Roof Plan

Finishes:
 1. New exterior siding to match existing, UNO.
 2. New exterior wood to be painted to match existing.

Exterior Elevations

DRAWN BY
M.Ghaly
02/16/22

ADDRESS
16 Turner Avenue,
Wareham MA 02571

PROJECT STATUS
Concept Drawings

CLIENT
Mr. & Mrs. Wiggin

PROJECT #
20201174

SCALE
As indicated

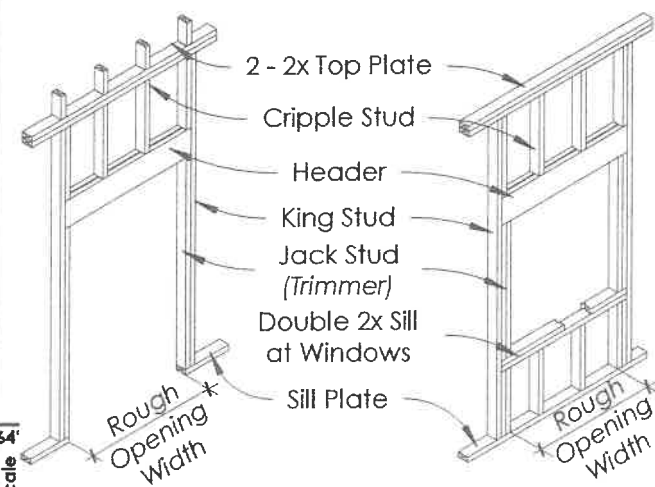
REVISIONS

8TFIVE STUDIO
architectural design

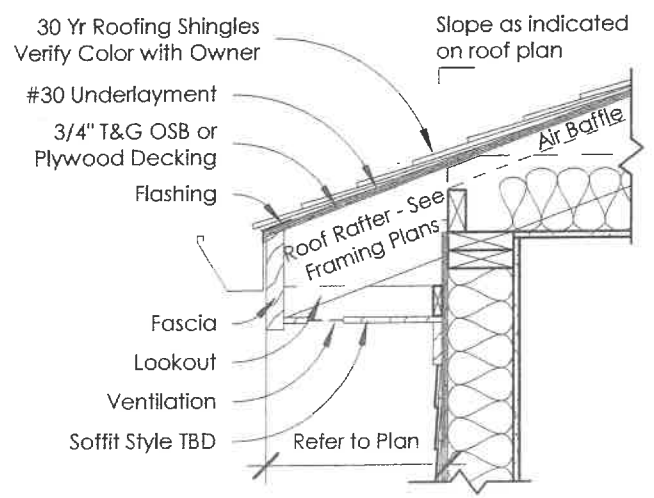
16 Jordan Lane
East Freetown, MA 02717
(774) 243-2432 info@8TFive.com

ARCHITECT STAMP

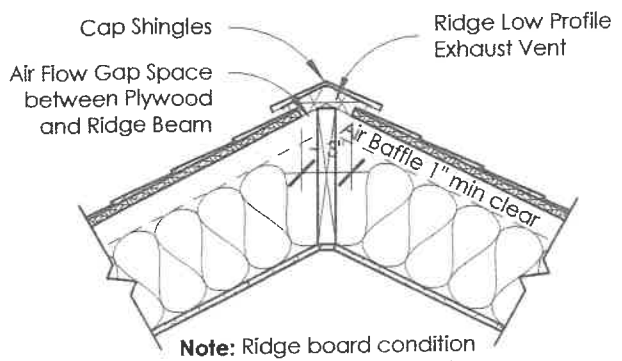
© 2022 8TFive Studio, LLC Formatted for 11x17 20201174 - TURNER AVE HOME RENOVATION 1/8" Graphic Scale



