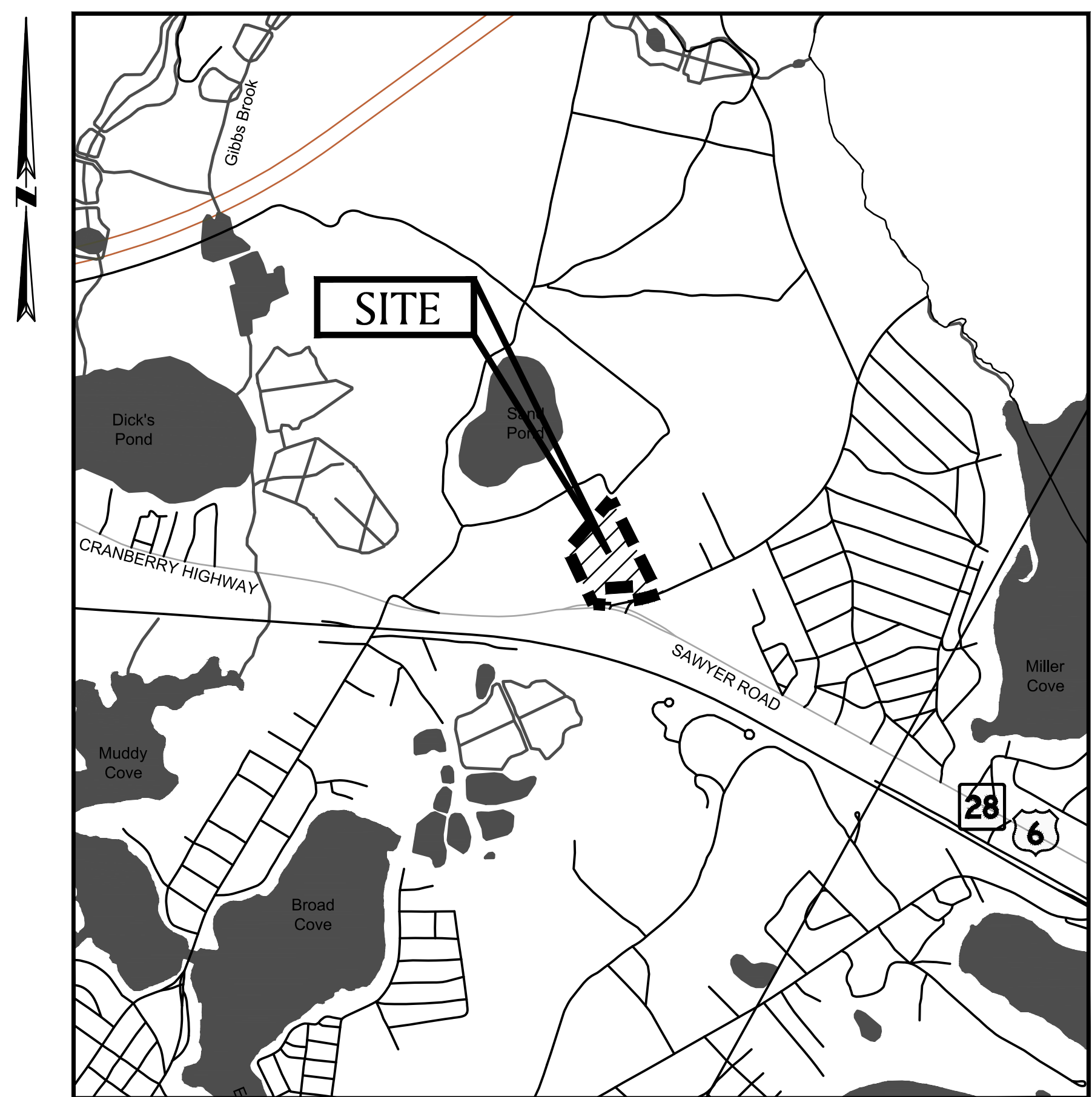


WOODLAND COVE
COMPREHENSIVE PERMIT
3102 CRANBERRY HIGHWAY
WAREHAM, MASSACHUSETTS
JANUARY 12, 2018



SITE MAP

500 0 1000 2000 3000 feet
SCALE: 1"=1000'

PREPARED FOR:

DAKOTA PARTNERS
1264 MAIN STREET
WALTHAM, MA 02451

INDEX OF DRAWINGS

T-1.0	TITLE SHEET
EC-1.0	EXISTING CONDITIONS PLAN
SV-1.0	PLAN OF LAND
C-1.0	ZONING CONFORMANCE PLAN
C-2.0-2.2	LAYOUT & MATERIALS PLAN
C-3.0-3.2	GRADING & DRAINAGE PLAN
C-4.0-4.2	UTILITY PLAN
C-5.0-5.3	PRELIMINARY PHASING PLAN
C-6.0-6.5	DETAILS
C-7.0-7.2	PHOTOMETRICS PLAN
L-1.0-1.2	PLANTING PLAN
-	FLOOR PLANS
-	ELEVATIONS

PREPARED BY:

 **BSC GROUP**
803 Summer Street
Boston, Massachusetts
02127
617 896 4300

FOR PERMITTING ONLY
NOT FOR CONSTRUCTION

LOCUS INFORMATION

ASSESSORS MAP: 131
PARCEL'S: Q1
CURRENT OWNER: BOSTON LAND GROUP LLC

TITLE REFERENCE: DEED BOOK 20829, PAGE 286
PLAN REFERENCE: BOOK 44, PAGE 1076

ZONING DISTRICT: STRIP COMMERCIAL
SETBACKS: R-130
FRONT 20'
SIDE 10'
REAR 10'

LOT AREA WITHOUT 30' R-130 STRIP: 260,568± S.F. (5.98± AC.)
LOT AREA WITH 30' R-130 STRIP: 277,420± S.F. (6.36± AC.)

MAX. BUILDING COVERAGE: 40%
MAX. LOT COVERAGE (IMPERVIOUS): 65%
NITROGEN SENSITIVE ZONE (ZONE II): YES
FEMA FLOOD ZONE DISTRICT: "X"

NOTE:

THIS PLAN WAS PREPARED FROM AN ACTUAL ON-THE-GROUND SURVEY PERFORMED BY BSC GROUP, INC. DURING 2007 AND BETWEEN MARCH 28 AND MARCH 29, 2017.

LEGEND

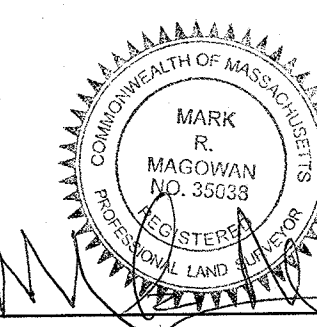
C.B. ■ CATCH BASIN
DMH ⊙ DRAINAGE MANHOLE
SMH ⊙ SEWER MANHOLE
TMH ⊙ TELEPHONE MANHOLE
LP ☆ LIGHT POLE
UPLT ☆ UTILITY POLE / LIGHT
UPT ☆ UTILITY POLE / LIGHT & TRANSFORMER
UP ☆ UTILITY POLE / TRANSFORMER
OHW — OVERHEAD ELECTRIC LINE
EHH ⊙ ELECTRIC HANDHOLE
GMET ⊙ GAS METER
G — GAS LINE
WG ⊙ WATER GATE
W — WATER LINE
WMET ⊙ WATER METER
MWELL ⊙ MONITORING WELL WITH METAL CAP
WP'S ⊙ WOOD POST FOR BOAT LIFT
OHW — OVERHEAD UTILITY WIRE
EOP — EDGE OF BITUMINOUS PAVEMENT
CI MAIN 12" WATER MAIN
ALPIPE 8" WATER MAIN
BWL — BROKEN WHITE LINE
DYL — DOUBLE YELLOW LINE
SWL — SINGLE WHITE LINE
BB — BIT BERM
SBC — SLOPED BIT CURB
EOP — EDGE OF PAVEMENT
CHAIN LINK FENCE
CNO — CHAIN LINK FENCE
STKF — COULD NOT OPEN
MAIL BOX
STKF — STOCKADE FENCE
1034 — ASSESSORS PARCEL NO.
GAS METER
MONITORING WELL
SIGN

DETAIL 1

NTS
ROUND BOUND FOUND, HELD FOR REAR LINE
ROUND BOUND FOUND, HELD FOR REAR LINE
2.29' 133.79' 0.15' 106.70'

CRANBERRY HIGHWAY — ROUTE 6 & ROUTE 28

(FORMERLY SAWYER ROAD — STATE HIGHWAY — VARIABLE WIDTH)



PROFESSIONAL LAND SURVEYOR
FOR BSC GROUP, INC.

JAN 12, 2018
DATE

PLAN REFERENCES

STATE HIGHWAY LAYOUT FOR SAWYER ROAD (ROUTE 6).

COUNTY HIGHWAY LAYOUT FOR RED BROOK ROAD. DECREE #1103 DATED MAY 2, 1950.

PLAN BOOK 1, PAGE 230 OF 1904 PREPARED FOR SAMUEL D. HANNAH

PLAN BOOK 2, PAGE 491 OF 1914 SHOWING "ONSET PARK"

PLAN BOOK 7, PAGE 619 OF 1948 PREPARED FOR MARY L. K. TABOR

PLAN BOOK 8, PAGE 588 OF 1951 PREPARED FOR ANDREW & MICHAEL CARADIMOS. (A PORTION OF THE SUBJECT PROPERTY)

PLAN BOOK 44, PAGE 1076 OF 2001 PREPARED BY BSC GROUP, PREPARED FOR HYANNIS TEXTURES 1 LLC

PLAN PREPARED FOR THE ONSET WATER DISTRICT IN 1962 AND RECORDED IN DEED BOOK 2927, PAGE 233

LAND COURT PLAN REFERENCES

16393-A, SH 1
16393-Q
37394 A
37763-A, SH-1 (CONFIRMATION)

N/F
ONSET FIRE DISTRICT
ASSESSORS MAP 131
PARCEL F5-B
DEED BOOK 4518
PAGE 380

N/F
PETER A & KRISTEN U COLETTI
ASSESSORS MAP 131
PARCEL LC-1 & LC-2
DEED BOOK 41892
PAGE 132

WOODLAND COVE

3102 CRANBERRY
HIGHWAY
IN
WAREHAM
MASSACHUSETTS

EXISTING CONDITIONS PLAN

JANUARY 12, 2018

REVISIONS:

NO.	DATE	DESC.

PREPARED FOR:
DAKOTA PARTNERS
1264 MAIN STREET
WALTHAM, MASSACHUSETTS 02451

BSC GROUP
803 Summer Street
Boston, Massachusetts 02127-1601
860 652 8227

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SCALE: 1" = 50'
0 6.25 12.5 25 50 100 FEET

FILE: \\BSC09\GLA\PROJECTS-GLA\B366900\SURVEY\DRAWINGS

DWG.: 8366901EC

JOB. NO: 83669.00

EC-1.0

LOCUS INFORMATION

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NOTE:

THIS PLAN WAS PREPARED FROM AN ACTUAL ON-THE-GROUND SURVEY PERFORMED BY BSC GROUP, INC. DURING 2007 AND BETWEEN MARCH 28 AND MARCH 29, 2017.

LEGEND

LP LIGHT POLE
UPL UTILITY POLE / LIGHT
UPL UTILITY POLE / LIGHT & TRANSFORMER
UPT UTILITY POLE / TRANSFORMER
UP UTILITY POLE
OHW OVERHEAD ELECTRIC LINE
CLF CHAIN LINK FENCE
STKF STOCKADE FENCE
1034 ASSESSORS PARCEL NO.

APPROVED BY THE WAREHAM ZONING BOARD OF APPEALS PURSUANT TO THE COMPREHENSIVE PERMIT, IN CASE # ISSUED UNDER M.G.L. CHAPTER 40B, SECTIONS 20-23

COMPREHENSIVE PERMIT: _____
DATE OF DECISION: _____, RECORDED WITH PLYMOUTH COUNTY REGISTRY OF DEEDS IN BOOK _____
PAGE _____
DATE OF PLAN ENDORSEMENT: _____, 2018

WAREHAM ZONING BOARD OF APPEALS:

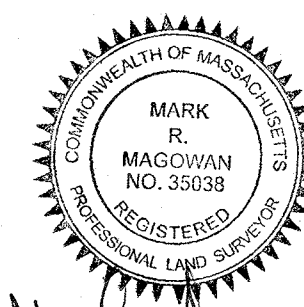
DETAIL 1

NTS
ROUND BOUND FOUND, HELD FOR REAR LINE
ROUND BOUND FOUND, HELD FOR REAR LINE
2.29' 133.79' 106.70' 0.15'

MASSACHUSETTS HIGHWAY BOUND FOUND AND HELD

L=434.53' R=1970.00' 105.83' S 89°33'13" W L=211.95' R=1500.00'

CRANBERRY HIGHWAY - ROUTE 6 & ROUTE 28
(FORMERLY SAWYER ROAD - STATE HIGHWAY - VARIABLE WIDTH)



PROFESSIONAL LAND SURVEYOR FOR BSC GROUP, INC.

JAN 15, 2018
DATE

R-130 ZONE
STRIP COMMERCIAL ZONE
500' TO
NORTHERLY SIDELINE OF SAWYER ROAD

N/F
FRANK NUOVO & DONALD ANGUS
ASSESSORS MAP 131
PARCEL 1032
DEED BOOK 6014
PAGE 334
"CAMPER'S HEADQUARTERS"

N/F
ONSET FIRE DISTRICT
ASSESSORS MAP 131
PARCEL 1031
DEED BOOK 2927
PAGE 233

LOT 3
AREA = 106,903 SF

LOT 2
AREA = 150,982 SF

LOT 1
AREA = 87,056 SF

LOT 4
AREA = 31,140 SF

EXISTING LOT TO REMAIN

N/F
MICHAEL ALAN HADLEY
ASSESSORS MAP 131
PARCEL 1034 & 1035
DEED BOOK 12139
PAGE 255

N/F
ONSET FIRE DISTRICT
ASSESSORS MAP 131
PARCEL LC-8
DEED BOOK 4454
PAGE 285

N/F
PATRICIA A. MOORE
ASSESSORS MAP 131
PARCEL F6
DEED BOOK 4869
PAGE 43

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DEED BOOK 4518
PAGE 380

N/F
PETER A & KRISTEN U COLETTI
ASSESSORS MAP 131
PARCEL LC-1 & LC-2
DEED BOOK 41892
PAGE 132

CONCRETE BOUND W/DRILL HOLE FOUND AND HELD

L=18.58'

N 75°30'20" E

101.46'

COUNTY BOUND WITH DISK FOUND AND HELD

L=100.06'

R=111.67'

N 75°30'20" E

101.46'

COUNTY BOUND WITH DISK FOUND AND HELD

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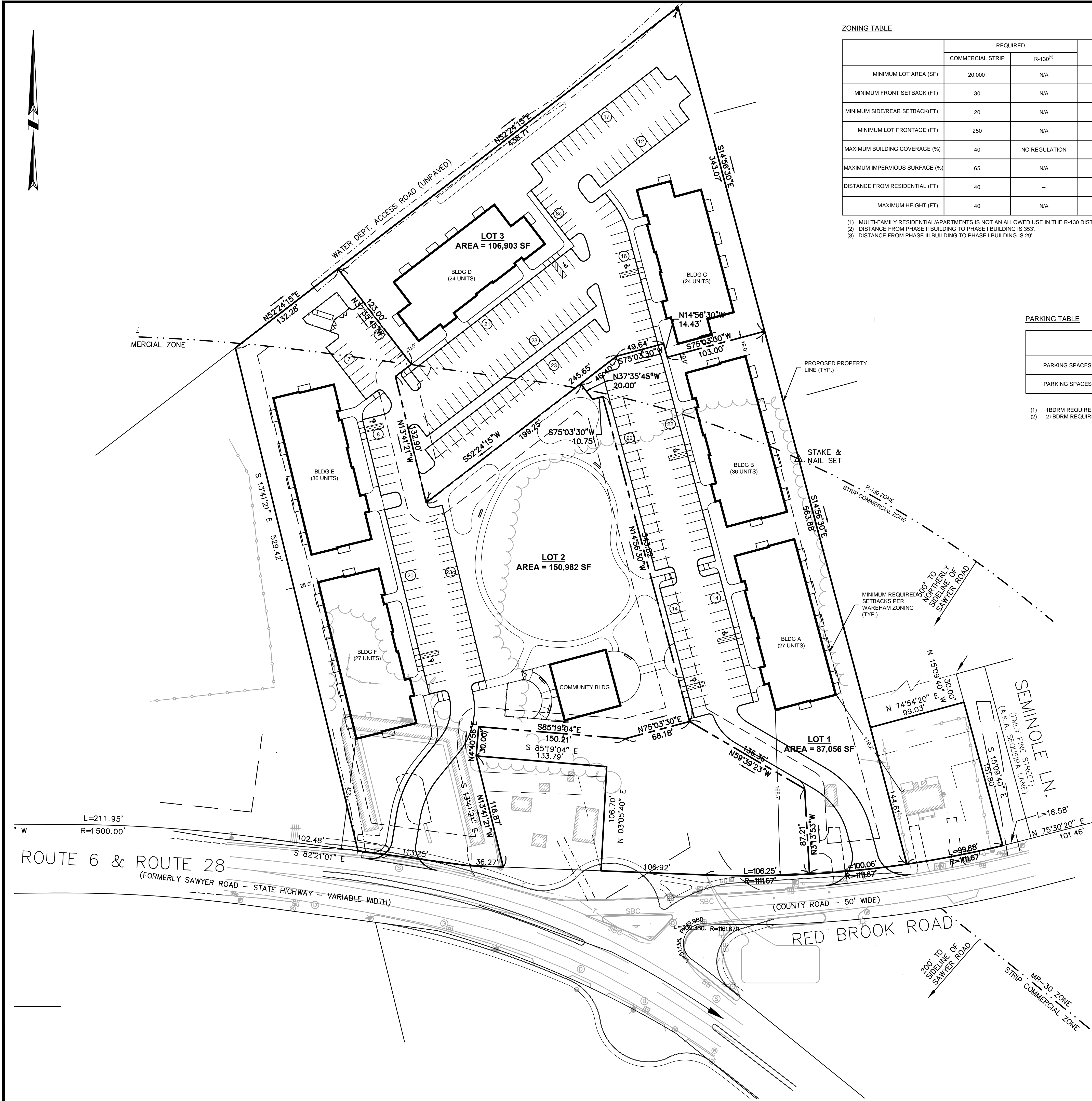
COUNTY BOUND WITH DISK FOUND AND HELD

L=100.06'

R=111.67'

N 75°30'20" E

101.46'



ZONING TABLE

	REQUIRED		LOT 1	LOT 2	LOT 3	TOTAL
	COMMERCIAL STRIP	R-130 ⁽¹⁾				
MINIMUM LOT AREA (SF)	20,000	N/A	87,056	150,982	106,903	344,941
MINIMUM FRONT SETBACK (FT)	30	N/A	168.7	112.8	10.0	-
MINIMUM SIDE/REAR SETBACK(FT)	20	N/A	19.0	25.0	20.0	-
MINIMUM LOT FRONTAGE (FT)	250	N/A	100.06	149.52	0	-
MAXIMUM BUILDING COVERAGE (%)	40	NO REGULATION	24.2	16.4	17.9	18.8
MAXIMUM IMPERVIOUS SURFACE (%)	65	N/A	63.0	38.3	62.3	52.0
DISTANCE FROM RESIDENTIAL (FT)	40	--	119.2	119.2 ⁽²⁾	119.2 ⁽²⁾	-
MAXIMUM HEIGHT (FT)	40	N/A	44	44	34	-

(1) MULTI-FAMILY RESIDENTIAL/APARTMENTS IS NOT AN ALLOWED USE IN THE R-130 DISTRICT. THEREFORE, NO DIMENSIONAL ZONING REQUIREMENTS EXIST.
(2) DISTANCE FROM PHASE II BUILDING TO PHASE I BUILDING IS 363'.
(3) DISTANCE FROM PHASE III BUILDING TO PHASE I BUILDING IS 29'.

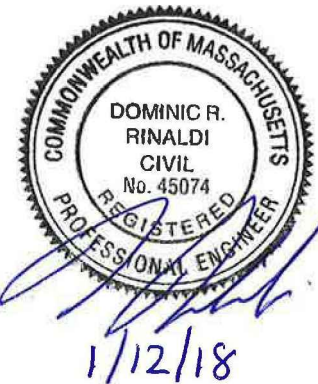
PARKING TABLE

	LOT 1	LOT 2	LOT 3	TOTAL
PARKING SPACES REQUIRED	(11) 1BDRM + (52) 2+BDRM = 122	(11) 1BDRM + (52) 2+BDRM = 122	(10) 1BDRM + (38) 2+BDRM = 91	(32) 1BDRM + (142) 2+BDRM = 332
PARKING SPACES PROVIDED	72	68	120	260

(1) 1BDRM REQUIRES 1.5 SPACES.
(2) 2+BDRM REQUIRES 2 SPACES.

NOTE: THE INTENT OF THIS PLAN IS TO DEMONSTRATE HOW THE OVERALL DEVELOPMENT AND EACH PHASE CONFORMS TO BULK AND DIMENSIONAL ZONING REQUIREMENTS AND PARKING REQUIREMENTS OF THE TOWN OF WAREHAM.

FOR PERMITTING ONLY
NOT FOR CONSTRUCTION



DOMINIC RINALDI, PE No. 45074

WOODLAND COVE

3102 CRANBERRY
HIGHWAY
IN
WAREHAM
MASSACHUSETTS

ZONING CONFORMANCE
PLAN

JANUARY 12, 2018

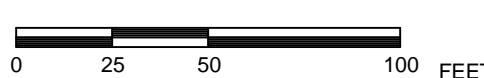
REVISIONS:

PREPARED FOR:
DAKOTA PARTNERS
1264 MAIN STREET
WALTHAM, MA 02451



© 2017 BSC GROUP, INC.

SCALE: 1" = 50'



FILE: 8366900-SBDV.DWG

DWG. NO:

JOB. NO: 83669.00

C-1.0

NOTES:

1. THE TOPOGRAPHY AND DETAIL SHOWN HEREON ARE FROM ACTUAL ON-THE-GROUND SURVEY PERFORMED BY BSC GROUP, INC. DURING 2007 AND BETWEEN MARCH 25 AND 29, 2017.
2. FUTURE ROUTE 6/28 AND RED BROOK ROAD LAYOUT INFORMATION TAKEN FROM MASSDOT HIGHWAY IMPROVEMENT PLANS "WAREHAM, CRANBERRY HIGHWAY (ROUTES 6 & 28), SIGNING AND STRIPING PLANS". THE CONTRACTOR SHALL VERIFY CURRENT PLANS WITH APPLICABLE MASSDOT DISTRICT PRIOR TO PERFORMING ANY WORK AFFECTING OR AFFECTED BY THESE ROADWAY LAYOUTS.
3. ALL UNDERGROUND UTILITIES SHOWN WERE COMPILED ACCORDING TO AVAILABLE RECORD PLANS AND ARE APPROXIMATE ONLY. SEE CHAPTER 370 ACTS OF 1963, MASSACHUSETTS GENERAL LAWS. THE UNDERGROUND UTILITIES SHOWN HEREON WERE NOT INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. WE ASSUME NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING ANY ON-SITE ACTIVITY WITH DIG-SAFE AND THE APPROPRIATE UTILITY COMPANY AND MAINTAINING EXISTING UTILITY SYSTEM SERVICE. DIG-SAFE SHALL BE NOTIFIED PER THE COMMONWEALTH OF MASSACHUSETTS STATUTE CHAPTER 82, SECTION 40, AT 1-888-344-7233. NO GUARANTEE IS IMPLIED OR INTENDED AS TO THE ACCURACY, LOCATION OR THAT ALL UTILITIES AND/OR SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
4. NOTIFY "DIG SAFE" (1-888-344-7233) AND VERIFY UTILITY MARK-OUT WITH THE OWNER PRIOR TO THE INITIATION OF ANY SITE DISTURBANCE.
5. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING THE LOCATION AND NATURE OF ALL SUBSURFACE UTILITIES AT THE PROJECT WHICH MAY BE AFFECTED BY THE WORK. COORDINATE WITH RESPECTIVE UTILITY OWNERS AND PERFORM VERIFICATION OF TYPE, LOCATION AND INVERTS AS REQUIRED.
6. NOTIFY THE ENGINEER IN WRITING OF ANY AND ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
7. THE LOCATIONS OF EXISTING SITE FEATURES AS SHOWN HAVE BEEN OBTAINED FROM MAPS, SURVEYS, FIELD INSPECTIONS, AND OTHER AVAILABLE INFORMATION. THEY MUST BE CONSIDERED APPROXIMATE BOTH TO LOCATION, SIZE, AND AS-BUILT CONDITION AND ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL FIELD CONDITIONS.
8. THE DIMENSIONS SHOWN ON THE PLANS, INCLUDING THE INTENDED DIMENSIONS OF THE WORK, MAY VARY FROM ACTUAL EXISTING CONDITIONS IN THE FIELD. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASUREMENTS TO VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS AS WELL AS OTHER DIMENSIONS HE MAY DEEM APPROPRIATE TO FACILITATE THE COMPLETION OF THE WORK. NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
9. IMPLEMENTING WORKER SAFETY AND/OR HEALTH PROTOCOLS THAT ADDRESS COMPLIANCE WITH RULES, LAWS, AND REGULATIONS PERTAINING TO CONSTRUCTION SAFETY AND/OR THE POTENTIAL AND/OR ACTUAL RISK OF EXPOSURE TO SITE-SPECIFIC PHYSICAL OR CHEMICAL HAZARDS IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
10. THIS DRAWING IS INTENDED TO DEPICT THE LOCATION, LAYOUT, AND MATERIALS OF CONSTRUCTION AND IS INTENDED TO BE USED IN CONJUNCTION WITH THE DETAILS AND APPLICABLE SPECIFICATION SECTIONS.
11. UNLESS OTHERWISE INDICATED, ALL DISTURBED AREAS SHALL BE RESTORED WITH SIX (6) INCHES OF LOAM, SEEDED, FERTILIZED, AND MULCHED. PROVIDE ADDITIONAL EROSION CONTROLS AS REQUIRED.
12. ALL CURBING IS HOT MIX ASPHALT UNLESS OTHERWISE INDICATED.
13. THE CROSS-SLOPE OF ANY SIDEWALK, WALKWAY, OR OTHER PEDESTRIAN SURFACE SHALL NOT BE STEEPER THAN 1:50 (2%).
14. ALL WALKWAYS SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB) REGULATIONS (521 CMR). THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20 (5%). THE CROSS SLOPE OF A WALKING SURFACE SHALL NOT BE STEEPER THAN 1:50 (2%).
15. CONSTRUCTION AND CONTROL JOINTS: SIDEWALK REINFORCEMENT SHALL NOT CONTINUE THROUGH CONSTRUCTION JOINTS. AT CONTROL JOINTS, CUT REINFORCEMENT WIRES.
16. PRIOR TO INITIATION OF CONCRETE FLATWORK, SUBMIT PROPOSED CONSTRUCTION JOINT PLAN TO THE ENGINEER FOR REVIEW AND APPROVAL. COORDINATE SUCH PLAN WITH THE JOINT PATTERNS DEPICTED ON THE DRAWINGS.
17. UNLESS OTHERWISE SPECIFIED, MISCELLANEOUS CONCRETE PADS SHALL BE CONSTRUCTED PER SIDEWALK DETAIL.
18. ALL NON-ACCESSIBLE STANDARD PARKING SPACES ARE 9'5" X 19'. ALL NON-ACCESSIBLE COMPACT PARKING SPACES ARE 8' X 15'. VERIFY OVERALL LAYOUT DIMENSIONS BASED ON THESE DIMENSIONS AND THE NUMBER OF SPACES INDICATED. FIELD-ADJUST OVERALL LAYOUT DIMENSION IN CONCERT WITH THE ENGINEER IF REQUIRED.
19. DIMENSIONS INDICATED ARE TO FACE OF CURB, PAVEMENT EDGE, EDGE OR CENTERLINE OF IMPROVEMENT, OR AS OTHERWISE NOTED.
20. ENGAGE A MASSACHUSETTS-LICENSED PROFESSIONAL LAND SURVEYOR TO PERFORM LAND-SURVEYING SERVICES REQUIRED, INCLUDING, BUT NOT LIMITED TO VERIFICATION AND LAYOUT OF BASELINES, PROPOSED IMPROVEMENTS, DIMENSIONS AND ELEVATIONS. REPORT DISCREPANCIES TO THE ENGINEER.
21. PROVIDE FOR THE LAYOUT AND STAKING/MARKING OF THE PROPOSED LOCATION OF ALL PROPOSED SITE IMPROVEMENTS, INCLUDING FURNISHINGS. OBTAIN ENGINEER'S APPROVAL OF THE LAYOUT PRIOR TO PROCEEDING WITH THE WORK.
22. UNLESS OTHERWISE INDICATED, LINES ARE PARALLEL OR PERPENDICULAR TO LINE FROM WHICH THEY ARE MEASURED.

- LEGEND
- PROPERTY LINE
 - PROPOSED CURBING
 - CHAIN LINK FENCE
 - SITE LIGHT
 - PROPOSED SIGN
 - PROPOSED CONCRETE
 - PROPOSED BITUMINOUS WALK
 - PROPOSED STONEDUST WALK
 - PROPOSED PAVERS
 - BIO-RETENTION AREA/RAIN GARDEN



COMMERCIAL ZONE

R-130 ZONE
STRIP COMMERCIAL ZONE

MATCH LINE

500' TO
NORTHERLY
SIDELINE OF
SAWYER ROAD

N 15°00'40" W
30.00'

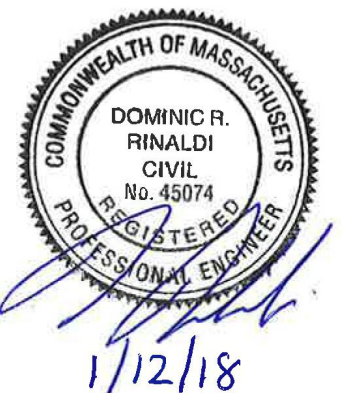
SEMINOLE LN.
(F.M.L. PINE STREET)
(A.K.A. SCOTCH LANE)

RED BROOK ROAD

200' TO
SIDELINE OF
SAWYER ROAD

MR-30 ZONE
STRIP COMMERCIAL ZL

FOR PERMITTING ONLY
NOT FOR CONSTRUCTION



DOMINIC RINALDI, PE No. 45074

WOODLAND COVE

3102 CRANBERRY
HIGHWAY
IN
WAREHAM
MASSACHUSETTS

OVERALL LAYOUT AND
MATERIALS PLAN

JANUARY 12, 2018

REVISIONS:	

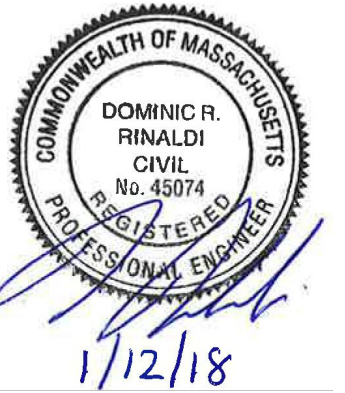
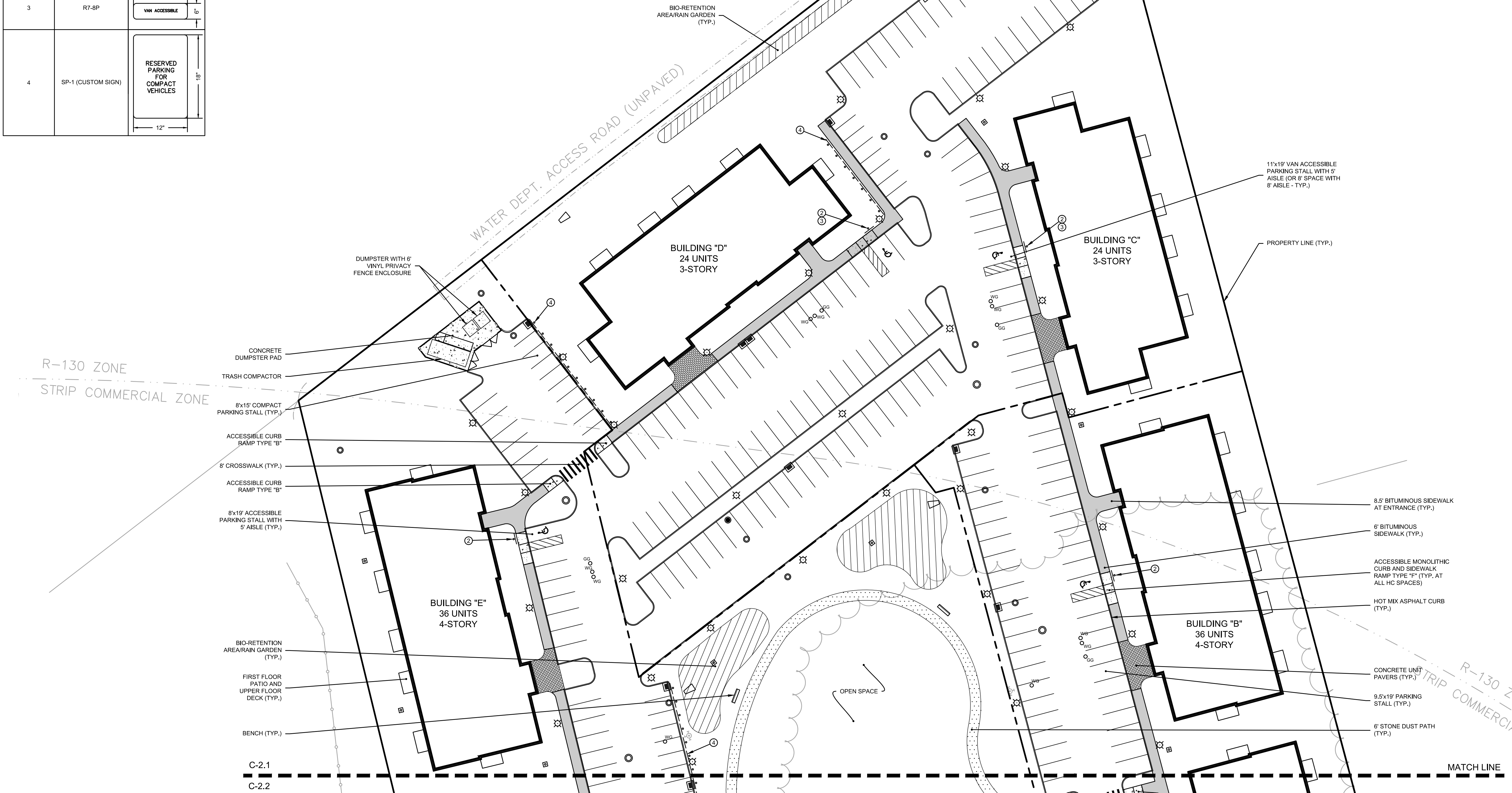
PREPARED FOR:
DAKOTA PARTNERS
1264 MAIN STREET
WALTHAM, MA 02451

