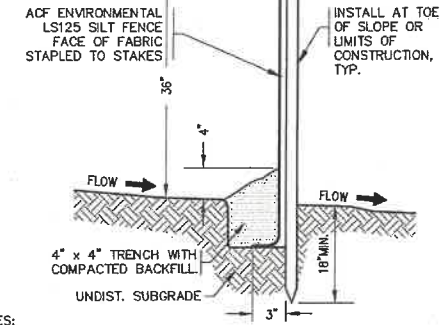


GENERAL NOTES:

- ALL UNDERGROUND UTILITIES SHOWN OR NOT SHOWN WERE COMPILED ACCORDING TO AVAILABLE RECORD PLANS AND IN PART FROM FIELD SURVEY AND ARE APPROXIMATE ONLY. ACTUAL LOCATIONS MUST BE DETERMINED IN THE FIELD. BEFORE EXCAVATING, BLASTING, INSTALLING, BACKFILLING, GRADING, PAVEMENT RESTORATION, OR REPAIRING, ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN. SEE MGL CHAPTER 370, ACTS OF 1963. CONTRACTORS MUST CALL DIG-SAFE AT (1-888-DIG-SAFE OR 811) G.A.F. ENGINEERING, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN.
- EXISTING CONDITIONS INFORMATION IS BASED ON AVAILABLE PLANS OF RECORD, PRIVATE UTILITY PLANS AND AN ON THE GROUND FIELD SURVEY BY GAF ENGINEERING INC. ON VARIOUS DATES AND MOST RECENTLY IN SEPTEMBER OF 2023.
- IN GENERAL, THE PLANS ARE DIAGRAMMATIC AND ARE NOT INTENDED TO SHOW EVERY FITTING, CHANGE IN DIRECTION OR DETAIL OF CONSTRUCTION.
- THE CONTRACTOR SHALL COORDINATE AND OBTAIN ALL REQUIRED PERMITS, GIVE ALL NOTICES, COMPLY WITH ALL LAWS AND REGULATIONS, AND PAY ALL FEES ASSOCIATED WITH THE INSTALLATION OF THIS WORK.
- THE CONTRACTOR SHALL FIELD VERIFY, PRIOR TO CONSTRUCTION ALL EXISTING UNDERGROUND UTILITY LOCATIONS AND POINTS OF INTERCONNECTION.
- THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, SUPERVISION, TOOLS, EQUIPMENT, FUEL, POWER, SANITARY FACILITIES AND INCIDENTALS NECESSARY FOR THE FURNISHING, PERFORMANCE, TESTING, START-UP AND COMPLETION OF THIS WORK.
- SHALL COMPLY WITH MASSACHUSETTS AND INTERNATIONAL BUILDING CODE REQUIREMENTS, AS APPLICABLE FOR CONSTRUCTION IN FLOOD ZONES.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND OWNER OF ANY CONFLICTS DISCOVERED IN THE FIELD.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION REQUIRED FOR THE INSTALLATION OF THIS WORK.
- ALL MATERIALS SHALL BE NEW AND FREE FROM DEFECTS AND OF GOOD QUALITY.
- THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM THE ACCUMULATION OF WASTE MATERIAL AND OTHER DEBRIS RESULTING FROM THIS WORK.
- ALL UTILITY INSTALLATIONS SHALL BE IN CONFORMANCE WITH ALL APPLICABLE TOWN, STATE AND FEDERAL REQUIREMENTS & REGULATIONS.
- LOAM AND SEED ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITY.



NOTES:

- SILTATION FENCING SHALL BE INSTALLED DOWNSLOPE OF ALL PROPOSED AND EXISTING DISTURBED AREAS, OR AS SHOWN ON THE PLANS.
- EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL VEGETATIVE OR STABILIZED COVER HAS BEEN FIRMLY ESTABLISHED.
- EROSION CONTROL MEASURES SHALL FOLLOW THE PERFORMANCE STANDARDS OF THE USDA SOIL CONSERVATION SERVICE, AND ANY APPLICABLE STATE/LOCAL CONSERVATION AUTHORITY.