5 Door and Window Openings
Scale: 3/4" = 1'-0"



4 Typical Eave
Scale: 3/4" = 1'-0"



3 Ridge Vent
Scale: 3/4" = 1'-0"

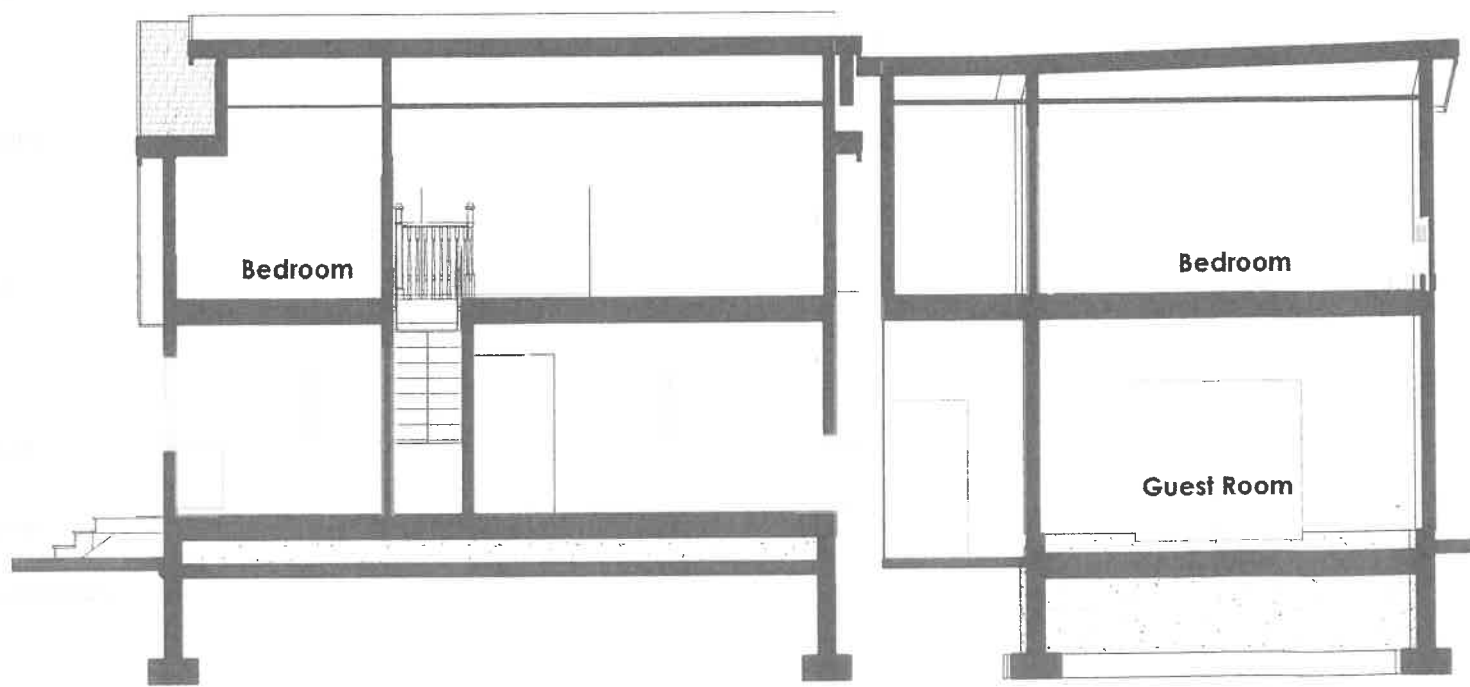
BUILDING ENVELOPE NOTES

Insulation:
The components of the building thermal envelope shall be installed in accordance with the manufacturer's instructions and the criteria per IECC 2015 Table R402.4.1.1, as applicable to the method of construction.

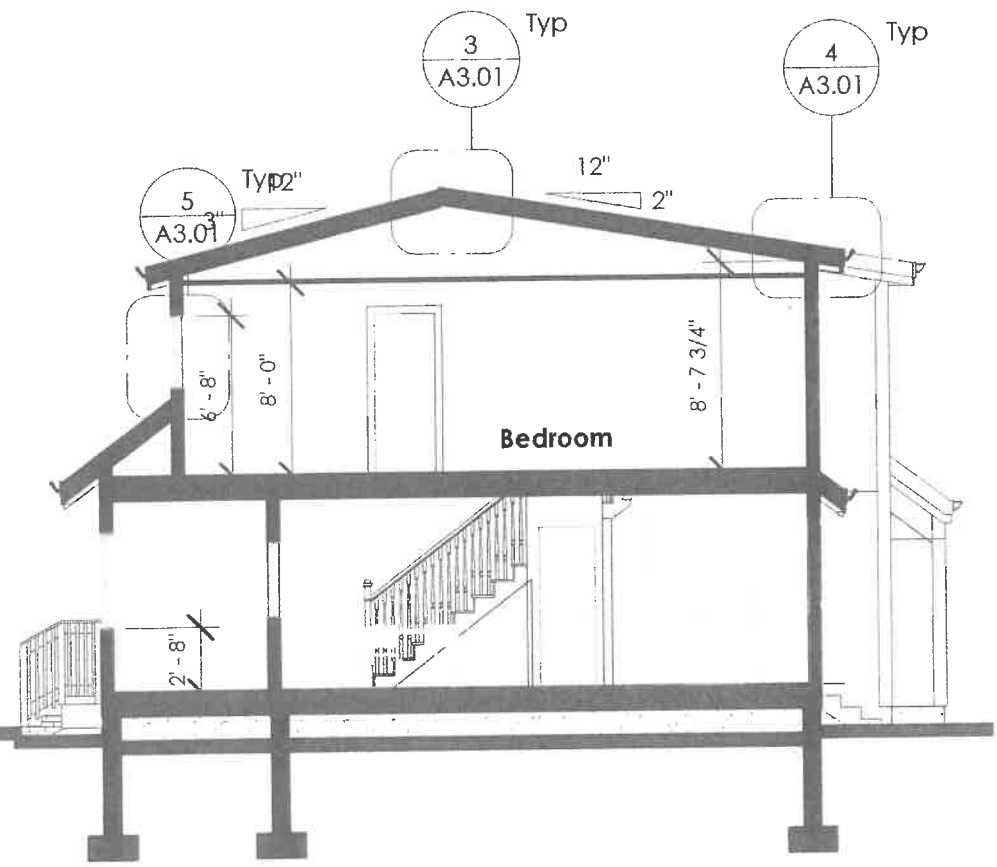
1. Unfinished basement ceilings install R-30 fiberglass batts or equivalent. Must be in contact with the subfloor above.
2. Exterior walls install R-20 fiberglass batts or equivalent.
3. Flat and sloped ceilings use R-49 fiberglass batts or loose blown insulation. Refer to Roof Plan for more attic notes.

Air Sealing:

1. Tubs or showers on outside walls require a complete air barrier in addition to the insulation before unit installation. This can be house wrap, rigid or spray foam insulation.
2. Doors to unconditioned basements should be solid core and completely weather stripped.
3. Fireplace bump outs must be completely insulated and air sealed before the fireplace unit is installed. This can be achieved by installing sheetrock, rigid insulation of Thermo-ply. All edges must be sealed.