BSC GROUP
803 Summer Street
Boston, Massachusetts
02127 617 896 4300

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SCALE: 1" = 50'
0 25 50 100 FEET
FILE: 8366900-LM.DWG
DWG. NO:
JOB. NO: 83669.00
C-2.0

SIGN NUMBER	MUTCD NUMBER	SIGN
1	R1-1	
2	R7-8	
3	R7-8P	
4	SP-1 (CUSTOM SIGN)	

LEGEND	
	- PROPERTY LINE
	- PROPOSED CURBING
	- CHAIN LINK FENCE
	- SITE LIGHT
	- PROPOSED SIGN
	- PROPOSED CONCRETE
	- PROPOSED BITUMINOUS WALK
	- PROPOSED STONEDUST WALK
	- PROPOSED PAVERS
	BIO-RETENTION AREA/RAIN GARDEN



DOMINIC RINALDI, PE No. 45074

WOODLAND COVE

3102 CRANBERRY
HIGHWAY
IN
WAREHAM
MASSACHUSETTS

LAYOUT AND MATERIALS PLAN (NORTH)

JANUARY 12, 2018

REVISIONS:	

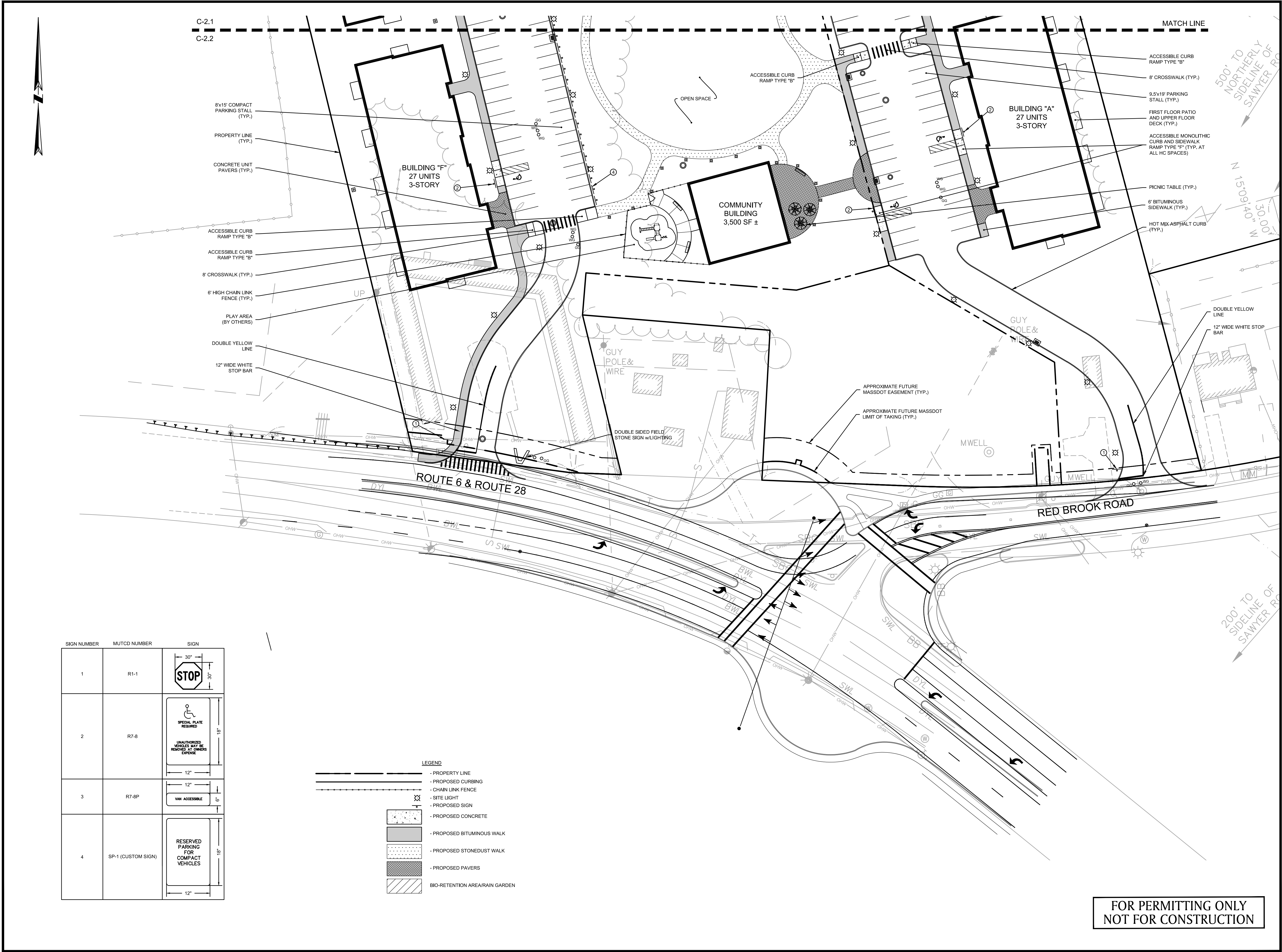
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SCALE: 1" = 30'
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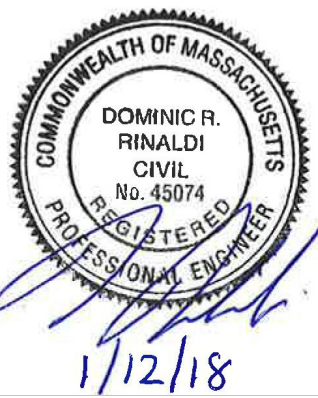
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SIGN NUMBER	MUTCD NUMBER	SIGN
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2	R7-8	
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- LEGEND
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 - PROPOSED BITUMINOUS WALK
 - PROPOSED STONEDUST WALK
 - PROPOSED PAVERS
 - BIO-RETENTION AREA/RAIN GARDEN

FOR PERMITTING ONLY
NOT FOR CONSTRUCTION



DOMINIC RINALDI, PE No. 45074

WOODLAND COVE

3102 CRANBERRY
HIGHWAY
IN
WAREHAM
MASSACHUSETTS

LAYOUT AND MATERIALS
PLAN (SOUTH)

JANUARY 12, 2018

REVISIONS:		

PREPARED FOR:
DAKOTA PARTNERS
1264 MAIN STREET
WALTHAM, MA 02451

BSC GROUP
803 Summer Street
Boston, Massachusetts
02127 617 896 4300

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SCALE: 1" = 30'
0 15 30 60 FEET

FILE: 8366900-LM.DWG
DWG. NO:
JOB. NO: 83669.00

C-2.2

GRADING & DRAINAGE NOTES:

1. THE TOPOGRAPHY AND DETAIL SHOWN HEREON ARE FROM ACTUAL ON-THE-GROUND SURVEY PERFORMED BY BSC GROUP, INC. DURING 2007 AND BETWEEN MARCH 25 AND 29, 2017.
2. FUTURE ROUTE 6/28 AND RED BROOK ROAD LAYOUT INFORMATION TAKEN FROM MASSDOT HIGHWAY IMPROVEMENT PLANS "WAREHAM, CRANBERRY HIGHWAY (ROUTES 6 & 28), SIGNING AND STRIPING PLANS" PROVIDED BY OTHERS. THE CONTRACTOR SHALL VERIFY CURRENT PLANS WITH APPLICABLE MASSDOT DISTRICT prior TO PERFORMING ANY WORK AFFECTING OR AFFECTED BY THESE ROADWAY LAYOUTS.
3. ALL UNDERGROUND UTILITIES SHOWN WERE COMPILED ACCORDING TO AVAILABLE RECORD PLANS AND ARE APPROXIMATE ONLY. SEE CHAPTER 370 ACTS OF 1963, MASSACHUSETTS GENERAL LAWS. THE UNDERGROUND UTILITIES SHOWN HEREON WERE NOT INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. WE ASSUME NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACURATELY SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING ANY ON-SITE ACTIVITY WITH DIG-SAFE AND THE APPROPRIATE UTILITY COMPANY AND MAINTAINING EXISTING UTILITY SYSTEM SERVICE. DIG-SAFE SHALL BE NOTIFIED PER THE COMMONWEALTH OF MASSACHUSETTS STATUTE CHAPTER 82, SECTION 40, AT 1-888-344-7233. NO GUARANTEE IS IMPLIED OR INTENDED AS TO THE ACCURACY, LOCATION OR THAT ALL UTILITIES AND/OR SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
4. CONTRACTOR SHALL NOTIFY "DIG SAFE" (888-DIG-SAFE) AND VERIFY UTILITY MARK-OUT WITH THE OWNER PRIOR TO THE INITIATION OF ANY SITE DISTURBANCE.
5. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFICATION OF THE LOCATION AND NATURE OF ALL SUBSURFACE UTILITIES AT THE PROJECT WHICH MAY BE AFFECTED BY THE WORK. COORDINATE WITH RESPECTIVE UTILITY OWNERS AND PERFORM VERIFICATION OF TYPE, LOCATION AND INVERTS AS REQUIRED.
6. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY AND ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
7. THE LOCATIONS OF EXISTING SITE FEATURES AS SHOWN HAVE BEEN OBTAINED FROM MAPS, SURVEYS, FIELD INSPECTIONS, AND OTHER AVAILABLE INFORMATION. THEY MUST BE CONSIDERED APPROXIMATE BOTH TO LOCATION, SIZE, AND AS-BUILT CONDITION AND ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL FIELD CONDITIONS.
8. THE DIMENSIONS SHOWN ON THE PLANS, INCLUDING THE INTENDED DIMENSIONS OF THE WORK, MAY VARY FROM ACTUAL EXISTING CONDITIONS IN THE FIELD. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASUREMENTS TO VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS AS WELL AS OTHER DIMENSIONS HE MAY DEEM APPROPRIATE TO FACILITATE THE COMPLETION OF THE WORK.
9. ENGAGE A MASSACHUSETTS-LICENSED PROFESSIONAL LAND SURVEYOR TO PERFORM LAND-SURVEYING SERVICES REQUIRED, INCLUDING, BUT NOT LIMITED TO VERIFICATION AND LAYOUT OF PROPOSED IMPROVEMENTS, DIMENSIONS, AND ELEVATIONS. REPORT DISCREPANCIES TO THE ENGINEER.
10. UNLESS OTHERWISE INDICATED, ALL DISTURBED AREAS SHALL BE RESTORED WITH SIX (6) INCHES OF LOAM, SEEDED, FERTILIZED, AND MULCHED. PROVIDE ADDITIONAL EROSION CONTROLS AS REQUIRED.
11. THE CROSS-SLOPE OF ANY SIDEWALK, WALKWAY, OR OTHER PEDESTRIAN SURFACE SHALL NOT BE STEEPER THAN 1:50 (2%).
12. ACCESSIBLE ROUTES SHALL COMPLY WITH ADA GUIDELINES (SEE SHEET C-3.0). THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20 (5%). THE CROSS SLOPE OF A WALKING SURFACE SHALL NOT BE STEEPER THAN 1:50 (2%).
13. VERIFY ALL GRADES AND SLOPES PRIOR TO CONCRETE PLACEMENT. REPORT DISCREPANCIES IN WRITING TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
14. PROPOSED GRADES INDICATE DESIGN INTENT. VERIFY ELEVATIONS AND MAKE ADJUSTMENTS TO MEET FIELD CONDITIONS. DO NOT PROCEED WITH ANY ADJUSTMENT OR FIELD MODIFICATION UNTIL APPROVED BY THE ENGINEER.
15. GRADE TRANSITION BETWEEN TOPOGRAPHIC LINES AND SPOT GRADES SHALL BE UNIFORM UNLESS OTHERWISE INDICATED.
16. UNLESS OTHERWISE INDICATED, BLEND TRANSITIONS IN ELEVATION BETWEEN NEW WORK AND AREAS TO REMAIN AT A MAXIMUM SLOPE OF 1V:2H AND RESTORE WITH SIX (6) INCHES OF LOAM AND SEED. PROVIDE ADDITIONAL EROSION CONTROLS AS REQUIRED. COORDINATE WITH ENGINEER IF DIMENSIONAL CONSTRAINTS REQUIRE STEEPER SLOPES.
17. ALL DRAINAGE PIPE SHALL BE HIGH DENSITY POLYETHYLENE, UNLESS OTHERWISE INDICATED. SEE SPECIFICATIONS.
18. UPON REACHING PROPOSED SUBGRADE ELEVATIONS WITHIN THE FIELD, ENGINEER WILL REVIEW SUBGRADE PRIOR TO INSTALLATION OF DRAINAGE SYSTEM. SEE SPECIFICATIONS.
19. ALL CATCH BASIN TOPS SET AGAINST CURBS SHALL BE STANDARD CURB INLETS.
20. ALL UNDERDRAINS SHALL BE 6-INCH HDPE. SEE SPECIFICATIONS.
21. THE TOPS, RIMS, FRAMES, GRATES, AND COVERS (AS APPLICABLE) OF ALL UTILITY STRUCTURES THAT ARE TO REMAIN SHALL BE ADJUSTED TO MATCH FINAL GRADE IN A FLUSH CONDITION. ALL NEW UTILITY STRUCTURES SHALL BE INSTALLED WITH TOPS, RIMS, FRAMES, GRATES, AND COVERS (AS APPLICABLE) TO FINAL GRADE IN A FLUSH CONDITION.
22. AT THE CONCLUSION OF THE WORK, CONTRACTOR SHALL REMOVE ALL ACCUMULATED SEDIMENT MATERIAL FROM ALL PORTIONS OF THE STORM DRAINAGE SYSTEM, INCLUDING NEW WORK AND EXISTING WORK THAT REMAINS OR IS INCORPORATED INTO THE NEW SYSTEM.

SITE PREPARATION NOTES:

1. ALL EXISTING UTILITY STRUCTURES, CONDUITS, AND APPURTENANCES OF ANY KIND SHALL BE COMPLETELY REMOVED WITHIN THE LIMITS OF EXCAVATION FOR NEW BUILDINGS, UNLESS NOTED OTHERWISE ON THE DRAWINGS, OUTSIDE THE LIMITS OF EXCAVATION FOR NEW BUILDINGS. ALL ABANDONED AND TO-BE-ABANDONED UTILITIES GREATER THAN 8 INCHES IN DIAMETER SHALL BE SEALED BY FILLING WITH HIGH SLUMP CONCRETE (FLOWABLE FILL) AT THE LIMIT OF EXCAVATION. ALL UTILITY STRUCTURES TO BE REMOVED SHALL HAVE THE ASSOCIATED PIPES REMOVED TO A DISTANCE OF 15 FEET FROM THE STRUCTURE AND SEALED.
2. EROSION AND SEDIMENTATION CONTROLS TO BE APPROPRIATELY SIZED AND LOCATED/RELOCATED BY THE CONTRACTOR DURING EARTHWORK OPERATIONS.
3. CONTRACTOR SHALL WORK WITH LANDSCAPE ARCHITECT TO DETERMINE SCOPE OF TREE WORK.
4. ALL CONSTRUCTION FENCING AND WARNING SIGNS SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. INSTALL CONSTRUCTION FENCING AT THE LIMIT OF WORK.
5. PRIOR TO THE TERMINATION, ABANDONMENT, OR REMOVAL OF ANY UTILITY, VERIFY THAT APPLICABLE NOTIFICATIONS HAVE BEEN MADE TO THE UTILITY OWNER/OPERATOR AND THAT THE UTILITY HAS BEEN PROPERLY TERMINATED, CAPPED, OR PLUGGED AS REQUIRED.
6. PROTECT ALL IMPROVEMENTS NOT INCLUDED IN THE SCOPE OF SITE DEMOLITION. ANY IMPROVEMENT WHICH IS DAMAGED SHALL BE REPAIRED OR REPLACED IN-KIND TO THE OWNER'S SATISFACTION AT NO ADDITIONAL COST.

EROSION AND SEDIMENT CONTROL NOTES:

1. THE PROJECT WORK SHALL COMPLY WITH THE 2017 NPDES CONSTRUCTION GENERAL PERMIT FOR MASSACHUSETTS (CGP). A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE PREPARED AND THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE SWPPP. THE CONTRACTOR SHALL PROVIDE EVIDENCE THAT A NOTICE OF INTENT (NOI) HAS BEEN FILED FOR CONVEY UNDER THE CGP AT LEAST 14 DAYS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITIES. NO EARTH DISTURBING ACTIVITIES SHALL OCCUR UNTIL THE CONTRACTOR HAS OBTAINED COVERAGE UNDER THE CGP.
2. APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO SOIL DISTURBANCE. MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA.
3. MINIMIZE TOTAL AREA OF DISTURBANCE AND PROTECT NATURAL FEATURES AND SOIL.
4. THE CONTRACTOR SHALL SEQUENCE ALL ACTIVITIES TO MINIMIZE SIMULTANEOUS AREAS OF DISTURBANCE, MASS CLEARING AND GRADING OF THE ENTIRE SITE SHALL BE AVOIDED.
5. MINIMIZE SOIL EROSION AND CONTROL SEDIMENTATION DURING CONSTRUCTION.
6. DIVERT UNCONTAMINATED WATER AROUND DISTURBED AREAS.
7. INSTALL AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND GOOD ENGINEERING PRACTICES OR IN ACCORDANCE WITH THE 2017 EPA CONSTRUCTION GENERAL PERMIT FOR MASSACHUSETTS.
8. PROTECT AND MANAGE ON AND OFF-SITE MATERIAL STORAGE AREAS (OVERBURDEN AND STOCKPILES OF DIRT, BORROW AREAS, OR OTHER AREAS USED SOLELY BY THE PERMITTED PROJECT ARE CONSIDERED A PART OF THE PROJECT).
9. COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS INCLUDING WASTE DISPOSAL, SANITARY OR SEWER REGULATIONS, AND AIR QUALITY REQUIREMENTS, INCLUDING DUST CONTROL.
10. SEDIMENT SHALL BE REMOVED ONCE THE VOLUME REACHES HALF THE HEIGHT OF THE EROSION CONTROL DEVICE. SEDIMENT SHALL BE REMOVED BELOW PRIOR TO REACHING THE LOAD-BEARING CAPACITY OF THE SILT FENCE WHICH MAY BE LOWER THAN HALF THE HEIGHT.
11. BMPs TO BE USED FOR INFILTRATION AFTER CONSTRUCTION SHALL NOT BE USED AS BMPs DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE ENGINEER. MANY INFILTRATION TECHNOLOGIES ARE NOT DESIGNED TO HANDLE THE HIGH CONCENTRATIONS OF SEDIMENTS TYPICALLY FOUND IN CONSTRUCTION RUNOFF, AND THUS MUST BE PROTECTED FROM CONSTRUCTION RELATED SEDIMENT LOADINGS.
12. SOIL STOCKPILE SIDE SLOPES SHALL NOT BE GREATER THAN 2H:1V. ALL STOCKPILES SHALL BE SURROUNDED BY SEDIMENT CONTROLS.
13. A TRACKING PAD OR OTHER APPROVED STABILIZATION METHOD SHALL BE CONSTRUCTED AT ALL CONSTRUCTION ENTRANCE/EXIT POINTS OF THE SITE TO REDUCE THE AMOUNT OF SOIL CARRIED ONTO ROADWAYS AND OFF THE SITE.
14. PERMANENT SEEDING SHALL BE UNDERTAKEN IN THE SPRING FROM MARCH THROUGH MAY, AND IN LATE SUMMER AND EARLY FALL FROM AUGUST TO OCTOBER 15. DURING THE PEAK SUMMER MONTHS AND IN THE FALL AFTER OCTOBER 15, WHEN SEEDING IS FOUND TO BE IMPRACTICAL, APPROPRIATE TEMPORARY STABILIZATION SHALL BE APPLIED. PERMANENT SEEDING MAY BE UNDERTAKEN DURING THE SUMMER IF PLANS PROVIDE FOR ADEQUATE MULCHING AND WATERING.
15. TEMPORARY SEDIMENT TRAPPING DEVICES MUST NOT BE REMOVED UNTIL PERMANENT STABILIZATION IS ESTABLISHED IN ALL CONTRIBUTORY DRAINAGE AREAS.
16. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS OF REMOVAL.
17. DUST SHALL BE CONTROLLED AT THE SITE.
18. ALL PREVIOUSLY DISTURBED LAND SHALL BE STABILIZED BY APPROVED METHODS AFTER 14 DAYS IF LEFT UNDISTURBED. THIS INCLUDES STOCKPILES, CONSTRUCTION ENTRANCES, GRADED AREAS AND OTHER CONSTRUCTION ACTIVITY RELATED CLEARING.
19. IF WORK IS HALTED OVER WINTER MONTHS THE CONTRACTOR SHALL BE RESPONSIBLE FOR STABILIZING THE AREA THROUGH GROUND COVER PRACTICES.

TEMPORARY E&S MEASURES MAINTENANCE SCHEDULE

E&S MEASURE	MAINTENANCE MEASURES	SCHEDULE
CONSTRUCTION ENTRANCE	SWEEP PAVED ROADWAY ADJACENT TO SITE ENTRANCE AS NECESSARY, REFRESH STONE AS NECESSARY, REMOVE SILTED GRAVEL	WEEKLY
MOISTEN EXPOSED SOILS	PERIODICALLY MOISTEN EXPOSED SOIL SURFACES WITH WATER ON UNPAVED TRAVELWAYS AND KEEP TRAVELWAYS DAMP	DAILY



LEGEND

- PROPERTY LINE
- LIMIT OF WORK
- LIMIT OF WORK
- TOPOGRAPHY: MAJOR INTERVAL
- TOPOGRAPHY: MINOR INTERVAL
- TOPOGRAPHY: INTERMEDIATE INTERVAL
- TOPOGRAPHY: SPOT ELEVATION
- STORMWATER PIPE
- ROOF LEADER
- DRAINAGE MANHOLE (DMH)
- WATER QUALITY MANHOLE
- CATCH BASIN WITH CURB INLET (CB)
- AREA DRAIN (AD)
- FLARED END SECTION (FES)
- DRAINAGE SLOPE DIRECTION
- SOIL TEST PIT LOCATION
- UNDERGROUND INFILTRATION SYSTEM
- BIO-RETENTION AREA



DOMINIC RINALDI, PE No. 45074

WOODLAND COVE

3102 CRANBERRY HIGHWAY
IN
WAREHAM
MASSACHUSETTS

OVERALL GRADING AND
DRAINAGE PLAN

JANUARY 12, 2018

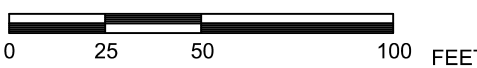
REVISIONS:

PREPARED FOR:
DAKOTA PARTNERS
1264 MAIN STREET
WALTHAM, MA 02451

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Boston, Massachusetts
02127 617 896 4300

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SCALE: 1" = 50'



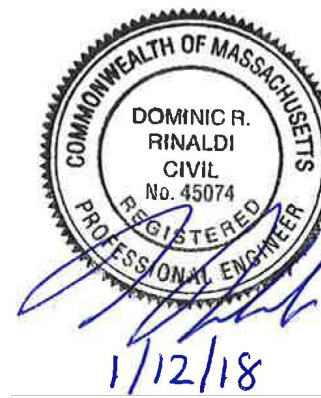
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JOB. NO: 83669.00

C-3.0

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DOMINIC RINALDI, PE No. 45074

WOODLAND COVE

3102 CRANBERRY
HIGHWAY
IN
WAREHAM
MASSACHUSETTSGRADING AND DRAINAGE
PLAN (NORTH)

JANUARY 12, 2018

REVISIONS:

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WALTHAM, MA 02451**BSC GROUP**
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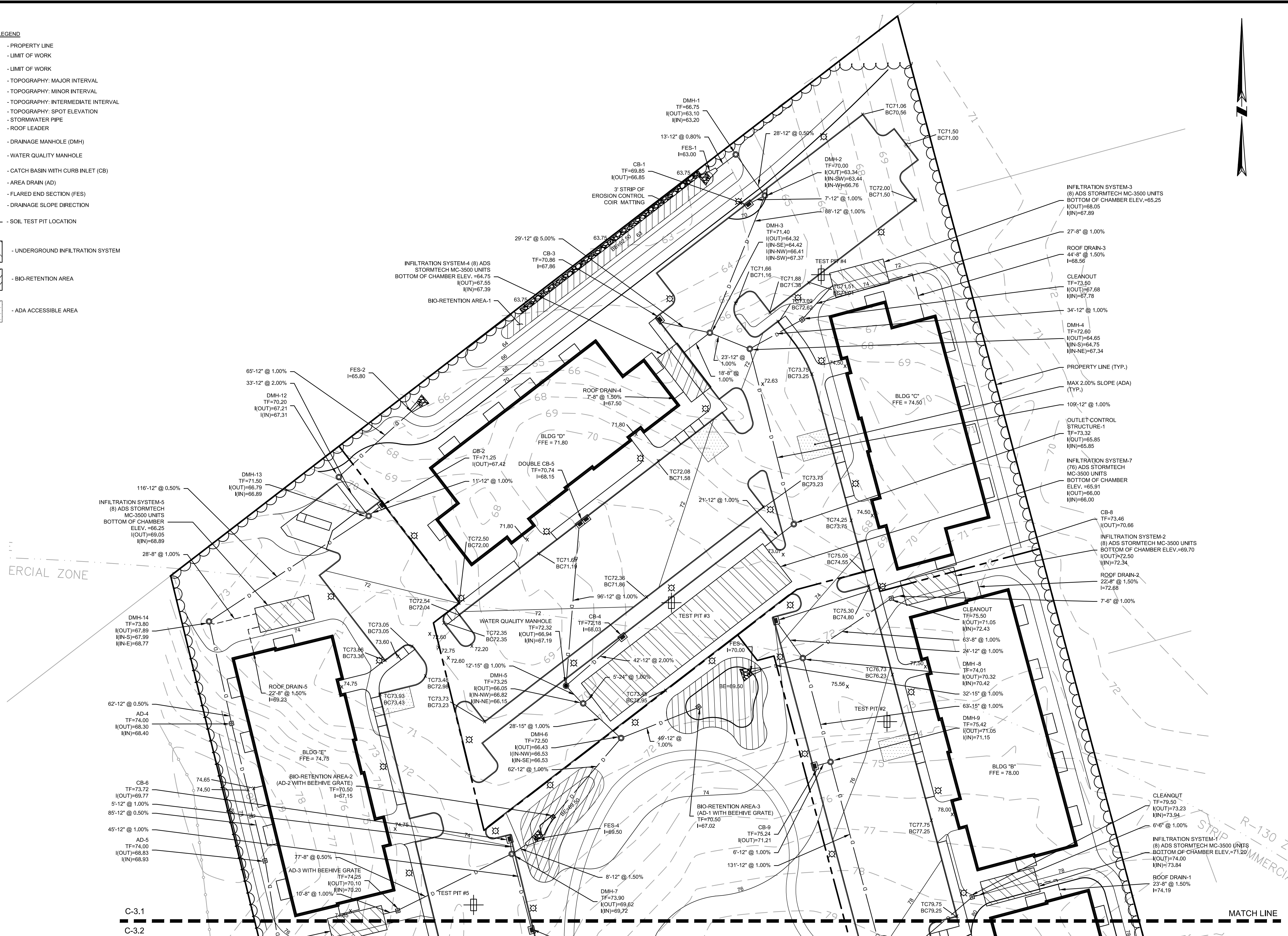
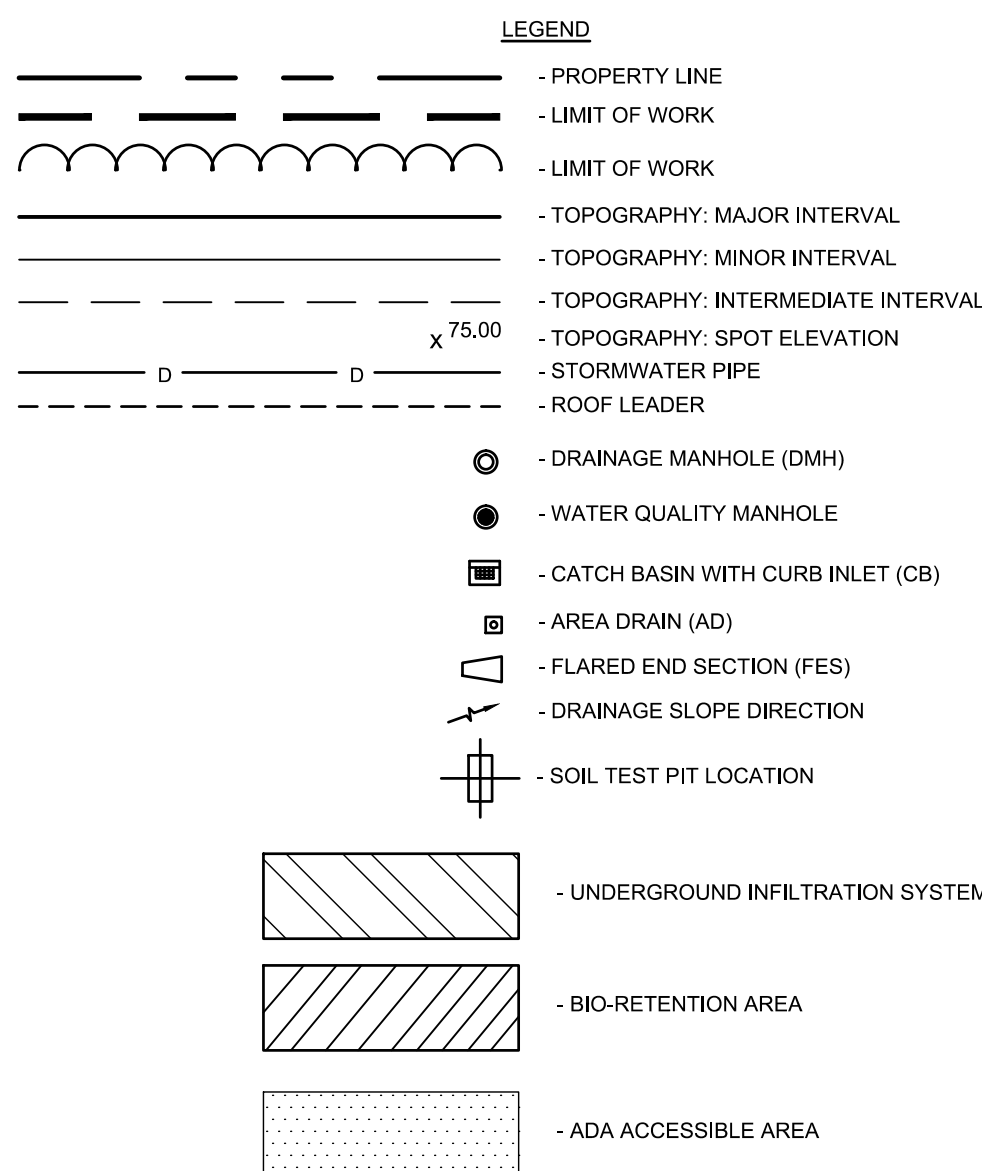


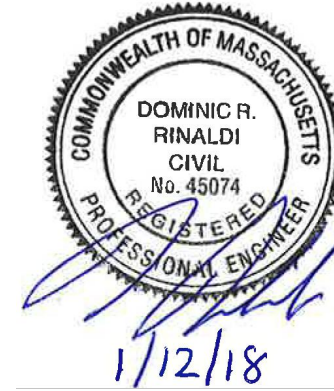
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DOMINIC RINALDI, PE No. 45074

WOODLAND COVE

3102 CRANBERRY
HIGHWAY
IN
WAREHAM
MASSACHUSETTS

GRADING AND DRAINAGE PLAN (SOUTH)

JANUARY 12, 2018

REVISIONS:

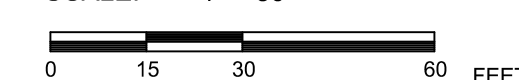
NO.	DESCRIPTION

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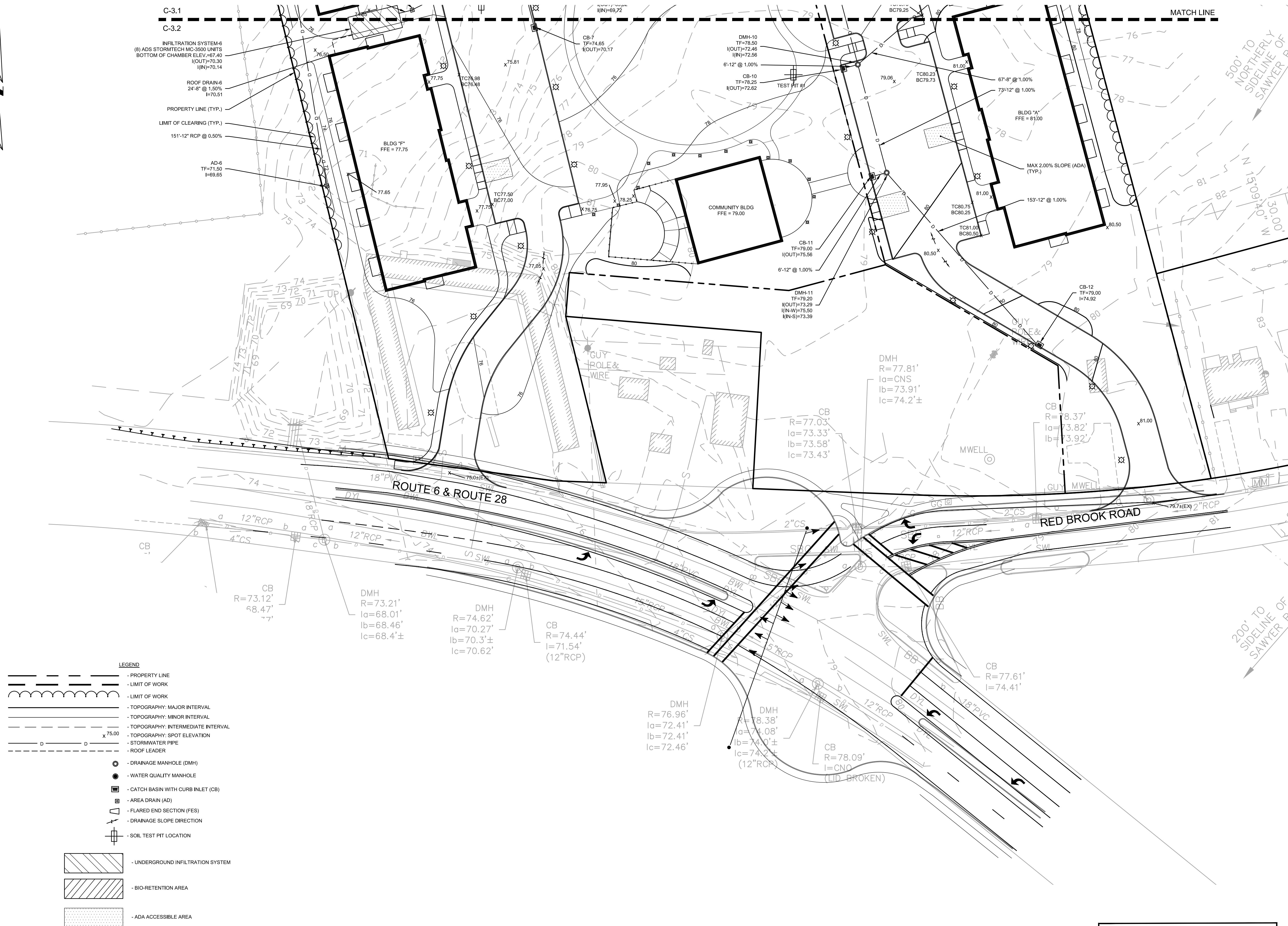
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NOTES:

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2. FUTURE ROUTE 6/28 AND RED BROOK ROAD LAYOUT INFORMATION TAKEN FROM MASSDOT HIGHWAY IMPROVEMENT PLANS "WAREHAM, CRANBERRY HIGHWAY (ROUTES 6 & 28), SIGNING AND STRIPING PLANS" PROVIDED BY OTHERS. THE CONTROLLER SHALL VERIFY CURRENT PLANS WITH APPLICABLE MASSDOT DISTRICT PRIOR TO PERFORMING ANY WORK AFFECTING OR AFFECTED BY THESE ROADWAY LAYOUTS.
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4. THE LOCATIONS OF EXISTING UTILITIES AS SHOWN ON THE PLANS MAY VARY FROM ACTUAL EXISTING CONDITIONS IN THE FIELD. COORDINATE WITH RESPECTIVE UTILITY OWNERS AND PERFORM VERIFICATION OF TYPE, LOCATION AND INVERTS AS REQUIRED. VERIFY ALL TIE-IN POINTS, ROUTING, CONFLICTS, CROSSINGS, AND BUILDING CONNECTION POINTS TO FACILITATE THE COMPLETION OF THE WORK.
5. PERFORM EXPLORATORY EXCAVATIONS AS REQUIRED TO VERIFY THE AS-BUILT LOCATION OF EXISTING SUBSURFACE UTILITIES WHERE CROSSINGS OR OTHER POTENTIAL CONFLICTS ARE PRESENT.
6. NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
7. THE TOPS, RIMS, FRAMES, GRATES, AND COVERS (AS APPLICABLE) OF ALL UTILITY STRUCTURES THAT ARE TO REMAIN SHALL BE ADJUSTED TO MATCH FINAL GRADE IN A FLUSH CONDITION. ALL NEW UTILITY STRUCTURES SHALL BE INSTALLED WITH TOPS, RIMS, FRAMES, GRATES, AND COVERS (AS APPLICABLE) TO FINAL GRADE IN A FLUSH CONDITION.
8. ALL LIGHTING ELECTRICAL SUPPLIES SHALL BE INSTALLED IN MINIMUM 1-INCH PVC CONDUIT PER APPLICABLE SPECIFICATIONS. PLASTIC MARKING TAPE SHALL BE USED ON ALL CONDUIT RUNS.
9. THE ROUTING OF LIGHTING ELECTRICAL SUPPLIES SHOWN IS CONCEPTUAL. CONTRACTOR SHALL DETERMINE THE SPECIFIC ROUTING OF ALL LIGHTING SYSTEMS BASED ON THE ACTUAL LOCATION OF TIE-INS TO EXISTING LIGHTING FEEDS AND AS REQUIRED TO AVOID CONFLICTS WITH OTHER CONSTRUCTION OR SUBSURFACE FACILITIES. PRIOR TO INSTALLATION, PROVIDE SHOP DRAWING SHOWING THE ROUTING OF ALL CONDUIT, LOCATIONS OF HANDHOLES, AND DETAILS OF TIE-INS TO EXISTING SYSTEM.
10. THE SCOPE OF ELECTRICAL FACILITIES SHOWN HEREON IS DIAGRAMMATIC. NOT ALL COMPONENTS OF EXISTING FACILITIES OR THE NEW CIRCUIT ARE SHOWN. CONTRACTOR SHALL ASSESS AND DOCUMENT EXISTING ELECTRICAL SERVICE AS TO CAPACITY AND OTHER PERTINENT PARAMETERS AS REQUIRED TO ACCOMMODATE THE NEW ELECTRICAL FACILITIES SHOWN HEREON. PROVIDE ALL REQUIRED BREAKERS, CONDUCTORS, GROUNDING, AND OTHER ANCILLARY COMPONENTS TO PROVIDE A NEW, COMPLETE CODE-COMPLIANT CIRCUIT.
11. CONDUIT: RIGID PVC ELECTRICAL CONDUIT, NEMA TC 2 AND UL -651; FITTINGS AND CONDUIT BODIES: PVC TO MATCH CONDUIT, NEMA TC-3. PRIMER/SOLVENT CEMENT: ASTM F856/ASTM D2564; PULL ROPE: 3/8-INCH DOUBLE BRAIDED, LOW STRETCH POLYESTER COMPOSITE ROPE.
12. TRACER WIRE REQUIRED FOR TELECOMMUNICATIONS AND ELECTRIC ONLY. PROVIDE APPROPRIATE WIRE ACCESS POINTS.
13. ALL UNDERGROUND TELECOMMUNICATIONS AND ELECTRIC CONDUITS SHALL BE ENCASED IN CONCRETE EXCEPT BRANCH DISTRIBUTION FOR LIGHTING. WORK CONCRETE TO REMOVE ALL TRAPPED AIR AND INSURE EACH CONDUIT IS COMPLETELY SURROUNDED BY A MINIMUM 2" OF CONCRETE. ALLOW CONCRETE TO CURE FOR AT LEAST ONE HOUR BEFORE BACKFILLING.
14. FOR TELECOMMUNICATIONS AND ELECTRIC, WARNING TAPE SHALL BE INSTALLED 12-INCHES BELOW GRADE.
15. SEAL ALL CONDUIT ENDS WITH BLANK DUCT PLUGS. SECURE PULL ROPE TO DUCT PLUG.
16. ALL WORK ASSOCIATED WITH FIRE PROTECTION AND DOMESTIC WATER SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE LOCAL WATER UTILITY.
17. ALL WORK ASSOCIATED WITH ELECTRICAL SERVICE SHALL CONFORM TO THE STANDARDS OF NATIONAL GRID. IF THERE ARE ANY CONFLICTS BETWEEN THE REQUIREMENTS INDICATED HEREON AND NATIONAL GRID STANDARDS, NATIONAL GRID STANDARDS SHALL PREVAIL.
18. ALL WORK ASSOCIATED WITH TELECOMMUNICATIONS SHALL CONFORM TO THE STANDARDS OF THE LOCAL PROVIDER.
19. INSTALL CONDUIT, PULL ROPE, CAPS, WARNING TAPE, AND TRACER WIRE PER APPLICABLE SPECIFICATIONS, STANDARDS, AND CODES.
20. ALTHOUGH NOT SHOWN ON THE DRAWINGS, PROVIDE FOR THE INSTALLATION OF ALL JOINTS, COUPLINGS, RESTRAINTS, BENDS, ANGLES, AND OTHER APPURTENANCES TO ACHIEVE A COMPLETE, FUNCTIONAL WATER SUPPLY SYSTEM.
21. SANITARY SEWER PIPING AND FITTINGS SHALL BE TYPE PSM SDR-35. ALL SANITARY SEWER JOINTS ARE TO BE ELASTOMERIC GASKET JOINTS, WHICH PROVIDE A WATER TIGHT SEAL. ALL CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH THE PIPE MANUFACTURER'S RECOMMENDATIONS. CONNECTIONS TO HOUSE SERVICES SHALL BE A FLEXIBLE COUPLING OF THE PROPER SIZE EQUIPPED WITH STAINLESS STEEL FASTENERS.

- LEGEND
- PROPERTY LINE
 - SANITARY SEWER MAIN
 - NATURAL GAS MAIN
 - WATER MAIN
 - FIRE PROTECTION LATERAL
 - FIRE HYDRANT
 - SANITARY MANHOLE (SMH)
 - WATER GATE
 - GAS GATE
 - LIGHT POLE



DOMINIC RINALDI, PE No. 45074

WOODLAND COVE

3102 CRANBERRY
HIGHWAY
IN
WAREHAM
MASSACHUSETTS

OVERALL UTILITY PLAN

JANUARY 12, 2018

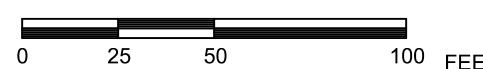
REVISIONS:

PREPARED FOR:
DAKOTA PARTNERS
1264 MAIN STREET
WALTHAM, MA 02451

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SCALE: 1" = 50'



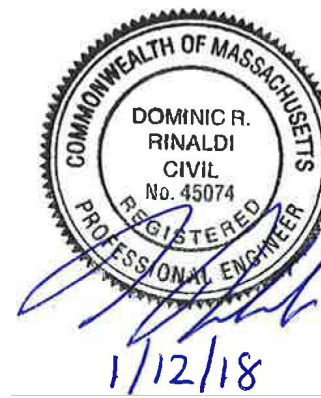
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DWG. NO:

JOB. NO: 83669.00

C-4.0

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DOMINIC RINALDI, PE No. 45074

WOODLAND COVE

3102 CRANBERRY
HIGHWAY
IN
WAREHAM
MASSACHUSETTS

UTILITY PLAN (NORTH)

JANUARY 12, 2018

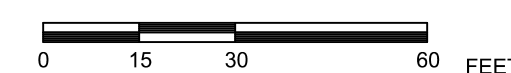
REVISIONS:

PREPARED FOR:
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WALTHAM, MA 02451

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SCALE: 1" = 30'

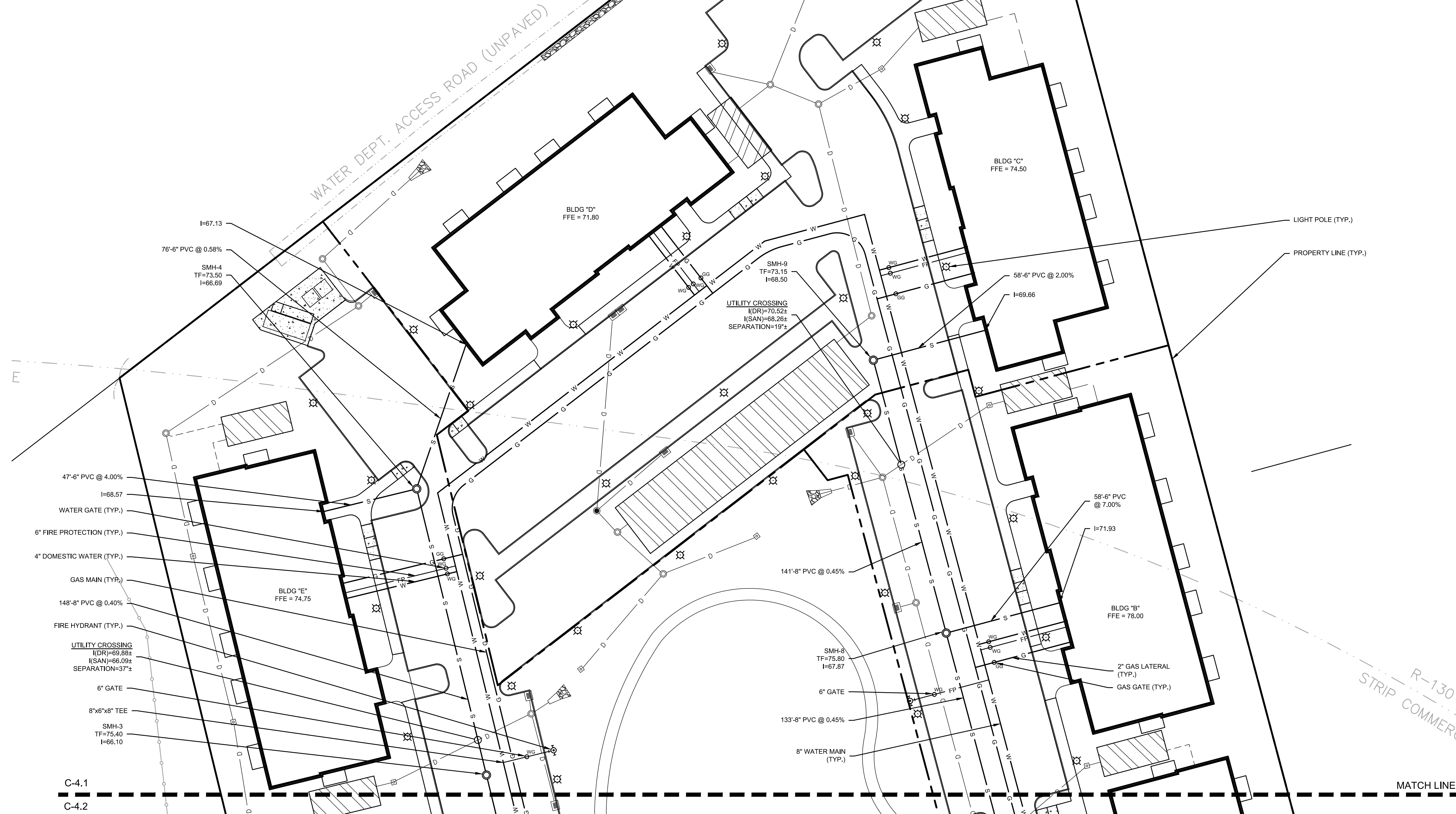


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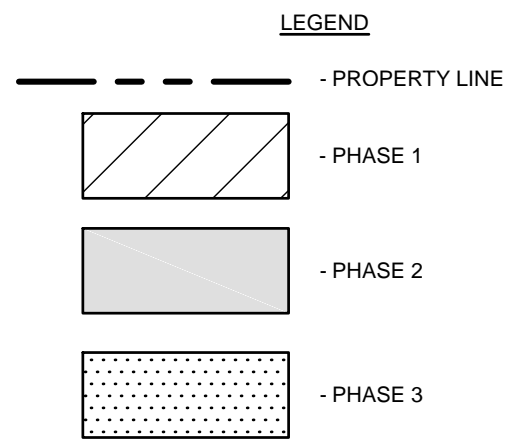
C-4.1



LEGEND

- | | | |
|-----|-----|---------------------------|
| --- | --- | - PROPERTY LINE |
| S | S | - SANITARY SEWER MAIN |
| G | G | - NATURAL GAS MAIN |
| W | W | - WATER MAIN |
| FP | FP | - FIRE PROTECTION LATERAL |
| | | - FIRE HYDRANT |
| | | - SANITARY MANHOLE (SMH) |
| | | - WATER GATE |
| | | - GAS GATE |
| | | - LIGHT POLE |

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NOTES:

1. THE PHASING PLANS ARE INTENDED TO SHOW THE GENERAL SEQUENCE OF CONSTRUCTION. THEY ARE NOT TO BE USED FOR CONSTRUCTION, NOR ARE THEY INTENDED TO SHOW THE EXACT LIMIT OF WORK PERFORMED DURING EACH PHASE.

ZONING TABLE

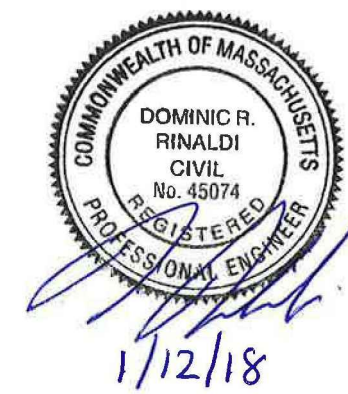
	REQUIRED		PHASE 1	PHASE 2	PHASE 3	TOTAL
	COMMERCIAL STRIP	R-130 ⁽¹⁾				
MINIMUM LOT AREA (SF)	20,000	N/A	87,056	150,982	106,903	344,941
MINIMUM FRONT SETBACK (FT)	30	N/A	168.7	112.8	10.0	-
MINIMUM SIDE/REAR SETBACK (FT)	20	N/A	19.0	25.0	20.0	-
MINIMUM LOT FRONTAGE (FT)	250	N/A	100.06	149.52	0	-
MAXIMUM BUILDING COVERAGE (%)	40	NO REGULATION	24.2	16.4	17.9	18.8
MAXIMUM IMPERVIOUS SURFACE (%)	65	N/A	63.0	38.3	62.3	52.0
DISTANCE FROM RESIDENTIAL (FT)	40	--	119.2	119.2 ⁽²⁾	119.2 ⁽³⁾	-
MAXIMUM HEIGHT (FT)	40	N/A	44	44	34	-

- (1) MULTI-FAMILY RESIDENTIAL/APARTMENTS IS NOT AN ALLOWED USE IN THE R-130 DISTRICT. THEREFORE, NO DIMENSIONAL ZONING REQUIREMENTS EXIST.
- (2) DISTANCE FROM PHASE II BUILDING TO PHASE I BUILDING IS 353'.
- (3) DISTANCE FROM PHASE III BUILDING TO PHASE I BUILDING IS 29'.

PARKING TABLE

	PHASE 1	PHASE 2	PHASE 3	TOTAL
PARKING SPACES REQUIRED	(11) 1BDRM + (52) 2+BDRM = 122	(11) 1BDRM + (52) 2+BDRM = 122	(10) 1BDRM + (38) 2+BDRM = 91	(32) 1BDRM + (142) 2+BDRM = 332
PARKING SPACES PROVIDED	72	68	120	260

- (1) 1BDRM REQUIRES 1.5 SPACES.
- (2) 2+BDRM REQUIRES 2 SPACES.



DOMINIC RINALDI, PE No. 45074

WOODLAND COVE

3102 CRANBERRY
HIGHWAY
IN
WAREHAM
MASSACHUSETTS

PRELIMINARY PHASING
PLAN

JANUARY 12, 2018

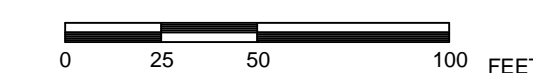
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PREPARED FOR:
DAKOTA PARTNERS
1264 MAIN STREET
WALTHAM, MA 02451

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SCALE: 1" = 50'



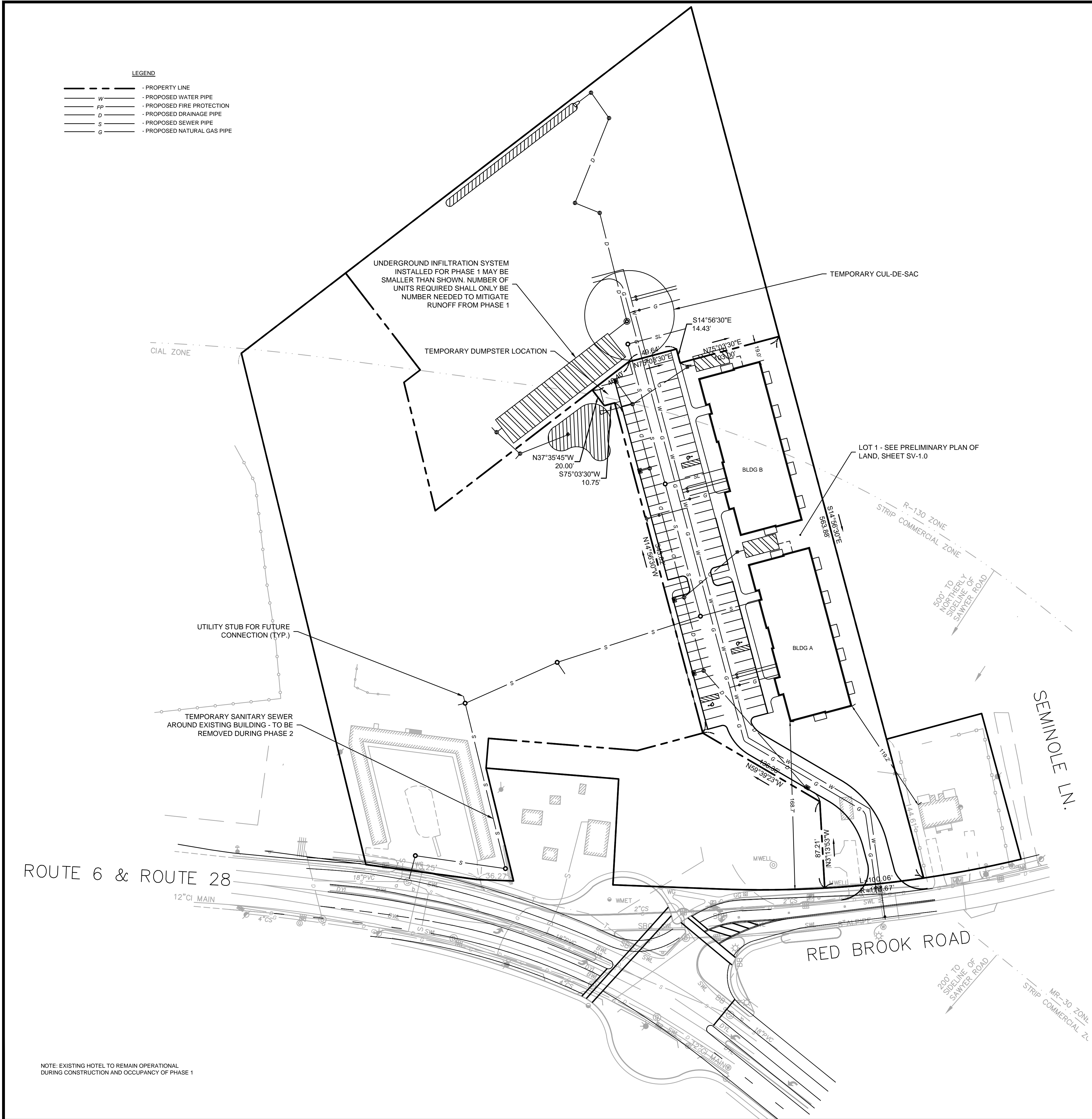
FILE: 8366900-PHASE.DWG

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ZONING TABLE

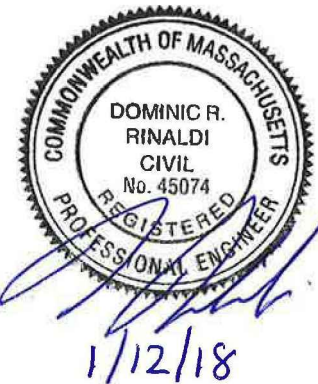
	REQUIRED		PHASE 1
	COMMERCIAL STRIP	R-130 ⁽¹⁾	
MINIMUM LOT AREA (SF)	20,000	N/A	87,056
MINIMUM FRONT SETBACK (FT)	30	N/A	168.7
MINIMUM SIDE/REAR SETBACK(FT)	20	N/A	19.0
MINIMUM LOT FRONTAGE (FT)	250	N/A	100.06
MAXIMUM BUILDING COVERAGE (%)	40	NO REGULATION	24.2
MAXIMUM IMPERVIOUS SURFACE (%)	65	N/A	63.0
DISTANCE FROM RESIDENTIAL (FT)	40	--	119.2
MAXIMUM HEIGHT (FT)	40	N/A	44

(1) MULTI-FAMILY RESIDENTIAL/APARTMENTS IS NOT AN ALLOWED USE IN THE R-130 DISTRICT. THEREFORE, NO DIMENSIONAL ZONING REQUIREMENTS EXIST.

PARKING TABLE

	PHASE 1
PARKING SPACES REQUIRED	(11) 1BDRM + (52) 2+BDRM = 122
PARKING SPACES PROVIDED	72

(1) 1BDRM REQUIRES 1.5 SPACES.
(2) 2+BDRM REQUIRES 2 SPACES.



DOMINIC RINALDI, PE No. 45074

WOODLAND COVE

3102 CRANBERRY
HIGHWAY
IN
WAREHAM
MASSACHUSETTS

PRELIMINARY PHASING
PLAN (PHASE 1)

JANUARY 12, 2018

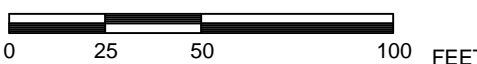
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SCALE: 1" = 50'



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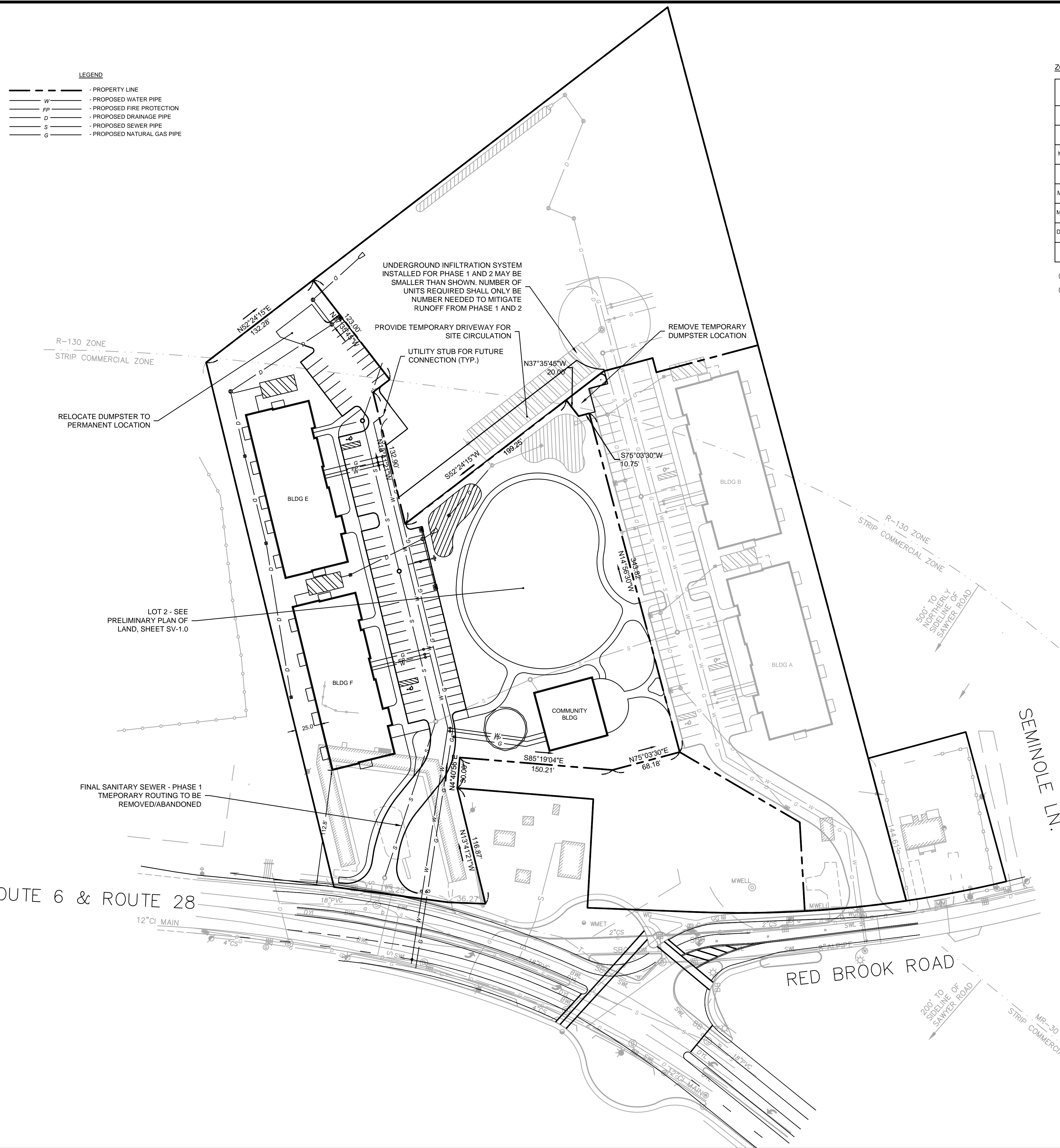
C-5.1

NOTE: EXISTING HOTEL TO REMAIN OPERATIONAL
DURING CONSTRUCTION AND OCCUPANCY OF PHASE 1

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NOT FOR CONSTRUCTION



LEGEND	
---	PROPERTY LINE
W	PROPOSED WATER PIPE
FP	PROPOSED FIRE PROTECTION
D	PROPOSED DRAINAGE PIPE
S	PROPOSED SEWER PIPE
G	PROPOSED NATURAL GAS PIPE



ZONING TABLE

	REQUIRED		PHASE 2
	COMMERCIAL STRIP	R-130 ⁽¹⁾	
MINIMUM LOT AREA (SF)	20,000	N/A	150,982
MINIMUM FRONT SETBACK (FT)	30	N/A	112.8
MINIMUM SIDE/REAR SETBACK(FT)	20	N/A	25.0
MINIMUM LOT FRONTAGE (FT)	250	N/A	149.52
MAXIMUM BUILDING COVERAGE (%)	40	NO REGULATION	16.4
MAXIMUM IMPERVIOUS SURFACE (%)	65	N/A	38.3
DISTANCE FROM RESIDENTIAL (FT)	40	--	119.2 ⁽²⁾
MAXIMUM HEIGHT (FT)	40	N/A	44

- (1) MULTI-FAMILY RESIDENTIAL/APARTMENTS IS NOT AN ALLOWED USE IN THE R-130 DISTRICT. THEREFORE, NO DIMENSIONAL ZONING REQUIREMENTS EXIST.
(2) DISTANCE FROM PHASE II BUILDING TO PHASE I BUILDING IS 353'.

PARKING TABLE

	PHASE 2
PARKING SPACES REQUIRED	(11) 1BDRM + (52) 2+BDRM = 122
PARKING SPACES PROVIDED	68

- (1) 1BDRM REQUIRES 1.5 SPACES.
(2) 2+BDRM REQUIRES 2 SPACES.



DOMINIC RINALDI, PE No. 45074

WOODLAND COVE

3102 CRANBERRY
HIGHWAY
IN
WAREHAM
MASSACHUSETTS

PRELIMINARY PHASING
PLAN (PHASE 2)

JANUARY 12, 2018

REVISIONS:	

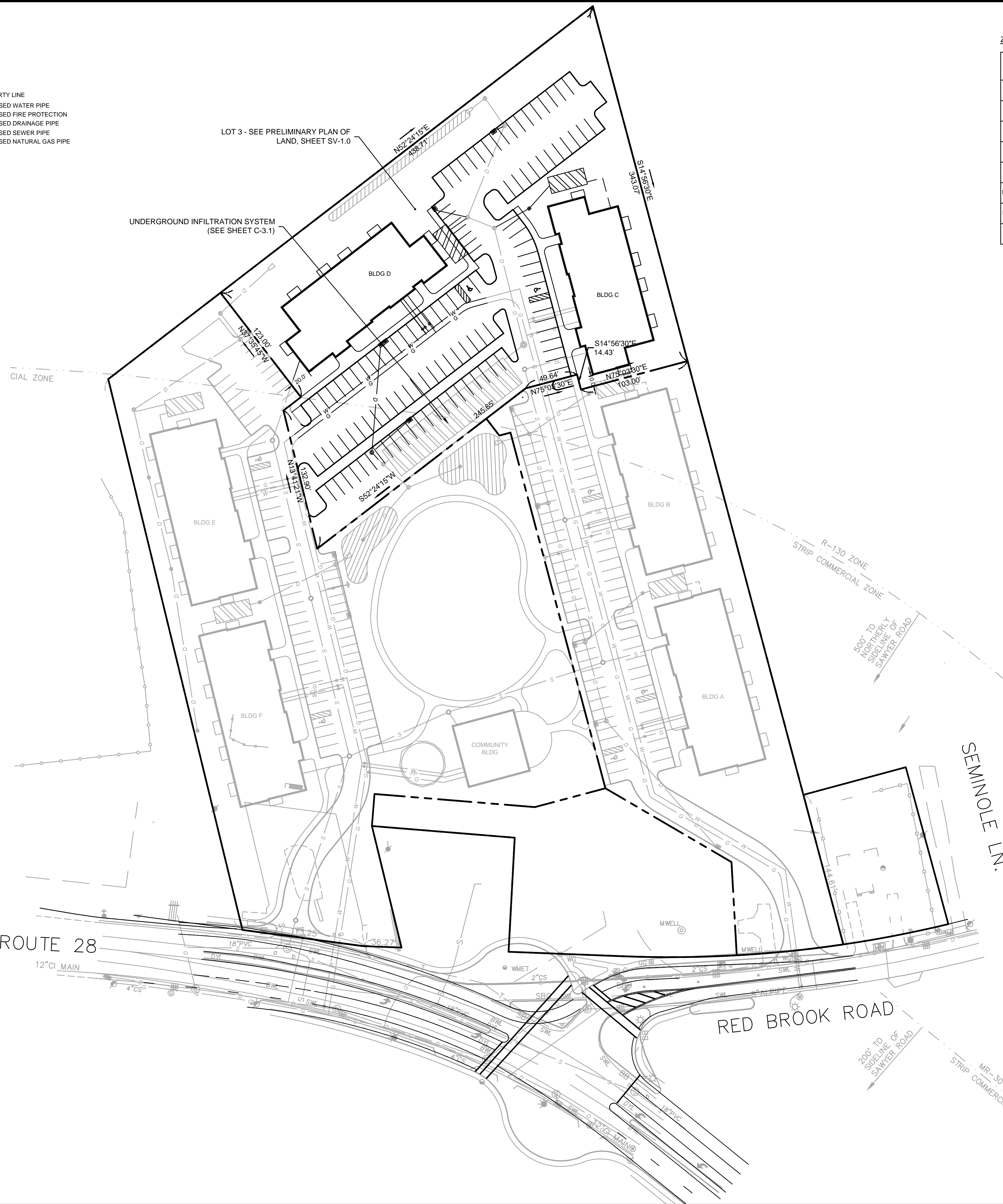
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SCALE: 1" = 50'
0 25 50 100 FEET
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C-5.2

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- LEGEND
- PROPERTY LINE
 - PROPOSED WATER PIPE
 - PROPOSED FIRE PROTECTION
 - PROPOSED DRAINAGE PIPE
 - PROPOSED SEWER PIPE
 - PROPOSED NATURAL GAS PIPE



ZONING TABLE

	REQUIRED		PHASE 3
	COMMERCIAL STRIP	R-130 ⁽¹⁾	
MINIMUM LOT AREA (SF)	20,000	N/A	106,903
MINIMUM FRONT SETBACK (FT)	30	N/A	10.0
MINIMUM SIDE/REAR SETBACK (FT)	20	N/A	20.0
MINIMUM LOT FRONTAGE (FT)	250	N/A	0
MAXIMUM BUILDING COVERAGE (%)	40	NO REGULATION	17.9
MAXIMUM IMPERVIOUS SURFACE (%)	65	N/A	62.3
DISTANCE FROM RESIDENTIAL (FT)	40	--	119.2 ⁽²⁾
MAXIMUM HEIGHT (FT)	40	N/A	34

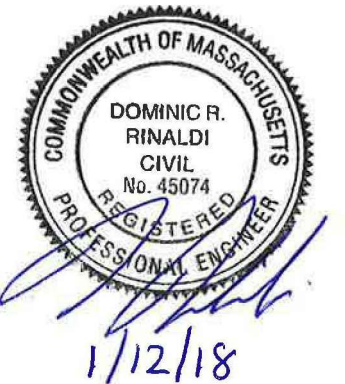
(1) MULTI-FAMILY RESIDENTIAL/APARTMENTS IS NOT AN ALLOWED USE IN THE R-130 DISTRICT. THEREFORE, NO DIMENSIONAL ZONING REQUIREMENTS EXIST.
(2) DISTANCE FROM PHASE III BUILDING TO PHASE I BUILDING IS 29'.