SILTATION FENCE BARRIER
N.T.S.



LOCUS MAP : SCALE 1" = 2000'

LOT DATA:

ASSESSORS MAP: 78-1 / LOTS 20, 21
ADDRESS: 59 ROSE POINT AVE

OWNER:
TIMOTHY J. & LYNNE M. DEMARCO
59 ROSE POINT AVE
WAREHAM, MA 02576

ZONING DATA:

ZONE: RESIDENCE 30 (R-30) SETBACKS:
MINIMUM LOT AREA: 30,000 S.F.
MINIMUM FRONTAGE: 150'
MINIMUM FRONT SETBACK: 20'
MINIMUM SIDE SETBACK: 10'
MINIMUM REAR SETBACK: 10'
MAXIMUM BUILDING HEIGHT: 35'
MAXIMUM BUILDING COVERAGE: 25%

ACCESSORY BUILDING SETBACKS:
MINIMUM FRONT SETBACK: 20'
MINIMUM SIDE SETBACK: 10'
MINIMUM REAR SETBACK: 15'
MAXIMUM BUILDING HEIGHT: 20'
EX. BUILDING COVERAGE = 9.4%
PROP. BUILDING COVERAGE = 13.7%

FLOOD ZONE DATA:

THE PROJECT IS WITHIN FLOOD ZONE AE-14. REFER TO THE F.E.M.A. FLOOD INSURANCE RATE MAP PANEL NUMBER 25023C0557K, DATED: FEBRUARY 5, 2014.

REV.	DATE	BY	APP'D	DESCRIPTION

LEGEND

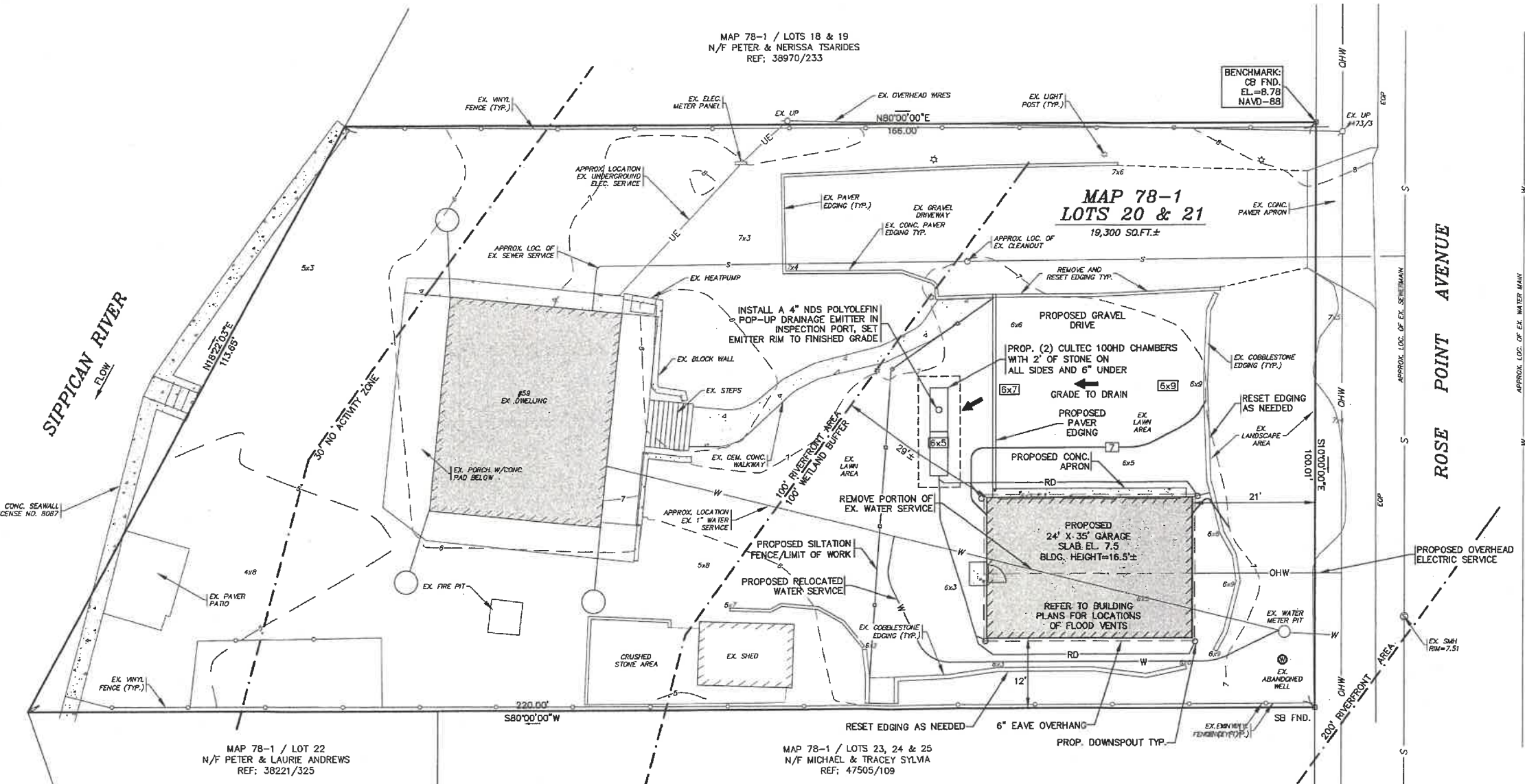
EXISTING	DESC.
10	CONTOURS
14x5	SPOT GRADES
	WETLANDS
	30' NO ACTIVITY ZONE
	100' BUFFER ZONE
	F.E.M.A. FLOOD ZONE
	LMWA
	CATCH BASIN (CB)
	DRAIN MANHOLE (DMH)
	DRAIN LINE
	OVERHEAD WIRES
	UTILITY POLE
	GUY POLE
	WATER GATE VALVE
	WATER SHUTOFF/CURB STOP
	HYDRANT
	WATER LINE
	UNDERGROUND ELECTRIC
	SEWER MANHOLE (SMH)
	SEWER LINE
	TREE/BRUSH LINE
	LIGHT POST
	GAS LINE
	GAS GATE/VALVE
	GAS SHUTOFF
	GAS METER
	FENCE
	SIGN
	BOUND