1 Longitudinal Section
Scale: 1/8" = 1'-0"



2 Section of Building
Scale: 1/8" = 1'-0"

ARCHITECT STAMP

8TFIVE STUDIO
architectural design

16 Jordan Lane
East Freetown, MA 02717
(774) 243-2432 info@8TFive.com

REVISIONS

ADDRESS
16 Turner Avenue,
Wareham MA 02571

CLIENT
Mr. & Mrs. Wiggin

DRAWN BY
M. Ghaly
02/16/22

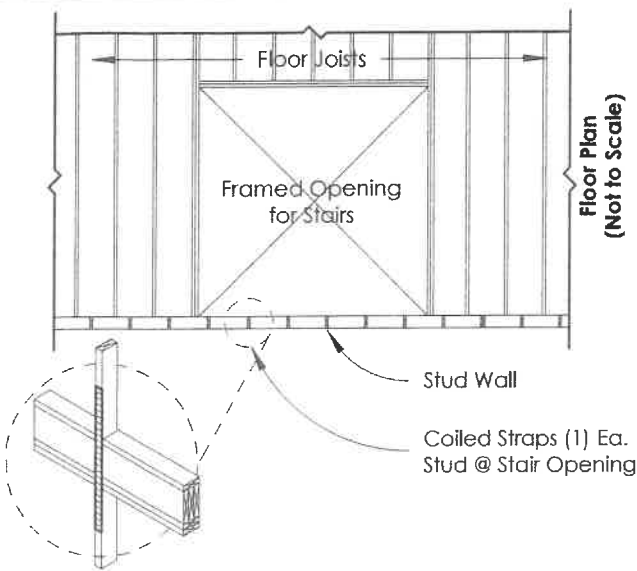
Project #
20201174

Building Sections

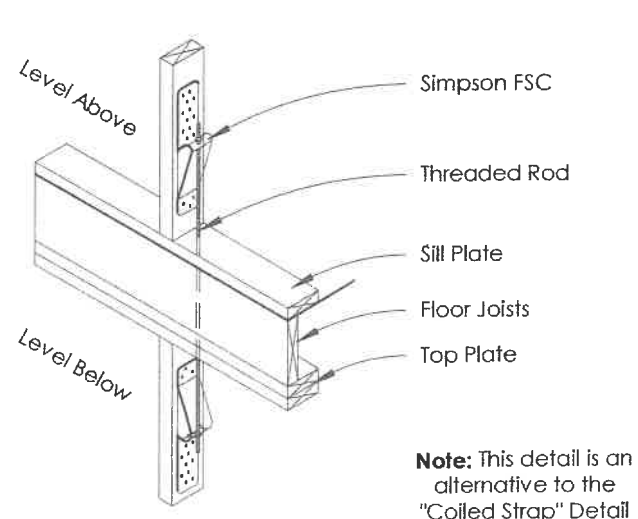
PROJECT STATUS
Concept Drawings

SCALE
As indicated

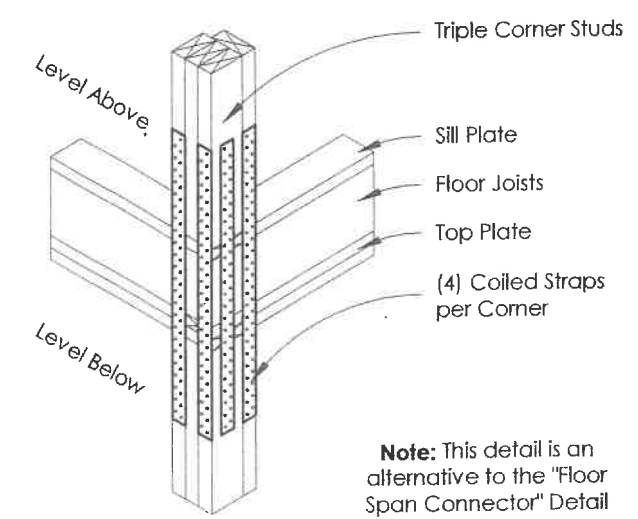
A3.01