PARKING TABLE

	PHASE 3
PARKING SPACES REQUIRED	(10) 1BDRM + (38) 2+BDRM = 91
PARKING SPACES PROVIDED	120

(1) 1BDRM REQUIRES 1.5 SPACES.
(2) 2+BDRM REQUIRES 2 SPACES.

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DOMINIC RINALDI, PE No. 45074

WOODLAND COVE

3102 CRANBERRY
HIGHWAY
IN
WAREHAM
MASSACHUSETTS

PRELIMINARY PHASING PLAN (PHASE 3)

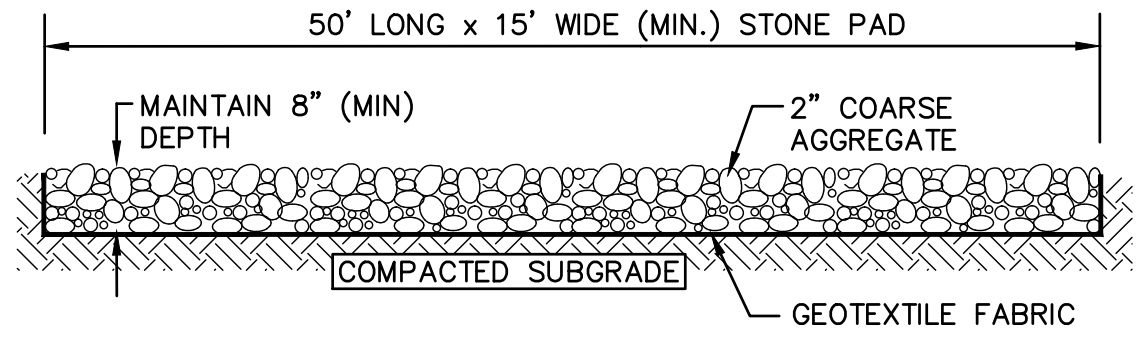
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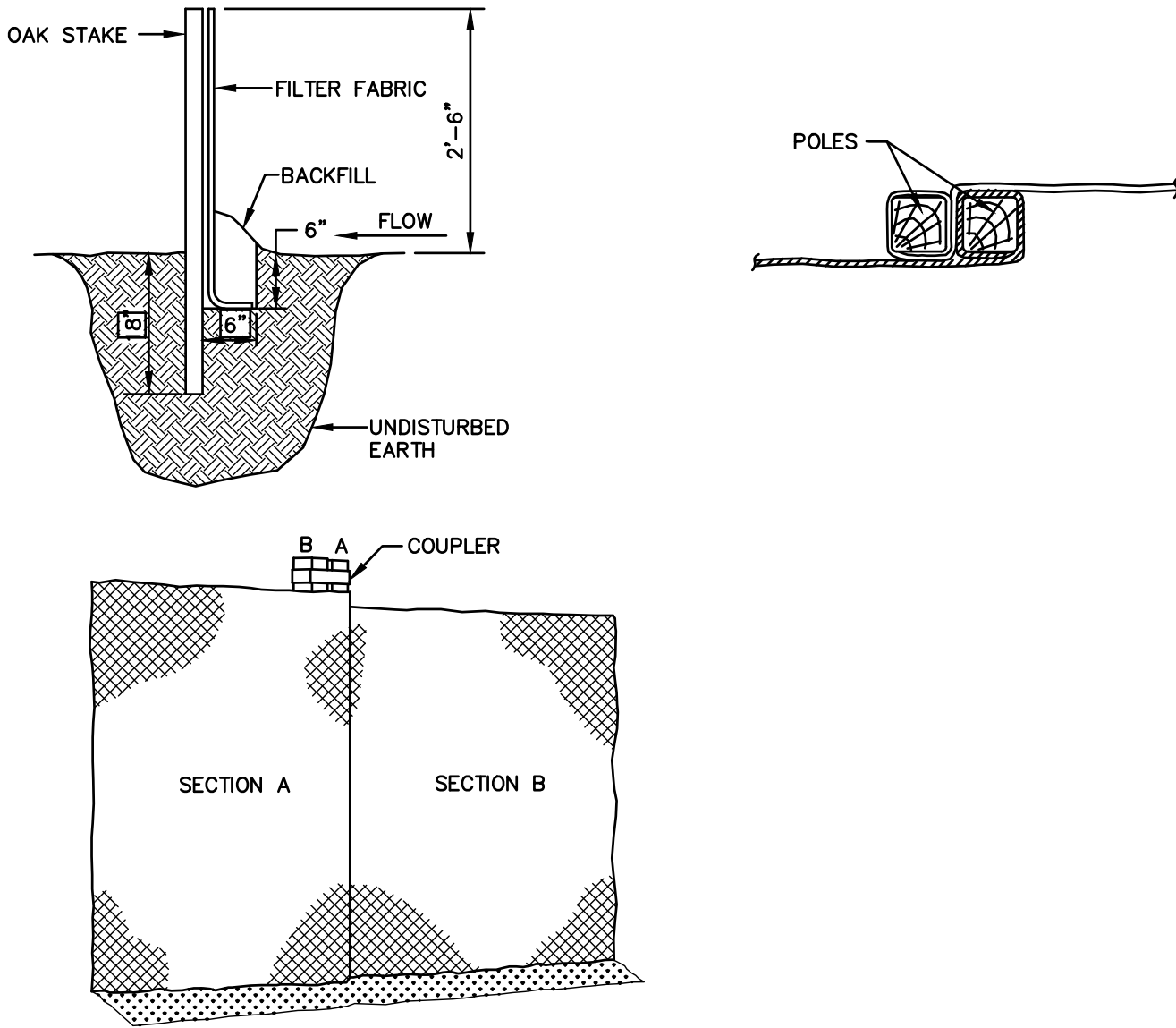
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SCALE: 1" = 50'
0 25 50 100 FEET
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DWG. NO:
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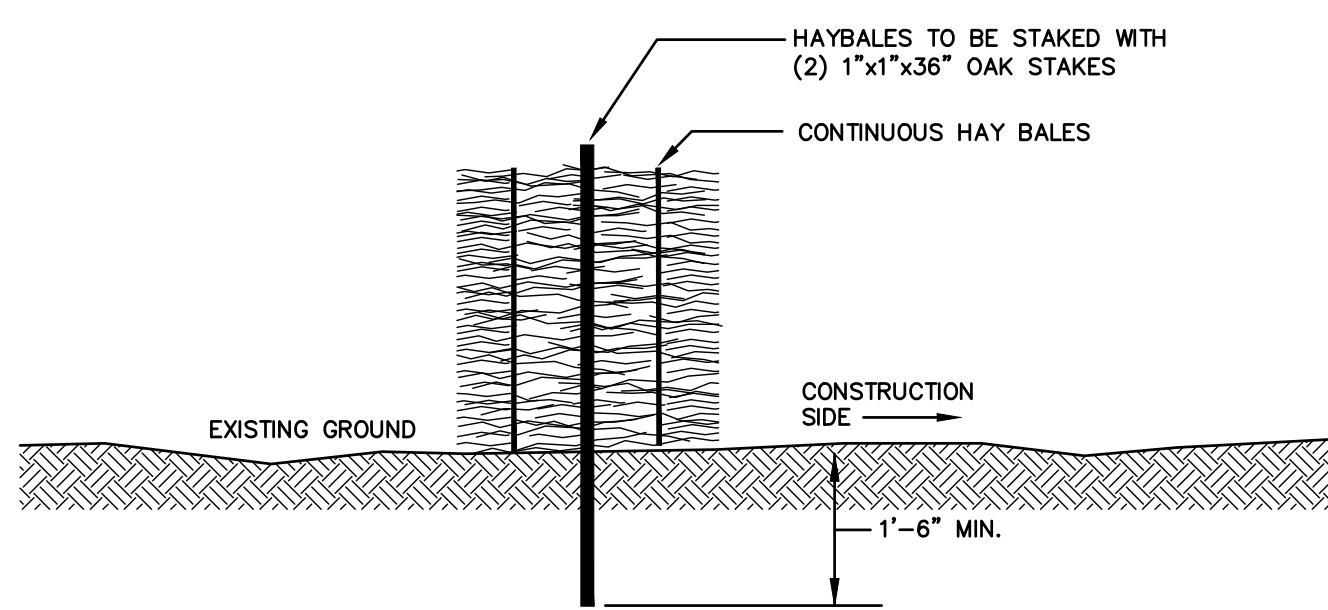
TEMPORARY CONSTRUCTION ENTRANCE

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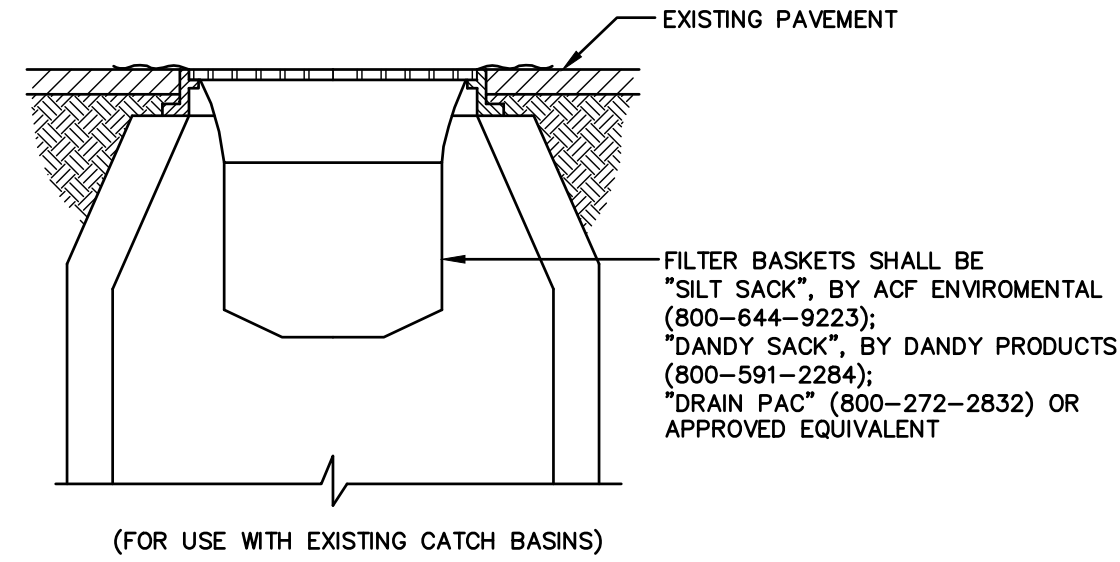
SILT FENCE

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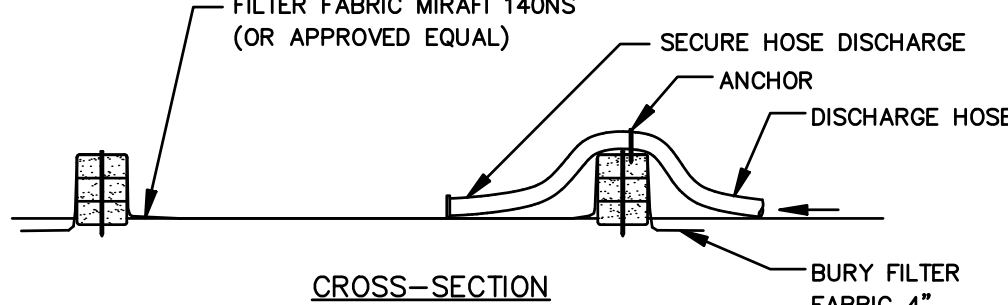
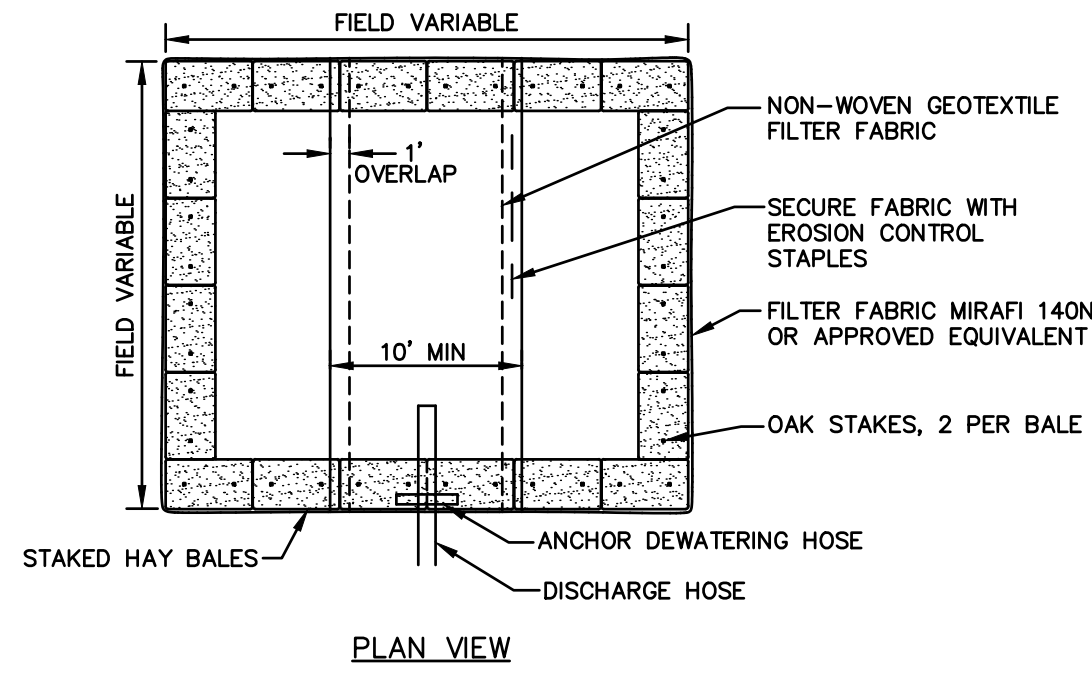
SINGLE ROW HAYBALE

SCALE: NONE



SEDIMENT FILTER INLET PROTECTION

SCALE: NONE

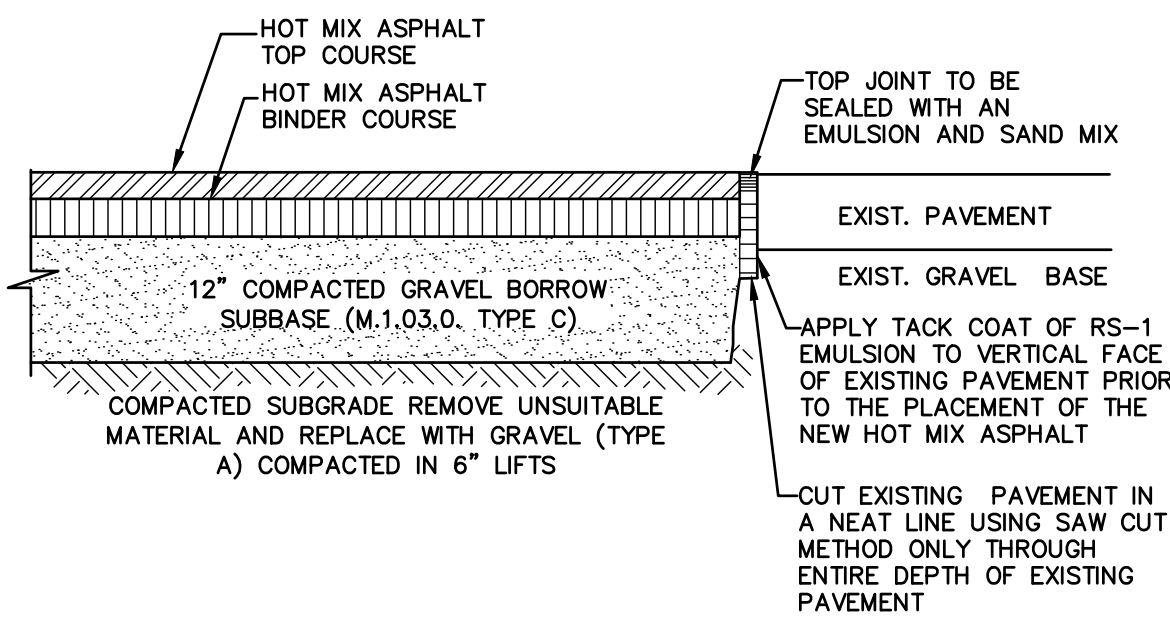


NOTES:

1. NUMBER OF BALES MAY VARY DEPENDING ON SITE CONDITIONS.
2. THE BASIN TO BE SIZED ACCORDING TO: CUBIC FEET OF STORAGE = PUMP DISCHARGE RATE(gpm) x 16
3. SIZE SHOWN ON PLANS SHALL BE ADJUSTED AS REQUIRED FOR THE ACTUAL PUMPING RATE.

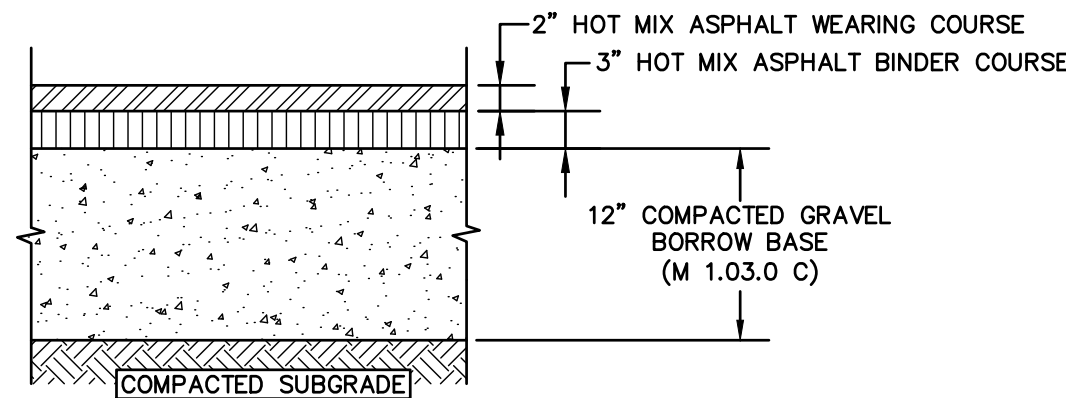
DEWATERING HAYBALE BASIN (TYPE 1)

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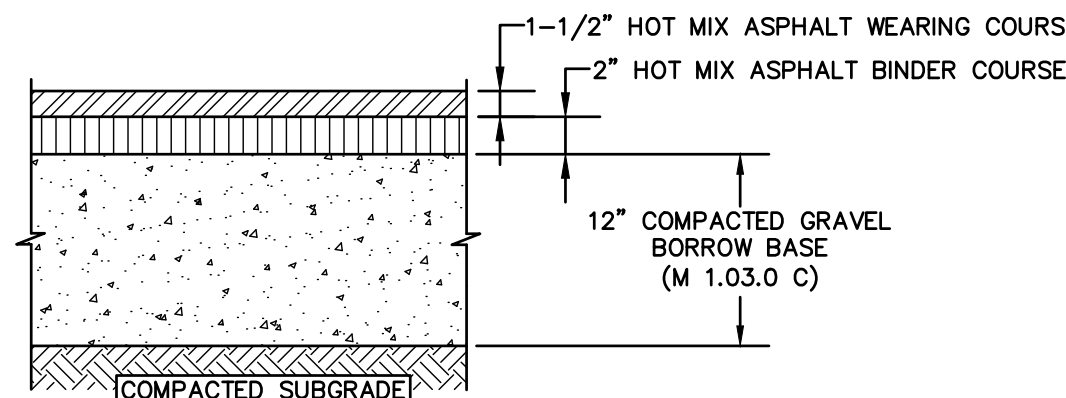


HOT MIX ASPHALT PAVEMENT JOINTS

SCALE: NONE



HEAVY DUTY FLEXIBLE PAVEMENT



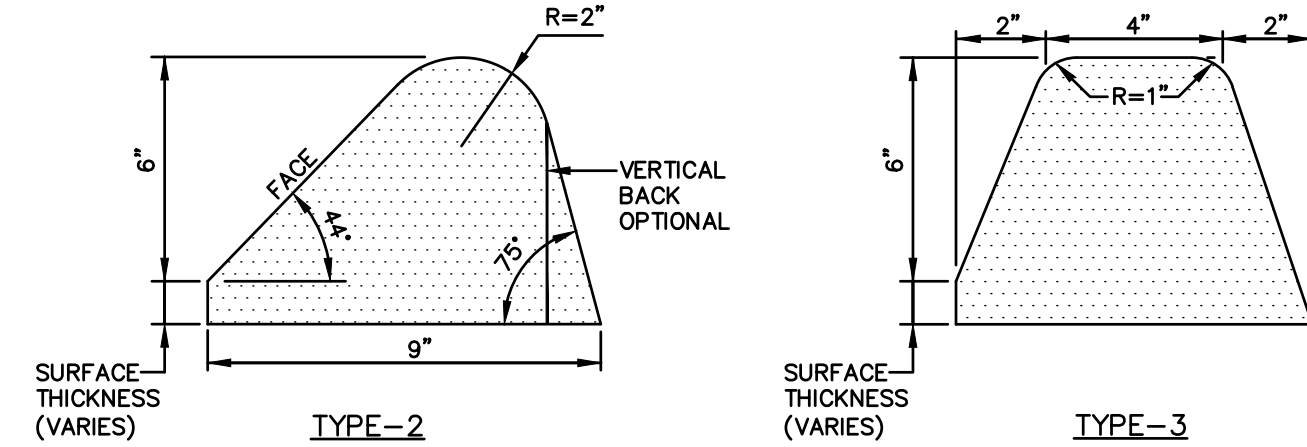
STANDARD DUTY FLEXIBLE PAVEMENT

NOTE:

PAVEMENT SECTIONS ARE SUBJECT TO CHANGE AND WILL BE BASED ON THE RESULTS OF GEOTECHNICAL INVESTIGATIONS

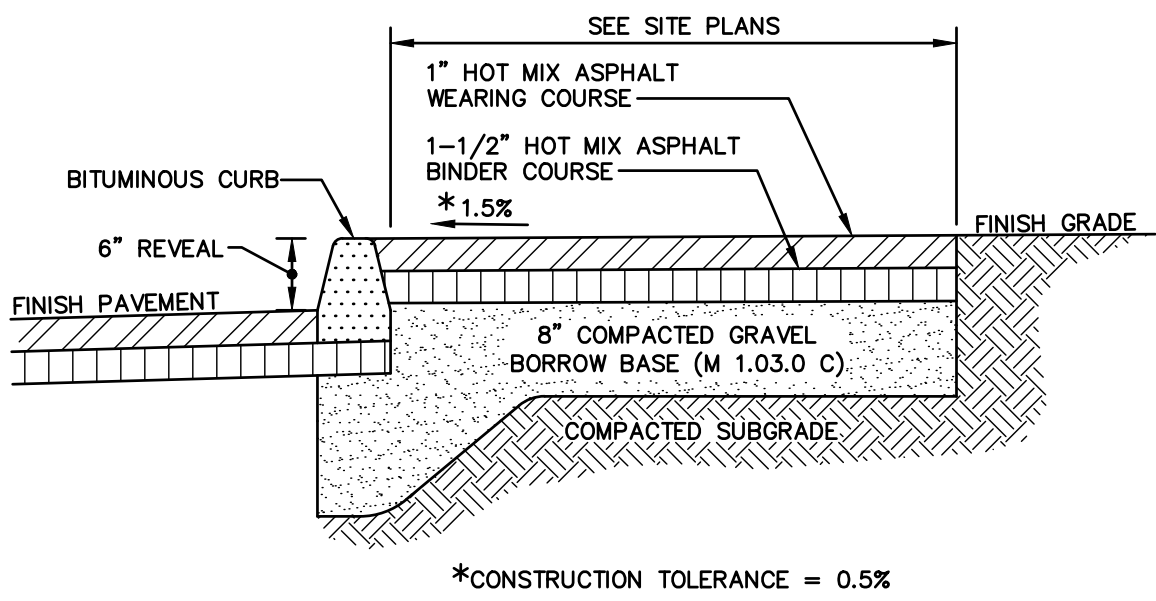
HOT MIX ASPHALT PAVEMENT SECTIONS

SCALE: NONE



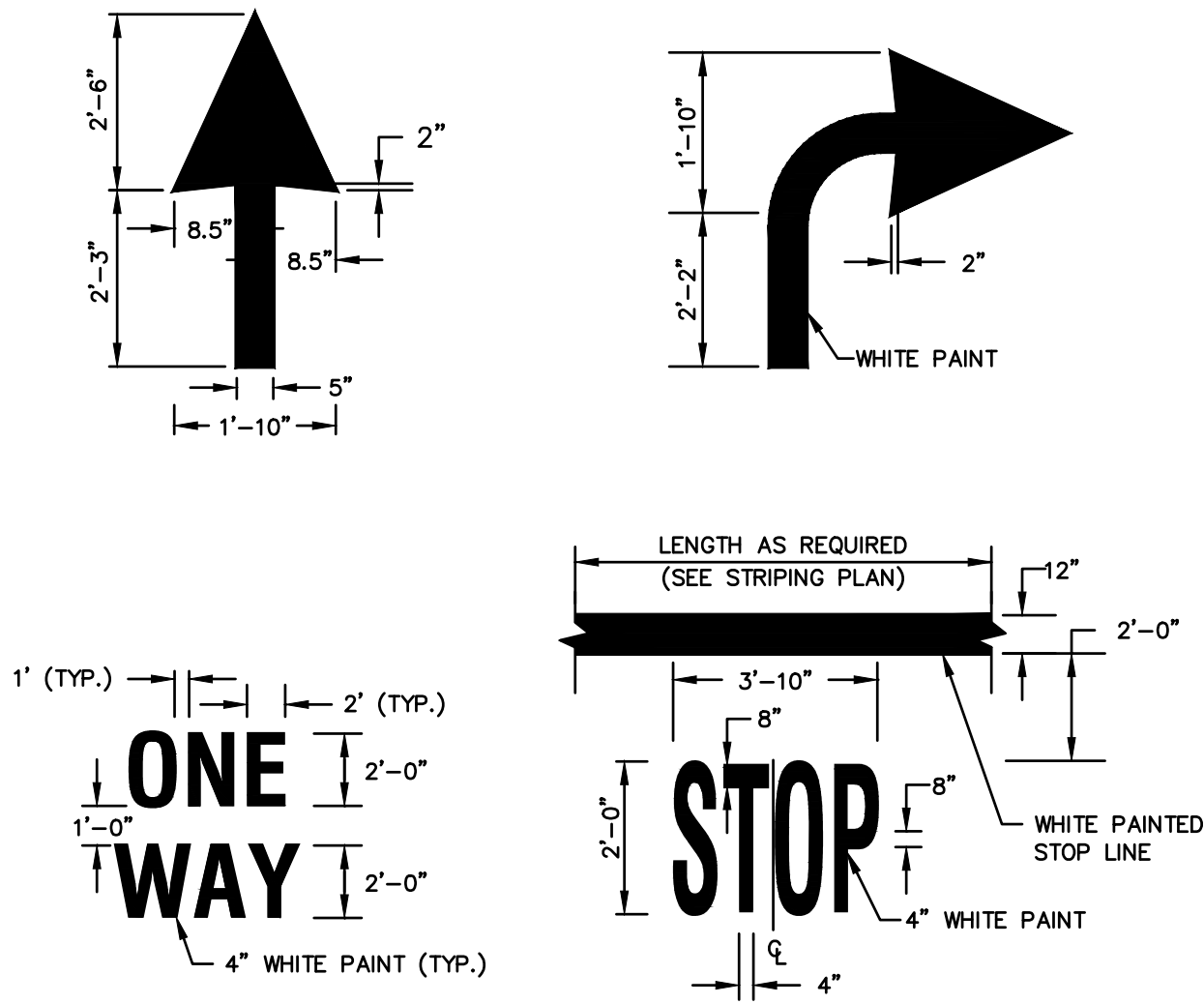
HOT MIX ASPHALT CURB

SCALE: NONE



BITUMINOUS CONCRETE SIDEWALK

SCALE: NONE

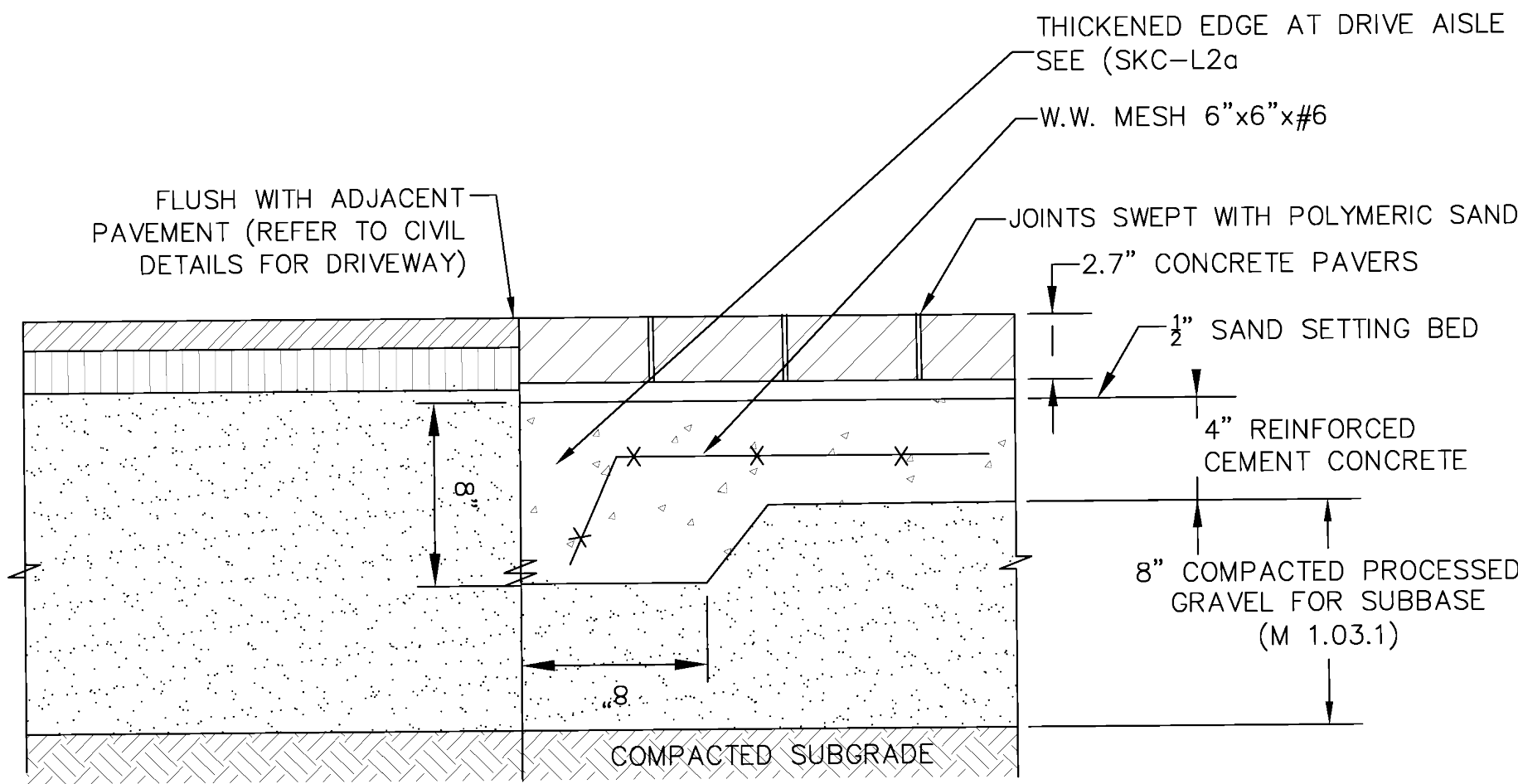


NOTE:

PAVEMENT MARKINGS TO BE INSTALLED IN LOCATIONS SHOWN ON THE PLANS

PAINTED PAVEMENT MARKINGS

SCALE: NONE



PAVERS ON CONCRETE BASE

SCALE: NONE

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DOMINIC RINALDI, PE No. 45074

WOODLAND COVE

3102 CRANBERRY
HIGHWAY
IN
WAREHAM
MASSACHUSETTS

DETAILS

JANUARY 12, 2018

REVISIONS:

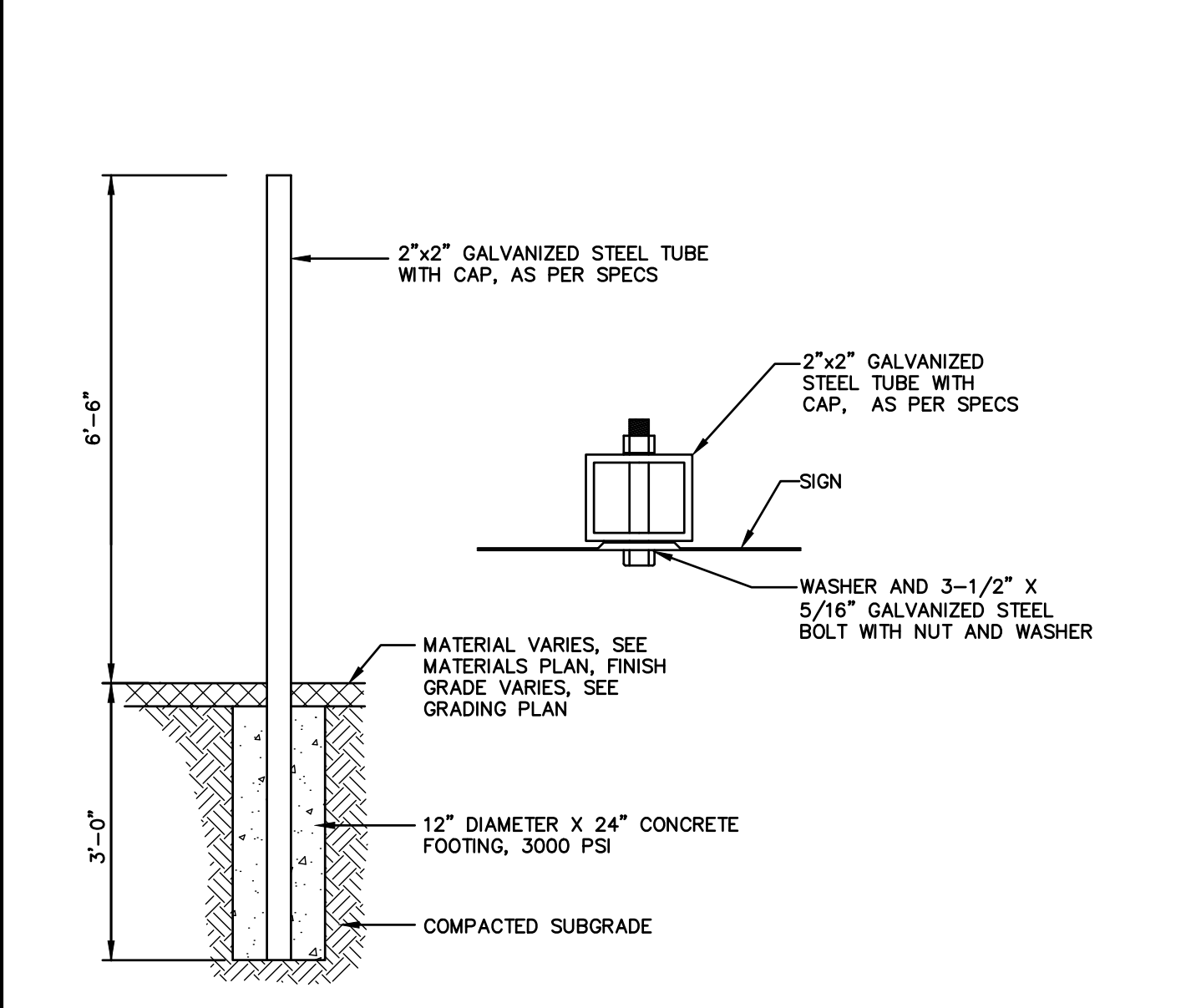
PREPARED FOR:
DAKOTA PARTNERS
1264 MAIN STREET
WALTHAM, MA 02451

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SCALE: AS SHOWN

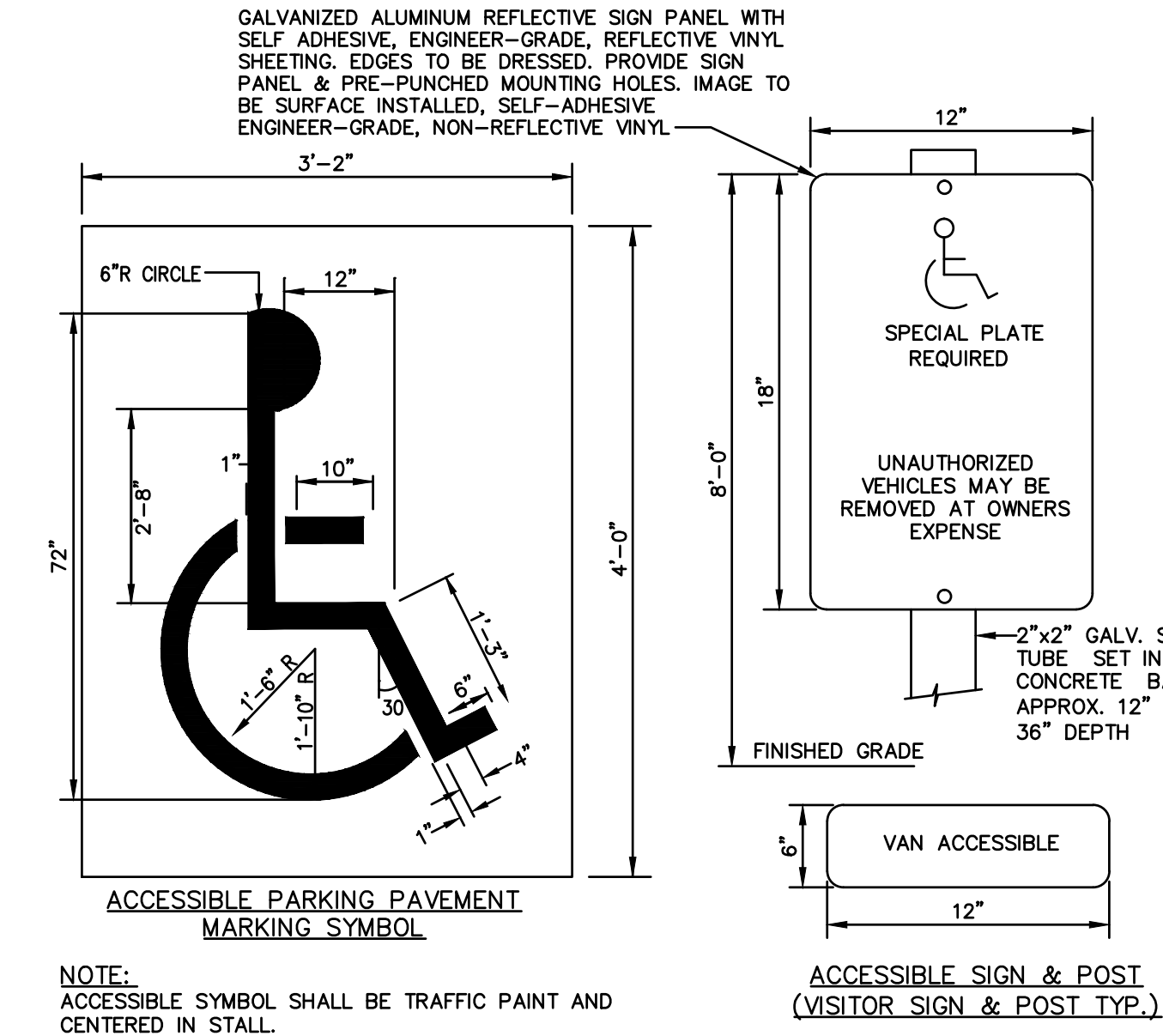
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C-6.0



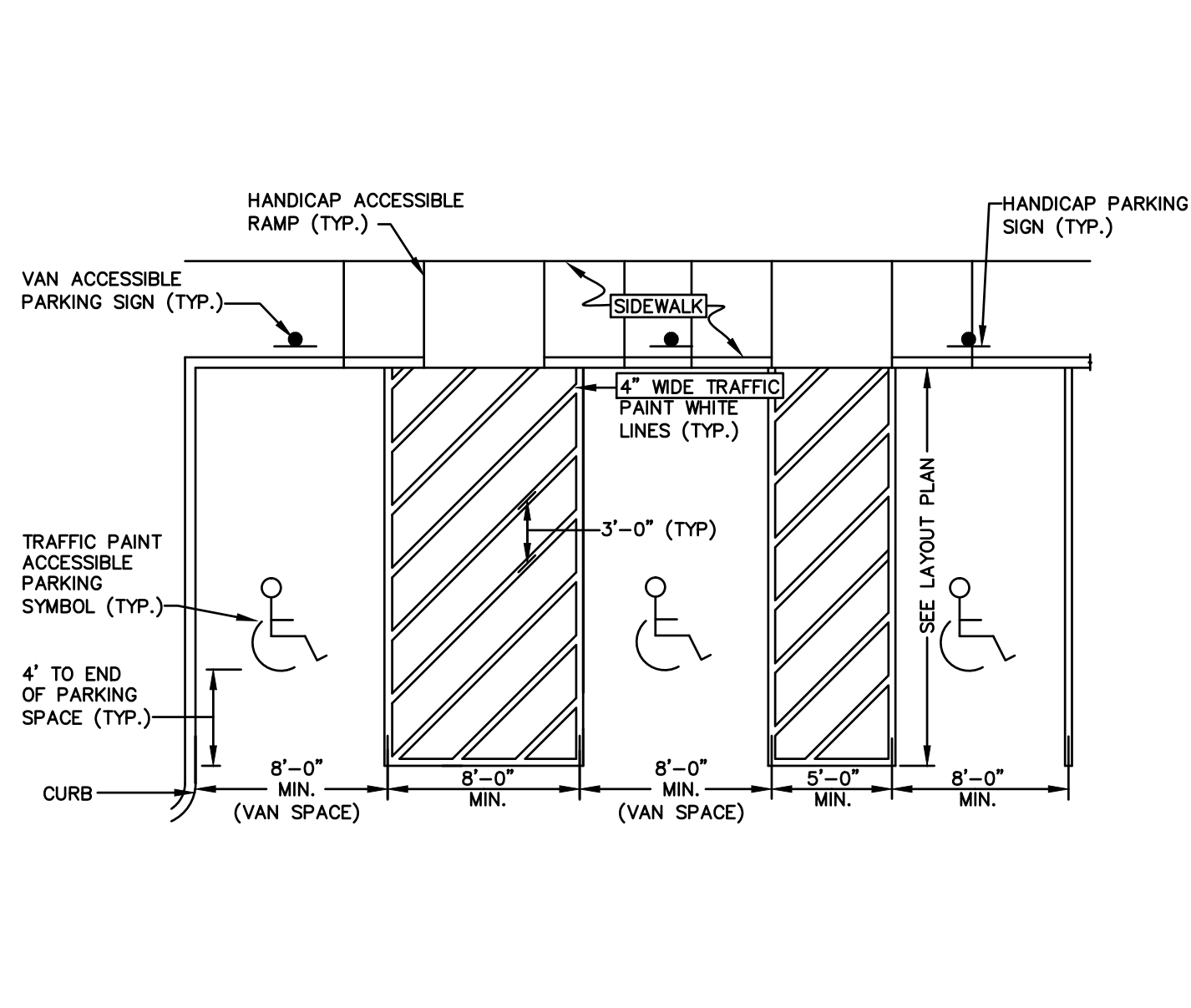
TYPICAL SIGN SUPPORT

SCALE: NONE



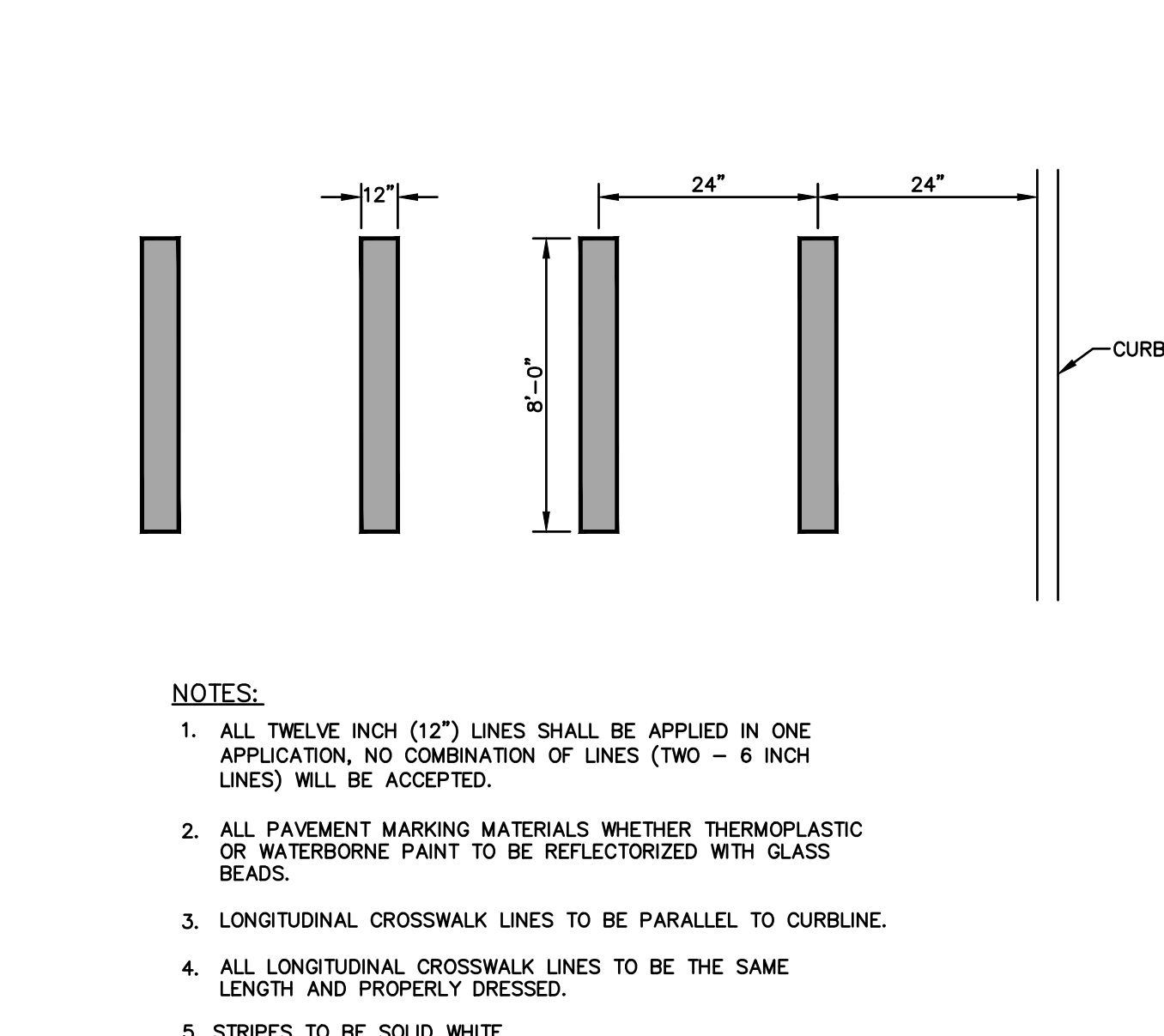
PAINTED PAVEMENT MARKINGS ACCESSIBLE PARKING SYMBOL & ACCESSIBLE PARKING SIGN

SCALE: NONE



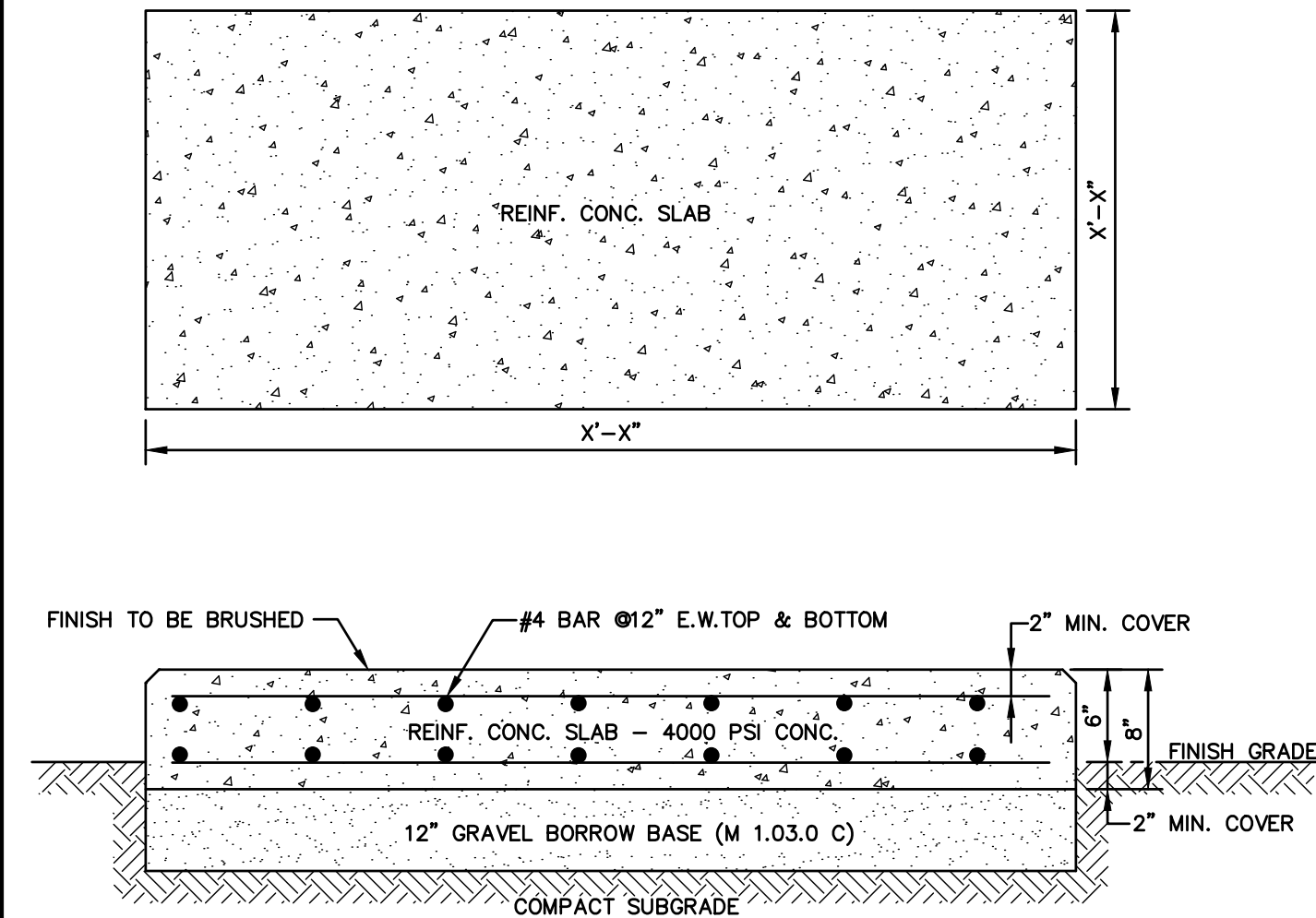
PAINTED PAVEMENT MARKINGS ACCESSIBLE PARKING SPACE

SCALE: NONE



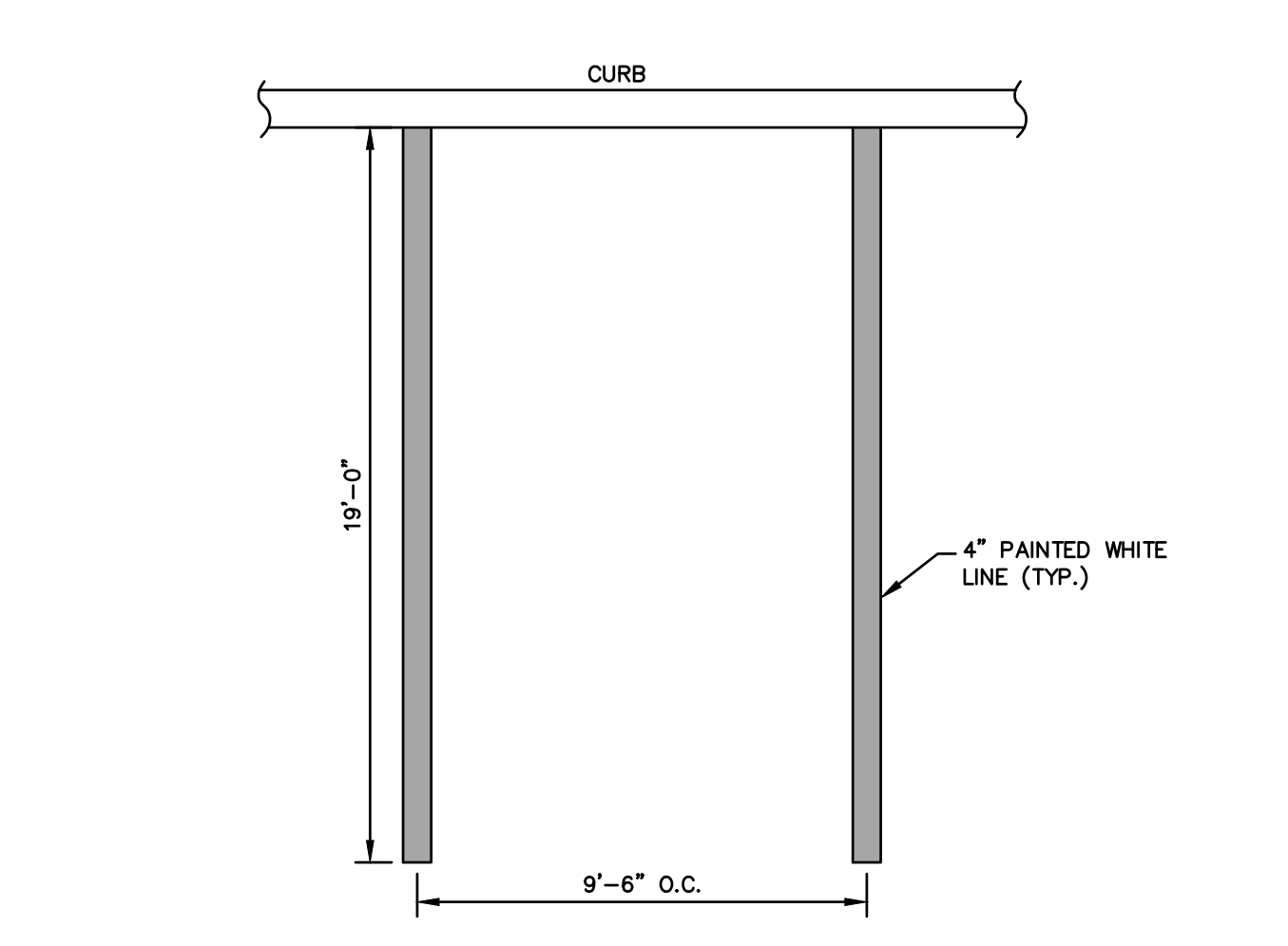
PEDESTRIAN CROSSWALK MARKINGS

SCALE: NONE



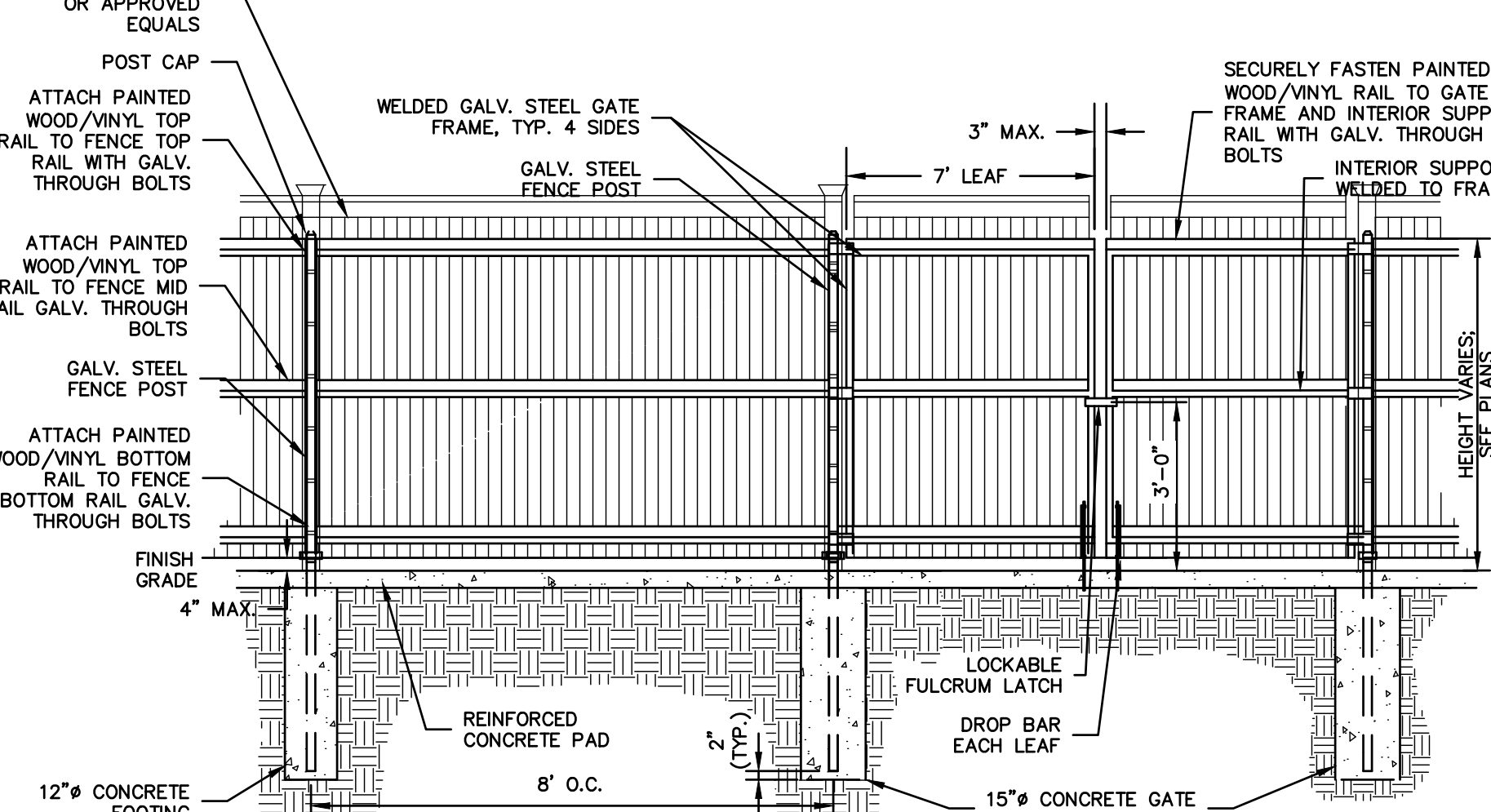
REINFORCED CONCRETE PAD

SCALE: NONE



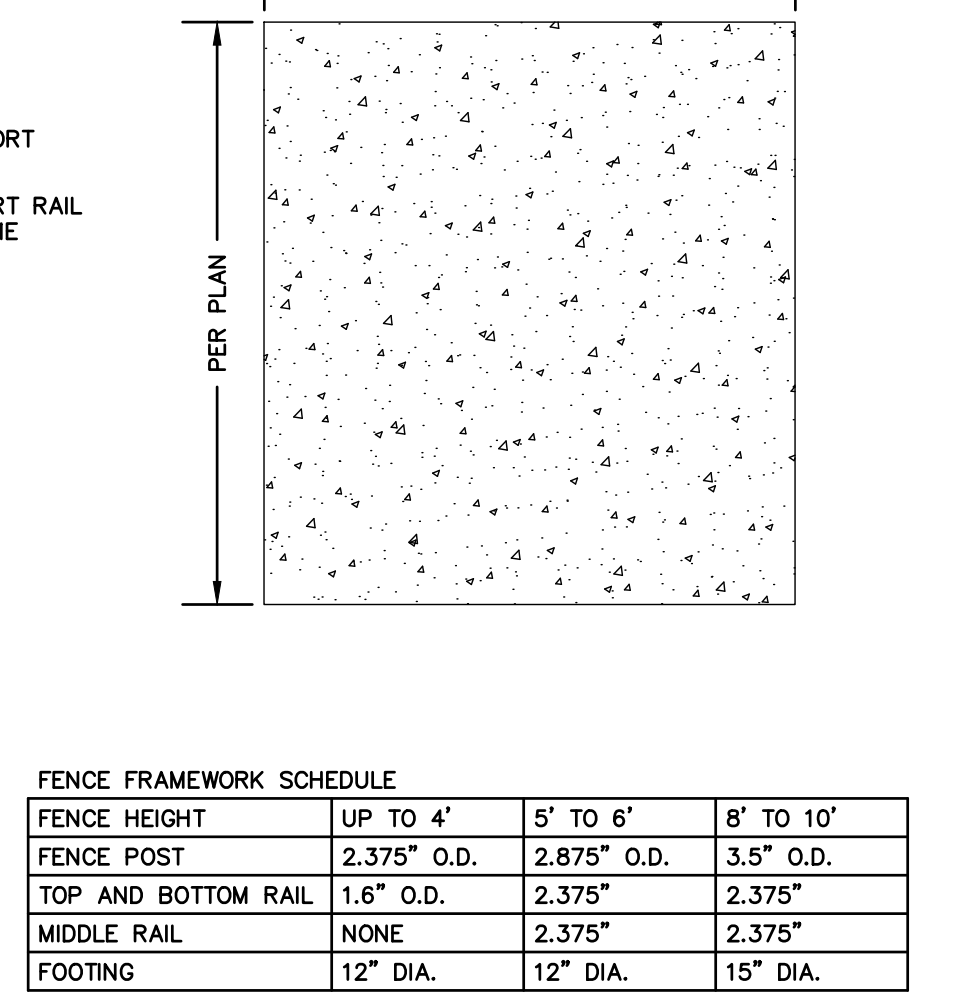
STANDARD PAINTED PARKING MARKINGS

SCALE: NONE



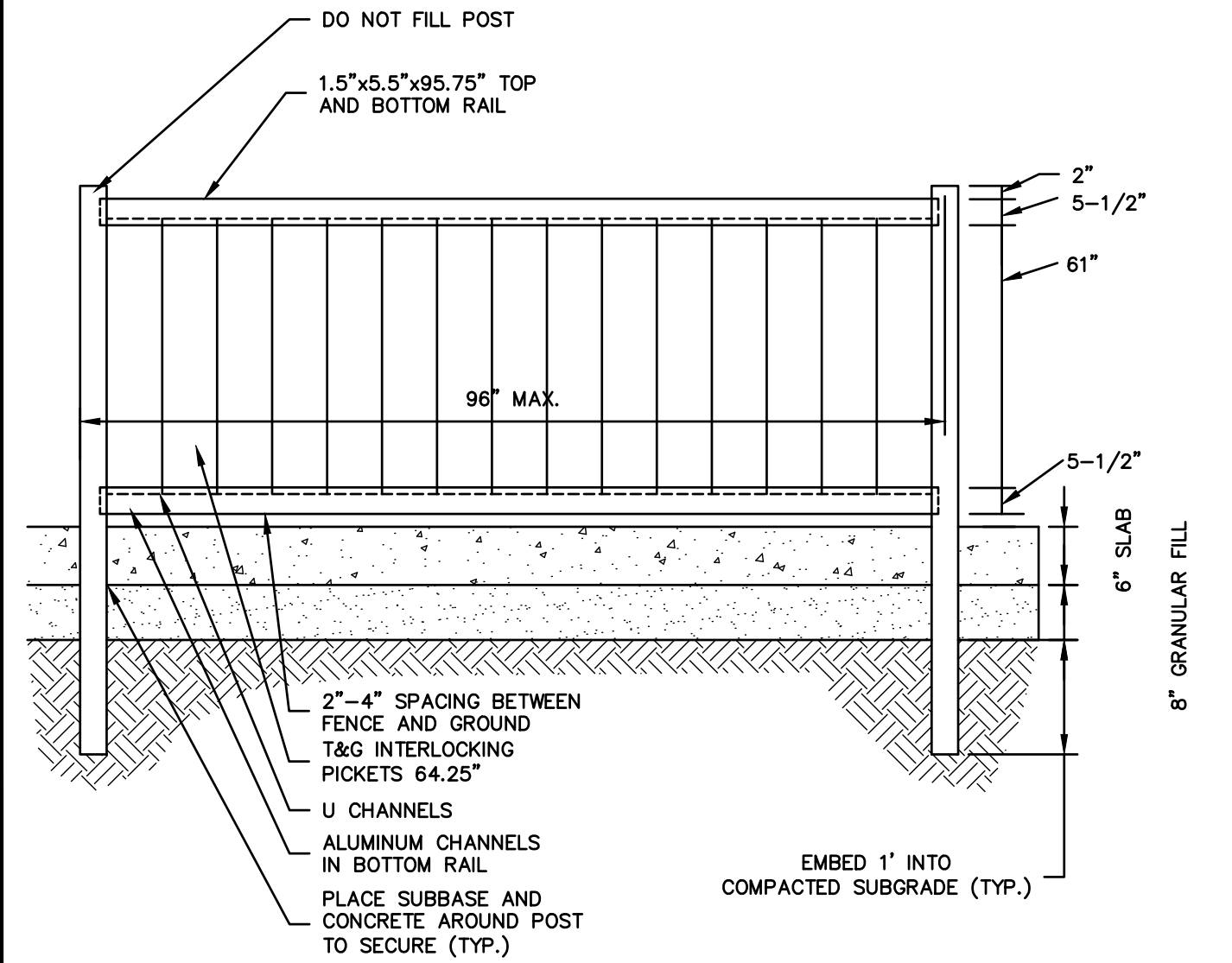
DUMPSTER ENCLOSURE

SCALE: NONE



FENCE FRAMEWORK SCHEDULE			
FENCE HEIGHT	UP TO 4'	5' TO 6'	8' TO 10'
FENCE POST	2.375" O.D.	2.875" O.D.	3.5" O.D.
TOP AND BOTTOM RAIL	1.6" O.D.	2.375"	2.375"
MIDDLE RAIL	NONE	2.375"	2.375"
FOOTING	12" DIA.	12" DIA.	15" DIA.

GATE FRAMEWORK SCHEDULE			
GATE LEAF WIDTH	6'H OR LESS	>6'H - <12'H	12'H OR MORE
GATE POST	2.875" O.D.	4" O.D.	4" O.D.
GATE FRAME (4 SIDES)	2"	2.375"	2.375"
INTERIOR SUPPORT	NONE	2.375"	2.375"
HEAVY DUTY HINGE	3 PER LEAF	3 PER LEAF	4 PER LEAF
FOOTING	12" DIA.	15" DIA.	15" DIA.