G.A.F. ENGINEERING INC.
PROFESSIONAL ENGINEERS & LAND SURVEYORS
288 MAIN STREET, WAREHAM, MA 02571
TEL: (508) 548-6600 FAX: (508) 295-6604
TEL: (508) 548-6600 FAX: (508) 295-6604

TIMOTHY & LYNNE DEMARCO
59 ROSE POINT AVE
WAREHAM, MA

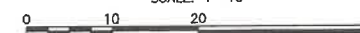
JOB NO.: 23-10079

DWG. 1 OF 1



SITE PLAN

SCALE: 1"=10'



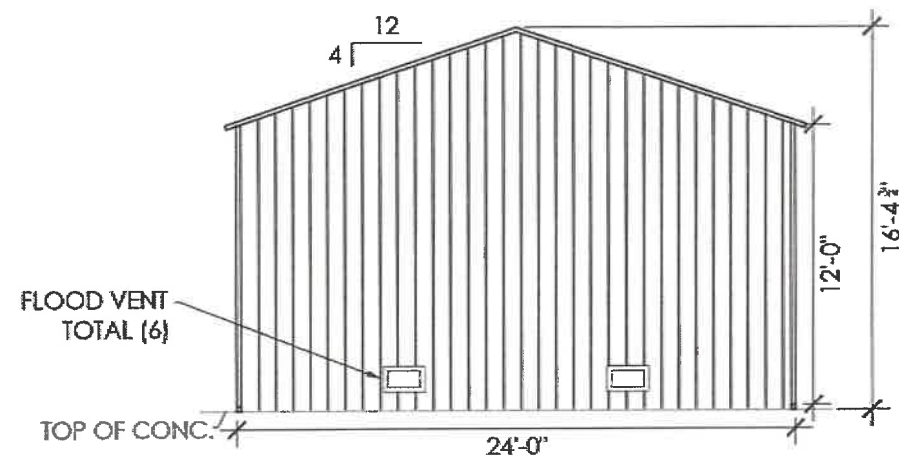
NOTE:

- FOR DETAILS ON THE PROPOSED GARAGE REFER TO A SET OF PLANS PREPARED BY AMERICAN STEEL CARPORTS, INC., DATED OCTOBER 10, 2023.