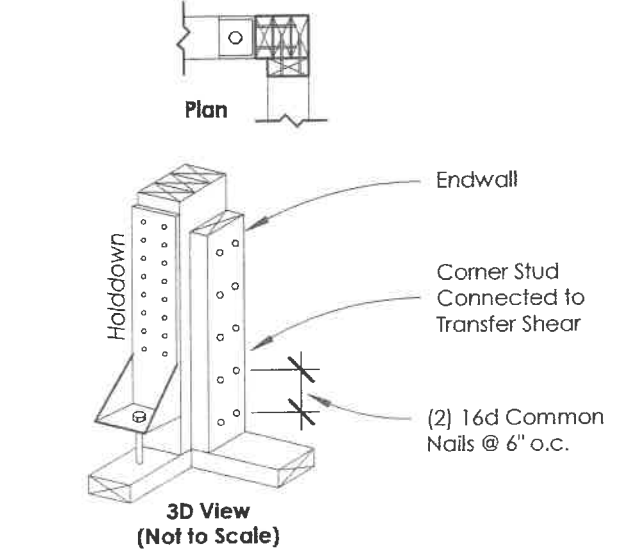
4 Floor Opening @ Exterior Wall Detail



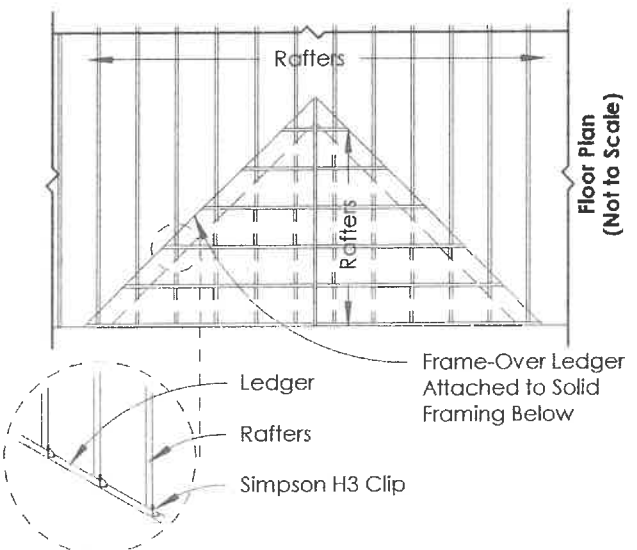
3 Floor Span Connector Detail



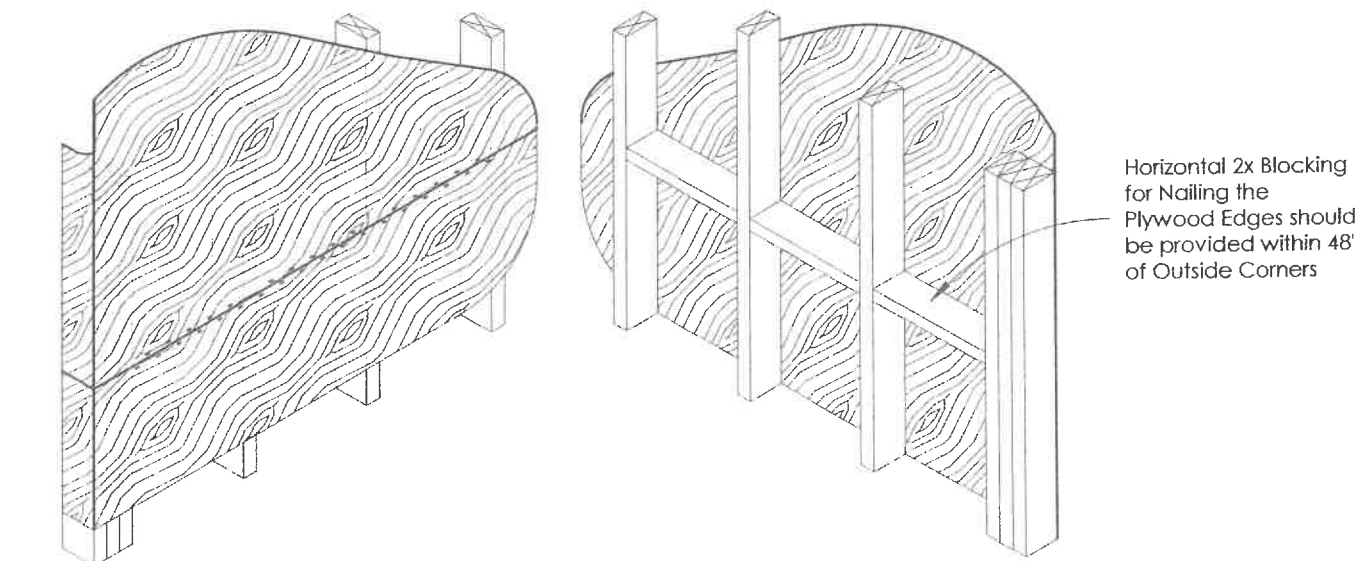
2 Coiled Strap Detail



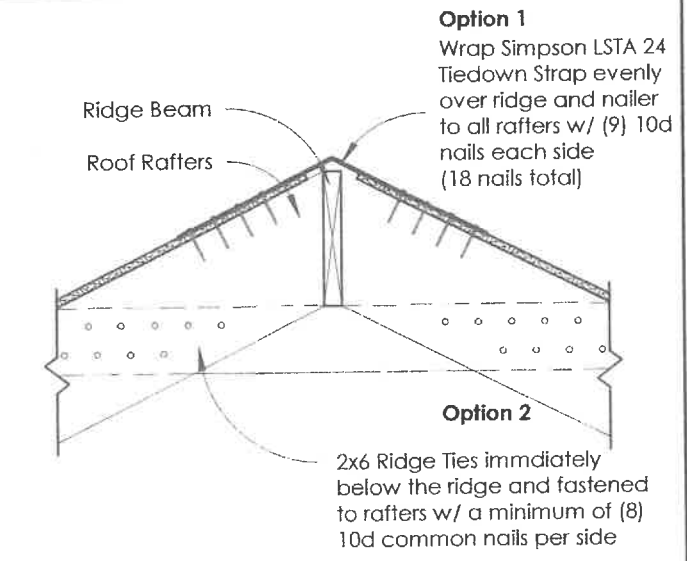
1 Corner Stud Hold Down
Scale: 3/4" = 1'-0"



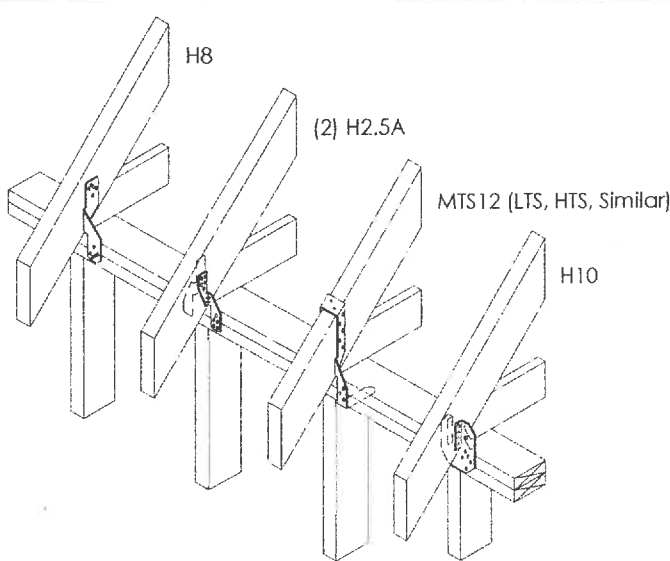
7 Frame-Over Ledger Detail



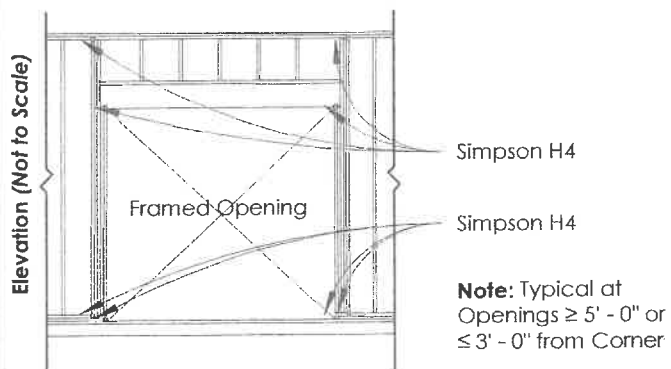
6 Plywood Blocking Detail



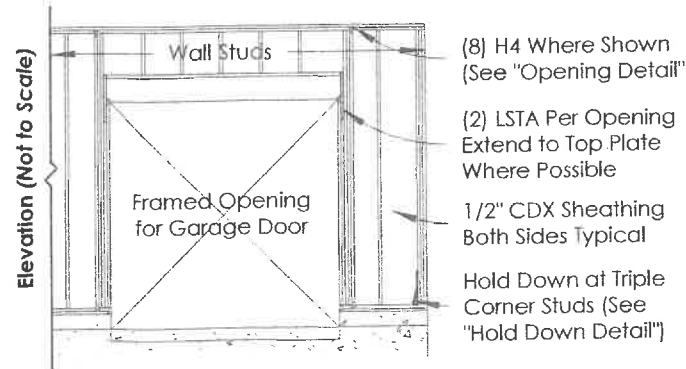
5 Typical Ridge Tie/Straps
Scale: 3/4" = 1'-0"