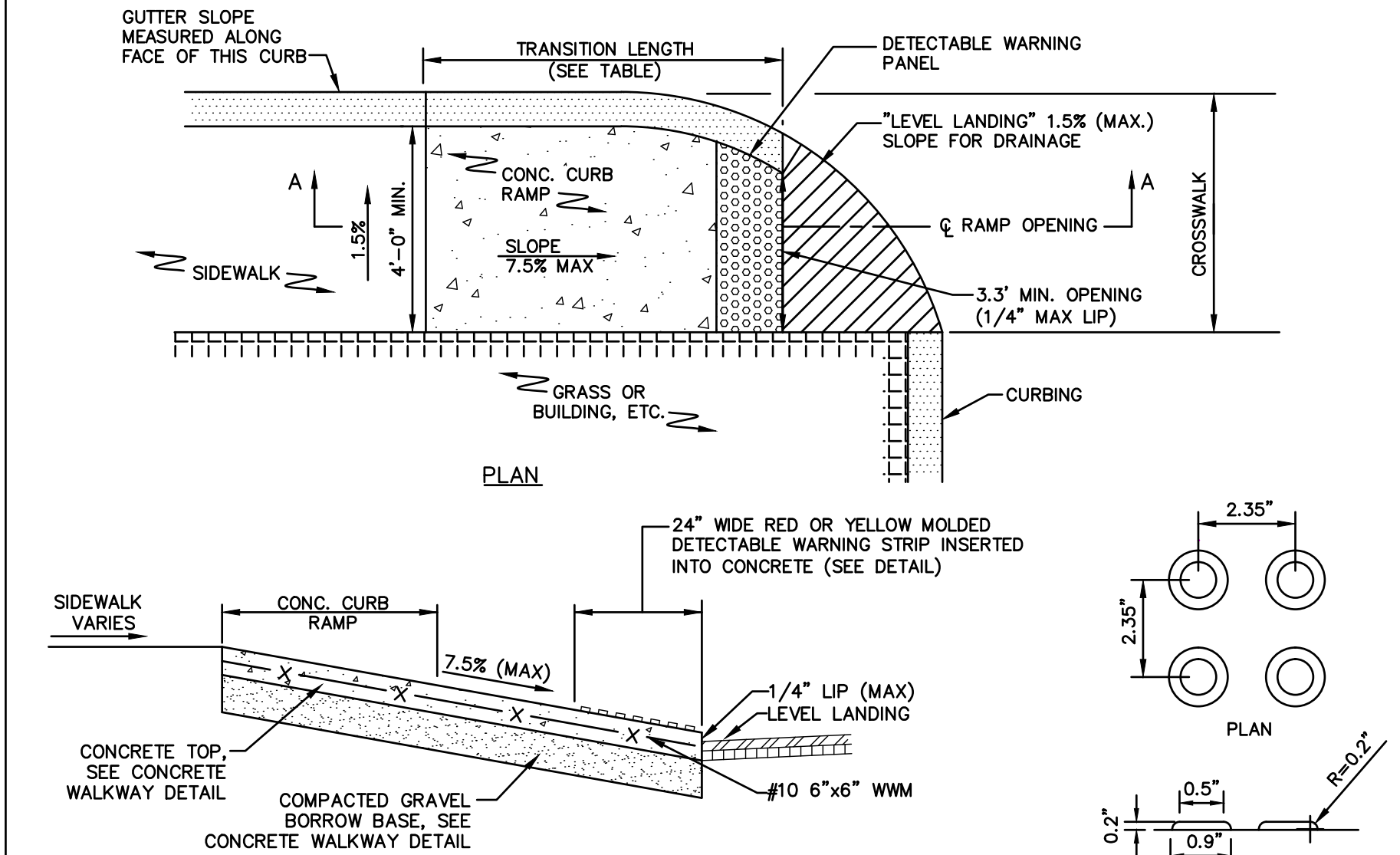


GENERAL NOTES

- FENCE SHALL BE "THE SAVANNAH PRIVACY FENCE" AS MANUFACTURED BY USA VINYL FENCE COMPANY OR ENGINEER-APPROVED EQUAL.
- COLOR SHALL BE WOOD-GRAIN KANYON. SUBMIT CONFIGURING COLOR SAMPLE FOR APPROVAL.

6" VINYL PRIVACY FENCE

SCALE: NONE



ACCESSIBLE CURB RAMP TYPE 'B' - SINGLE DIRECTION WITH LEVEL ENTRANCE

SCALE: NONE

CURB TRANSITION LENGTH FOR WHEELCHAIR RAMPS	
ROADWAY PROFILE GRADE (%)	TRANSITION LENGTH ROUNDED TO THE NEAREST 4"
0 OR LOW SIDE	6'-6"
>0 - 1	7'-8"
>1 - 2	9'-0"
>2 - 3	11'-0"
>3 - 4	14'-0"
>4	15'-0" (MAX)

NOTES:

- SLOPE TOLERANCE FOR RAMP AND SIDEWALK CONSTRUCTION = $\pm 0.50\%$
- THE MAX. ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
- THE MAX. ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMPS SHALL BE 7.5%.
- A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E. HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
- BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.

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NOT FOR CONSTRUCTION



DOMINIC RINALDI, PE No. 45074

WOODLAND COVE

3102 CRANBERRY HIGHWAY
IN
WAREHAM MASSACHUSETTS

DETAILS

JANUARY 12, 2018

REVISIONS:

PREPARED FOR:
DAKOTA PARTNERS
1264 MAIN STREET
WALTHAM, MA 02451

BSC GROUP
803 Summer Street
Boston, Massachusetts
02127
617 896 4300

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SCALE: AS SHOWN

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DWG. NO:
JOB. NO: 83669.00

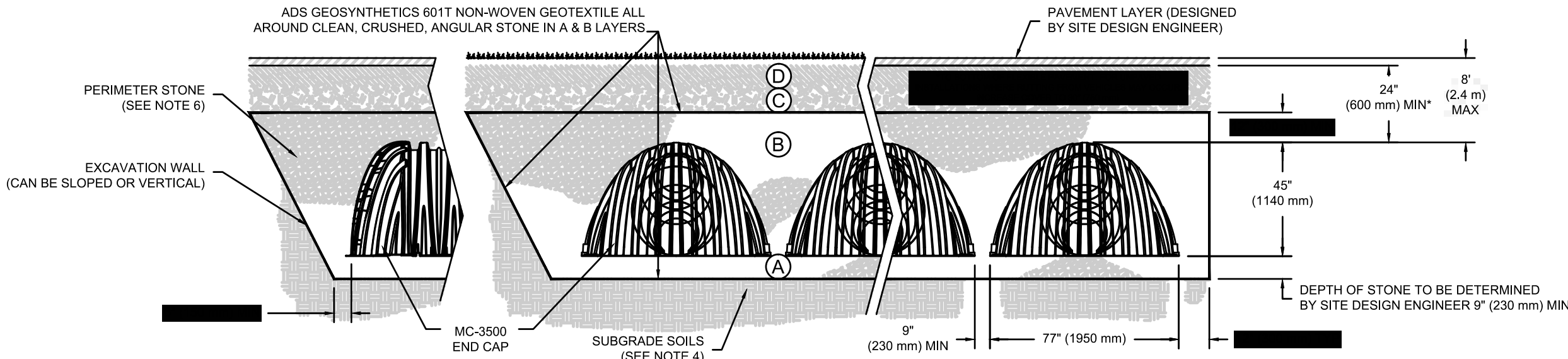
C-6.1

SYSTEM	BOTTOM STONE ELEVATION	BOTTOM CHAMBER ELEVATION	TOP STONE ELEVATION	TOP CHAMBER ELEVATION	INVERT IN	INVERT OUT
1	70.45	71.20	75.95	74.95	73.84	74.00
2	68.95	69.70	74.45	73.45	72.34	72.50
3	64.50	65.25	70.00	69.00	67.89	68.05
4	64.00	64.75	69.50	68.50	67.39	67.55
5	65.50	66.25	71.00	70.00	68.89	69.05
6	66.65	67.40	72.15	71.15	70.14	70.30
7	65.16	65.91	70.66	69.66	66.00	66.00

ACCEPTABLE FILL MATERIALS: STORMTECH MC-3500 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145 ¹ A-1, A-2-4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ¹ 3, 4	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ¹ 3, 4	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{1, 2}

PLEASE NOTE:
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE.
2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.

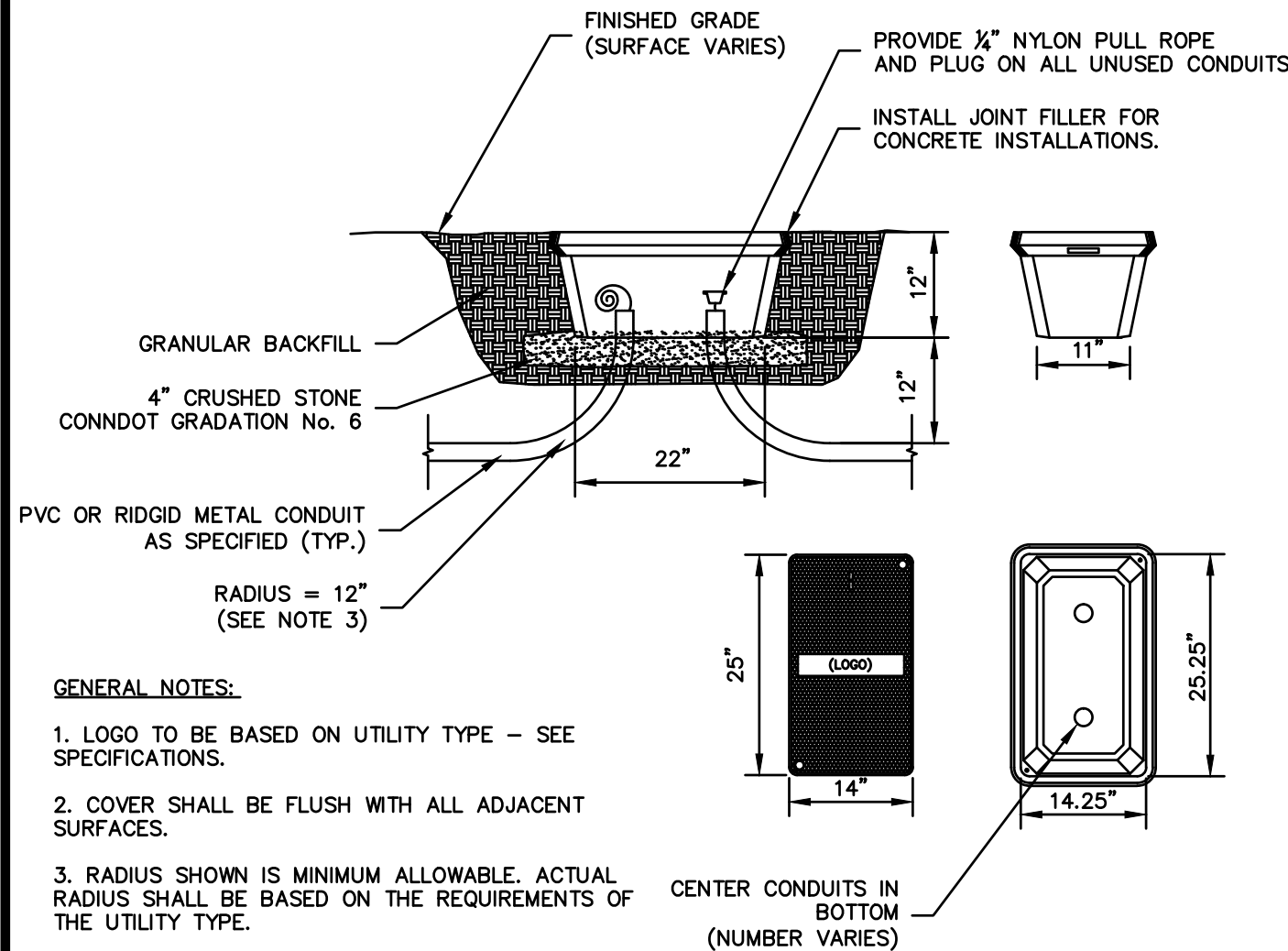


NOTES:

- MC-3500 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- MC-3500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

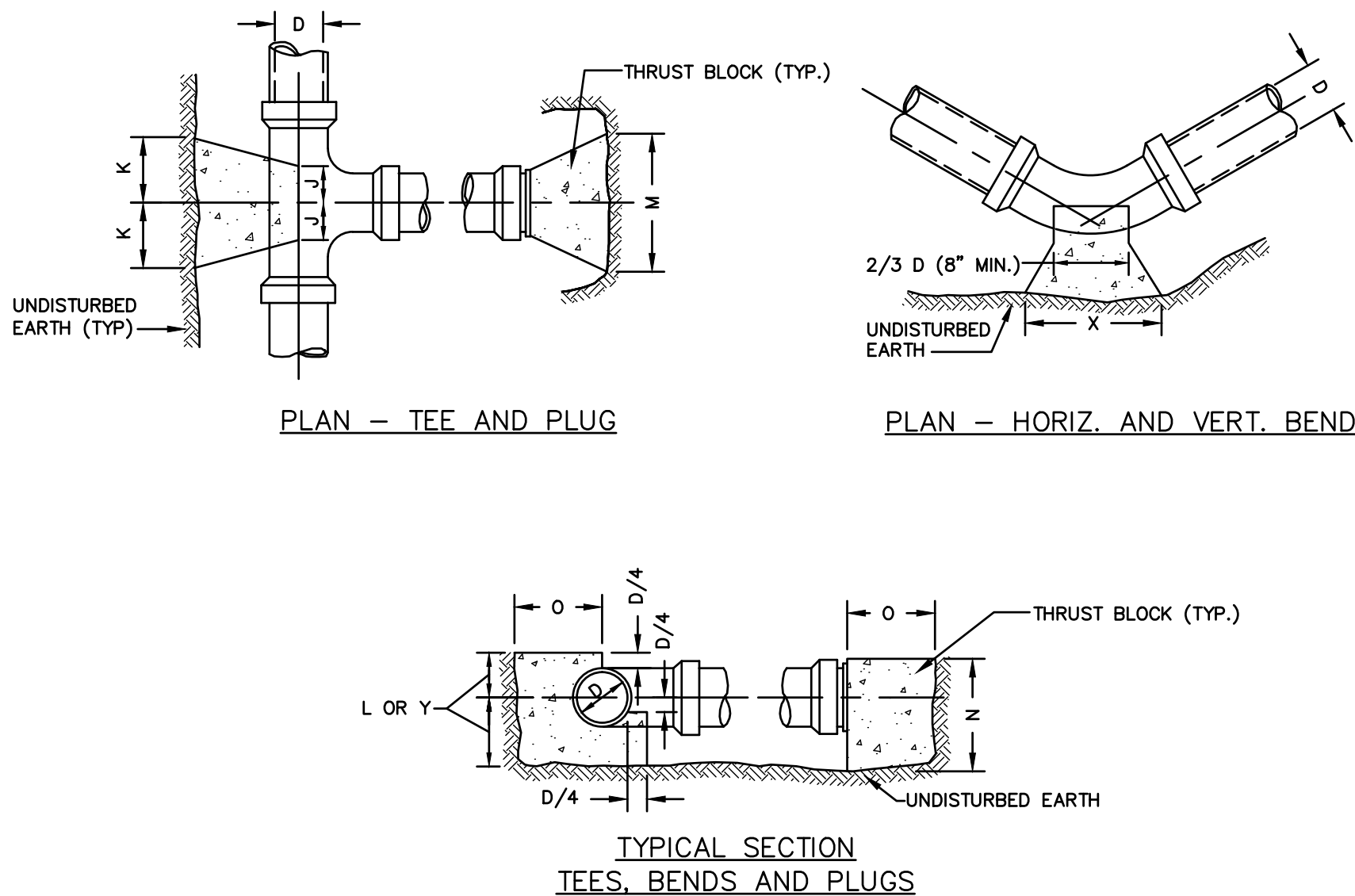
UNDERGROUND INFILTRATION SYSTEM

SCALE: NONE



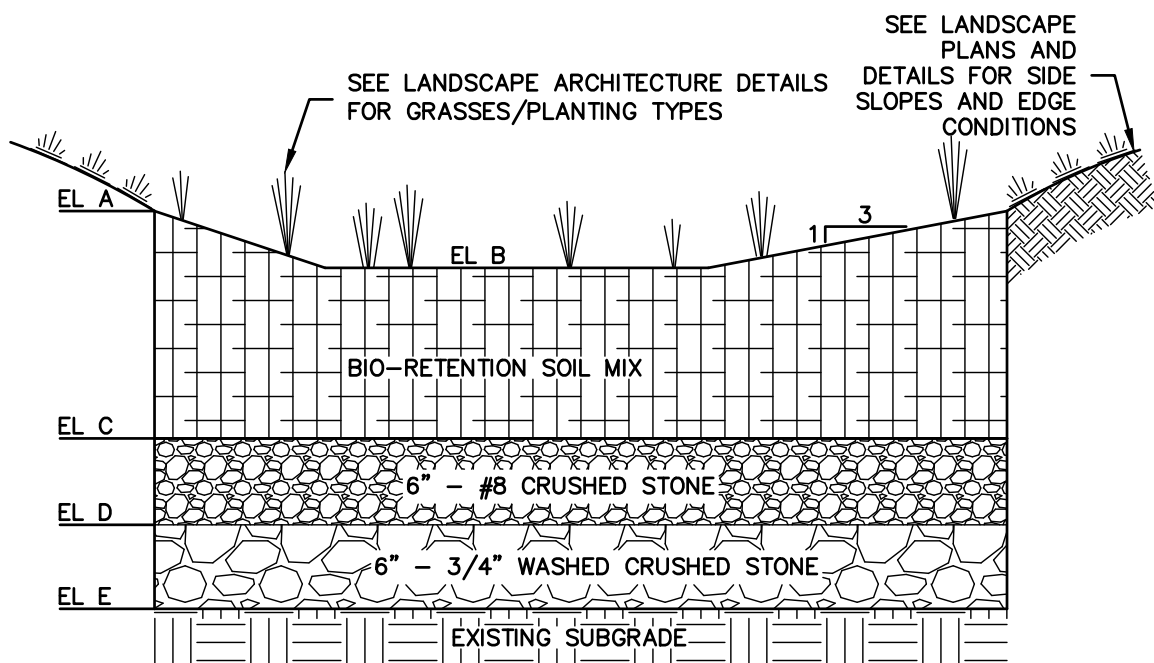
HAND HOLE

SCALE: NONE



CONCRETE THRUST BLOCK FOR PRESSURE PIPE

SCALE: NONE

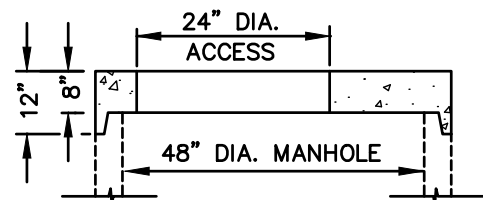


RAIN GARDEN ID	EL A	EL B	EL C	EL D	EL E
1	64.00	62.50	61.50	61.00	60.50
2	72.00	69.50	68.50	68.00	67.50
3	72.00	69.50	68.50	68.00	67.50

- PLANTING MEDIUM NOTES:
- PARTICLE SIZE DISTRIBUTION SHALL BE TESTED IN ACCORDANCE WITH ASTM D422.
 - PARTICLE SIZE DISTRIBUTION BY SEPARATES:
 - EXCLUDE ALL MATERIAL THAT DOES NOT PASS A STANDARD #4 SIEVE (LARGER THAN 4.76mm)
 - VERY COARSE SAND/GRAVEL (2.0-4.76mm): 5% MAX. (% BY DRY WEIGHT)
 - SAND (0.42mm-2.0mm): 60-80% (% BY DRY WEIGHT)
 - SILT (0.075mm-0.42mm): 20% MAX. (% BY DRY WEIGHT)
 - CLAY (LESS THAN 0.075mm): 5% MAX. (% BY DRY WEIGHT)
 - ORGANIC MATTER SHALL BE 5-5% BY VOLUME WITH MAXIMUM 500 ppm SOLUBLE SALTS
 - SOIL SHALL HAVE A pH BETWEEN 5.5 AND 7.0
 - CEC OF TOTAL SOILS MIN. 10 meq/100 ml at pH OF 7.0
 - NO COMPOST SHALL BE INCLUDED IN THE PLANTING MEDIUM

BIO-RETENTION AREAS

SCALE: NONE



ALTERNATE TOP SLAB
(STEEL REINFORCED FOR H-20 LOADING)

NOTES:

- ALL SECTIONS SHALL BE DESIGNED FOR H-20 LOADING.
- COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
- ALL EXTERIOR SURFACES SHALL BE GIVEN TWO COATS OF BITUMINOUS WATER-PROOFING MATERIAL.
- JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
- MUNICIPAL STANDARD SEWER MANHOLE FRAME AND COVER SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYP., 5 BRICK COURSES MAX.)
- 5'-0" DIAMETER FOR ALL MANHOLE DEPTHS GREATER THAN 20 FEET OR WHEN ORDERED BY THE ENGINEER OR FOR INTERIOR DROP CONNECTIONS AND ALL FORCE MAIN CONNECTION MANHOLES.
- 6" MINIMUM WALL THICKNESS AND 7" MINIMUM BASE THICKNESS WITH 5'-0" DIAMETER MANHOLES.
- 4" TO 6" VERTICAL SURFACE AT THE TOP OF THE TRANSITION OR CONE SECTION REQUIRED TO ALLOW AIR-VACUUM TESTING OF THE MANHOLE DURING INSTALLATION.
- MAXIMUM FIRST PIPE LENGTH FROM MANHOLE 3'-0".

SANITARY SEWER MANHOLE

SCALE: NONE

SIZE OF BRANCH	J	K	L	M	N	O
4" THRU 8"	10"	10"	1'-0"	2'-0"	1'-6"	10"
10" THRU 16"	1'-0"	1'-6"	1'-8"	3'-10"	2'-10"	1'-6"
24"	1'-4"	2'-0"	2'-6"	5'-0"	3'-6"	1'-8"

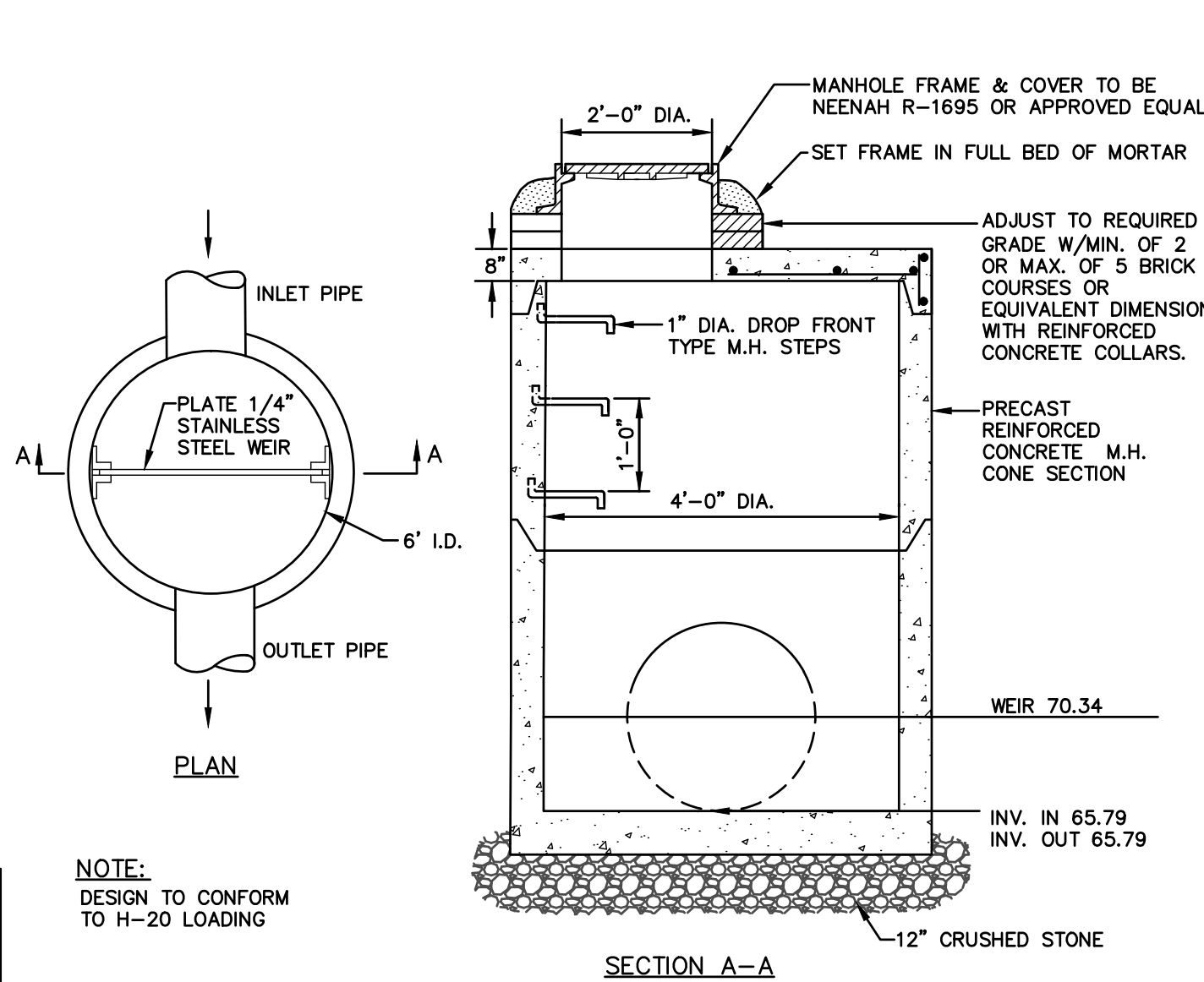
TEES AND PLUGS

	90 & 45 BENDS	22 1/2 & 11 1/4
D	4" TO 8" 10" TO 16"	24" 4" TO 8" 10" TO 16"
X	1'-8" 3'-4"	3'-6" 1'-4" 2'-0" 3'-6"
Y	1'-2" 1'-8"	2'-4" 1'-0" 1'-2" 2'-4"

BENDS

NOTES:

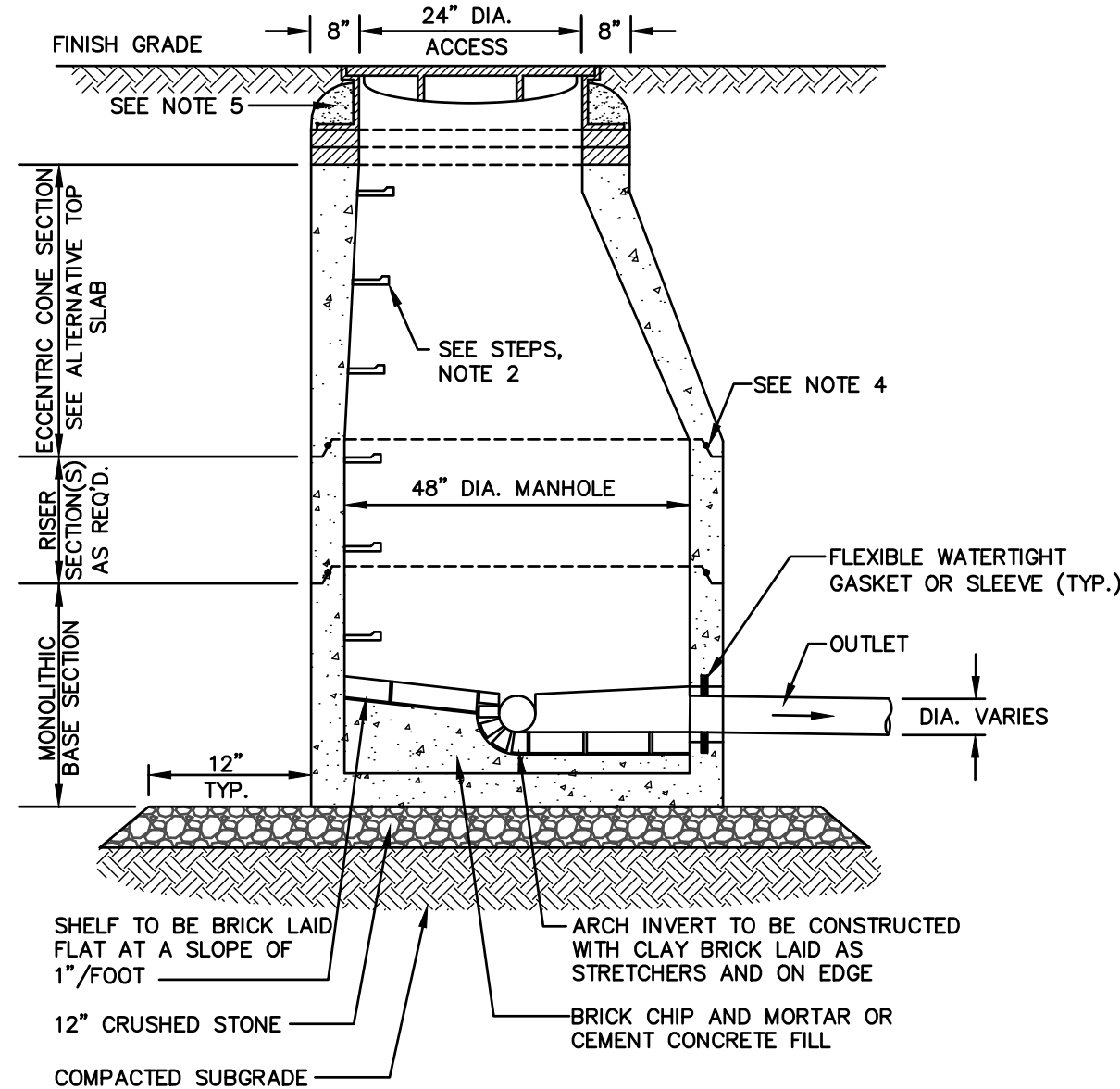
- PROVIDE 3000 psi CONCRETE THRUST BLOCKS AT ALL BENDS, DEAD ENDS, & TEES UNLESS OTHERWISE DIRECTED. CONCRETE FOR ALL THRUST BLOCKS TO BE PLACED AGAINST FIRM, UNDISTURBED SOIL. PROVIDE APPROVED ANCHOR HARNESS RODS & SOCKET CLAMPS AS SPECIFIED & IN ACCORDANCE WITH PIPE MANUFACTURERS RECOMMENDATIONS WHERE SOIL HAS BEEN DISTURBED OR THRUST BLOCKS CANNOT BE USED, AS DIRECTED BY THE ENGINEER.
- ALL SOCKET CLAMP METAL SHALL BE COATED WITH BLACK ASPHALTUM OR OTHER WATER DEPARTMENT APPROVED COATINGS.
- CONCRETE THRUST BLOCKS POURED BEHIND 3-WAY TEE & HYDRANT SHOE TO BE USED WITH SOCKET CLAMPS.
- NO CONCRETE SHALL COVER PIPE JOINTS, FITTING JOINTS, BOLTS OR HYDRANT DRAINS.