PERMIT SET
(NOT FOR CONSTRUCTION)

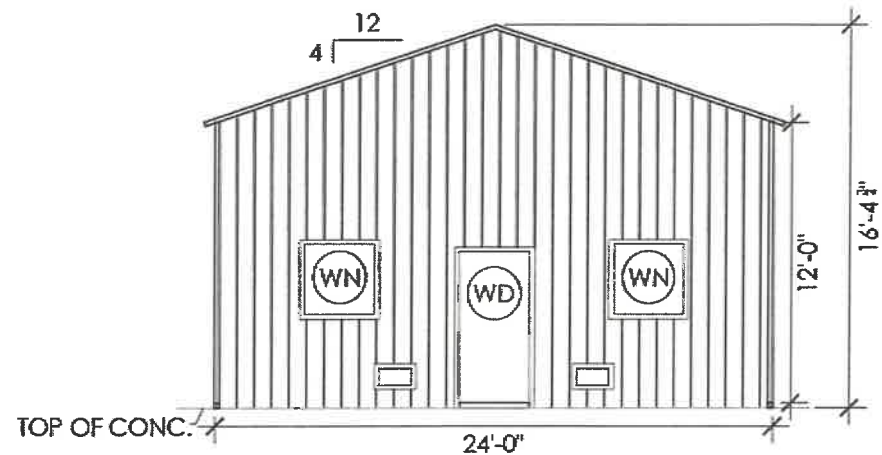


EXPIRES: 6/30/2024
SIGNED: OCT 10 2023



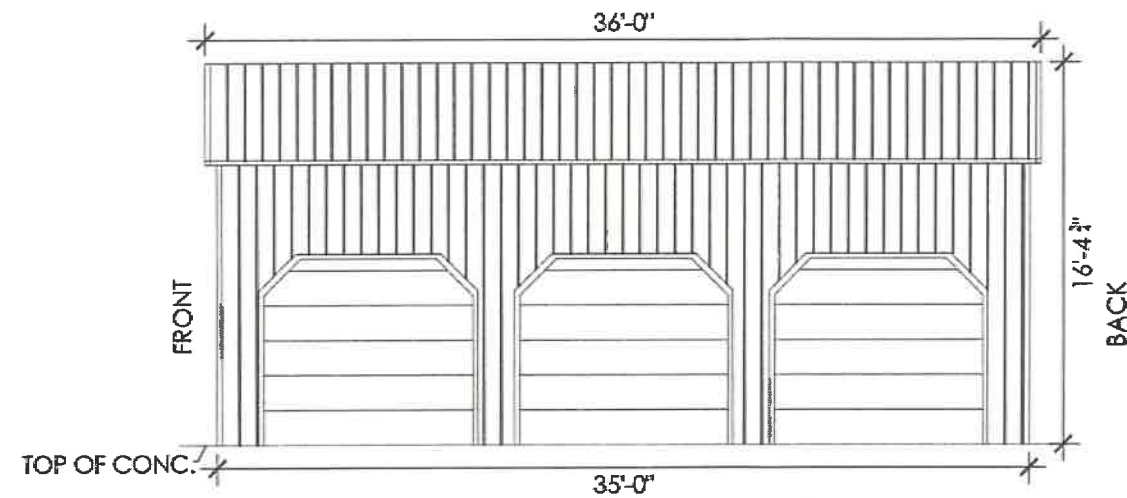
FRONT END WALL ELEVATION

SCALE: 1/8" = 1'