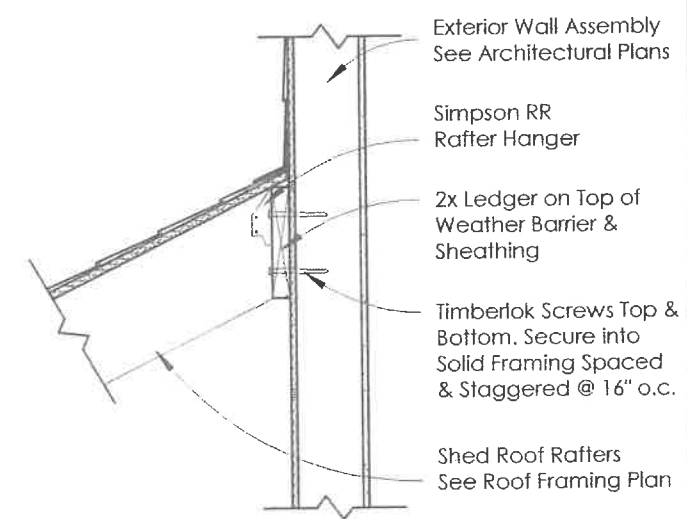
11 Rafter Connection Details



10 Wall Opening Detail



9 Garage Door Detail



8 Typical Ledger Detail
Scale: 3/4" = 1'-0"

ARCHITECT STAMP

8TFIVE STUDIO
architectural design

16 Jordan Lane
East Freetown, MA 02717
(774) 243-2432 info@8TFive.com

REVISIONS

ADDRESS
16 Turner Avenue,
Wareham MA 02571

CLIENT
Mr. & Mrs. Wiggin

DRAWN BY
M. Ghaly
02/16/22

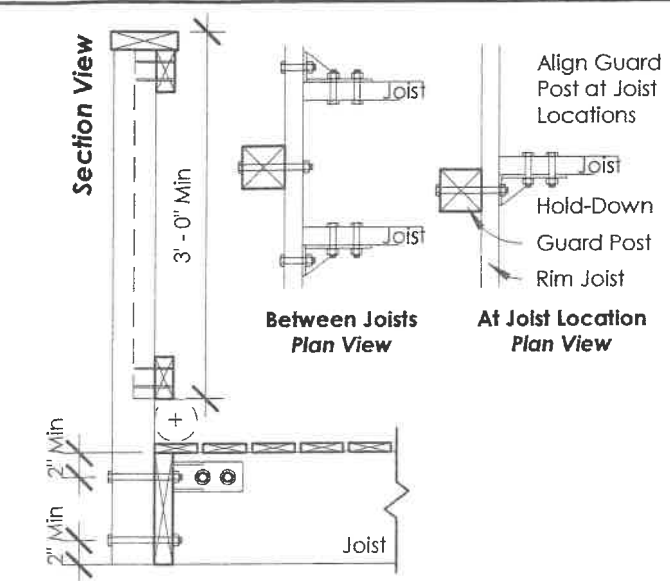
Project #
20201174

High Wind Details

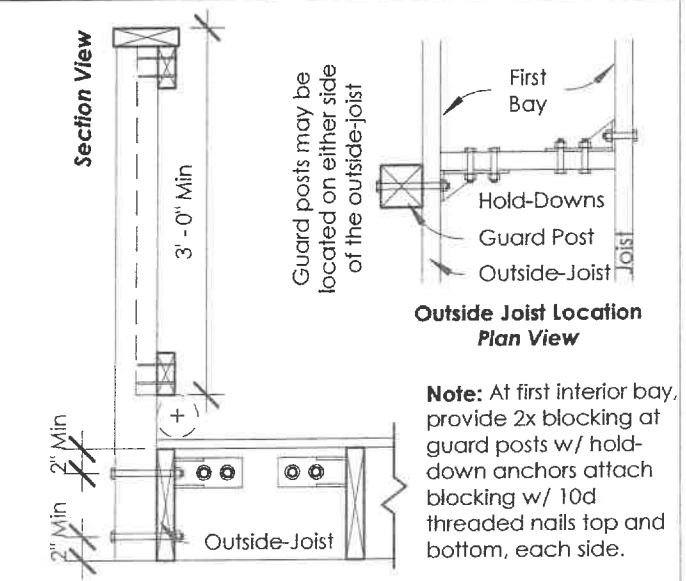
SCALE
3/4" = 1'-0"