NOTE:
DESIGN TO CONFORM
TO H-20 LOADING

OUTLET CONTROL STRUCTURE

SCALE: NONE



DOMINIC RINALDI, PE No. 45074

WOODLAND COVE

3102 CRANBERRY
HIGHWAY
IN
WAREHAM
MASSACHUSETTS

DETAILS

JANUARY 12, 2018

REVISIONS:

PREPARED FOR:
DAKOTA PARTNERS
1264 MAIN STREET
WALTHAM, MA 02451

BSC GROUP
803 Summer Street
Boston, Massachusetts
02127 617 896 4300

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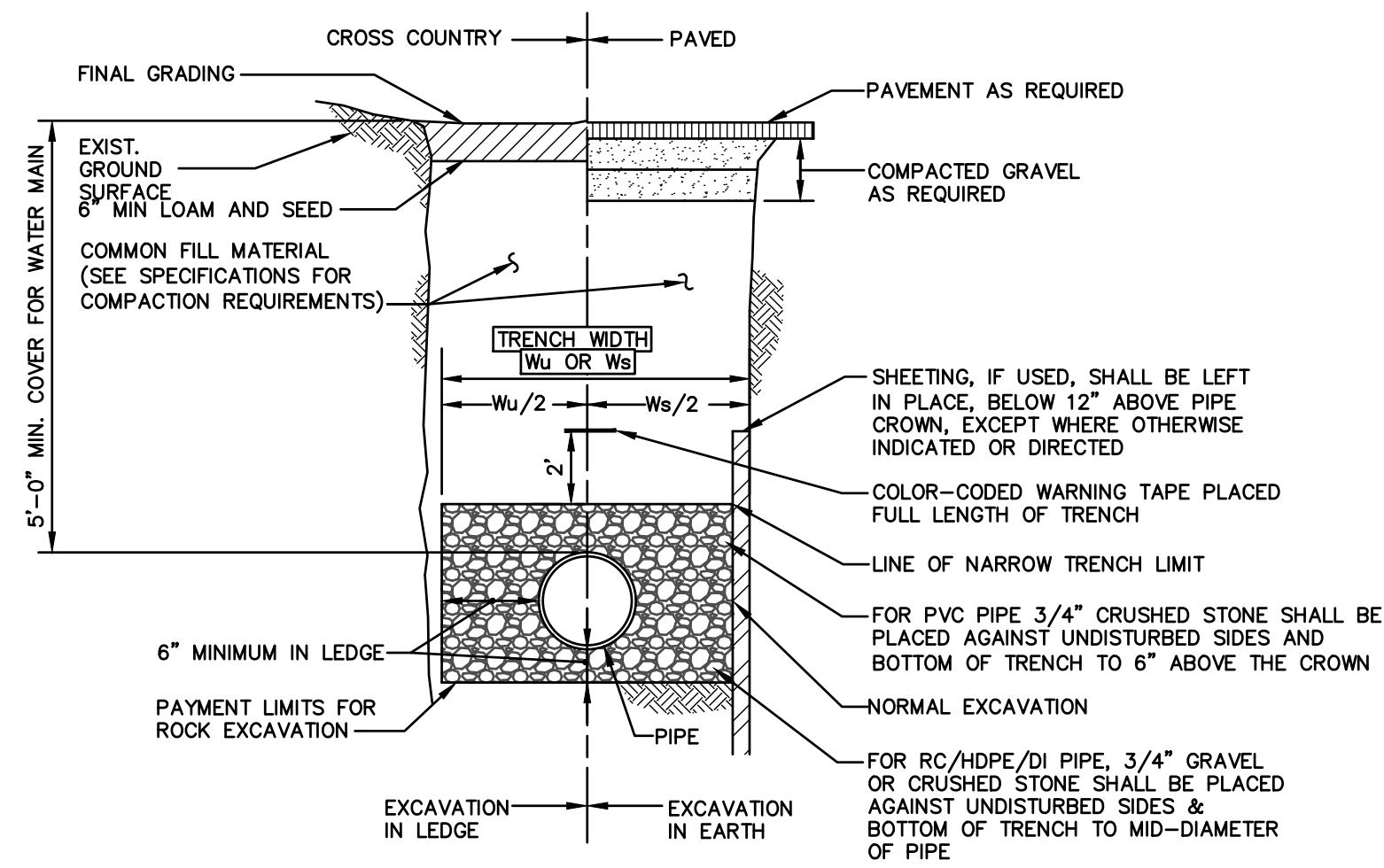
FILE: 8366900-DET.DWG
DWG. NO:
JOB. NO: 83669.00

C-6.3

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TYPICAL PIPE TRENCH SECTION

SCALE: NONE

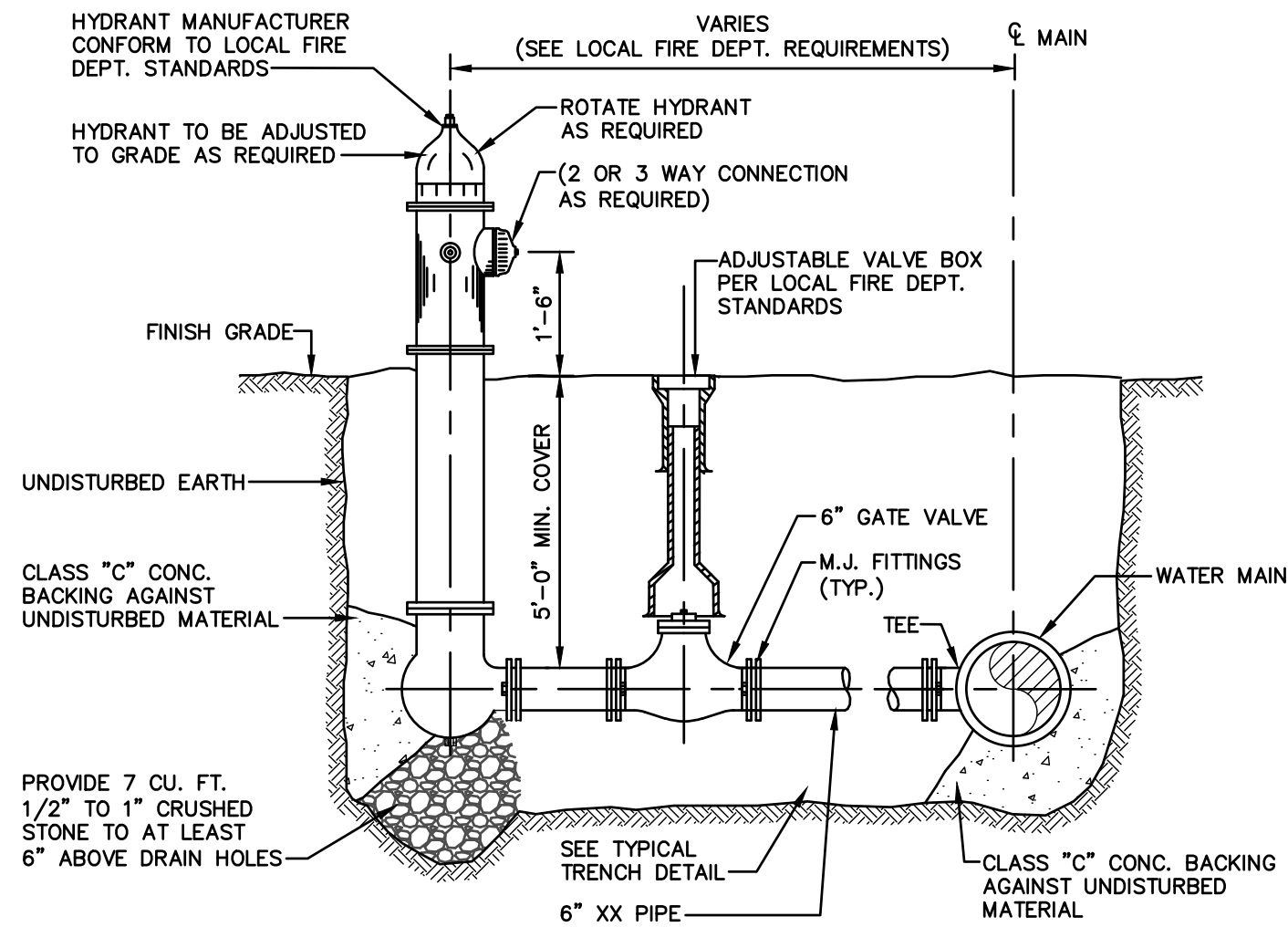


TRENCH WIDTH, Ws OR Wu		
D DIAMETER OF PIPE	Wu UNSHEEDED	Ws SHEEDED
12" AND SMALLER	3'-0"	4'-2"
15"	3'-2"	4'-4"
18"	3'-6"	4'-8"
21"	3'-10"	5'-0"
24"	4'-2"	5'-4"
27"	4'-6"	5'-8"
30"	4'-10"	6'-0"
36"	5'-6"	6'-8"
42"	6'-2"	7'-4"
48"	6'-10"	8'-0"

TRENCH WIDTH DATA

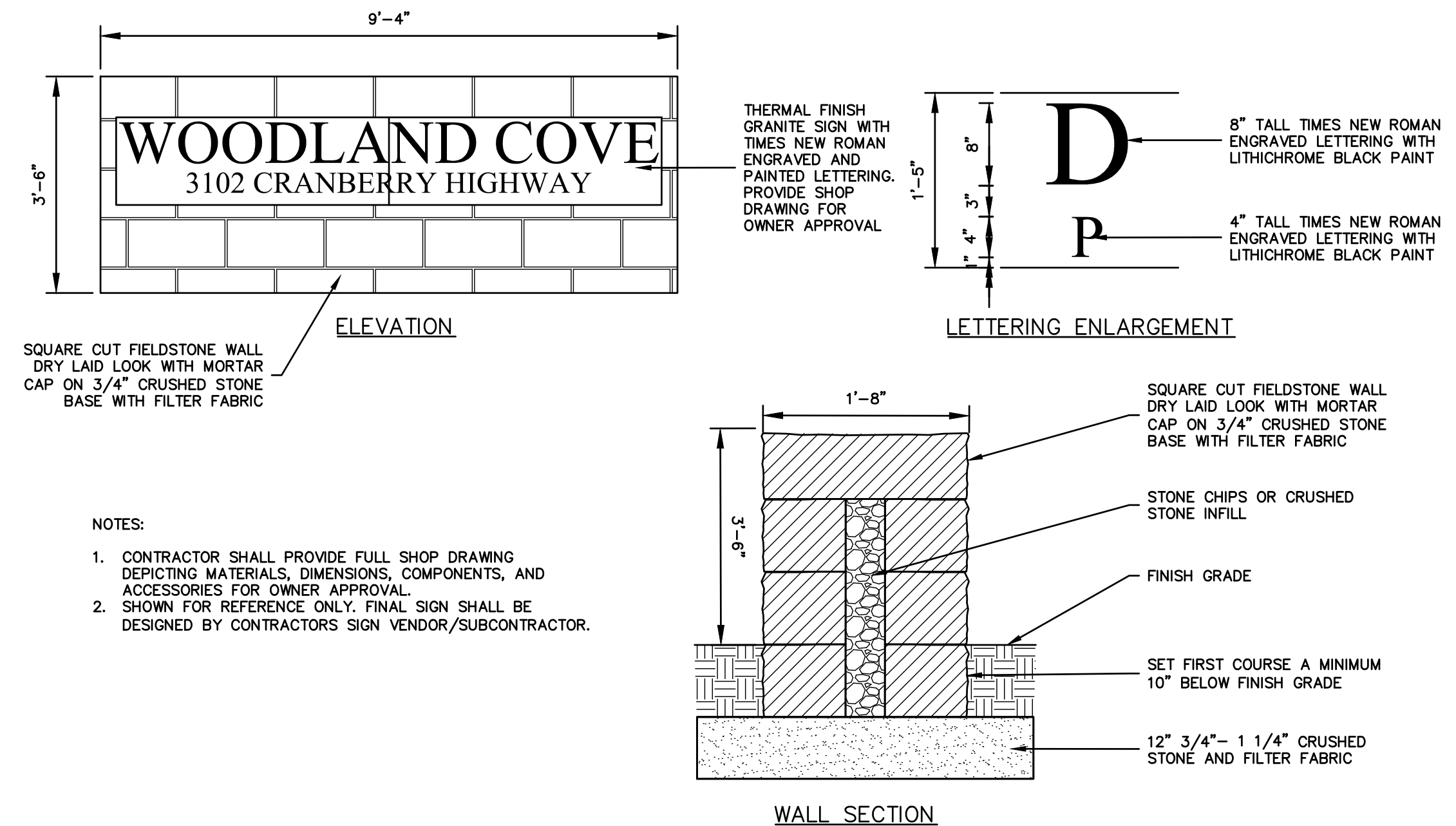
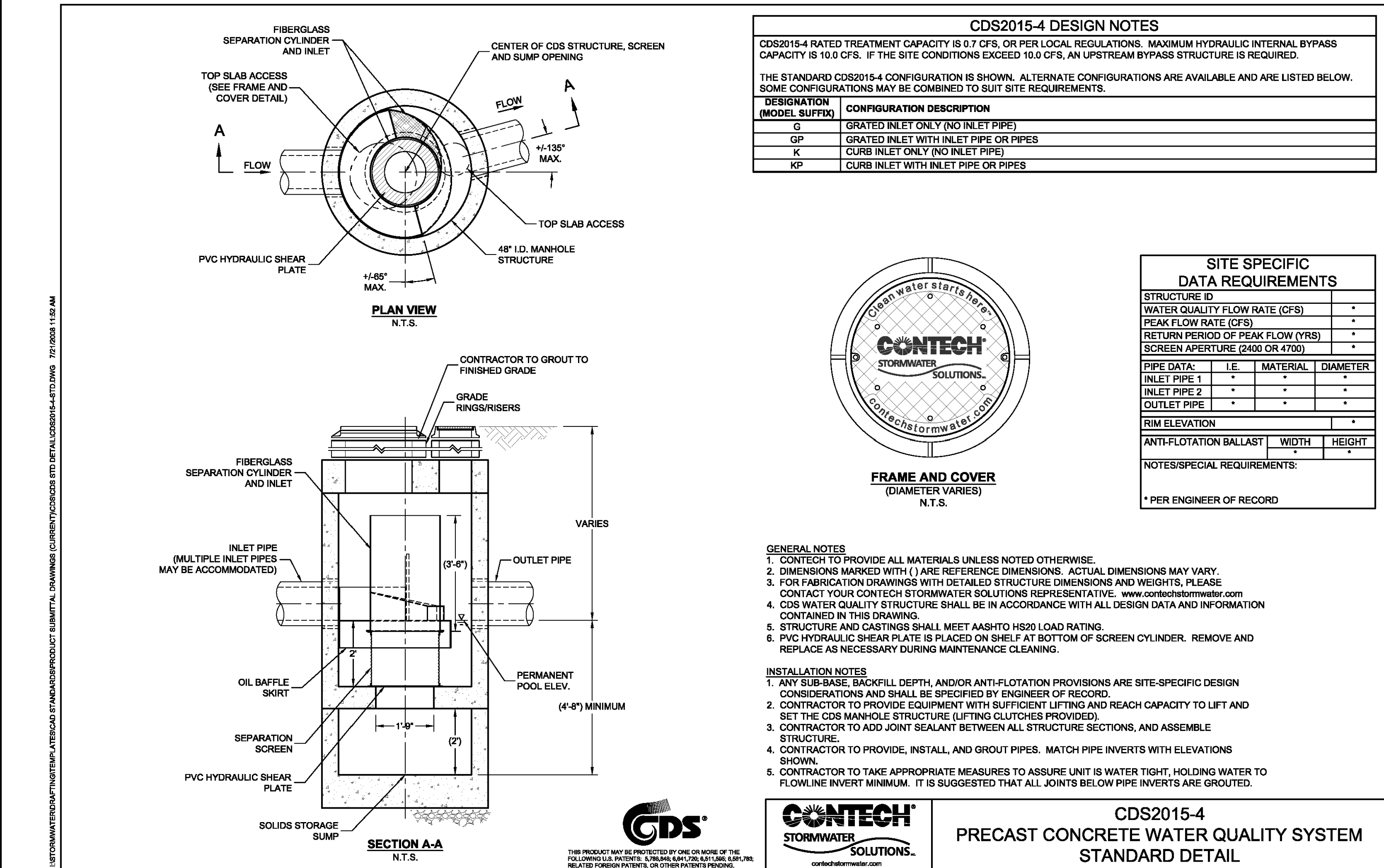
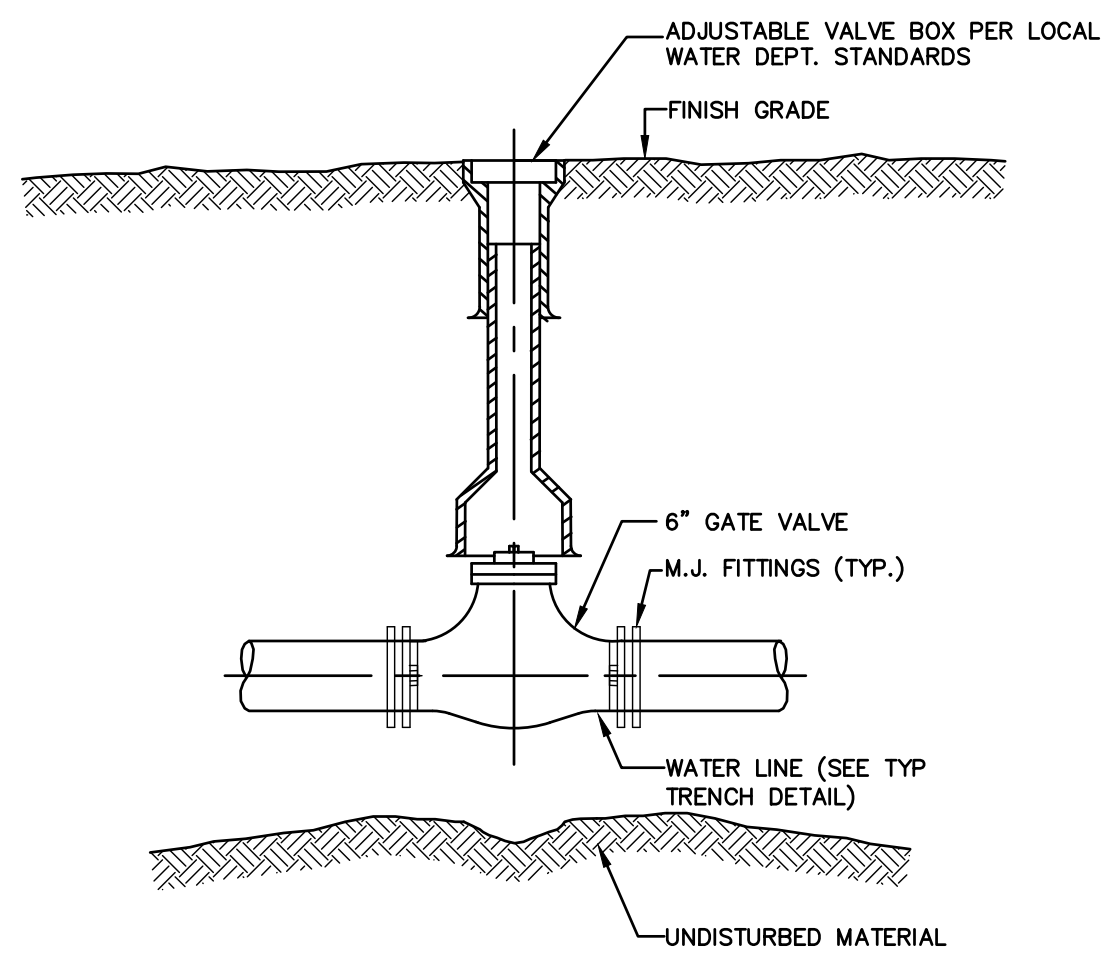
FIRE HYDRANT & VALVE

SCALE: NONE



GATE VALVE

SCALE: NONE



FIELD STONE SIGN

SCALE: NONE

WOODLAND COVE

3102 CRANBERRY
HIGHWAY
IN
WAREHAM
MASSACHUSETTS

DETAILS

JANUARY 12, 2018

REVISIONS:

NO.	DESCRIPTION

PREPARED FOR:
DAKOTA PARTNERS
1264 MAIN STREET
WALTHAM, MA 02451

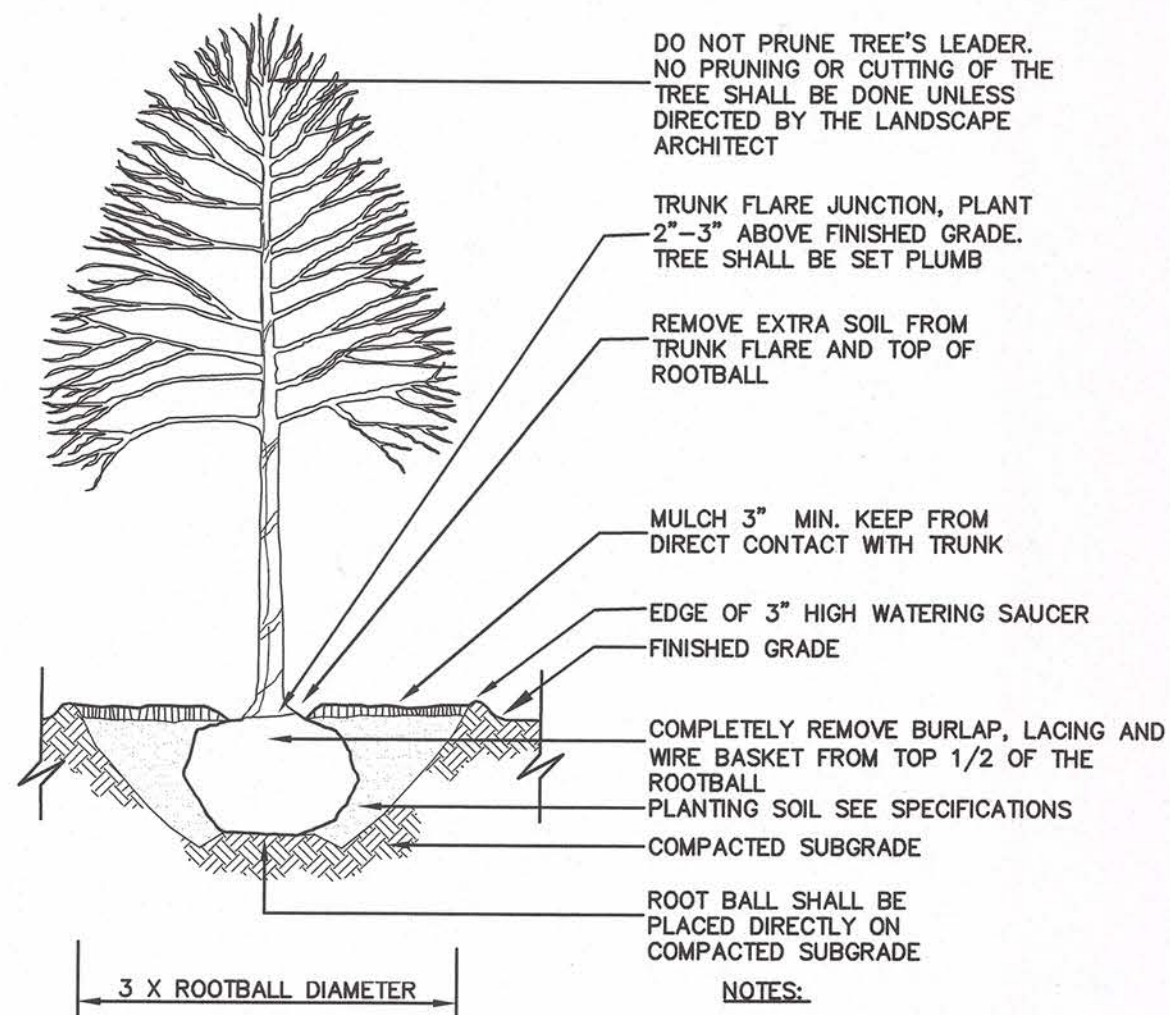
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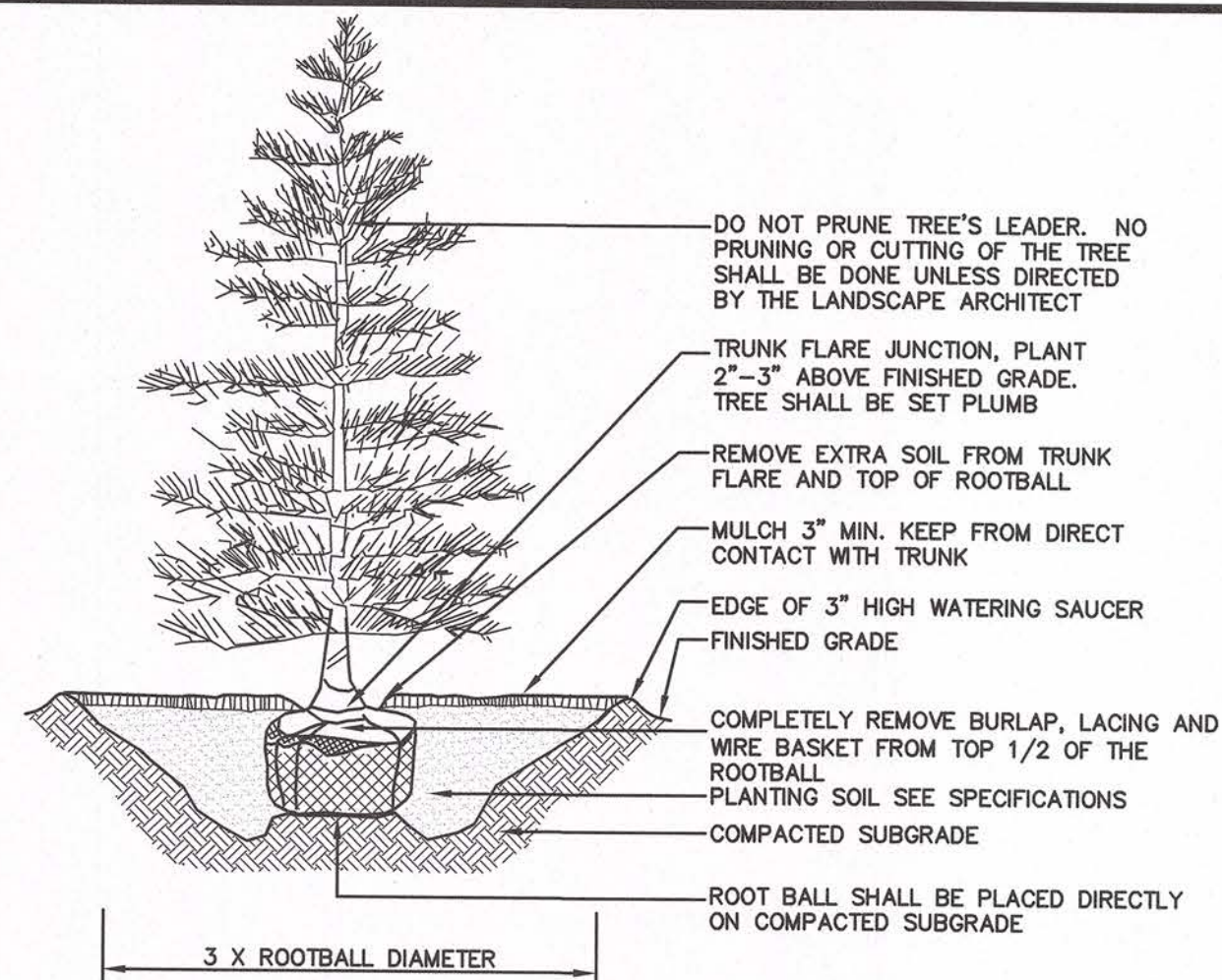
C-6.4



- NOTES:
1. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
 2. SAUCER SHALL BE FLOODED TWICE DURING THE FIRST 24 HOURS AFTER PLANTING.
 3. DO NOT STAKE OR WRAP TREE UNLESS NOTED OTHERWISE.

DECIDUOUS TREE PLANTING

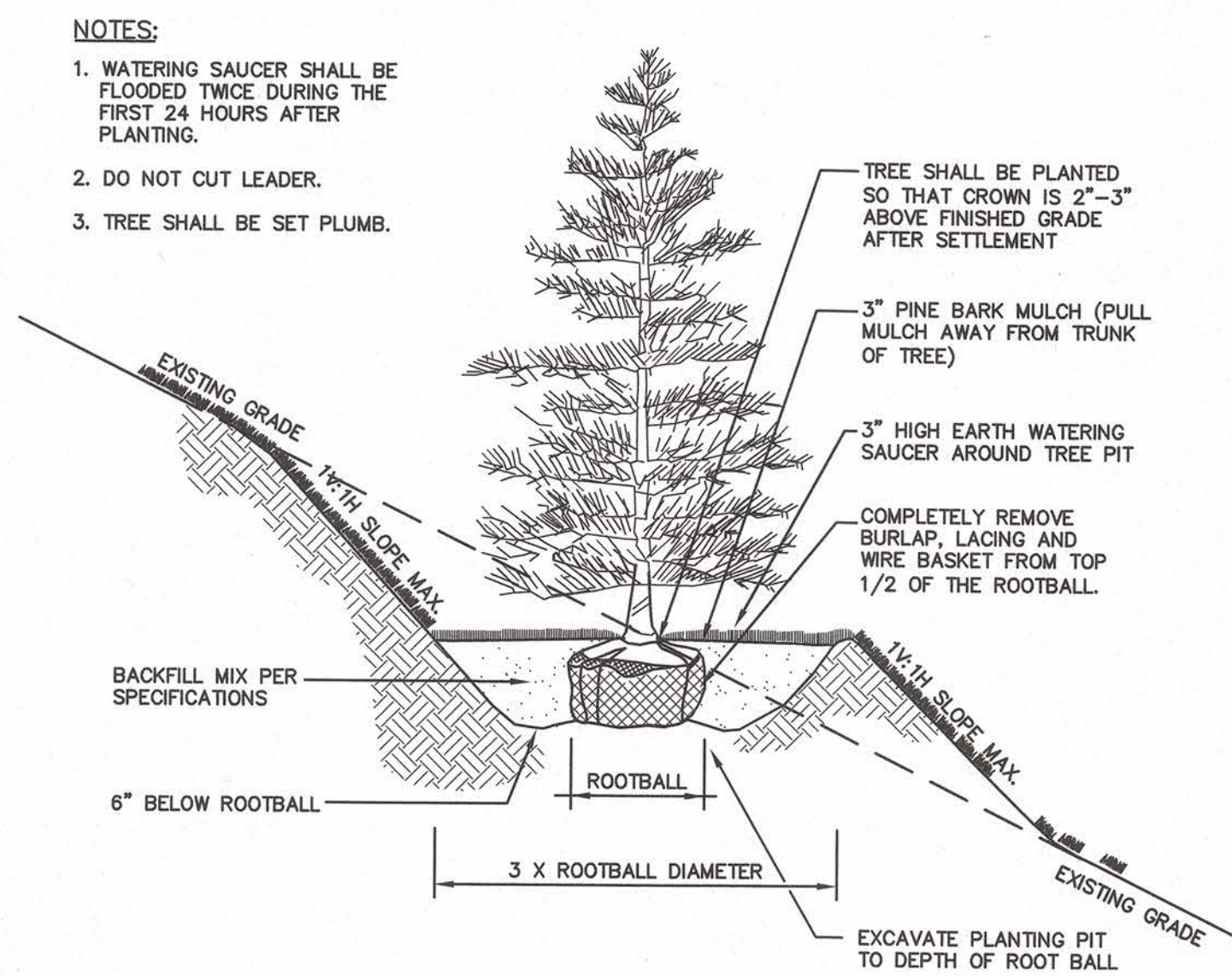
SCALE: NONE



- NOTES:
1. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
 2. SAUCER SHALL BE FLOODED TWICE DURING THE FIRST 24 HOURS AFTER PLANTING.

EVERGREEN TREE PLANTING

SCALE: NONE

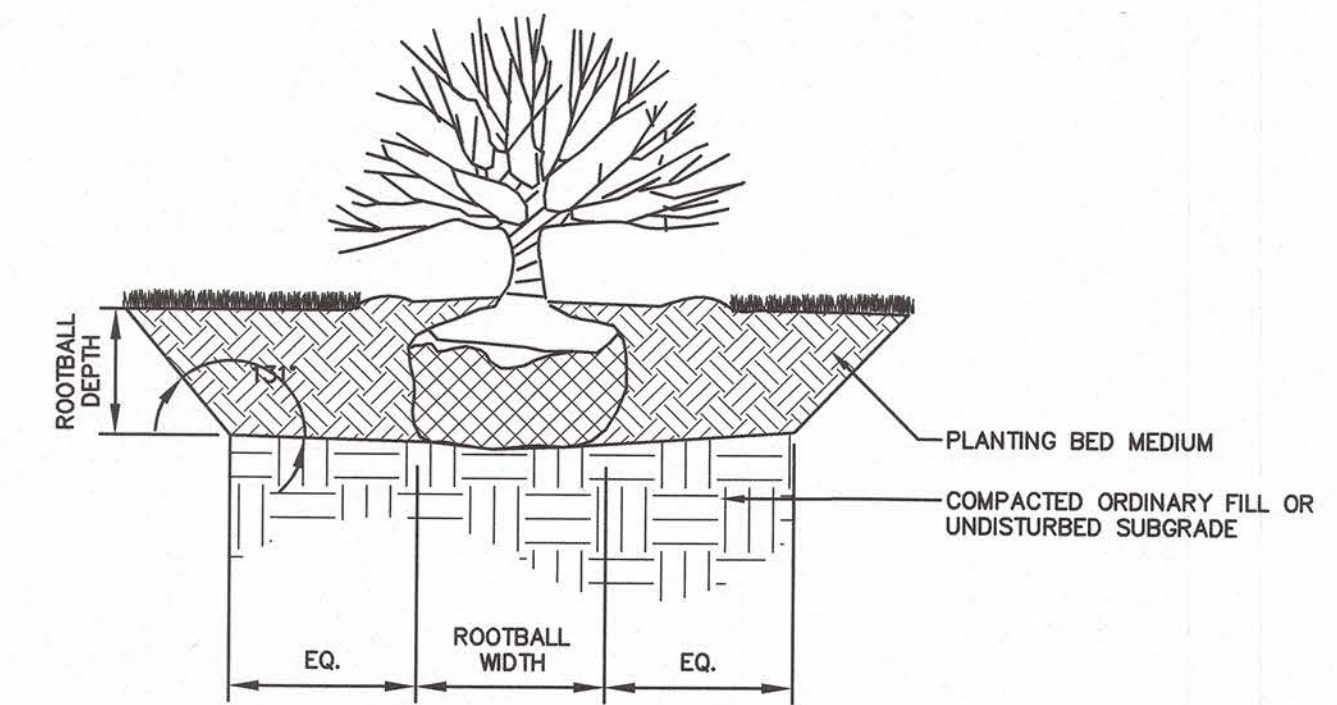


- NOTES:
1. WATERING SAUCER SHALL BE FLOODED TWICE DURING THE FIRST 24 HOURS AFTER PLANTING.
 2. DO NOT CUT LEADER.
 3. TREE SHALL BE SET PLUMB.

TREE (SLOPE PLANTING)

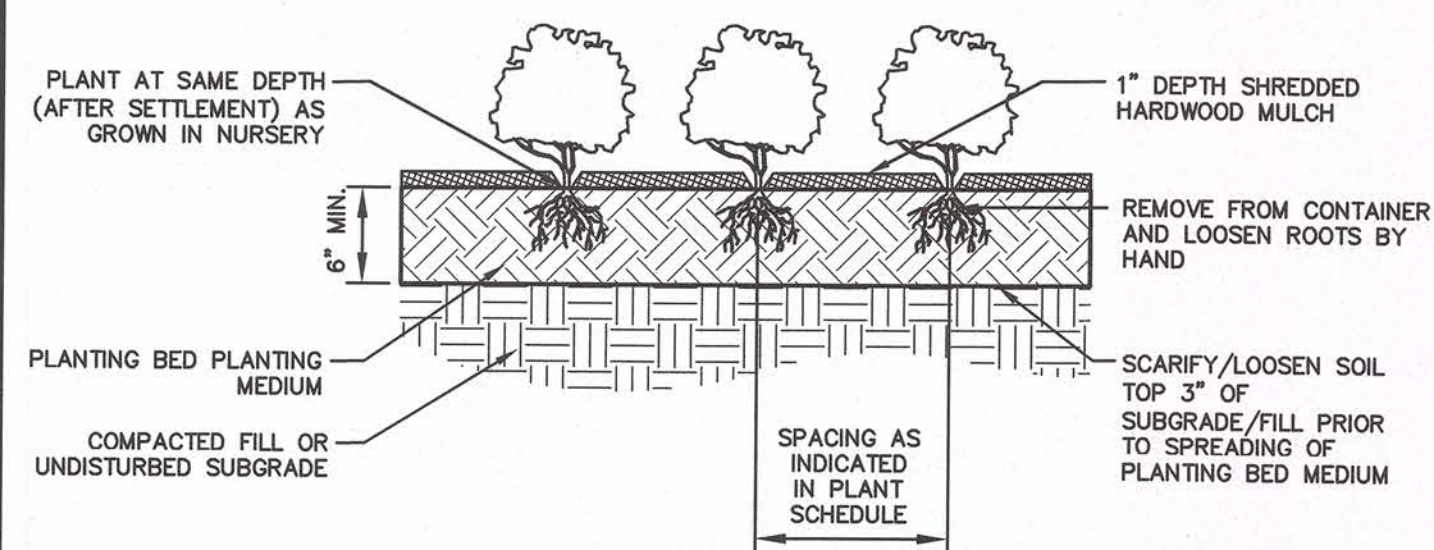
SCALE: NONE

- NOTES:
1. LOOSE OR CRACKED ROOT BALLS ARE UNACCEPTABLE.
 2. EXCAVATE TO REQUIRED DEPTH AND DO NOT EXCAVATE BELOW ROOT BALL DEPTH.
 3. SET SHRUBS PLUMB WITH ROOT FLARE 1" ABOVE FINISHED GRADE, BACKFILL WITH PLANTING MIX.
 4. FLOOD WATERING SAUCER TWICE IN FIRST 24 HOURS AFTER PLANTING.
 5. RAISE AND REPLANT ANY SHRUBS THAT SETTLE AFTER PLANTING & WATERING.
 6. REMOVE 1/3 BURLAP PRIOR TO BACKFILL. SYNTHETIC BURLAP UNACCEPTABLE.
 7. 2" DEPTH MULCH (KEEP MULCH 1" AWAY FROM SHRUB BASE) 3" HIGH EARTH WATERING SAUCER 1'-0" BEYOND ROOT BALL PLANTING MIXTURE.
 8. FOR CONTAINERIZED PLANTS: REMOVE CONTAINER PRIOR TO PLANTING, SCARIFY ROOT BALL BELOW EDGE 1/2" DEEP IN FOUR LOCATIONS.