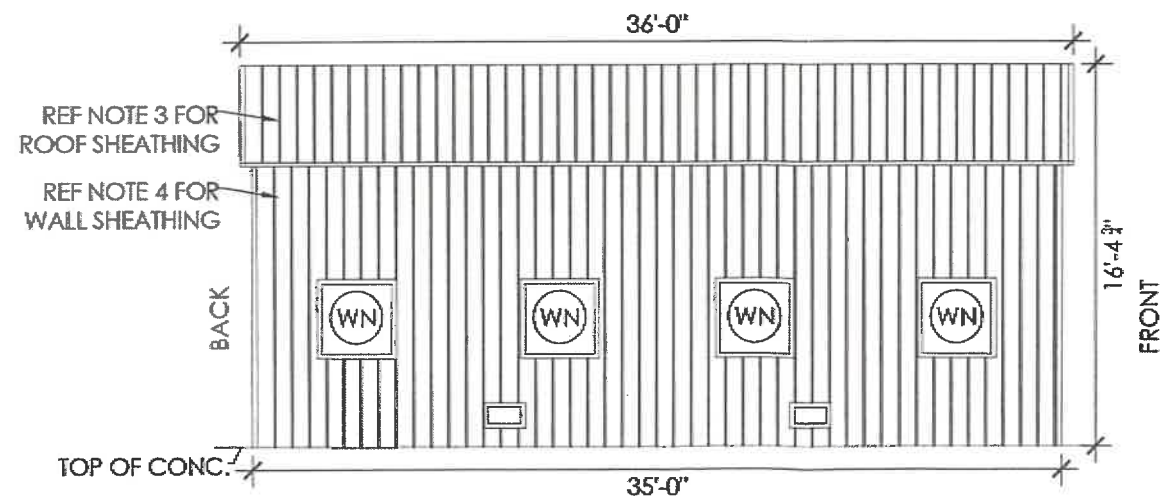
BACK END WALL ELEVATION

SCALE: 1/8" = 1'



RIGHT SIDE WALL ELEVATION

SCALE: 1/8" = 1'



LEFT SIDE WALL ELEVATION

SCALE: 1/8" = 1'

DESIGN NOTES

1. THE INTENTION OF ELEVATIONS PROVIDED ON THIS SHEET IS TO INDICATE STRUCTURAL COMPONENTS, DIMENSIONS, AND BUILDING ORIENTATION ONLY.
2. ARCHITECTURAL DESIGN REQUIREMENTS ARE NOT COVERED IN THIS PLAN SET. THESE DESIGN REQUIREMENTS SHALL BE ADDRESSED IN A SEPARATE ARCHITECTURAL SET BY RESPONSIBLE LICENSED PROFESSIONALS IN CHARGE, AS NEEDED.
3. ALL EXT ROOF SHEATHING SHALL BE: CLASS A RATED 29GA. 3/4" RIB HT - GALV OR PAINTED STEEL (FY=80 KSI) OR EQ.
4. ALL EXT WALL SHEATHING SHALL BE: CLASS A RATED 29GA. 3/4" RIB HT - GALV OR PAINTED STEEL (FY=80 KSI) OR EQ.
5. SHEATHING CONNECTIONS SHALL BE #12-14 X 3/4" SDS. NEOPRENE WASHERS ARE REQUIRED.

LEGEND

- (WN) WINDOWS (REF WINDOW MFG)
- (WD) WALK-IN DOORS (REF DOOR MFG)

NOTE 1: ANY DOOR OR WINDOW DESIGN INFORMATION IS NOT COVERED IN THIS PLAN SET AND SHALL BE ADDRESSED BY OTHERS.

NOTE 2: LOC OF WALK-IN DOORS OR WINDOWS CAN BE DETERMINED ON SITE AS LONG AS THEY FALL BETWEEN BAYS (BETWEEN FULL FRAMES).

NO. OF VENTS NEEDED CALCULATION:	
BUILDING FOOTAGE:	840 SQ. FT
FLOOD VENT TYPE:	ENGINEERED FLOOD VENT (PER ESR 2074)
MODEL DIMENSIONS:	16.25" X 8.25"
COVERAGE AREA:	200 SQ. FT
NO. OF VENTS NEEDED:	BUILDING FOOTAGE / COVERAGE = 840 SQ.FT / 200 SQ.FT = 4.2 VENTS
NO. OF VENTS PROVIDED:	= 6