PROJECT STATUS
Concept Drawings

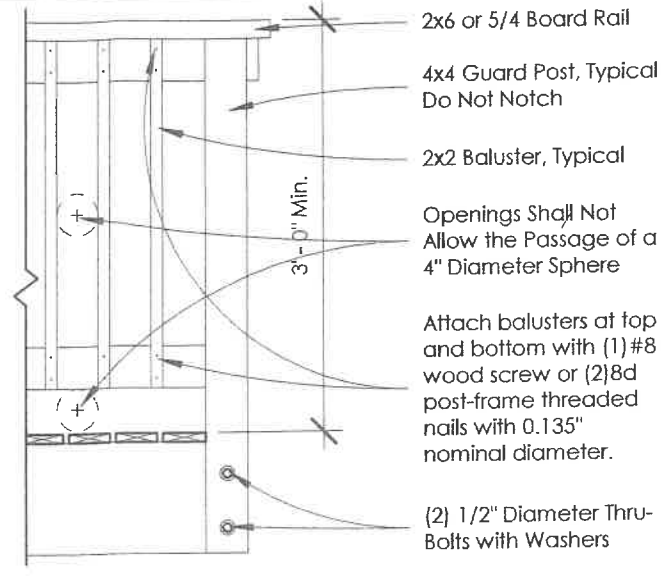
A5.01



6 Guard Post-to-Rim Joist Detail
Scale: 3/4" = 1'-0"



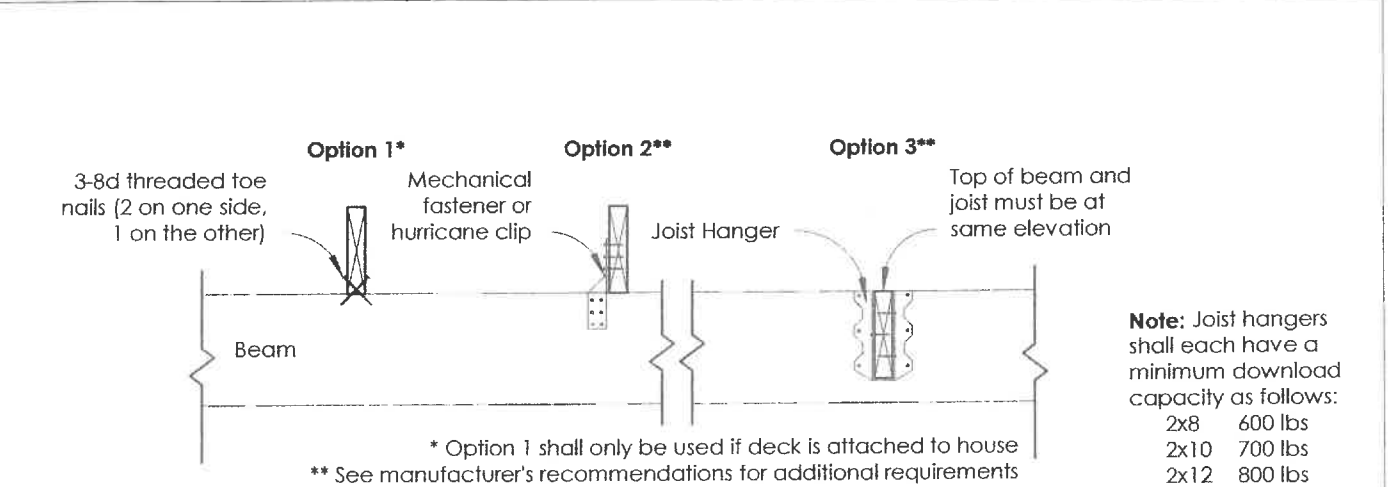
5 Guard Post-to-Outside Joist Detail
Scale: 3/4" = 1'-0"



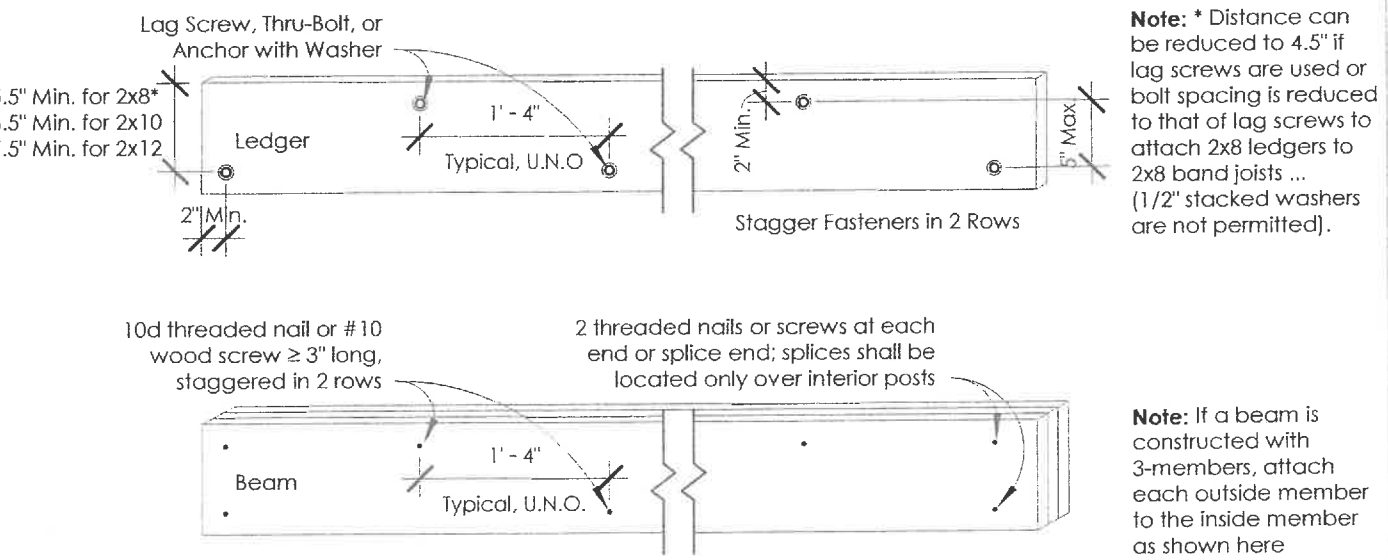
3 Deck Guard Post Attachment
Scale: 3/4" = 1'-0"