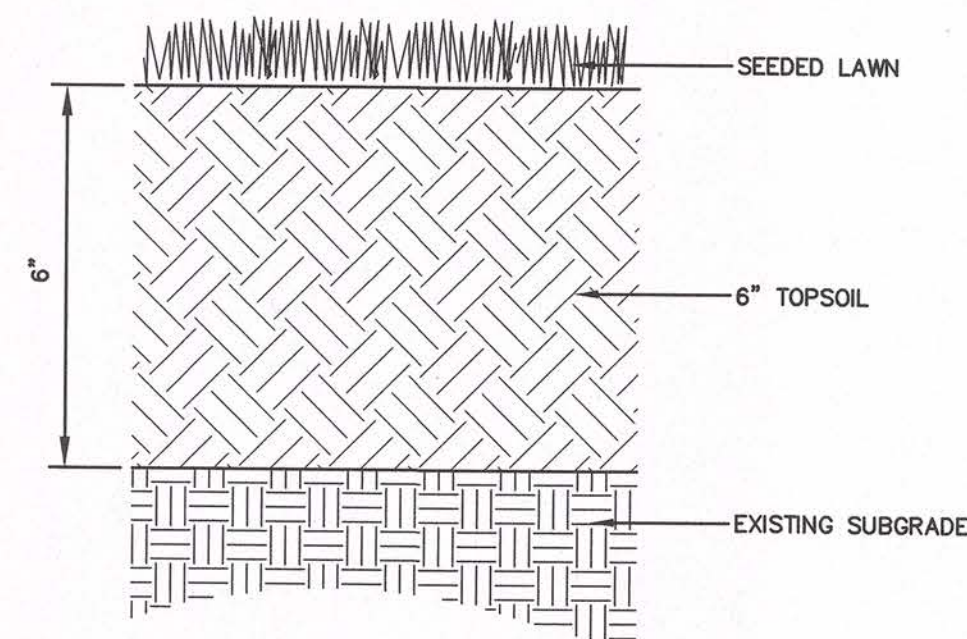
SHRUB PLANTING TYP.

SCALE: 1" = 1'-0"



GROUNDCOVER & PERENNIAL PLANTING TYP.

SCALE: NONE



- NOTES:
1. CONTRACTOR SHALL PREPARE SOILS IN ALL DISTURBED AREAS AND AREAS USED FOR EQUIPMENT ACCESS.

LAWN

SCALE: NONE



ERIC Q. ROISE, RLA

No. 4027

WOODLAND COVE

3102 CRANBERRY
HIGHWAY
IN
WAREHAM
MASSACHUSETTS

DETAILS

JANUARY 12, 2018

REVISIONS:

PREPARED FOR:
DAKOTA PARTNERS
1264 MAIN STREET
WALTHAM, MA 02451

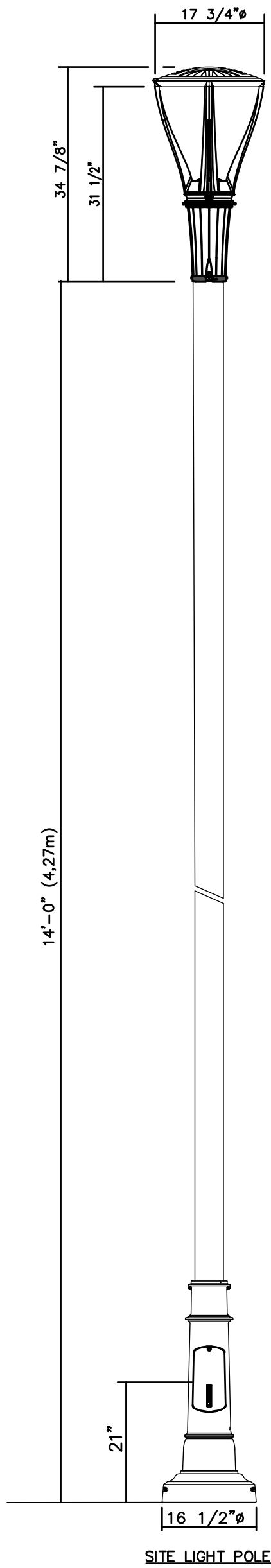
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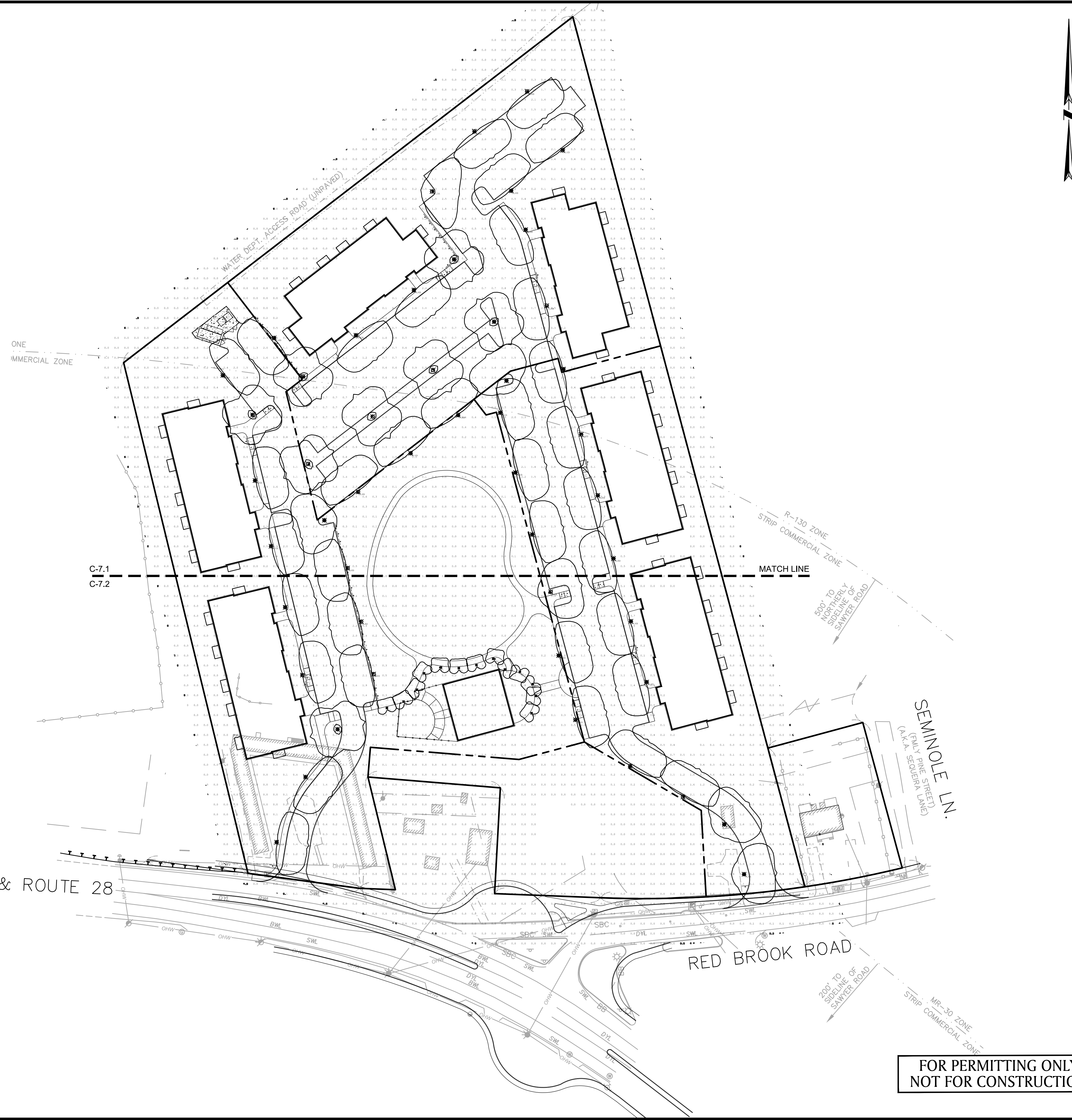
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DWG. NO:
JOB. NO: 83669.00

C-6.5



CRANBERRY HIGHWAY – ROUTE 6 & ROUTE 28



WOODLAND COVE

3102 CRANBERRY
HIGHWAY
IN
WAREHAM
MASSACHUSETTS

OVERALL PHOTOMETRICS
PLAN

JANUARY 12, 2018

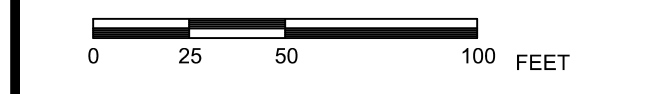
REVISIONS:	

PREPARED FOR:
DAKOTA PARTNERS
1264 MAIN STREET
WALTHAM, MA 02451



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SCALE: 1" = 50'

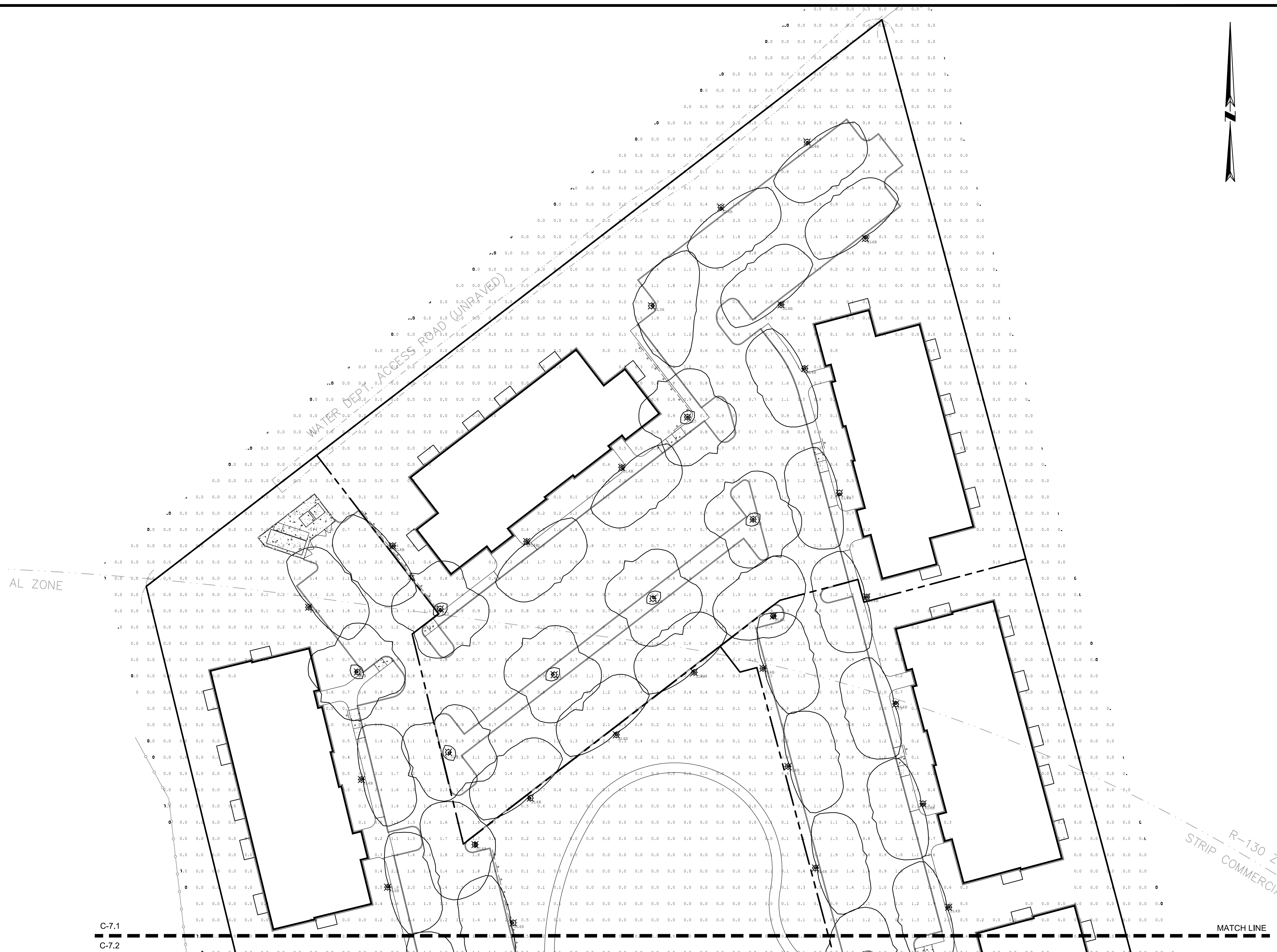


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JOB. NO: 83669.00

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C-7.0



WOODLAND COVE

3102 CRANBERRY
HIGHWAY
IN
WAREHAM
MASSACHUSETTS

PHOTOMETRICS PLAN
(NORTH)

JANUARY 12, 2018

REVISIONS:		

PREPARED FOR:
DAKOTA PARTNERS
1264 MAIN STREET
WALTHAM, MA 02451

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Boston, Massachusetts
02127 617 896 4300

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SCALE: 1" = 30'
0 15 30 60 FEET
FILE: 8366900-PHOTO.DWG
DWG. NO:
JOB. NO: 83669.00

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WOODLAND COVE

3102 CRANBERRY
HIGHWAY
IN
WAREHAM
MASSACHUSETTS

PHOTOMETRICS PLAN
(SOUTH)

JANUARY 12, 2018

REVISIONS:

PREPARED FOR:
DAKOTA PARTNERS
1264 MAIN STREET
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SCALE: 1" = 30'



FILE: 8366900-PHOTO.DWG

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C-7.2

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NOTES:

1. THE CONTRACTOR SHALL CLEARLY MARK LIMITS OF CLEARING AND LIMITS OF TREE REMOVAL, SELECTIVE PRUNING AND THINNING FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO ANY CLEARING OPERATIONS. ALL TREE WORK SHALL BE EXECUTED BY A LICENSED ARBORIST.
2. ALL TREES TO BE SAVED SHALL BE PROTECTED. SEE SPECIFICATION FOR TREE PROTECTION REQUIREMENTS.
3. EXISTING ON SITE TOPSOIL MAY BE REUSED UPON APPROVAL BY THE LANDSCAPE ARCHITECT. EXISTING TOPSOIL SHALL BE TESTED AND AMENDED FOR NUTRIENTS, ORGANIC MATTER, pH, AND SOIL TEXTURE. - SEE SPECIFICATIONS.
4. REMOVE ALL ROCKS AND DEBRIS FROM SOIL SURFACE AND GRADE TO AN EVEN SURFACE. - SEE SPECIFICATIONS.
5. COMPLETE QUANTITIES OF PLANTS FOR EACH AREA TO BE AVAILABLE ON SITE AT THE TIME OF PLANTING FOR FIELD LAYOUT BY OWNER'S REPRESENTATIVE. NO PARTIAL LAYOUT AND PLANTING OF AREAS WILL BE ACCEPTABLE.
6. ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. - SEE SPECIFICATION FOR DETAILED REQUIREMENTS.
7. ANY PROPOSED SUBSTITUTIONS OF PLANT MATERIAL SHALL BE MADE WITH MATERIAL EQUIVALENT TO THE DESIRED MATERIAL IN OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE. NO SUBSTITUTION OF PLANT SPECIES OR VARIETIES WILL BE ACCEPTABLE WITHOUT LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.
8. OWNER'S REPRESENTATIVE TO APPROVE PLANT MATERIAL PRIOR TO DELIVERY TO SITE AND AGAIN AT THE PROJECT SITE PRIOR TO PLANTING.
9. VERIFY ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND REPORT ANY CONFLICTS TO THE OWNER OR HIS REPRESENTATIVE.
10. NO PLANTING SHALL OCCUR PRIOR TO ACCEPTANCE OF FINAL GRADING.
11. INSTALL PLANTS WITH ROOT FLARES FLUSH WITH GRADE. IMMEDIATELY REPLANT PLANTS WHICH SETTLE OUT OF PLUMB OR BELOW FINISH GRADE.
12. SEE SPECIFICATIONS FOR PLANTING MAINTENANCE AND GUARANTEE REQUIREMENTS.
13. THE LANDSCAPE ARCHITECT OR ENGINEER RESERVES THE RIGHT TO ADJUST FINAL GRADES IN THE FIELD TO SAVE EXISTING VEGETATION.
14. PLANT QUANTITIES NOTED IN THE PLANT SCHEDULE ARE APPROXIMATE AND ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FURNISHING AND INSTALLATION OF ALL PLANT MATERIALS NOTED ON THE PLANTING PLAN.
15. PROVIDE FOUR (4) FOOT DIAMETER MULCH CIRCLE AROUND ALL INDIVIDUAL TREE PLANTINGS AND CONTINUOUS MULCH BED AROUND SHRUB, PERENNIAL AND GROUND COVER PLANTINGS, UNLESS OTHERWISE NOTED. DO NOT MOUND SOIL OR MULCH AT TRUNKS.
16. LOOSE OR CRACKED ROOTBALLS SHALL BE REJECTED.
17. THE EXISTING SITE CONSISTS OF SANDY SOILS WHICH HAVE BEEN PREVIOUSLY DISTURBED. THERE IS A TYPICAL OAK, PINE, AND BAYBERRY FOREST COMMUNITY AT THE SITE.

R-130 ZONE
STRIP COMMERCIAL ZONE

L-1.1
L-1.2

MATCH LINE

R-130 ZONE
STRIP COMMERCIAL ZONE

500' TO
NORTHERLY
SIDELINE OF
SAWYER ROAD

N 130° 00' 00"
30.00'

(FALL PINE STREET)
(A.K.A. SEQUOIA LANE)

ROUTE 6 & ROUTE 28

RED BROOK ROAD

200' TO
SIDELINE OF
SAWYER ROAD

MR-30 ZONE
STRIP COMMERCIAL ZONE

LEGEND

- PROPERTY LINE
- PROPOSED CURBING
- CHAIN LINK FENCE
- SITE LIGHT
- PROPOSED SIGN
- PROPOSED CONCRETE
- PROPOSED BITUMINOUS WALK
- PROPOSED STONEDUST WALK
- PROPOSED PAVERS
- BIO-RETENTION AREA/RAIN GARDEN
- LAWN AREA
- SHRUB PLANTING
- CONSERVATION SEED MIX FOR DRY SITES
- CONSERVATION SEED MIX FOR MOIST SITES



ERIC Q. ROISE, RLA

NO. 4027

WOODLAND COVE

3102 CRANBERRY
HIGHWAY
IN
WAREHAM
MASSACHUSETTS

OVERALL PLANTING PLAN

JANUARY 12, 2018

REVISIONS:

PREPARED FOR:
DAKOTA PARTNERS
1284 MAIN STREET
WALTHAM, MA 02451

BSC GROUP
803 Summer Street
Boston, Massachusetts
02127
617 896 4300

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SCALE: 1" = 50'



FILE: 8366900-PLANT.DWG

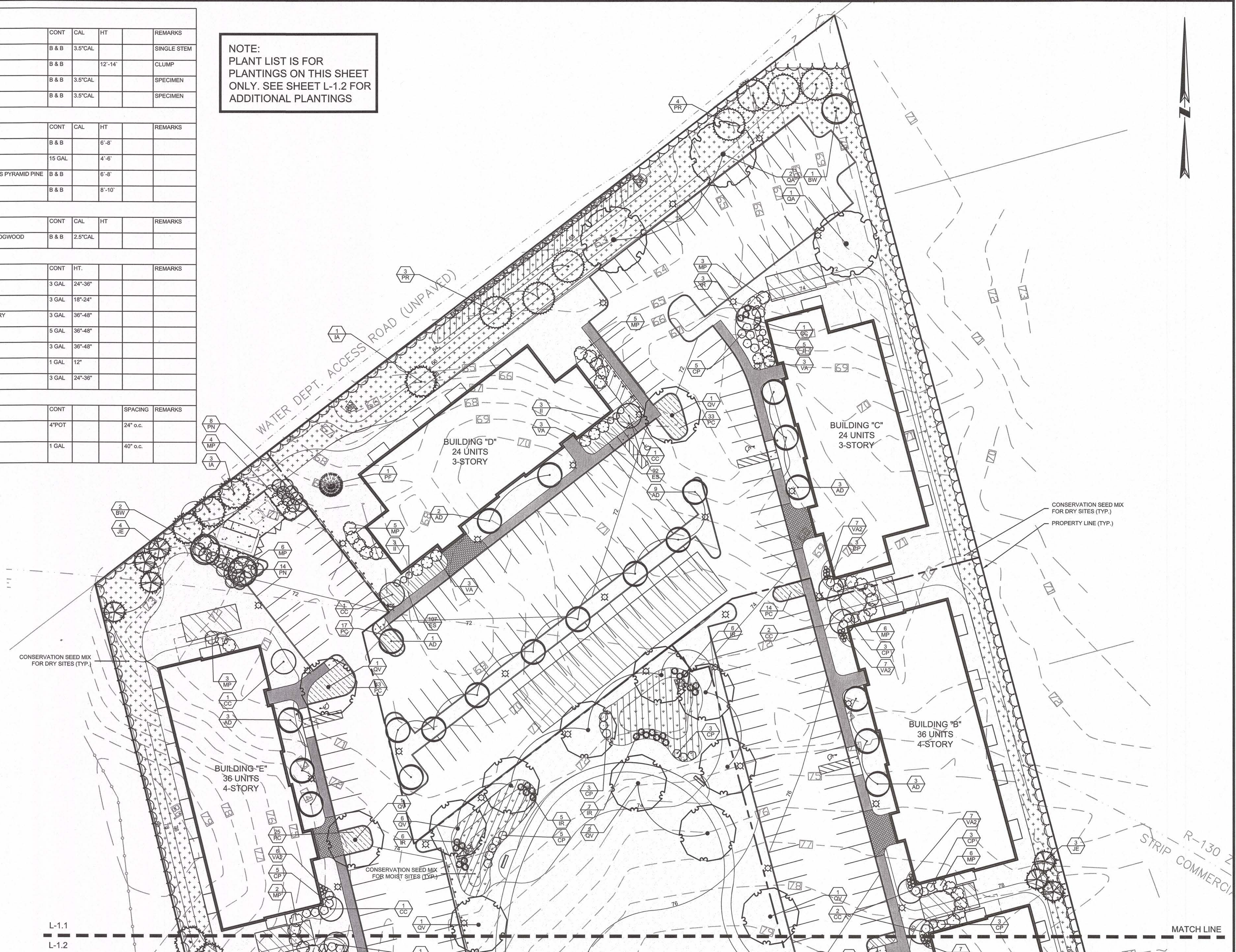
DWG. NO:

JOB. NO: 83669.00

L-1.0

PLANT SCHEDULE NORTH						
DECIDUOUS TREES						
QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	HT		REMARKS
AD	AMELANCHIER ARBOREA / DOWNY SERVICEBERRY	B & B	3.5" CAL			SINGLE STEM
BW	BETULA POPULIFOLIA "WHITESPIRE" / WHITESPIRE BIRCH	B & B		12'-14'		CLUMP
QA	QUERCUS ALBA / WHITE OAK	B & B	3.5" CAL			SPECIMEN
QV	QUERCUS VELUTINA / BLACK OAK	B & B	3.5" CAL			SPECIMEN
EVERGREEN TREES						
QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	HT		REMARKS
IA	ILEX OPACA / AMERICAN HOLLY	B & B		6'-8'		
JE	JUNIPERUS VIRGINIANA / EASTERN RED CEDAR	15 GAL		4'-6'		
PF	PINUS FLEXILIS "VANDERWOLF'S PYRAMID" / VANDERWOLF'S PYRAMID PINE	B & B		6'-8'		
PR	PINUS RIGIDA / PITCH PINE	B & B		8'-10'		
FLOWERING TREES						
QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	HT		REMARKS
CC	CORNUS FLORIDA "CHEROKEE CHIEF" / CHEROKEE CHIEF DOGWOOD	B & B	2.5" CAL			
SHRUBS						
QTY	BOTANICAL NAME / COMMON NAME	CONT	HT			REMARKS
CP	COMPTONIA PEREGRINA / SWEET FERN	3 GAL	24"-36"			
II	ILEX GLABRA "COMPACTA" / COMPACT INKBERRY	3 GAL	18"-24"			
IR	ILEX VERTICILLATA "RED SPRITE" / RED SPRITE WINTERBERRY	3 GAL	36"-48"			
MP	MYRICA PENNSYLVANICA / NORTHERN BAYBERRY	5 GAL	36"-48"			
PN	PHYSOCARPUS OPULIFOLIUS / NINEBARK	3 GAL	36"-48"			
VA2	VACCINIUM ANGUSTIFOLIUM / LOWBUSH BLUEBERRY	1 GAL	12"			
VA	VIBURNUM DENTATUM / VIBURNUM	3 GAL	24"-36"			
GRASSES						
QTY	BOTANICAL NAME / COMMON NAME	CONT		SPACING		REMARKS
199	ERAGROSTIS SPECTABILIS / PURPLE LOVE GRASS	4" POT		24" o.c.		
132	PANICUM VIRGATUM "CLOUD NINE" / TALL SWITCH GRASS	1 GAL		40" o.c.		

NOTE:
PLANT LIST IS FOR
PLANTINGS ON THIS SHEET
ONLY. SEE SHEET L-1.2 FOR
ADDITIONAL PLANTINGS



LEGEND

- PROPERTY LINE
- PROPOSED CURBING
- CHAIN LINK FENCE
- SITE LIGHT
- PROPOSED SIGN
- PROPOSED CONCRETE
- PROPOSED BITUMINOUS WALK
- PROPOSED STONEDUST WALK
- PROPOSED PAVERS
- BIO-RETENTION AREA/RAIN GARDEN
- LAWN AREA
- SHRUB PLANTING
- CONSERVATION SEED MIX FOR DRY SITES
- CONSERVATION SEED MIX FOR MOIST SITES



ERIC Q. ROISE, RLA

No. 4027

WOODLAND COVE

3102 CRANBERRY
HIGHWAY
IN
WAREHAM
MASSACHUSETTS

PLANTING PLAN (NORTH)

JANUARY 12, 2018

REVISIONS:

NO.	DESCRIPTION

PREPARED FOR:
DAKOTA PARTNERS
1264 MAIN STREET
WALTHAM, MA 02451

BSC GROUP
803 Summer Street
Boston, Massachusetts
02127

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SCALE: 1" = 30'

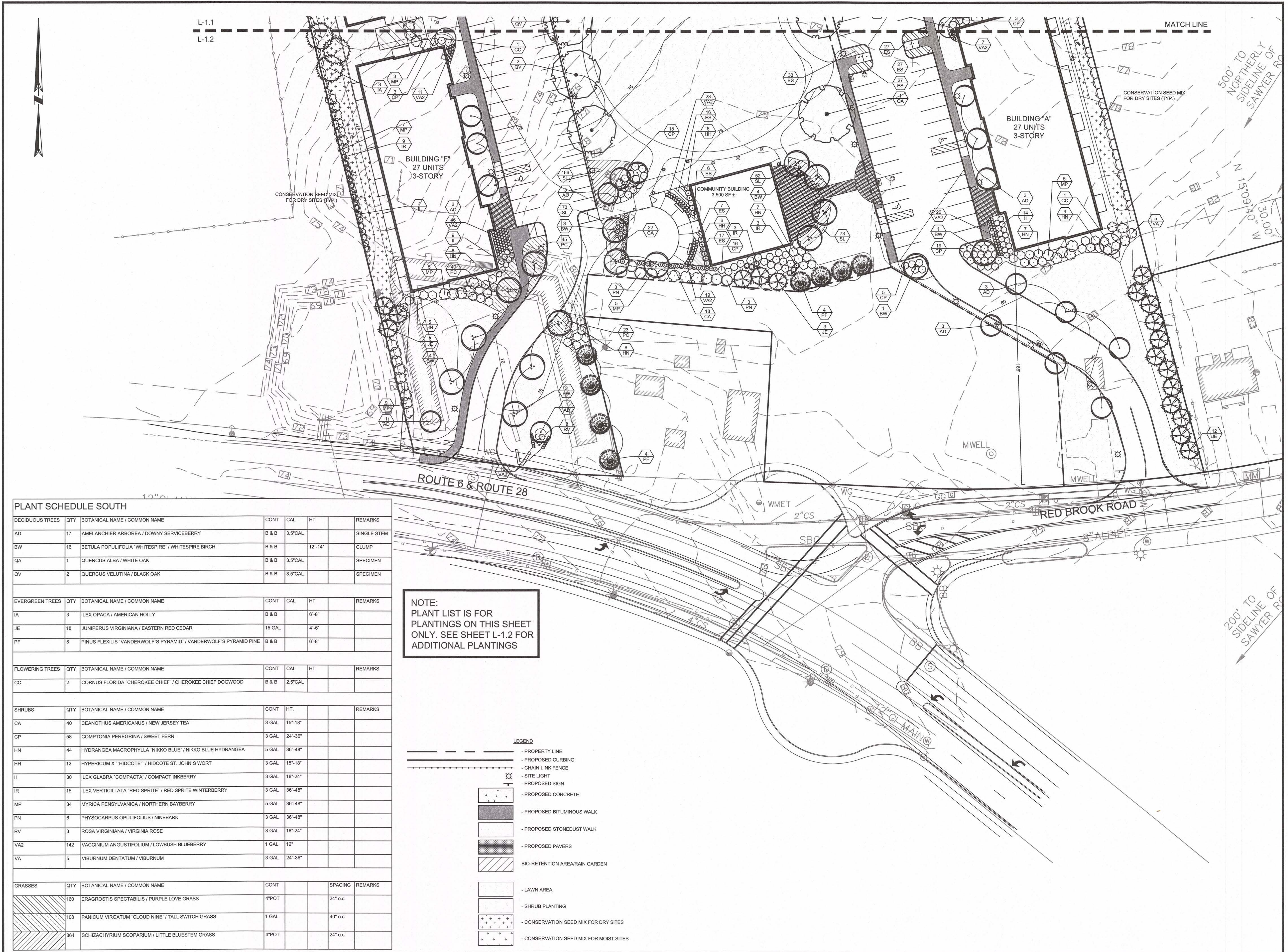
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L-1.1



PLANT SCHEDULE SOUTH						
DECIDUOUS TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	HT	REMARKS
AD	17	AMELANCHIER ARBOREA / DOWNY SERVICEBERRY	B & B	3.5" CAL		SINGLE STEM
BW	16	BETULA POPULIFOLIA 'WHITESPIRE' / WHITESPIRE BIRCH	B & B	12'-14'		CLUMP
QA	1	QUERCUS ALBA / WHITE OAK	B & B	3.5" CAL		SPECIMEN
QV	2	QUERCUS VELUTINA / BLACK OAK	B & B	3.5" CAL		SPECIMEN
EVERGREEN TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	HT	REMARKS
IA	3	ILEX OPACA / AMERICAN HOLLY	B & B		6'-8'	
JE	18	JUNIPERUS VIRGINIANA / EASTERN RED CEDAR	15 GAL		4'-6'	
PF	8	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' / VANDERWOLF'S PYRAMID PINE	B & B		6'-8'	
FLOWERING TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	HT	REMARKS
CC	2	CORNUS FLORIDA 'CHEROKEE CHIEF' / CHEROKEE CHIEF DOGWOOD	B & B	2.5" CAL		
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT	HT		REMARKS
CA	40	CEANOTHUS AMERICANUS / NEW JERSEY TEA	3 GAL	15"-18"		
CP	58	COMPTONIA PEREGRINA / SWEET FERN	3 GAL	24"-36"		
HN	44	HYDRANGEA MACROPHYLLA 'NIKKO BLUE' / NIKKO BLUE HYDRANGEA	5 GAL	36"-48"		
HH	12	HYPERICUM X "HIDCOTE" / HIDCOTE ST. JOHN'S WORT	3 GAL	15"-18"		
II	30	ILEX GLABRA 'COMPACTA' / COMPACT INKBERRY	3 GAL	18"-24"		
IR	15	ILEX VERTICILLATA 'RED SPRITE' / RED SPRITE WINTERBERRY	3 GAL	36"-48"		
MP	34	MYRICA PENSYLVANICA / NORTHERN BAYBERRY	5 GAL	36"-48"		
PN	6	PHYSOCARPUS OPULIFOLIUS / NINEBARK	3 GAL	36"-48"		
RV	3	ROSA VIRGINIANA / VIRGINIA ROSE	3 GAL	18"-24"		
VA2	142	VACCINIUM ANGUSTIFOLIUM / LOWBUSH BLUEBERRY	1 GAL	12"		
VA	5	VIBURNUM DENTATUM / VIBURNUM	3 GAL	24"-36"		
GRASSES	QTY	BOTANICAL NAME / COMMON NAME	CONT		SPACING	REMARKS
	160	ERAGROSTIS SPECTABILIS / PURPLE LOVE GRASS	4"POT		24" o.c.	
	108	PANICUM VIRGATUM 'CLOUD NINE' / TALL SWITCH GRASS	1 GAL		40" o.c.	
	364	SCHIZACHYRIUM SCOPARIUM / LITTLE BLUESTEM GRASS	4"POT		24" o.c.	

NOTE:
PLANT LIST IS FOR
PLANTINGS ON THIS SHEET
ONLY. SEE SHEET L-1.2 FOR
ADDITIONAL PLANTINGS

LEGEND

- PROPERTY LINE
- PROPOSED CURBING
- CHAIN LINK FENCE
- SITE LIGHT
- PROPOSED SIGN
- PROPOSED CONCRETE
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ERIC Q. ROISE, RLA

No. 4027

WOODLAND COVE

3102 CRANBERRY
HIGHWAY
IN
WAREHAM
MASSACHUSETTS

PLANTING PLAN (SOUTH)

JANUARY 12, 2018

REVISIONS:

PREPARED FOR:
DAKOTA PARTNERS
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