DECK FRAMING NOTES

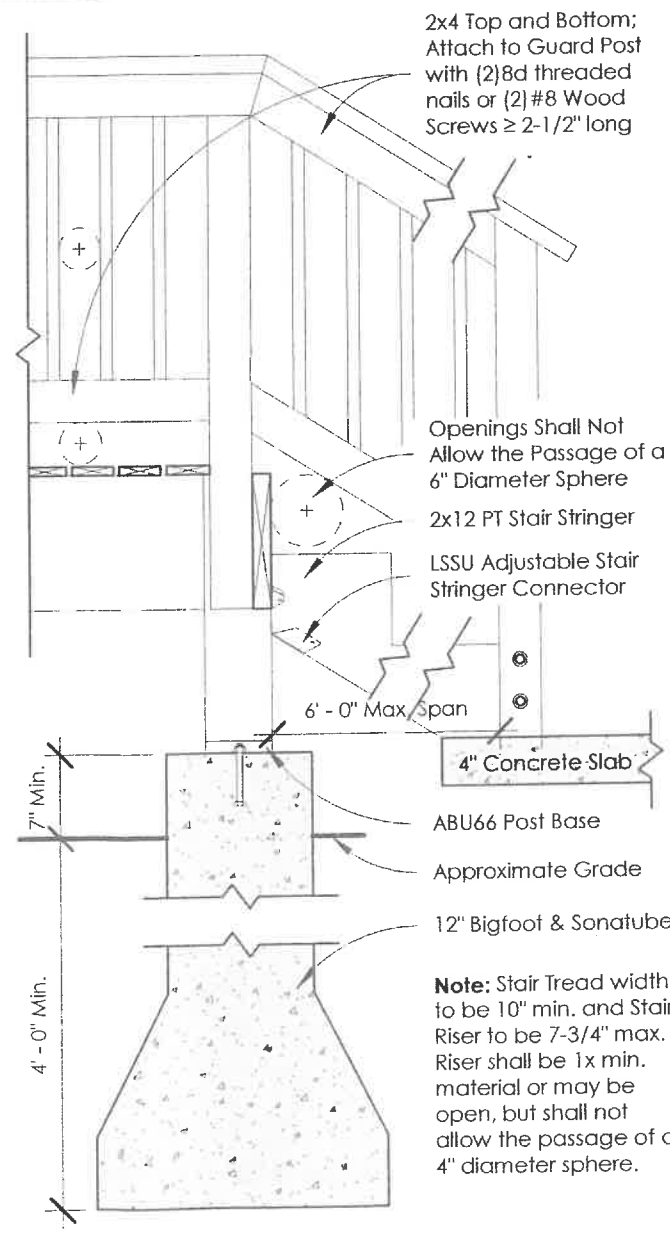
- Guard Post spacing shall not exceed a maximum of 6' - 0" from center of guard post. Railing shall be 3' - 0" min. height.
- To resist corrosion, the following is required [R317.3]:
 - All screws, bolts, and nails for use with pressure treated wood shall be hot-dipped zinc-coated galvanized steel, stainless steel, silicon bronze, or copper. Fasteners to be hot-dipped galvanized shall meet the REQ of ASTM A 153, Class D for fasteners 3/8" diameter and smaller or Class C for fasteners with diameters over 3/8".
 - All hardware (joist hangers, cast-in-place post anchors, etc.) shall be galvanized or shall be stainless steel. HDWR to be hot-dipped prior to fabrication shall meet ASTM A 653, G-185 coating. HDWR to be hot-dipped galvanized after fabrication shall meet ASTM A123.
 - Fasteners & connectors within 300 feet of a salt water or ocean shoreline shall be stainless steel grade 304 or 316.
- Flashing shall be corrosion-resistant metal [R703.8] of minimum nominal 0.019-inch thickness or approved non-metallic material. Aluminum should not be used in direct contact with PT lumber that contain copper such as ACQ.
- Decks shall not be used or occupied until final inspection & approval is obtained from authorities having jurisdiction.



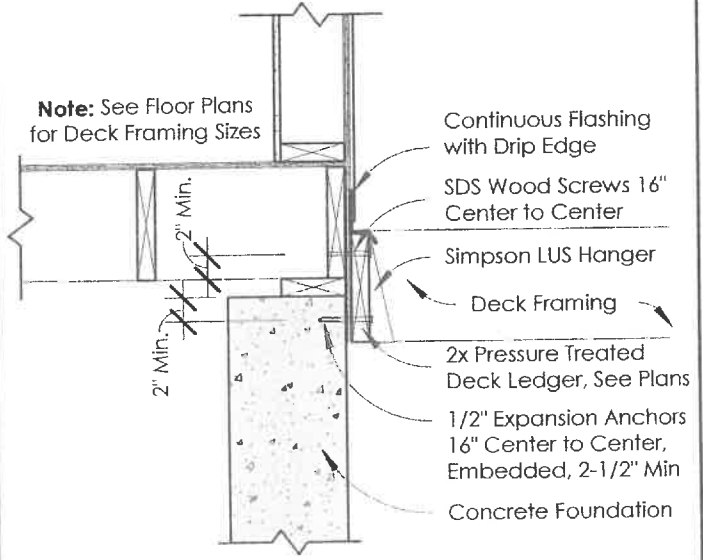
7 Deck Joist-to-Beam Detail
Scale: 3/4" = 1'-0"



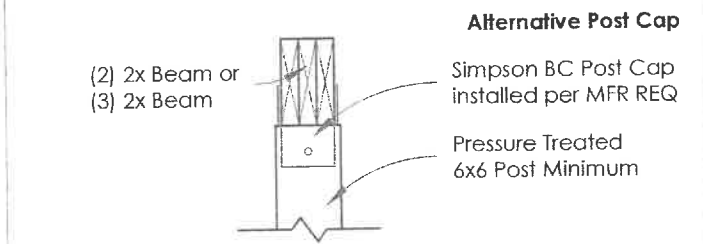
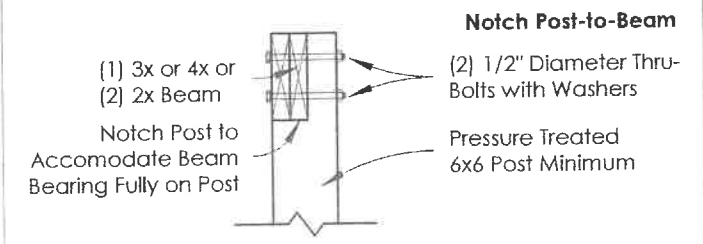
8 Deck Beam & Ledger Fastener Assembly
Scale: 3/4" = 1'-0"



4 Deck Footing & Railing
Scale: 3/4" = 1'-0"



1 Deck Ledger Detail
Scale: 3/4" = 1'-0"



2 Deck Post-to-Beam Attachment
Scale: 3/4" = 1'-0"

ARCHITECT STAMP

8TFIVE STUDIO
architectural design

16 Jordan Lane
East Freetown, MA 02717
(774) 243-2432 info@8TFive.com

REVISIONS

ADDRESS
16 Turner Avenue,
Wareham MA 02571

CLIENT
Mr. & Mrs. Wiggin

DRAWN BY

M. Ghaly
02/16/22

Project #
20201174

Deck Framing Details

SCALE
As indicated

PROJECT STATUS
Concept Drawings

WINDOW SCHEDULE Refer to Exterior Elevations for Locations

Mark	Type	Size	Room	Comments
E1	Double Hung 2x	{2} 3-0 x 4-6	<varies>	Egress,
E2	Casement 2x	2x 2x0 x 3-3	<varies>	2x Casement,
E3	Double Hung 1x	3-0 x 4-6		
E5	Picture-Side Dbl Hungs	7'2" x 48"		
E6	Double Hung 1x	2-4 x 4-6		Shutters,
E7	Double Hung 1x	3-0 x 3-0	Bath.	Shutters,
E8	Octagon	24" Dia.	Bedroom	
E9	Basement-Awning	32" x 19"		
E10	Octagon	24" Dia.	Guest Room	
E11	Double Hung 1x	2-0 x 4-0	Guest Room	Shutters,
E12	Double Hung 1x	2-0 x 4-0	<varies>	<varies>.
E13	Skylight	28" x 38"		

Existing: 22

1	Double Hung 1x	2-4 x 4-6	Room	Shutters,
2	Double Hung 1x	2-4 x 4-6		Shutters,
3	Double Hung 1x	3-0 x 3-0		Shutters,
4	Casement 3x	3x 2-4 x 5-0		3x,
5	Double Hung 1x	3-0 x 4-6	<varies>	Egress, <varies>.
6	Double Hung 1x	<varies>	<varies>	<varies>.
7	Casement 2x	2x 2x0 x 2-0		2x Casement,
8	Octagon	36" Dia.	Guest Room	
9	Casement 1x	1-8 x 2-6	Bath	Casement,

New Construction: 15

WINDOW SCHEDULE - PER TYPE For New Estimate Purposes Only

Count	Type	Size	Room	Comments
1	Casement 1x	1-8 x 2-6	Bath	Casement,
1	Casement 2x	2x 2x0 x 2-0		2x Casement,
2	Casement 3x	3x 2-4 x 5-0		3x,
2	Double Hung 1x	2-4 x 4-6	<varies>	Shutters,
4	Double Hung 1x	3-0 x 3-0		Shutters,
3	Double Hung 1x	3-0 x 4-6	<varies>	Egress, <varies>.
1	Double Hung 1x	4-0 x 4-6	Sunroom	

Total New Windows: 14

DOOR SCHEDULE Refer to Floor Plans for Locations

Mark	Type	Size	Room	Comments
E1	Single-Entry	3-0 x 6-8		
E2	Single-Entry w Sidelights	3-0 x 6-8	Sunroom	
E3	Sliding-Entry	7-0 x 6-8		
E4	Single-Entry w/ Storm Dr	3-0 x 6-8		, Half-Lite
E5	Single-Flush	2-4 x 6-8	Bath.	, Bath
E6	Single-Flush	2-0 x 6-8	Pantry	, Closet
E9	Single-Entry	3-0 x 6-8	Guest Room	
E11	Bifold-4 Panel	7-0 x 6-8	Guest Room	
E12	Bifold-2 Panel	2-6 x 6-8	Bath	
E12	Bifold-2 Panel	2-6 x 6-8	Guest Room	
E13	Sliding-Entry	7-0 x 6-8		
E15	Single-Flush	2-6 x 6-8	Common	, Bedroom
E15	Single-Flush	2-6 x 6-8	Bedroom	, Bedroom
E16	Bifold-4 Panel	5-0 x 6-8		
E16	Bifold-4 Panel	5-0 x 6-8	Common	

Existing: 15

1	Single-Flush	2-8 x 6-8	Bedroom	
1	Single-Flush	2-8 x 6-8	Bedroom	
2	Opening-Cased	3-0 x 6-8		
2	Single-Entry	3-0 x 6-8		
3	Bifold-4 Panel	4-0 x 6-8	Guest Room	
3	Bifold-4 Panel	4-0 x 6-8	Bedroom	
3	Bifold-4 Panel	4-0 x 6-8	Bedroom	
3	Bifold-4 Panel	4-0 x 6-8	Bedroom	
4	Opening-Cased	6-0 x 6-8	Room	
5	Single-Flush	2-4 x 6-8	Bath	, Bath
5	Single-Flush	2-4 x 6-8		, Bath
5	Single-Flush	2-4 x 6-8		, Bath
5	Single-Flush	2-4 x 6-8		, Bath
6	Single-Flush	2-6 x 6-8	Guest Room	, Bedroom
7	Single-Flush	3-0 x 6-8		
8	Single-Flush	3-0 x 6-8		
9	Bifold-4 Panel	7-0 x 6-8	Common	

New Construction: 17

DOOR SCHEDULE - PER TYPE For New Estimate Purposes Only

Count	Type	Size	Room	Comments
4	Bifold-4 Panel	4-0 x 6-8	<varies>	
1	Bifold-4 Panel	7-0 x 6-8	Common	
1	Opening-Cased	6-0 x 6-8	Room	
1	Single-Entry	3-0 x 6-8		
4	Single-Entry	2-4 x 6-8	<varies>	, Bath
1	Single-Flush	2-8 x 6-8	Bedroom	
2	Single-Flush	3-0 x 6-8		

Total New Doors: 14

DOOR & WINDOW NOTES

Jamb: Verify thickness of walls for jamb depths of all windows and doors. All door jams 4" off wall unless otherwise noted.

Glazing:
 1. All glazing is insulated and Low-E. U-factor and SHGC to comply with the International Energy Conservation Code 2015 and per Energy and Insulation Requirements.
 2. Refer to Exterior Elevations and Schedule for safety and obscure glass locations, denoted "Tempered" on the plans.

Window Sizes and Locations: Refer to Exterior Elevations for details, relationships to recesses, & configurations. Coordinate with structural plans when applicable for holdowns and posts. Refer to manufacturer's shop drawings for rough openings.

Egress Windows:
 Windows denoted "Egress" on the plans are to be as follows:
 1. Minimum net clear opening of 5.7 sf.
 2. Minimum net clear opening height of 24".
 3. Minimum net clear opening width of 20".
 4. Finish sill at 44" maximum above finish floor.

Specifications: Windows and doors are to be coordinated with Owner per Specs and installed per manufacturer requirements.

NFRC Labels: The Contractor shall not remove labels on windows prior to inspection and verification of U and SHGC.

Garage Doors: Openings between garage and livable space:
 1. Solid wood doors not less than 1 3/8" in thickness

DOOR & WINDOW LEGEND

ARCHITECT STAMP

8TFIVE STUDIO
 architectural design
 16 Jordan Lane
 East Freetown, MA 02717
 (774) 243-2432 info@8TFive.com

REVISIONS

ADDRESS
 16 Turner Avenue,
 Wareham MA 02571

CLIENT
 Mr. & Mrs. Wiggin

DRAWN BY
 M.Ghaly
 02/16/22

Project #
 20201174

Door & Window Schedules

SCALE
 As indicated

PROJECT STATUS
 Concept Drawings